# Addison Police Court Upgrade

# 4799 Airport Pkwy Addison, TX 75001

Architect's Project No. 6170203

Date: September 25, 2017

# Index of Drawings:

ARCHITECTURAL

G001 COVER, INDEX AND VICINITY MAP G002 SPECIFICATIONS

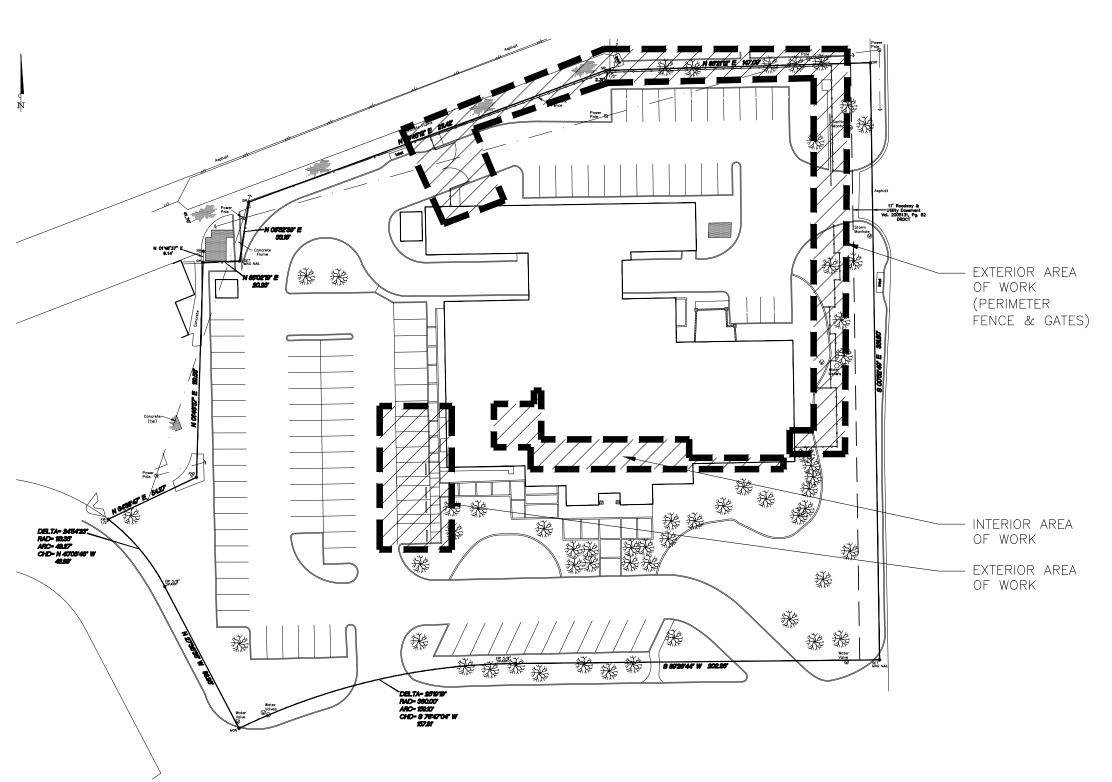
AS101 DEMOLITION SITE PLAN AS102 SITE PLAN

AS201 SITE DETAILS
AS202 ENLARGED SITE PLANS

A101 DEMOLITION PLAN & FLOOR PLAN A201 ELEVATIONS

A401 ENLARGED PLANS & SCHEDULES A501 DETAILS & WALL TYPES Enlarged Area Map - Addison, Texas

Scope Location



# CODE INFORMATION

1. COD

2012 INTERNATIONAL BUILDING CODE 2012 INTERNATIONAL PLUMBING CODE

2012 INTERNATIONAL MECHANICAL CODE

2012 INTERNATIONAL ENERGY CONSERVATION CODE 2012 INTERNATIONAL FIRE CODE

2014 NATIONAL ELECTRIC

AMERICANS WITH DISABILITIES ACT

OCCUPANCY GROUP (IBC Chapter 3): B

 CONSTRUCTION TYPE (IBC Table 601): II-B
 ALLOWABLE FLOOR AREAS: (IBC TABLE 503) TYPE II-B - 23,000

a. ALLOWABLE AREA INCREASE (IBC 506.3)
The building does have an automatic sprinkler system.
Area increase per (IBC 506.3& 504.2) does apply

5. ALLOWABLE HEIGHT: (IBC TABLE 503)

TYPE II-B - THREE STORIES, 55 Feet

6. FLOOR RENOVATION AREAS: 1st Floor: 750 sq ft.

7. REQUIREMENTS BASED ON OCCUPANCY: (IBC 304)

8. OCCUPANCY SEPARATIONS:

N/A (All area are the same occupancy)

9. REQUIREMENTS BASED ON CONSTRUCTION TYPE: (IBC TABLE 601)

EXTERIOR BEARING WALLS 0 HR
INTERIOR BEARING WALLS 0 HR
EXTERIOR NON-BEARING WALLS (Table 602) 0 HR
STRUCTURAL FRAME 0 HR
PERMANENT PARTITIONS 0 HR
SHAFT ENCLOSURES 0 HR
FLOOR-CEILING ASSEMBLIES 0 HR

FLOOR-CEILING ASSEMBLIES 0 HR
ROOF-CEILING ASSEMBLIES 0 HR
STAIR ENCLOSURES (1022.1)1 HR
GUARDRAILS (IBC 1013.1)
Changes in elevation greater than 30" require a 42"

high guardrail with intermediate rails with openings no greater than 4" up to a height of 36" and above 36" no openings greater than 4-3/8".

10. TYPE II BUILDING REQUIREMENTS: (IBC CHAPTER 6)

a. Fire retardant treated wood shall be permitted in nonbearing partitions with a fire rating less than 2 hours.

b. Millwork, doors and door frames may be constructed of combustible materials.11. FIRE PARTITIONS (IBC 709.1):

a. Walls at exit corridors shall have a Fire Resistive rating not less than 1 hour.

12. OCCUPANT LOAD PER FLOOR (IBC TABLE 1004.1.1):
Business Occupant Load = 100 Gross

13. EXIT WIDTH REQUIRED AND PROVIDED (IBC 1005.1):
Exit Width - 17x 0.2 = 3.4" required (36" provided)
Minimum corridor width shall not be less than 44" (IBC 1018.2)

14. DISTANCE TO EXIT: (IBC Table 1016.1)
Not to exceed 200 feet in a Group 'B' building with out a sprinkler system.
a. DEAD END (IBC 1018.4)
In Group 'B' occupancies the length of a dead end

corridor shall not exceed 20 feet. 15. EXIT DOORS:(IBC 1008)

a. Doors shall swing in direction of exit travel when occupant load is greater than 50 persons.

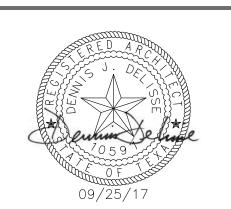
b. Minimum of 1 exits shall be provided per story (IBC TABLE 1021.2)

16. PLUMBING REQUIREMENTS (IBC TABLE 2902.1)
W/C formula: 2 W/C for the first 25 persons (1 per 25), one additional for each additional 50 persons
Lavatory formula: 2 Lavs for the first 80 persons (1 per 40), one additional for each additional 80 persons



Architecture ■ Planning ■ Interior Design
4949 Addison Circle ■ Addison, Texas 75001

CONSULTANTS



# Addison Police Court Upgrade

4799 Airport Pkwy Addison, TX 75001

MARK	DATE	DESCRIPTION
ISSUE:		09/25/17
PROJECT NO:		6170203
FILE:		.dwg
DRAWN BY:		EB
CHECKED BY:		DJD

SHEET TITLE

COVER,
INDEX &
VICINITY MAP

G001

J: \8 Interiors\8140705 Garland Water Utilities\04\_CD\8140705\_G001.dwg | Release: 19.1s (LMS Tech) s: BDR-2234.dwg, PL.dwg, Station:EBish 10/06/14 15:01 Plotting Scale: 1=1"

# DIVISION 1-GENERAL REQUIREMENTS SECTION 01 10 00: SUMMARY

- 1. The purpose of the enclosed document is to convey design intent only. Contractor shall: (a) be solely responsible for compliance with orders of any public authority bearing on the performance of the work, (b) promptly notify architect if the drawings and specifications are at a variance therewith, and (c) obtain all requisite building and other permits required in connection with the work.
- 2. When requested to install the Owner's or Tenant's materials. the Contractor shall not install any that is defective or damaged, but shall notify the Owner's representative of the condition of that product.
- 3. Contractor is to coordinate with Owner's Representative for required procedures for work in this building. These drawings are for the tenant area only indicated in the scope of work on these documents and do not incorporate existing conditions of the HVAC systems, base building construction, or existing conditions in or around this
- 4. All work noted "by others", "by Owner", "by Tenant", and "N.I.C." or "Not In Contract" is to be accomplished by others and is not to be a part of this agreement. The Contractor is to coordinate with "other" Contractors or the Tenant as required.
- 5. Work may not take place within and/or adjacent to occupied office areas during office hours. Contractor must take precautions to avoid interfering with business activities. Contractor must provide temporary dust partitions and other dust control measures to insure a minimized disruption of the office area. Contractor is to maintain a clean work area and is responsible for clean-up at the end of each work day.
- 6. Work that creates noise levels that are disruptive to the daily operations of business in the building, or those that create offensive or harmful odors that go beyond the construction area must be carried out after business hours. Coordinate with the building representative.
- 7. In occupied businesses that are under construction, computers may be operational. Contractor will need to take precaution in protecting this equipment from construction dust, damage and power failure. Owner or Tenant Rep. should be notified prior to power shut down.

# SECTION 01 31 00: PROJECT MANAGEMENT AND COORDINATION

- 1. The Contractor will be presumed to have inspected the site and is responsible for being familiar with these documents and reviewing the field conditions in the building, including the dimensions, details required and building systems. The failure or omission of any Contractor to examine any form, instrument or document shall in no way relieve him from any obligation in respect to his work.
- 2. Any discrepancies from the contract drawings to existing conditions will be communicated to the Architect before proceeding.
- All material or equipment that will require more than 2 weeks delivery shall be identified to the Architect.
- 4. All items that are called out "to be relocated" must be inspected for damage prior to installation, modified or repaired where required, and re-installed in new location.
- 5. Contractor is responsible to make contact with Building Owner or Owner's Representative concerning all additional rules and regulations regarding this building.
- 6. All Contractor and Subcontractors shall give all notices and comply with all laws concerning installations in accordance with all local, state, ADA, and municipal codes that may be enforce, and perform, all work in a workmanlike and professional manner.
- 7. Do not scale drawings, dimensions govern. Large scale details generally govern over small scale. Notify Architect of any conflict and do not proceed until resolved.
- 8. All woodwork, blocking, grounds, rough bucks and miscellaneous blocking to be U.L. approved non-combustible material.
- 9. Contractor shall supervise and direct the work, using the Contractor's best skills and attention. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures; and coordinate all portions of the work.
- 10. The Contractor shall be responsible to the Owner for the acts and omissions of the Contractor's Employees, Subcontractors and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
- 11. The Contractor warrants to the Owner that all materials and equipment furnished under this contract will be new unless otherwise specified, and that all work will be of good quality, free from faults and defects and in conformance with the contract documents. All work not conforming to these requirements, including substitutions not properly approved and authorized, may be considered defective.
- 12. The Contractor shall prepare and install all products in accordance with manufactures recommendations.

# SECTION 01 25 00: PRODUCT OPTIONS AND SUBSTITUTIONS

- 1. In making a substitution of a material, the Contractor must make a formal request for the substitution and investigate the product and determine that it is eaual or superior in all respects to the one specified.
- name and number, other manufactures must meet the minimum performance requirements of the listed product.

2. When only one manufacture is listed with the product

3. When a brand name is listed it is not intended to omit other manufactures, except when design criteria is developed around that product.

## SECTION 01 33 00: SUBMITTALS

- 1. Contractor must provide three sets of prints or a PDF and/or samples for review to Architect.
- 2. Contractor to review shop drawings and stamp with official review stamp prior to submitting to Architect.
- 3. Architect will review shop drawings and return to Contractor in a timely manner.
- All samples must be properly labeled with Job name. manufacture/material/color and the date of the submittal. Of the three samples submitted. Architect will review the PDF/submittal, stamp and return to Contractor.
- 5. Orders are not to be placed or installation of the product to occur until the materials have been approved by the Architect.
- 6. Shop drawings and submittals are not considered part of the contract documents.

# SECTION 01 73 29: CUTTING AND PATCHING

- 1. SUBMITTALS A. Contractor shall submit to the Architect in advance of cutting or alteration anything that is not in the contract documents that will affect the following:
  - a. Work by the Owner or another Contractor. b. Visual qualities of sight-expossed elements. c. Effectiveness of weather-exposed elements or moisture-resistant systems or elements. d. Integrity of and element of the project.

e. Maintenance of safety of operational elements.

B. Request must include the following: Identification of the project, location and description of affected work, necessity of the cutting, alteration or excavation,

description of proposed work, cutting and patching.

# SECTION 01 74 13: CONSTRUCTION CLEANING

- 1. The site shall be daily "broom cleaned" during construction and all adjacent properties shall be clean of waste products, materials and debris. Utilize dust control measures.
- 2. Keep site in a clean and orderly manner.
- 3. Use only cleaning materials recommended by the manufacture of each product installed.
- 4. Do not use any cleaning product that will cause hazards to the health or property. Use only low VOC
- 5. Conduct cleaning and disposal operations that comply with local building codes, ordinances and pollution laws.
- 6. Protect all adjacent surfaces to any area being

# SECTION 01 74 23: FINAL CLEANING

- 1. Environmental Requirements: all cleaning and waste removal shall be in full compliance with local and federal environmental and anti-pollution ordinances, laws and regulations.
- 2. Final Cleaning: a. comply with manufactures suggested cleaning
  - procedures. b. remove debris and all foreign materials from site.
  - c. wash windows and mirrors, to be free of streaks.
  - d. clean light fixtures e. clean all window coverings of dust
  - f. clean plumbing fixtures
  - g. remove any non-permentant labels n. all carpeted areas to be vacuumed
  - i. leave completed project clean and ready to be in occupied condition. new HVAC filters

# SECTION 01 78 23: OPERATION AND MAINTENANCE DATA

- 1. Contractor shall prepare a 3-ring binder with instructional manuals and data information for all equipment and procedures related to the project. Manuals should include but are not limited to Product name, address, and telephone number of Subcontractor or installer, Maintenance Contractor if appropriate. Local source of supply for parts and replacement.
- Product Data shall include: Only those sheet which are pertinent to the specific product with product clearly identified, Annotate each sheet to clearly identify specific product or part installed, with supplemental drawing where necessary for equipment and systems.
- 3. Architectural Finishes Manual Requirements: Provide 3 (three) copies in a 3-ring binder of the finishes used to complete the project. Attach samples of the actual materials installed with the information of the manufacture of each material along with the catalog number, finish designation or other information that is necessary to allow the Owner/Tenant to match in the future.

# SECTION 01 78 30: WARRANTIES AND BONDS

- 1. Warranty Requirements: Concerning damages and losses-when correcting damaged warranted items that have failed, any other work that is damaged by said item as a result of that failure is to be removed and replaced. The Tenant shall sign off on the repairs after the work is completed.
- 2. Warranty Submittal Requirements: Provide two (2) copies of the original warranty. Assemble a binder with warranties, bonds, service contracts and maintenance contracts that have been executed by each of the respective subcontractors, manufactures and or suppliers. Warranties should be submitted in a 3-ring binder with product, firm with name and contact number. date that the warranty is to begin, and duration of the

## **DIVISION 2-EXISTING CONDITIONS**

warranty, bond or service.

# SECTION 02 41 19: SELECTIVE DEMOLITION

- 1. Protect existing materials that are not being removed from the building during construction and demolition. Protect existing structural members to remain and prevent movement of the structure. If required, provide bracing/shoring of structure if members have been
- 2. Provide temporary barriers at required locations to prevent the migration of dust, noise and odors from construction site to any occupied areas.
- 3. Concerning environmental controls, use demolition methods that will limit dust and the migration of dirt/dust complying with governing regulation pertaining to environmental protection.
- 4. Conduct demolition and construction to minimize interference with existing building egress or access.
- 5. Cease operations immediately where structure appears to be in danger and contact the Architect. Do not continue until this issue has been resolved and directed to continue.
- 6. Carefully remove indicated items for re-installation, clean and store for reuse as needed, repair any items damaged or notify Architect or Owner of item to be reused that is
- 7. Thoroughly clean all items to be reused/relocated.
- 8. All existing materials to be removed from any suite that belong to the Building Owner are to be returned to the Owner at their direction.
- 9. All items damaged during demolition or construction that are to remain, are to be repaired to equivalent condition before damage occurred.

# DIVISION 6-WOODS, PLASTICS AND COMPOSITES

SECTION 06 10 53: ROUGH CARPENTRY 1. When blocking is required in walls for support of millwork

or other wall hung items, provide fire retardant materials.

- 2. Provide fire retardant treated materials whenever it is
- required in the project.
- 3. Moisture content of lumber shall be unseasoned or 19% max at closing of building surfacing S4S is exposed to

# SECTION 06 20 23 INTERIOR FINISH CARPENTRY

Provide shop drawings that show size, quantities. materials, finishes and accessories. Include installation and assembly drawings to show methods of bracing required, jointing and fastening, and connecting to work

Provide samples of all stained wood species with finish.

- 2. Delivery, Storage and Handling: Do not deliver finished carpentry items to the site until the General Contractor determines that the conditions are adequate to receive the work. Protect all work in transit from the elements. Store all materials on site indoors in a well ventilated area with constant regulated
- temperature of 60 degrees F minimum and a humidity range of 25 to 55 percent. 3. Fabrication: Machine and sand woodwork to comply with requirements

Moisture Content: Kiln-dry interior millwork to average

not more than 7 percent to 10 percent.

- 4. Preparation for Finishing: Sand wood smooth and set exposed nails and screws. Cover any exposed screws with appropriate finish material to match surrounding materials. Site dimensions for all fabricated materials always override dimensions on contract documents. All fabricators will be responsible for making site visits and field verify site dimensions. Seal. stain and varnish concealed and semi-concealed surfaces. Prime surfaces that come in contact with
- 5. Cleaning: Touch up damaged or soiled wood work as needed. Clean woodwork. Repair or replace defective woodwork

cementitious materials.

6. Finish carpentry shall be accordance with AWI standards,

# SECTIONS 06 40 23 & 06 41 16: INTERIOR ARCHITECTURAL WOODWORK & PLASTIC LAMINATE FACED ARCHITECTURAL

- 1. All designs shown on drawings are for design intent only. The contractor is responsible for the design of the cabinet system including the attachment to the structure and shall make all modifications needed to the details that are required to accomplish this task.
- 2. All work for the millwork involved in this project will be fabricated, assembled, finished and erected to meet current AWI standards for custom grade millwork unless otherwise noted on drawings.
- 3. Submit shop drawings, wood samples for stained wood, and laminate samples for all cabinetwork. All critical dimensions are to be called out on the shop drawings.
- 4. Field measurements shall be required of all millwork locations prior to construction. It will be the Contractor responsibility to insure that the millwork is level and plumb and fits the area in which it is to be installed.
- 5. Seal all wood surfaces not receiving paint or plastic laminate to prevent moisture penetration.
- 6. Construction will be accordance with quality standards illustrated by the Architectural Woodwork Institute current edition and will comply with AWI Quality Standards Custom Grade, unless noted differently on drawings. Case work and counter tops to follow AWI Section 400 A,B, and C. and miscellaneous work shall follow AWI Section 700.
- 7. Acceptable manufacturers for plastic laminates will be Wilsonart, Nevamar, Pionite or Formica. Colors and patterns shall be indicated on the materials finish schedule. adhesives shall be "rigid" set or "semi-rigid" set. Do not use "contact" adhesives.
- 8. Particle board material will be ANSI A208.1 composed of wood chips, high density, high waterproof resin binder, and selected in accordance with AWI standards with sanded
- 9. Caulk counter top joints and back splash to wall with matching counter top color.
- 10. Hardware:
- Hinges: chrome plated steel Cabinet Hinges- typical
- Fully concealed adjustable cabinet hinges; self latching, with opening 170 degrees. Cabinet Hinges-for cabinets adjacent to walls or limited on
- openings. Fully concealed adjustable cabinet hinges; self-latching, 90 degrees to full opening Drawer Slide: Full extension slides with 75 lb. capacity.

# **DIVISION 8-OPENINGS**

# SECTION 08 12 00: FRAMES

When frames are not specifically noted as to be "building standard" or "reused existing frames" then frames will meet the standard of the existing building frames and meet the following requirements:

- 1. Submittals are required for each type of product indicated
- 2. Aluminum frames are to have a clear anodized finish or as noted on drawings.

# SECTION 08 13 00: DOORS

- 1. Flush Solid-Core Veneer-Faced Doors are to have transparent finish with fire rating of none to 20 minute. The core is particle board with applied wood edges of the same species as the faces and covering edges of cross bands with Custom Grade Finish unless noted differently on drawings.
- 2. Plastic-Laminate Face Wood Doors shall comply with WDMA I.S. 1-A "Architectural Wood Flush Doors." Doors are to have particle board cores meeting the ANSI A208.1, Grade LD-2 made with binder containing no urea-formaldehyde resin and shall have applied plastic laminate edges of the same type as the faces and covering edges of cross bands. Fire Rated doors shall comply with NFPA 80 that are listed and labeled by a qualified testing agency according to UBC Standard 7-2 or UL 10C.
- 3. Access Doors: in non-rated walls and ceiling use frames that are 16 gage steel and door panels that are 14 gage steel with continuous hinges. In rated walls and ceiling use 16 gauge steel with perimeter casing bead for flush appearance and 20 gauge sheet steal sandwich panel assembly door panel.

# **DIVISION 9-FINISHES**

# SECTION 09 20 00: DRY WALL CONSTURCTION

- 1. Comply with applicable requirements of the United States Gypsum publication, "Gypsum Construction Handbook" except where more stringent requirements are required for local codes.
- 2. The following types of gypsum wallboard will be used: fire-rated board (type X) (5/8"), and mold & mildew-resistant board (5/8"). where drywall exceeds 25'-0" in any direction use USG no. 093 control
- 3. Architect to review the actual wall layout prior to installing floor track to allow for modifications with no additional costs to the job.
- 4. Metal studs shall be 3-5/8" x 20 gauge min. for all interior partitions or as noted on drawings, all shall meet ASTM A 446. metal runners shall correspond to study and meet ASTM A 446, grade A, 33 KSI min. yield. connections involving 16 gauge or heavier shall be welded. Install studs @ 16" o.c. unless noted otherwise. Brace all partitions greater than 15'-0" high back to structure at a 45° angle.
- 5. At areas where two dissimilar materials meet on one plain, provide Aluminum 3" Fry Reveal trim. And at long continuous walls provide control joints every 25' max.
- 6. Minimum of Level 4 for all dry wall finishes

SECTION 09 50 00: SUSPENDED ACOUSTIC CEILING The "T" grid system as indicated on the drawings shall be one of the following: CertainTeed or Armstrong, exposed tee systems/prelude 15/16" (white). Acoustic ceiling tile shall be the following: Armstrong or equal. When the existing building system is different from the previous stated brands, the building standard shall prevail.

# SECTION 09 80 00: INSULATION

Batt insulation shall be full stud depth unfaced 3 1/2" or 6", with a insulation only R-value of R-11 or R-19 on exterior walls where required.

Interior partitions will be insulated with 3-1/2" thick mineral wool sound attenuation batt insulation.

# SECTION 09 90 00: PAINTING

Painting shall include the following: galvanized metals, hollow metal frames, interior metals, pipes, mechanical and electrical equipment, interior wood, and gypsum wallboard. All painted interior drywall partitions are to receive one (1) coat of drywall primer and two (2) coats of interior latex eggshell finish.

# **DIVISION 23-HVAC**

Section 23 30 00: DUCTWORK All exposed ductwork to be installed parallel and perpendicular to existing structure and held tight to structure above.

# **ASBESTOS**

Contractor to insure that no asbestos products or materials are used in this scope of work.

# **General Notes**

- 1. Dimensions are finish face to finish face unless otherwise noted.
- 2. GC to provide an asbestos survey.
- 3. Sprinkler head locations shall be adjusted to comply with code.

5



Architecture ■ Planning ■ Interior Design

4949 Addison Circle ■ Addison, Texas 75001

CONSULTANTS

09/25/17

# Addison Police Court Upgrade

4799 Airport Pkwy Addison, TX 75001

MARK | DATE | DESCRIPTION ISSUE: 09/25/17 PROJECT NO: 6170203

SHEET TITLE

DRAWN BY:

CHECKED BY:

FILE:

**SPECIFICATIONS** 

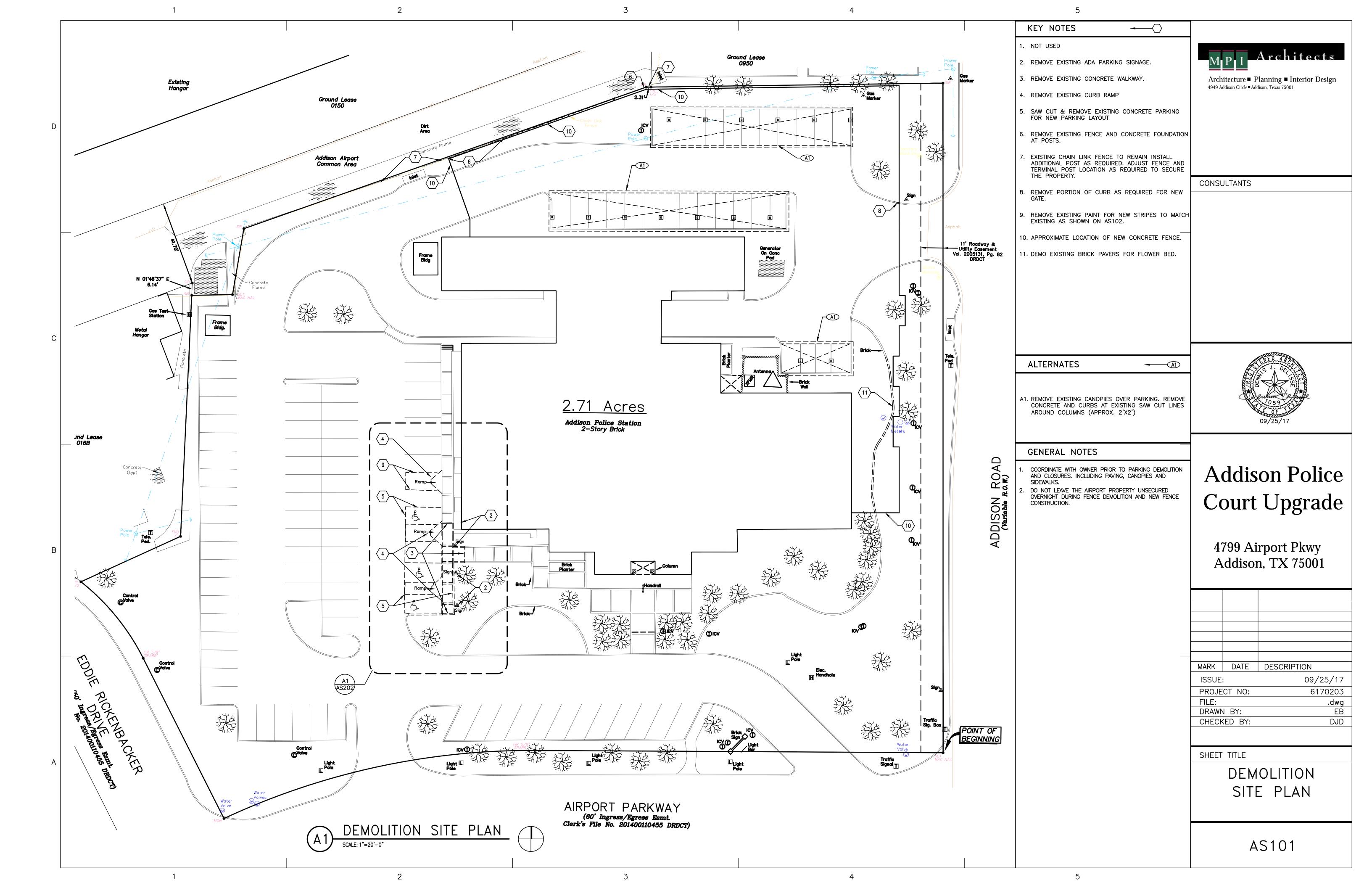
.dwg

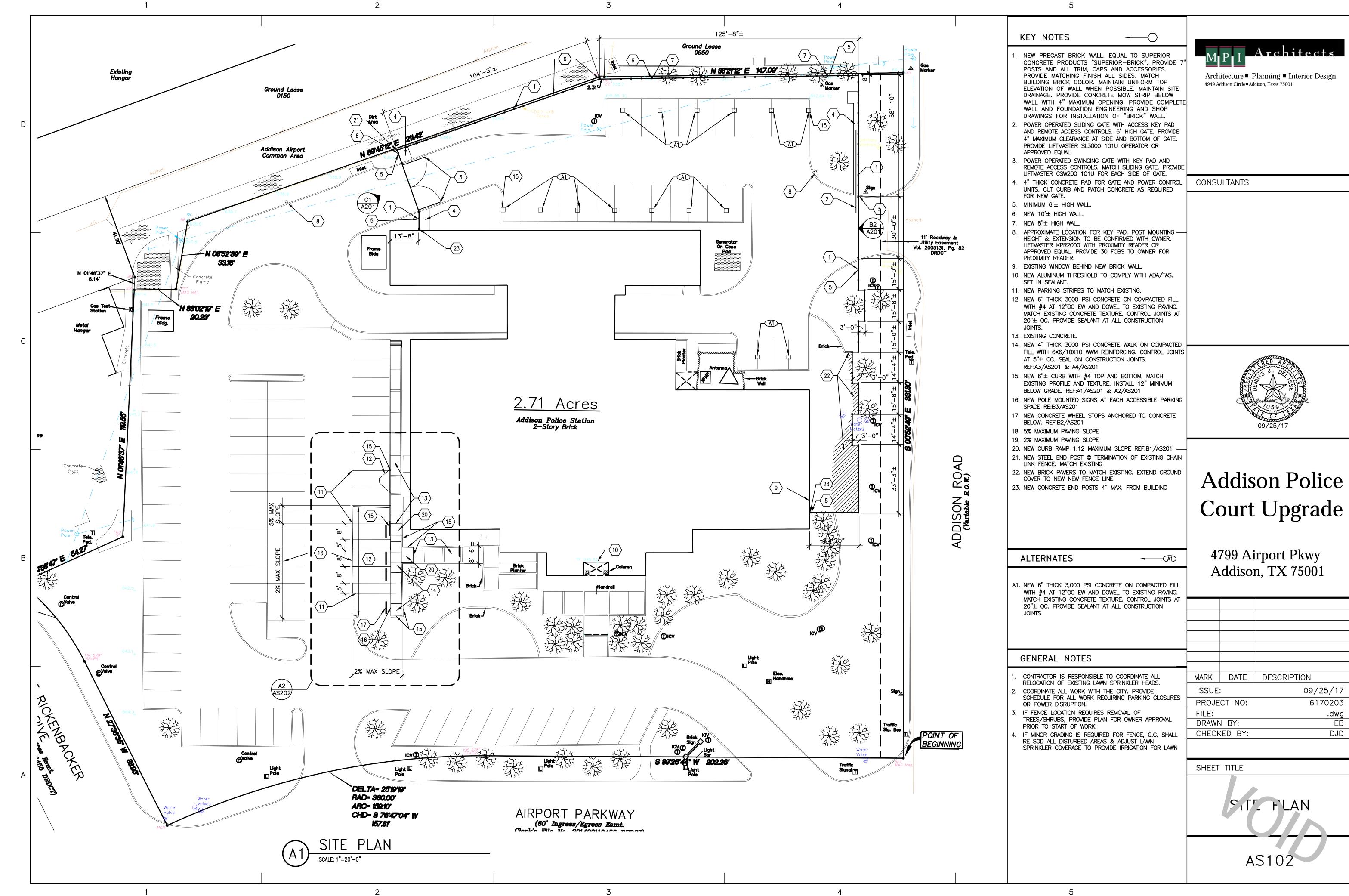
DJD

EΒ

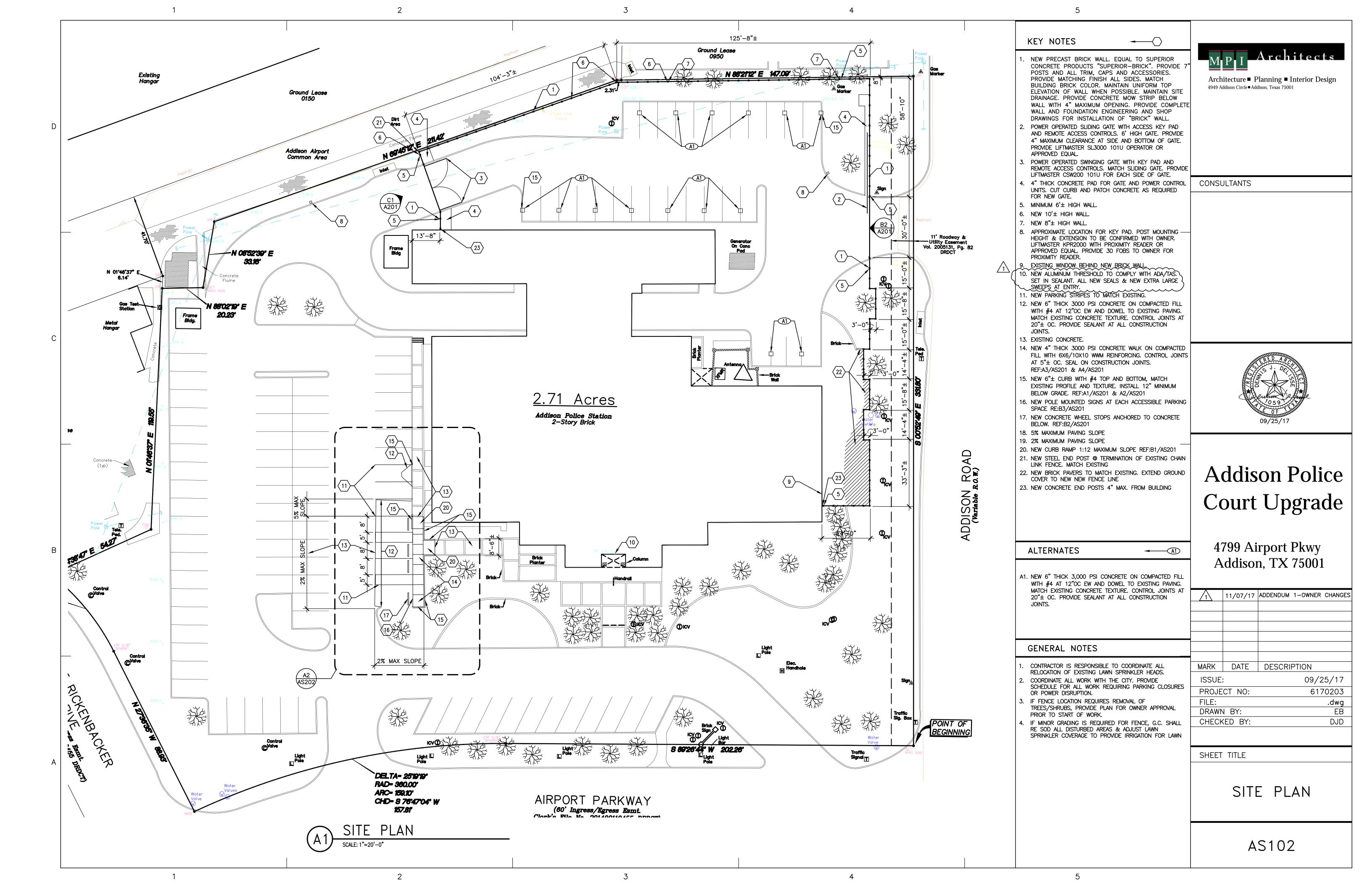
G002

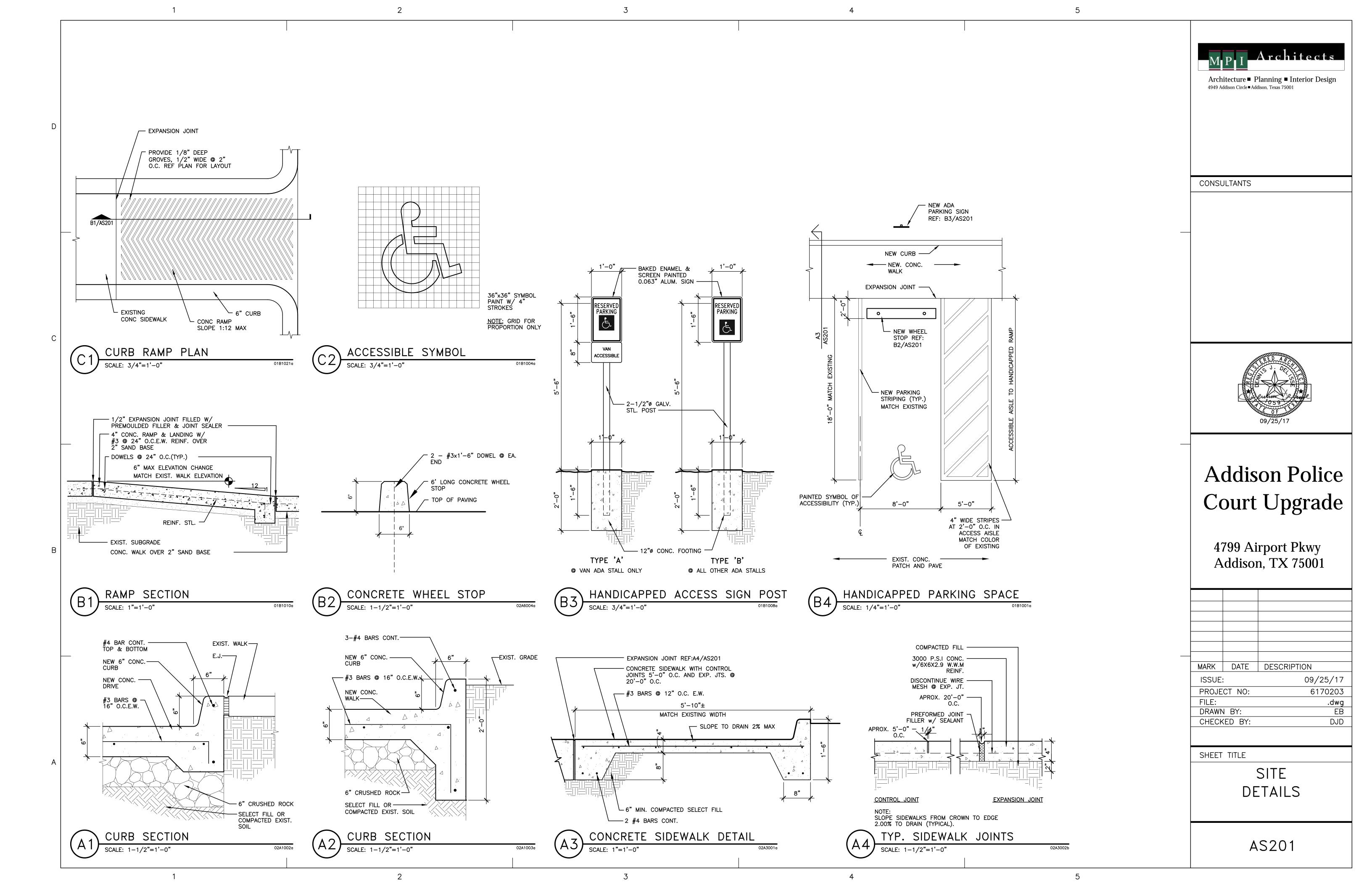
3

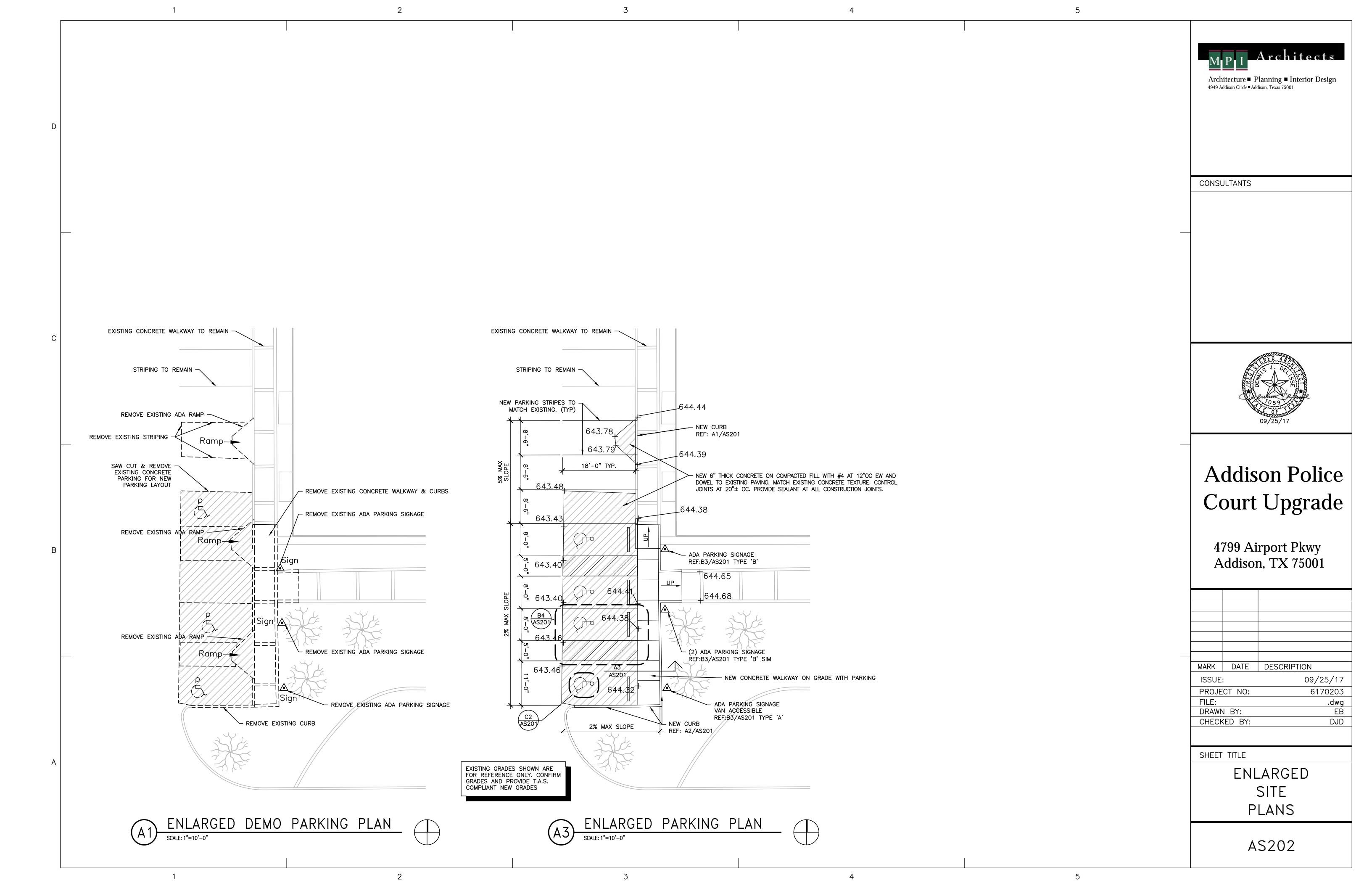


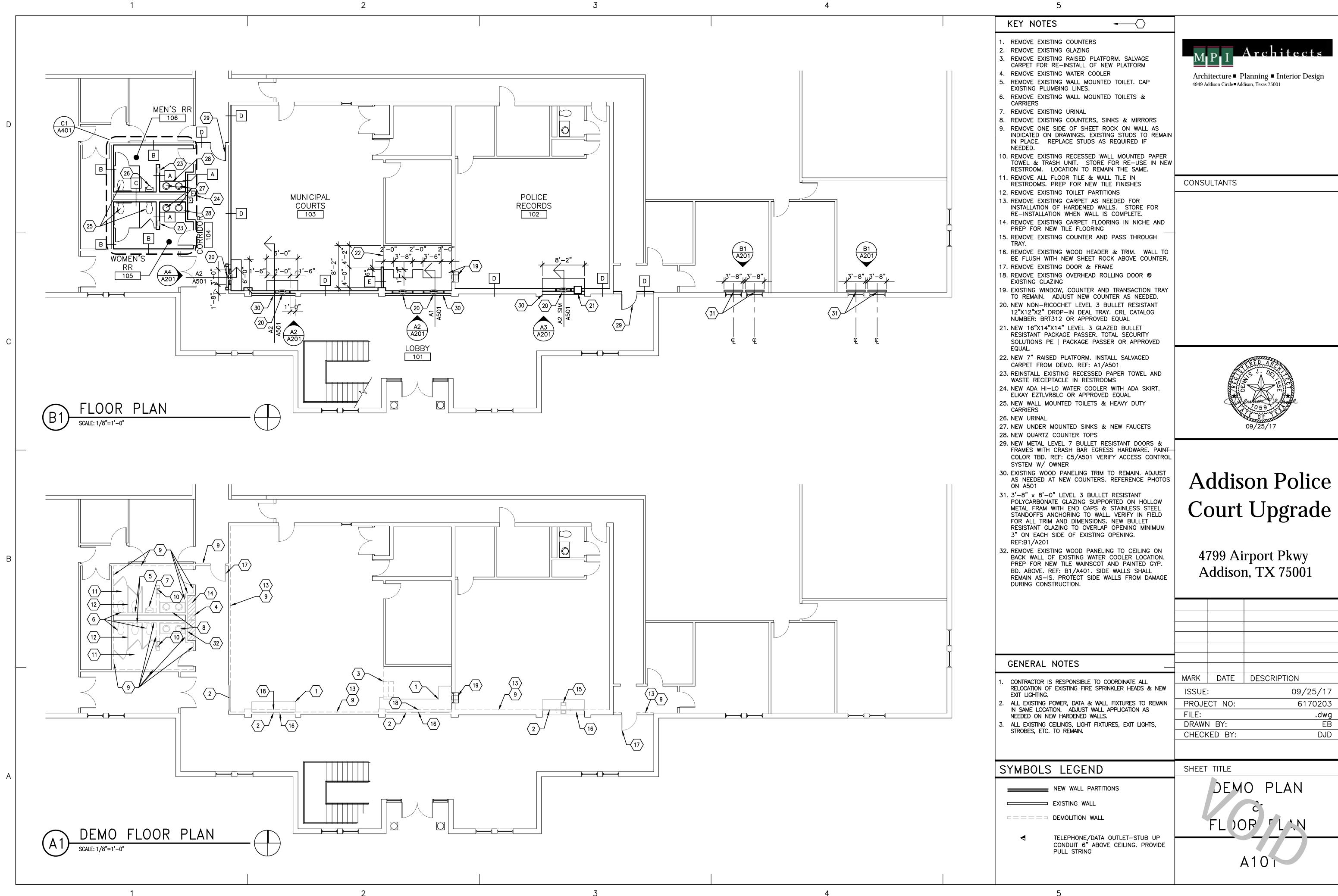


09/25/17 6170203

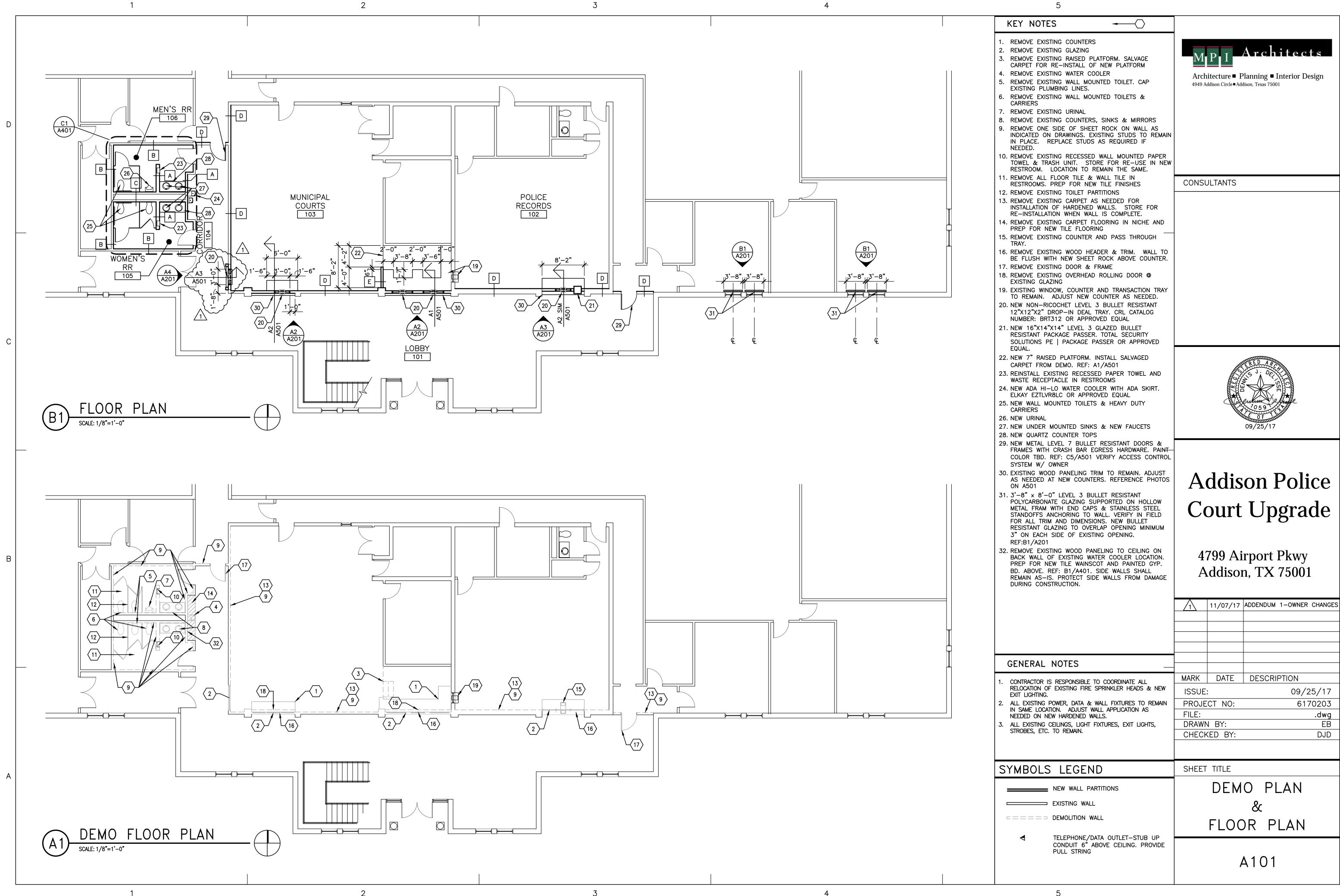








09/25/17 6170203



# Addison Police Court Upgrade

09/25/17 6170203

