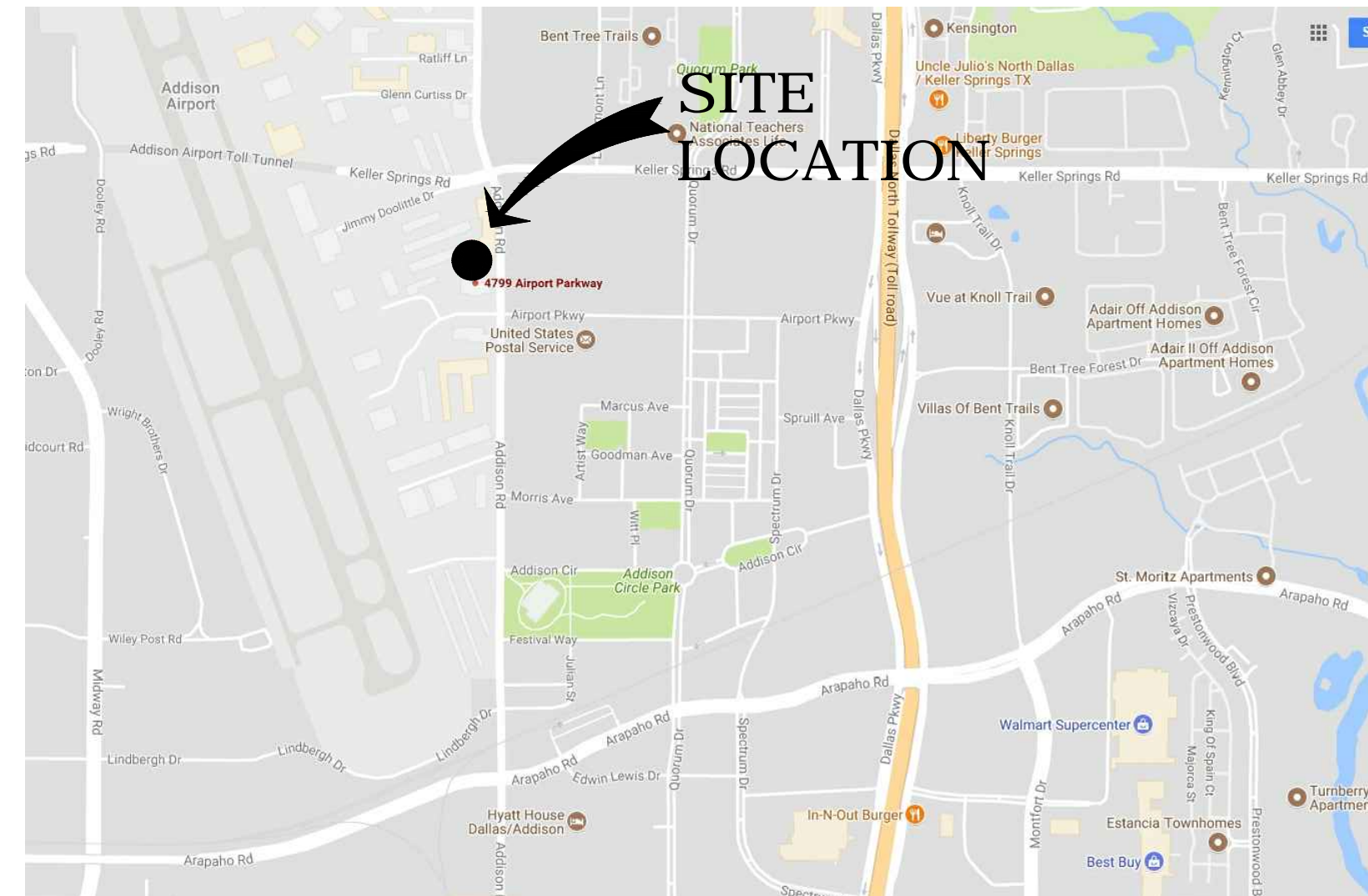


Addison Police Court Upgrade

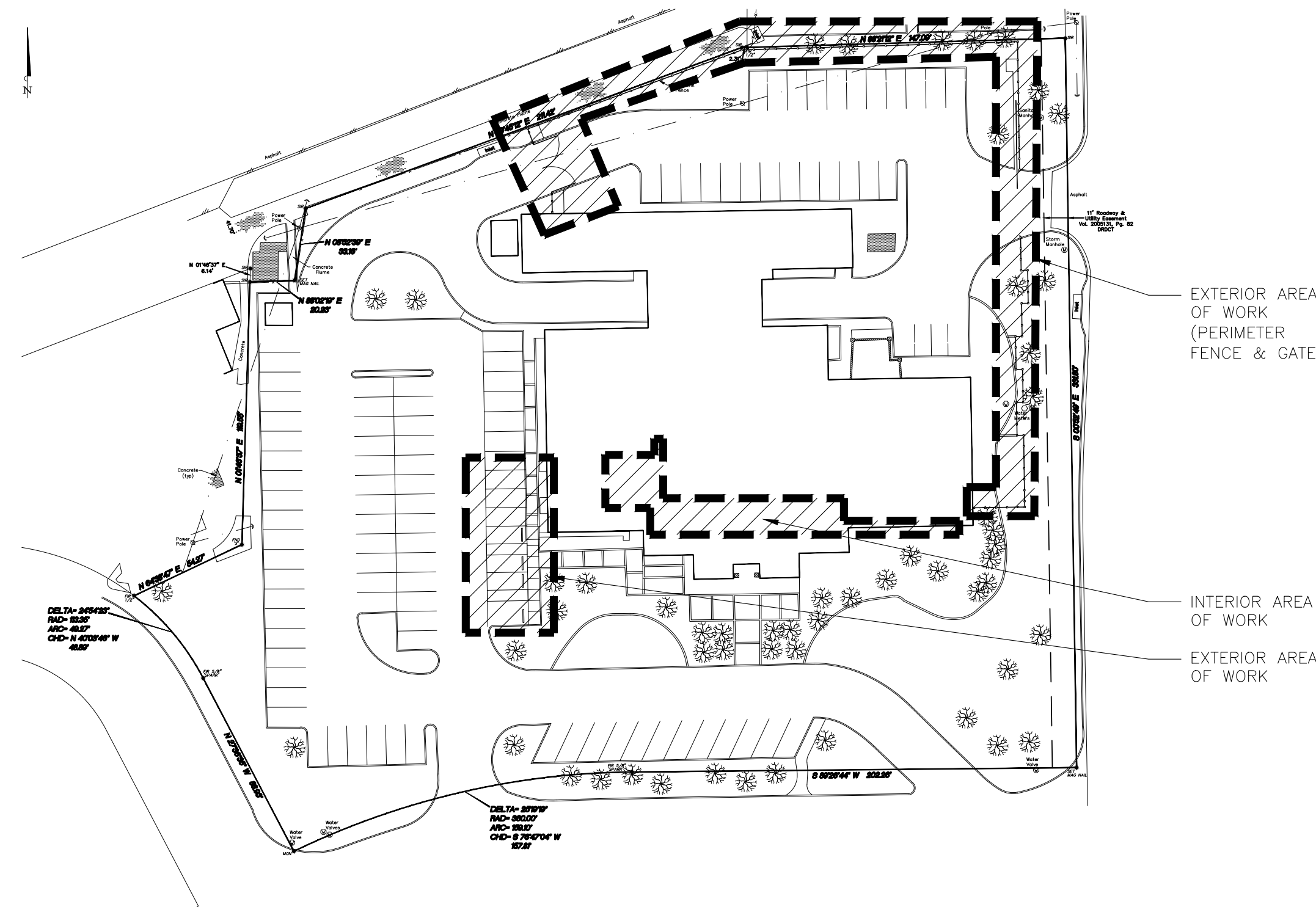
4799 Airport Pkwy
Addison, TX 75001

Architect's Project No. 6170203

Date: September 25, 2017



Enlarged Area Map - Addison, Texas



Scope Location



Index of Drawings:

ARCHITECTURAL

G001	COVER, INDEX AND VICINITY MAP
G002	SPECIFICATIONS
AS101	DEMOLITION SITE PLAN
AS102	SITE PLAN
AS201	SITE DETAILS
AS202	ENLARGED SITE PLANS
A101	DEMOLITION PLAN & FLOOR PLAN
A201	ELEVATIONS
A401	ENLARGED PLANS & SCHEDULES
A501	DETAILS & WALL TYPES

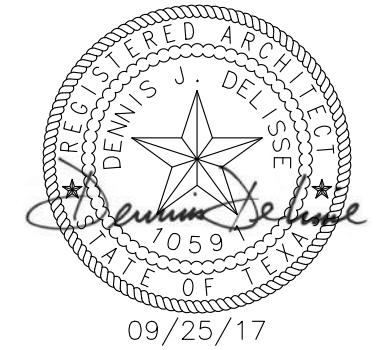
CODE INFORMATION

1. CODES
 - 2012 INTERNATIONAL BUILDING CODE
 - 2012 INTERNATIONAL PLUMBING CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2012 INTERNATIONAL FIRE CODE
 - 2014 NATIONAL ELECTRIC
 - AMERICANS WITH DISABILITIES ACT
2. OCCUPANCY GROUP (IBC Chapter 3): B
3. CONSTRUCTION TYPE (IBC Table 601): II-B
4. ALLOWABLE FLOOR AREAS: (IBC TABLE 503)
 - TYPE II-B - 23,000
 - a. ALLOWABLE AREA INCREASE (IBC 506.3)
 - The building does have an automatic sprinkler system.
 - Area increase per (IBC 506.3& 504.2) does apply
5. ALLOWABLE HEIGHT: (IBC TABLE 503)
 - TYPE II-B - THREE STORIES, 55 Feet
6. FLOOR RENOVATION AREAS:
 - 1st Floor: 750 sq ft.
7. REQUIREMENTS BASED ON OCCUPANCY: (IBC 304)
 - N/A
8. OCCUPANCY SEPARATIONS:
 - N/A (All area are the same occupancy)
9. REQUIREMENTS BASED ON CONSTRUCTION TYPE: (IBC TABLE 601)
 - EXTERIOR BEARING WALLS 0 HR
 - INTERIOR BEARING WALLS 0 HR
 - EXTERIOR NON-BEARING WALLS (Table 602) 0 HR
 - STRUCTURAL FRAME 0 HR
 - PERMANENT PARTITIONS 0 HR
 - SHAFT ENCLOSURES 0 HR
 - FLOOR-CEILING ASSEMBLIES 0 HR
 - ROOF-CEILING ASSEMBLIES 0 HR
 - STAIR ENCLOSURES (1022.1) 1 HR
 - GUARDRAILS (IBC 1013.1)
 - Changes in elevation greater than 30" require a 42" high guardrail with intermediate rails with openings no greater than 4" up to a height of 36" and above 36" no openings greater than 4-3/8".
10. TYPE II BUILDING REQUIREMENTS: (IBC CHAPTER 6)
 - a. Fire retardant treated wood shall be permitted in nonbearing partitions with a fire rating less than 2 hours.
 - b. Millwork, doors and door frames may be constructed of combustible materials.
11. FIRE PARTITIONS (IBC 709.1):
 - a. Walls at exit corridors shall have a Fire Resistive rating not less than 1 hour.
12. OCCUPANT LOAD PER FLOOR (IBC TABLE 1004.1.1):
 - Business Occupant Load = 100 Gross
13. EXIT WIDTH REQUIRED AND PROVIDED (IBC 1005.1):
 - Exit Width - $17 \times 0.2 = 3.4'$ required (36" provided)
 - Minimum corridor width shall not be less than 44" (IBC 1018.2)
14. DISTANCE TO EXIT: (IBC Table 1016.1)
 - Not to exceed 200 feet in a Group 'B' building with out a sprinkler system.
- a. DEAD END (IBC 1018.4)
 - In Group 'B' occupancies the length of a dead end corridor shall not exceed 20 feet.
15. EXIT DOORS: (IBC 1008)
 - a. Doors shall swing in direction of exit travel when occupant load is greater than 50 persons.
 - b. Minimum of 1 exits shall be provided per story (IBC TABLE 1021.2)
16. PLUMBING REQUIREMENTS (IBC TABLE 2902.1)
 - W/C formula: 2 W/C for the first 25 persons (1 per 25), one additional for each additional 50 persons
 - Lavatory formula: 2 Lavs for the first 80 persons (1 per 40), one additional for each additional 80 persons



Architecture ■ Planning ■ Interior Design
4949 Addison Circle ■ Addison, Texas 75001

CONSULTANTS



Addison Police Court Upgrade

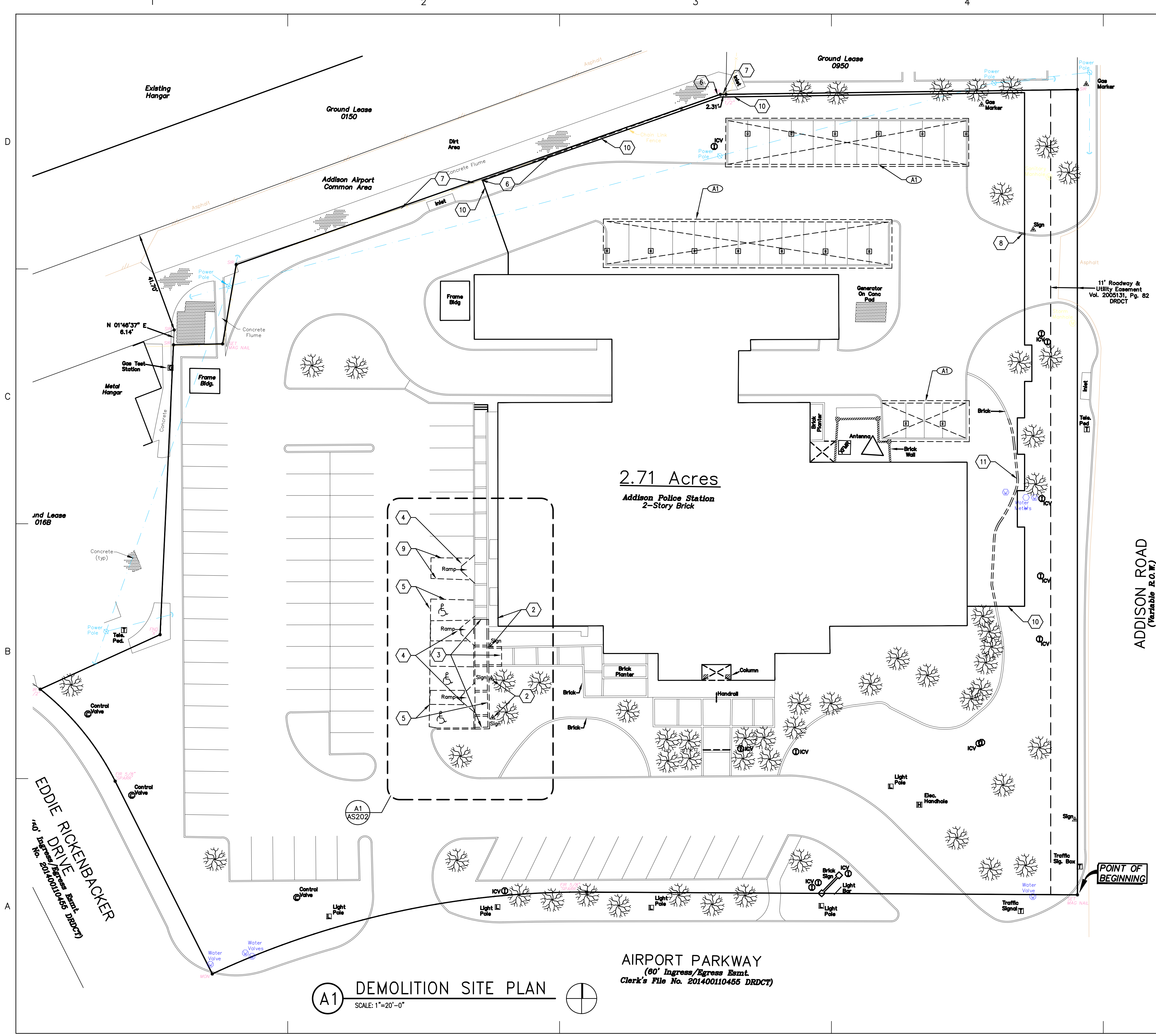
4799 Airport Pkwy
Addison, TX 75001

MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE

COVER,
INDEX &
VICINITY MAP

G001



KEY NOTES

1. NOT USED
2. REMOVE EXISTING ADA PARKING SIGNAGE.
3. REMOVE EXISTING CONCRETE WALKWAY.
4. REMOVE EXISTING CURB RAMP
5. SAW CUT & REMOVE EXISTING CONCRETE PARKING FOR NEW PARKING LAYOUT
6. REMOVE EXISTING FENCE AND CONCRETE FOUNDATION AT POSTS.
7. EXISTING CHAIN LINK FENCE TO REMAIN INSTALL ADDITIONAL POST AS REQUIRED. ADJUST FENCE AND TERMINAL POST LOCATION AS REQUIRED TO SECURE THE PROPERTY.
8. REMOVE PORTION OF CURB AS REQUIRED FOR NEW GATE.
9. REMOVE EXISTING PAINT FOR NEW STRIPES TO MATCH EXISTING AS SHOWN ON AS102.
10. APPROXIMATE LOCATION OF NEW CONCRETE FENCE.
11. DEMO EXISTING BRICK PAVERS FOR FLOWER BED.

ALTERNATES

- A1. REMOVE EXISTING CANOPIES OVER PARKING. REMOVE CONCRETE AND CURBS AT EXISTING SAW CUT LINES AROUND COLUMNS (APPROX. 2'X2')

GENERAL NOTES

1. COORDINATE WITH OWNER PRIOR TO PARKING DEMOLITION AND CLOSURES. INCLUDING PAVING, CANOPIES AND SIDEWALKS.
2. DO NOT LEAVE THE AIRPORT PROPERTY UNSECURED OVERNIGHT DURING FENCE DEMOLITION AND NEW FENCE CONSTRUCTION.

MPI Architects
 Architecture ■ Planning ■ Interior Design
 4949 Addison Circle ■ Addison, Texas 75001

CONSULTANTS



Addison Police Court Upgrade

4799 Airport Pkwy
 Addison, TX 75001

MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE
 DEMOLITION SITE PLAN

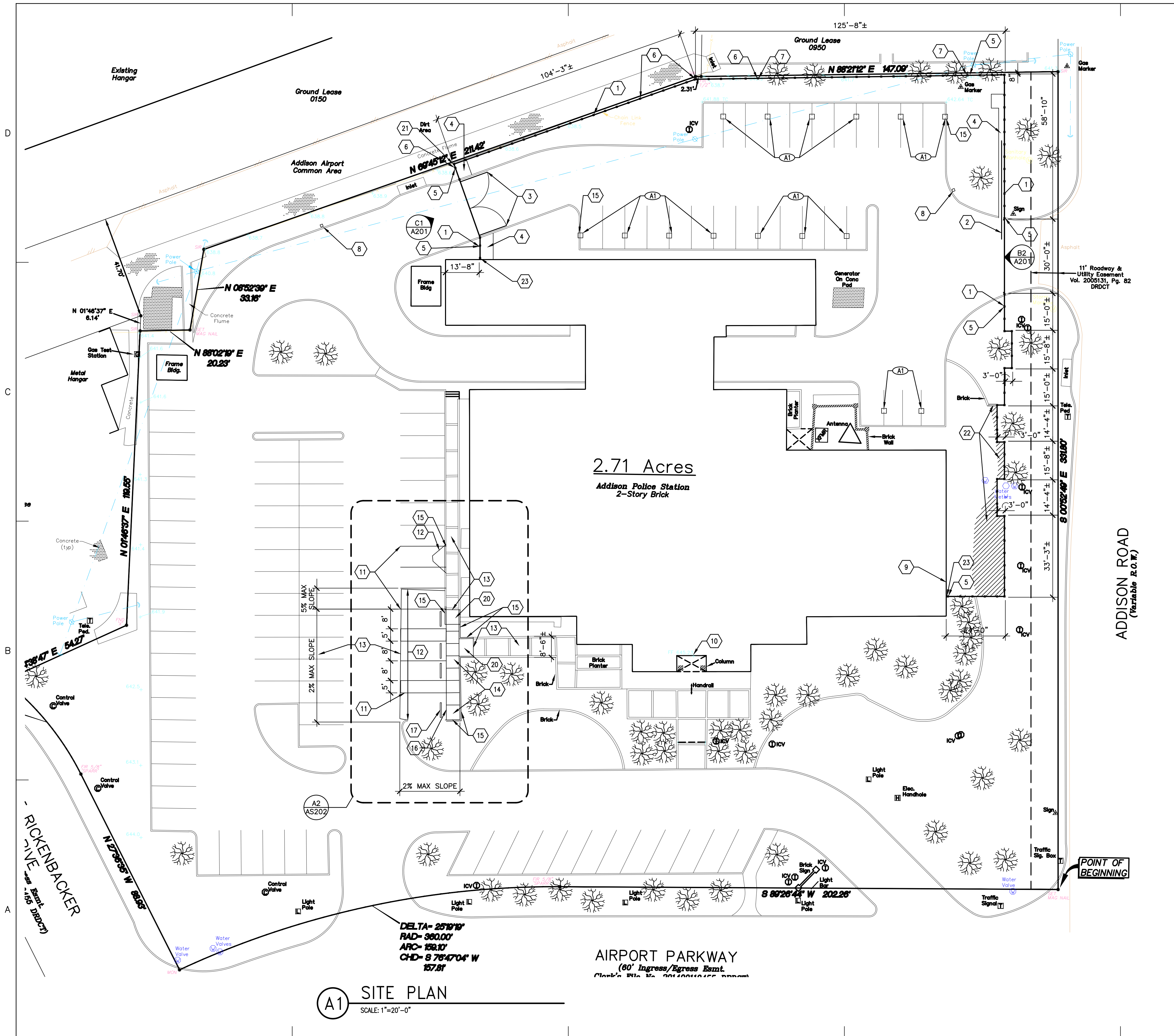
AS101

A1 DEMOLITION SITE PLAN
 SCALE: 1"=20'-0"

AIRPORT PARKWAY
 (80' Ingress/Egress Easmt.
 Clerk's File No. 201400110455 DRDCT)

ADDISON ROAD
 (Variable R.O.W.)

EDDIE RICKENBACKER DRIVE
 (80' Ingress/Egress Easmt.
 Clerk's File No. 201400110455 DRDCT)



A1 SITE PLAN
SCALE: 1"=20'-0"

KEY NOTES

1. NEW PRECAST BRICK WALL. EQUAL TO SUPERIOR CONCRETE PRODUCTS "SUPERIOR-BRICK". PROVIDE 7" POSTS AND ALL TRIM, CAPS AND ACCESSORIES. PROVIDE MATCHING FINISH ALL SIDES. MATCH BUILDING BRICK COLOR. MAINTAIN UNIFORM TOP ELEVATION OF WALL. WHEN POSSIBLE, MAINTAIN SITE DRAINAGE. PROVIDE CONCRETE MOW STRIP BELOW WALL WITH 4" MAXIMUM OPENING. PROVIDE COMPLETE WALL AND FOUNDATION ENGINEERING AND SHOP DRAWINGS FOR INSTALLATION OF "BRICK" WALL.
2. POWER OPERATED SLIDING GATE WITH ACCESS KEY PAD AND REMOTE ACCESS CONTROLS. 6' HIGH GATE. PROVIDE 4" MAXIMUM CLEARANCE AT SIDE AND BOTTOM OF GATE. PROVIDE LIFTMASTER SL3000 101U OPERATOR OR APPROVED EQUAL.
3. POWER OPERATED SWINGING GATE WITH KEY PAD AND REMOTE ACCESS CONTROLS. MATCH SLIDING GATE. PROVIDE LIFTMASTER CSM200 101U FOR EACH SIDE OF GATE.
4. 4" THICK CONCRETE PAD FOR GATE AND POWER CONTROL UNITS. CUT CURB AND PATCH CONCRETE AS REQUIRED FOR NEW GATE.
5. MINIMUM 6'± HIGH WALL.
6. NEW 10'± HIGH WALL.
7. NEW 8'± HIGH WALL.
8. APPROXIMATE LOCATION FOR KEY PAD. POST MOUNTING HEIGHT & EXTENSION TO BE CONFIRMED WITH OWNER. LIFTMASTER KPR2000 WITH PROXIMITY READER OR APPROVED EQUAL. PROVIDE 30 FTS TO OWNER FOR PROXIMITY READER.
9. EXISTING WINDOW BEHIND NEW BRICK WALL.
10. NEW ALUMINUM THRESHOLD TO COMPLY WITH ADA/TAS. SET IN SEALANT.
11. NEW PARKING STRIPES TO MATCH EXISTING.
12. NEW 6" THICK 3000 PSI CONCRETE ON COMPACTED FILL WITH #4 AT 12" OC EW AND DOWEL TO EXISTING PAVING. MATCH EXISTING CONCRETE TEXTURE. CONTROL JOINTS AT 20'± OC. PROVIDE SEALANT AT ALL CONSTRUCTION JOINTS.
13. EXISTING CONCRETE.
14. NEW 4" THICK 3000 PSI CONCRETE WALK ON COMPACTED FILL WITH 6X6/10X10 W/M REINFORCING. CONTROL JOINTS AT 5'± OC. SEAL ON CONSTRUCTION JOINTS. REF:A3/AS201 & A4/AS201
15. NEW 6"± CURB WITH #4 TOP AND BOTTOM, MATCH EXISTING PROFILE AND TEXTURE. INSTALL 12" MINIMUM BELOW GRADE. REF:A1/AS201 & A2/AS201
16. NEW POLE MOUNTED SIGNS AT EACH ACCESSIBLE PARKING SPACE. REF:B3/AS201
17. NEW CONCRETE WHEEL STOPS ANCHORED TO CONCRETE BELOW. REF:B2/AS201
18. 5% MAXIMUM PAVING SLOPE
19. 2% MAXIMUM PAVING SLOPE
20. NEW CURB RAMP 1:12 MAXIMUM SLOPE REF:B1/AS201
21. NEW STEEL END POST @ TERMINATION OF EXISTING CHAIN LINK FENCE. MATCH EXISTING
22. NEW BRICK PAVERS TO MATCH EXISTING. EXTEND GROUND COVER TO NEW FENCE LINE
23. NEW CONCRETE END POSTS 4" MAX. FROM BUILDING

ALTERNATES

- A1. NEW 6" THICK 3,000 PSI CONCRETE ON COMPACTED FILL WITH #4 AT 12" OC EW AND DOWEL TO EXISTING PAVING. MATCH EXISTING CONCRETE TEXTURE. CONTROL JOINTS AT 20'± OC. PROVIDE SEALANT AT ALL CONSTRUCTION JOINTS.

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL RELOCATION OF EXISTING LAWN SPRINKLER HEADS.
2. COORDINATE ALL WORK WITH THE CITY. PROVIDE SCHEDULE FOR ALL WORK REQUIRING PARKING CLOSURES OR POWER DISRUPTION.
3. IF FENCE LOCATION REQUIRES REMOVAL OF TREES/SHRUBS, PROVIDE PLAN FOR OWNER APPROVAL PRIOR TO START OF WORK.
4. IF MINOR GRADING IS REQUIRED FOR FENCE, G.C. SHALL RE SOD ALL DISTURBED AREAS & ADJUST LAWN SPRINKLER COVERAGE TO PROVIDE IRRIGATION FOR LAWN



CONSULTANTS



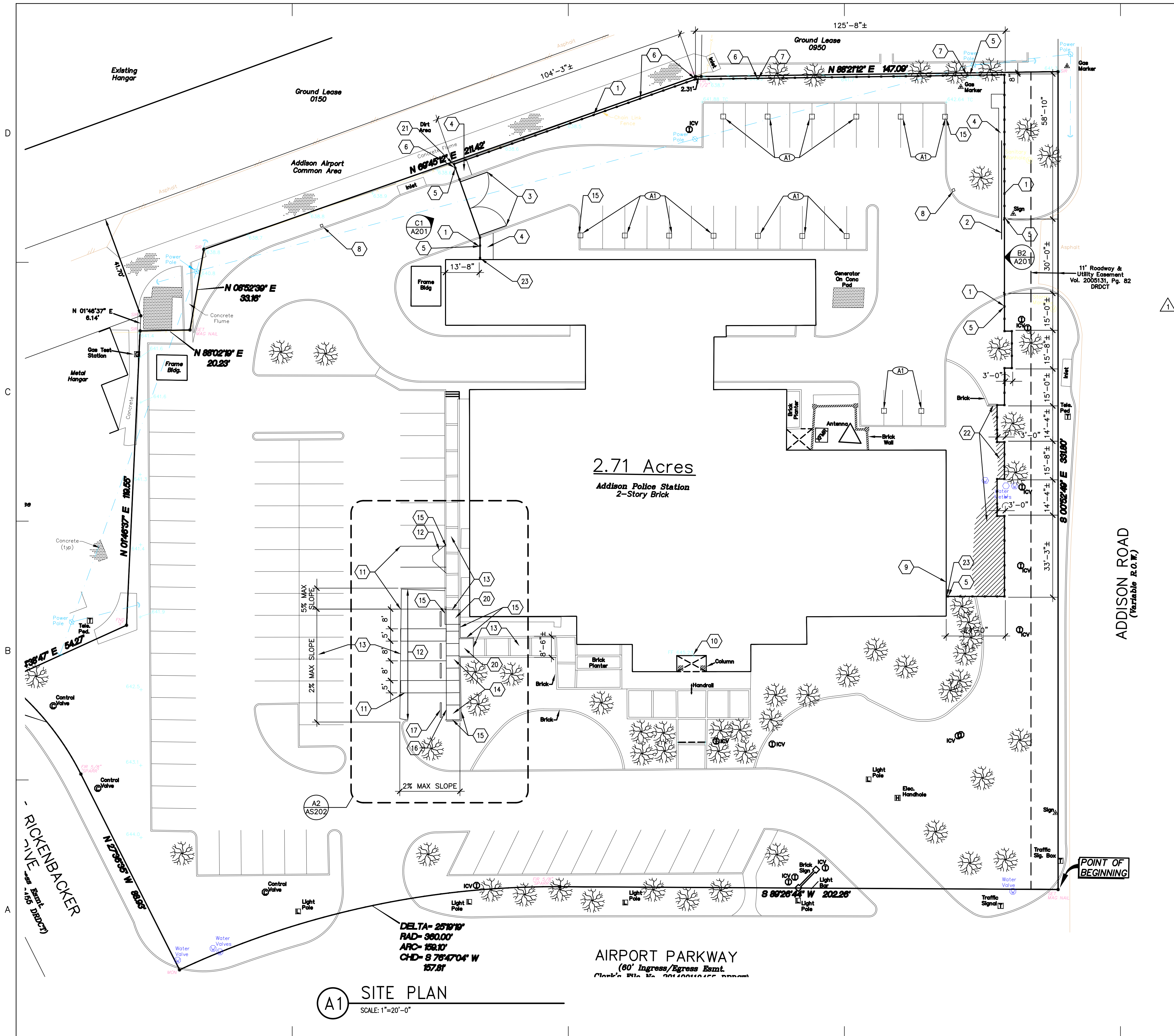
Addison Police Court Upgrade

4799 Airport Pkwy
Addison, TX 75001

MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE

SITE PLAN
AS102



A1 SITE PLAN
SCALE: 1"=20'-0"

KEY NOTES

1. NEW PRECAST BRICK WALL. EQUAL TO SUPERIOR CONCRETE PRODUCTS "SUPERIOR-BRICK". PROVIDE 7" POSTS AND ALL TRIM, CAPS AND ACCESSORIES. PROVIDE MATCHING FINISH ALL SIDES. MATCH BUILDING BRICK COLOR. MAINTAIN UNIFORM TOP ELEVATION OF WALL. WHEN POSSIBLE, MAINTAIN SITE DRAINAGE. PROVIDE CONCRETE MOW STRIP BELOW WALL WITH 4" MAXIMUM OPENING. PROVIDE COMPLETE WALL AND FOUNDATION ENGINEERING AND SHOP DRAWINGS FOR INSTALLATION OF "BRICK" WALL.
2. POWER OPERATED SLIDING GATE WITH ACCESS KEY PAD AND REMOTE ACCESS CONTROLS. 6' HIGH GATE. PROVIDE 4" MAXIMUM CLEARANCE AT SIDE AND BOTTOM OF GATE. PROVIDE LIFTMASTER SL3000 101U OPERATOR OR APPROVED EQUAL.
3. POWER OPERATED SWINGING GATE WITH KEY PAD AND REMOTE ACCESS CONTROLS. MATCH SLIDING GATE. PROVIDE LIFTMASTER CSM200 101U FOR EACH SIDE OF GATE.
4. 4" THICK CONCRETE PAD FOR GATE AND POWER CONTROL UNITS. CUT CURB AND PATCH CONCRETE AS REQUIRED FOR NEW GATE.
5. MINIMUM 6"± HIGH WALL.
6. NEW 10'± HIGH WALL.
7. NEW 8'± HIGH WALL.
8. APPROXIMATE LOCATION FOR KEY PAD. POST MOUNTING HEIGHT & EXTENSION TO BE CONFIRMED WITH OWNER. LIFTMASTER KPR2000 WITH PROXIMITY READER OR APPROVED EQUAL. PROVIDE 30 FOBS TO OWNER FOR PROXIMITY READER.
9. EXISTING WINDOW BEHIND NEW BRICK WALL.
10. NEW ALUMINUM THRESHOLD TO COMPLY WITH ADA/TAS. SET IN SEALANT. ALL NEW SEALS & NEW EXTRA LARGE SWEEPS AT ENTRY.
11. NEW PARKING STRIPES TO MATCH EXISTING.
12. NEW 6" THICK 3000 PSI CONCRETE ON COMPACTED FILL WITH #4 AT 12" OC EW AND DOWEL TO EXISTING PAVING. MATCH EXISTING CONCRETE TEXTURE. CONTROL JOINTS AT 20'± OC. PROVIDE SEALANT AT ALL CONSTRUCTION JOINTS.
13. EXISTING CONCRETE.
14. NEW 4" THICK 3000 PSI CONCRETE WALK ON COMPACTED FILL WITH 6X6/10X10 W/M REINFORCING. CONTROL JOINTS AT 5'± OC. SEAL ON CONSTRUCTION JOINTS. REF: A3/AS201 & A4/AS201
15. NEW 6"± CURB WITH #4 TOP AND BOTTOM. MATCH EXISTING PROFILE AND TEXTURE. INSTALL 12" MINIMUM BELOW GRADE. REF: A1/AS201 & A2/AS201
16. NEW POLE MOUNTED SIGNS AT EACH ACCESSIBLE PARKING SPACE RE: B3/AS201
17. NEW CONCRETE WHEEL STOPS ANCHORED TO CONCRETE BELOW. REF: B2/AS201
18. 5% MAXIMUM PAVING SLOPE
19. 2% MAXIMUM PAVING SLOPE
20. NEW CURB RAMP 1:12 MAXIMUM SLOPE REF: B1/AS201
21. NEW STEEL END POST @ TERMINATION OF EXISTING CHAIN LINK FENCE. MATCH EXISTING
22. NEW BRICK PAVERS TO MATCH EXISTING. EXTEND GROUND COVER TO NEW FENCE LINE
23. NEW CONCRETE END POSTS 4" MAX. FROM BUILDING

ALTERNATES

- A1. NEW 6" THICK 3,000 PSI CONCRETE ON COMPACTED FILL WITH #4 AT 12" OC EW AND DOWEL TO EXISTING PAVING. MATCH EXISTING CONCRETE TEXTURE. CONTROL JOINTS AT 20'± OC. PROVIDE SEALANT AT ALL CONSTRUCTION JOINTS.

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL RELOCATION OF EXISTING LAWN SPRINKLER HEADS.
2. COORDINATE ALL WORK WITH THE CITY. PROVIDE SCHEDULE FOR ALL WORK REQUIRING PARKING CLOSURES OR POWER DISRUPTION.
3. IF FENCE LOCATION REQUIRES REMOVAL OF TREES/SHRUBS, PROVIDE PLAN FOR OWNER APPROVAL PRIOR TO START OF WORK.
4. IF MINOR GRADING IS REQUIRED FOR FENCE, G.C. SHALL RE SOD ALL DISTURBED AREAS & ADJUST LAWN SPRINKLER COVERAGE TO PROVIDE IRRIGATION FOR LAWN



CONSULTANTS



Addison Police Court Upgrade

4799 Airport Pkwy
Addison, TX 75001

1	11/07/17	ADDENDUM 1-OWNER CHANGES
---	----------	--------------------------

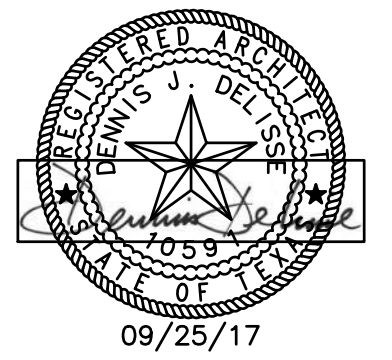
MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE

SITE PLAN

AS102

CONSULTANTS



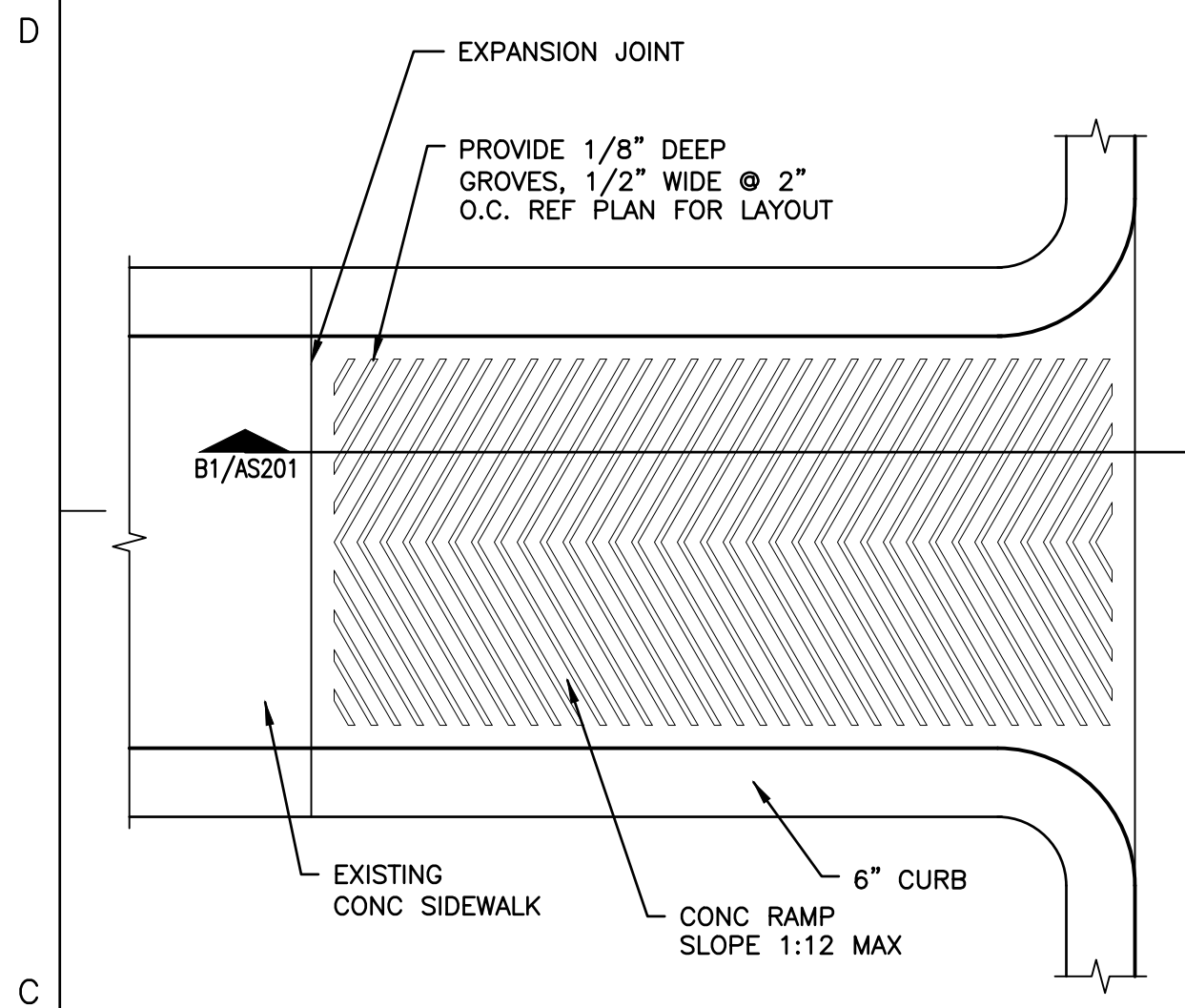
Addison Police Court Upgrade

4799 Airport Pkwy
 Addison, TX 75001

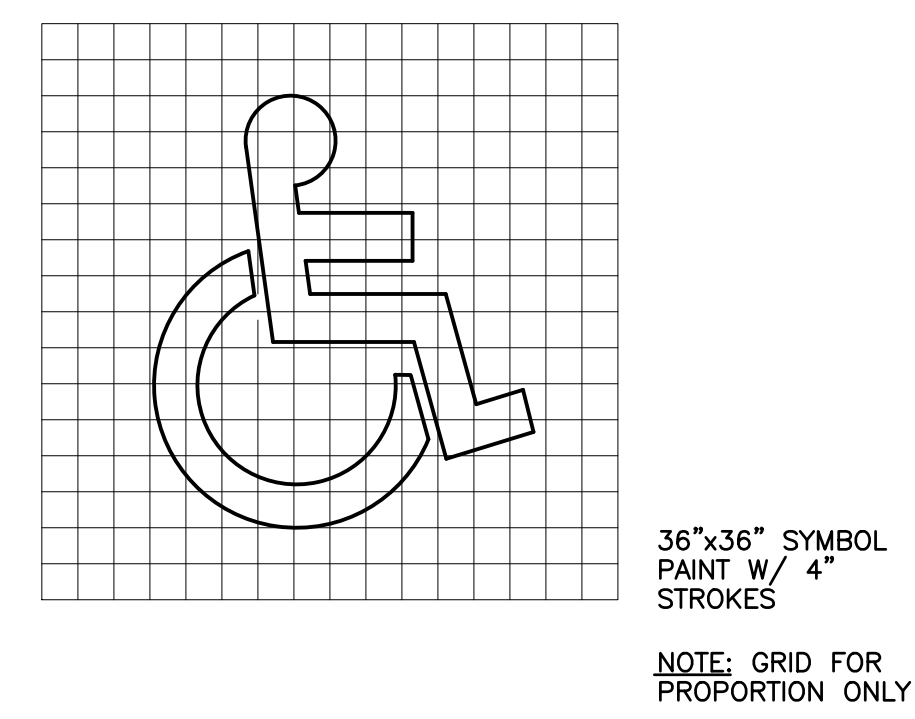
MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE
SITE DETAILS

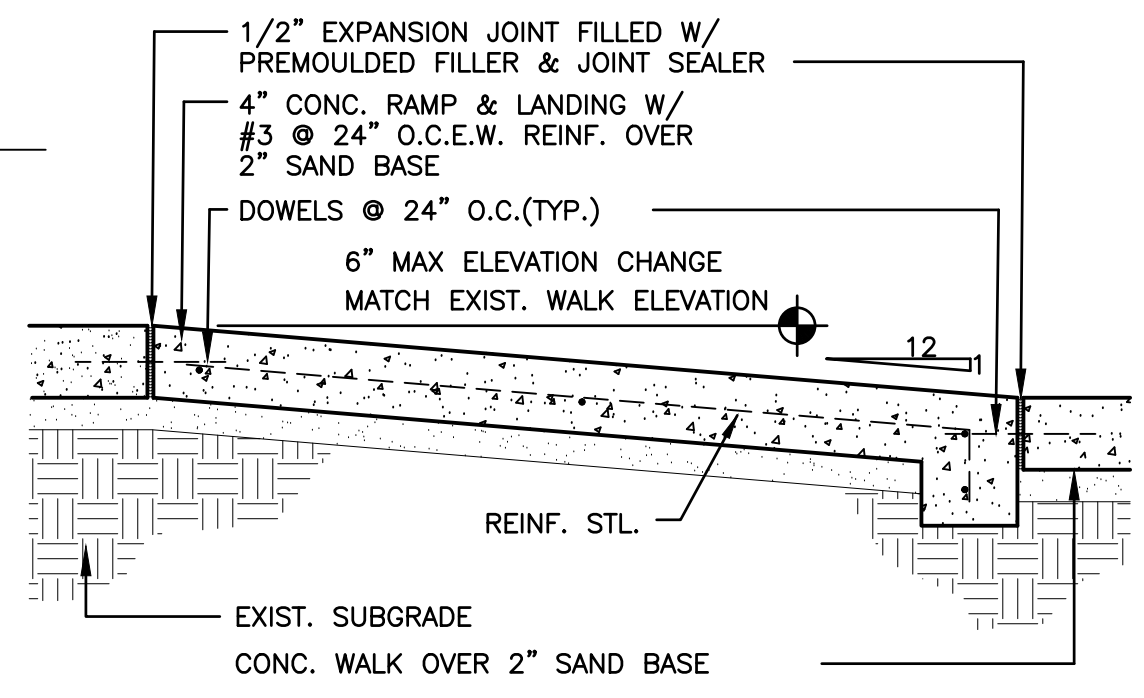
AS201



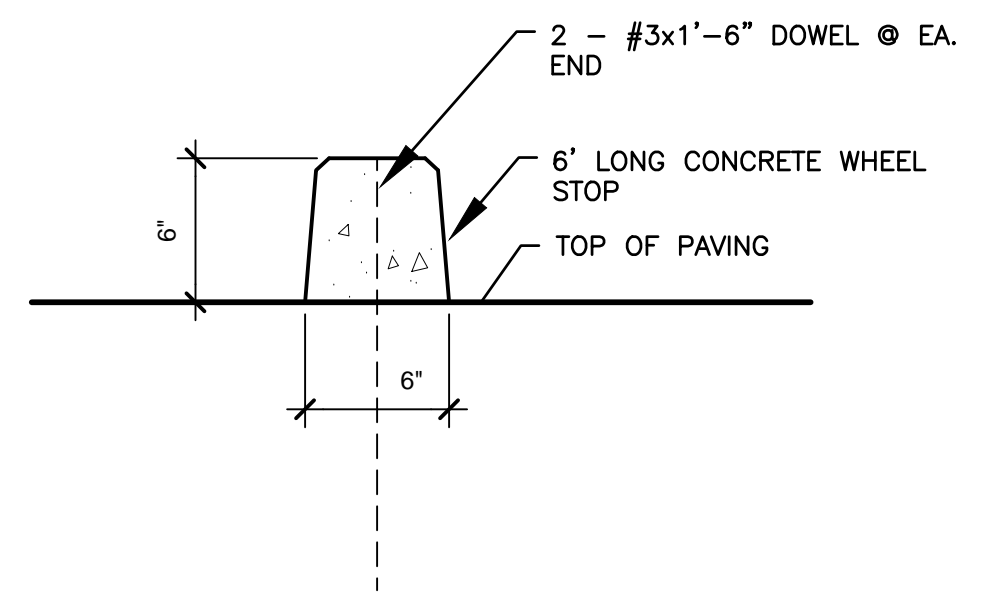
C1 CURB RAMP PLAN
 SCALE: 3/4"=1'-0" 01B1021a



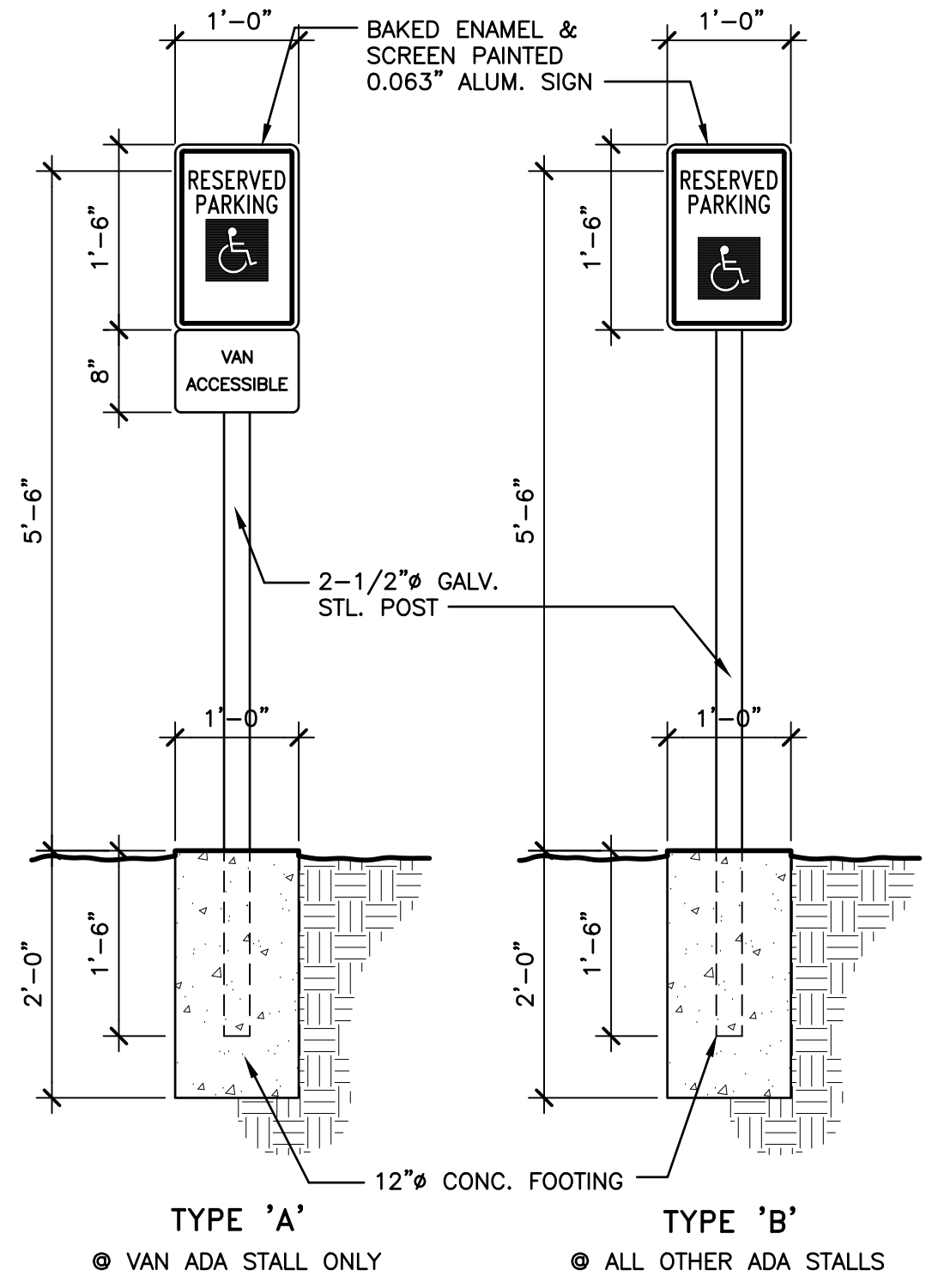
C2 ACCESSIBLE SYMBOL
 SCALE: 3/4"=1'-0" 01B1004a



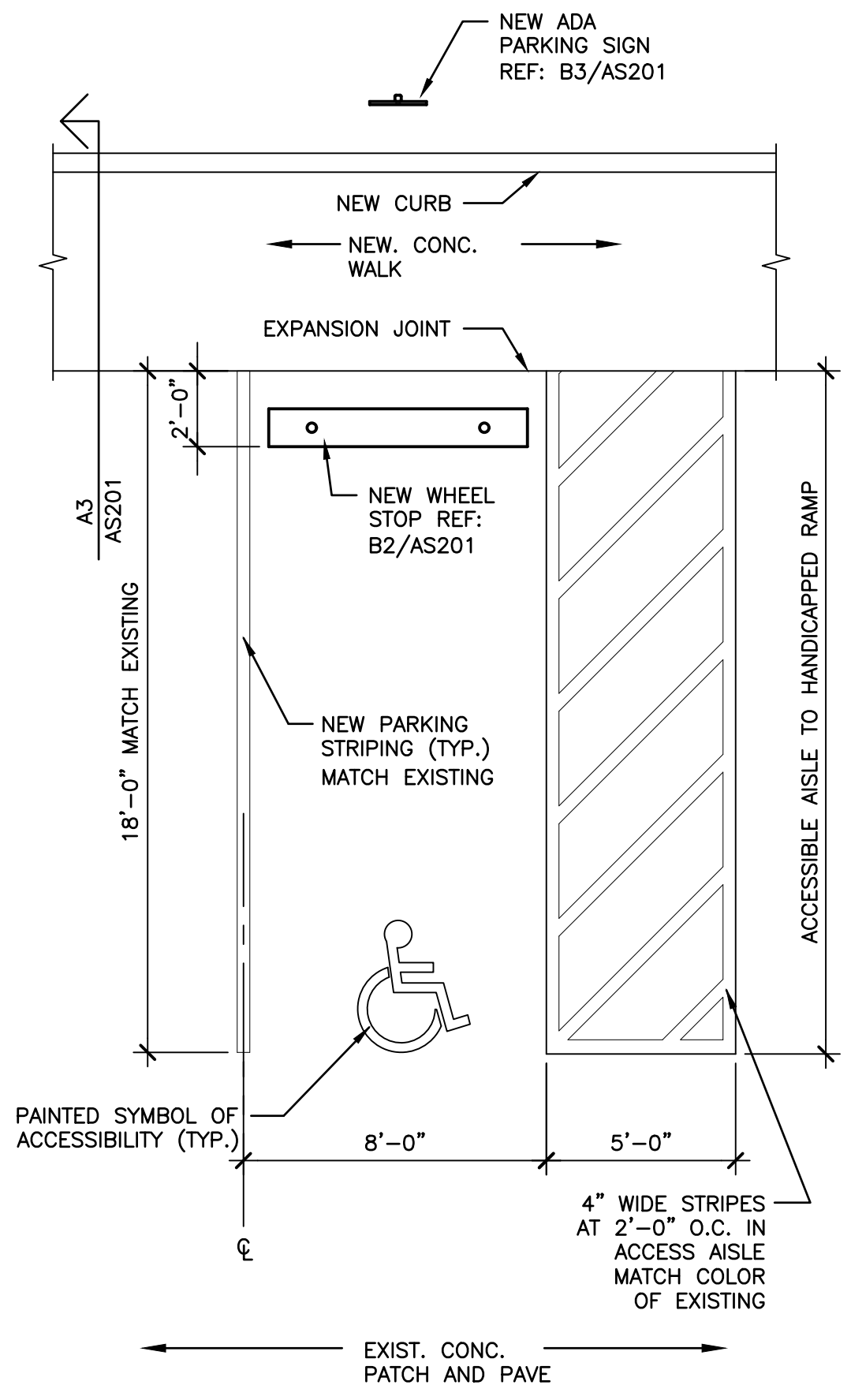
B1 RAMP SECTION
 SCALE: 1"=1'-0" 01B1010a



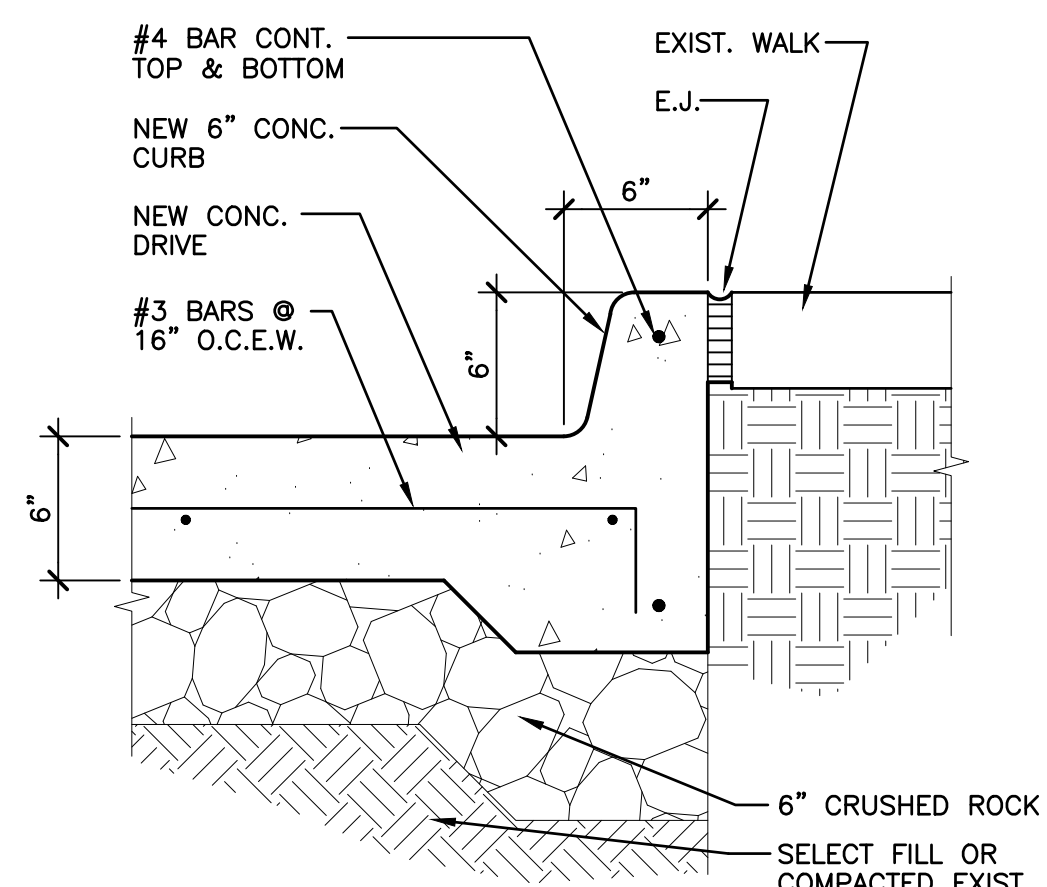
B2 CONCRETE WHEEL STOP
 SCALE: 1-1/2"=1'-0" 02A6004a



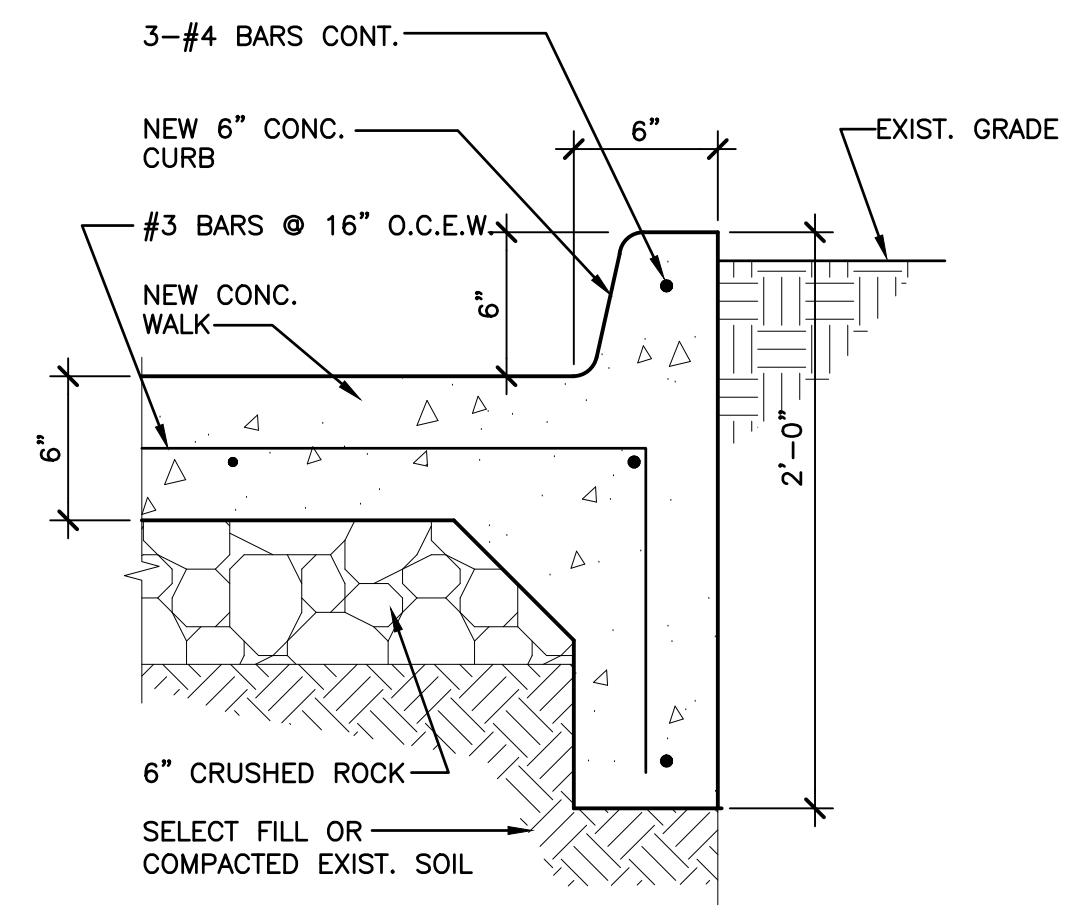
B3 HANDICAPPED ACCESS SIGN POST
 SCALE: 3/4"=1'-0" 01B1008a



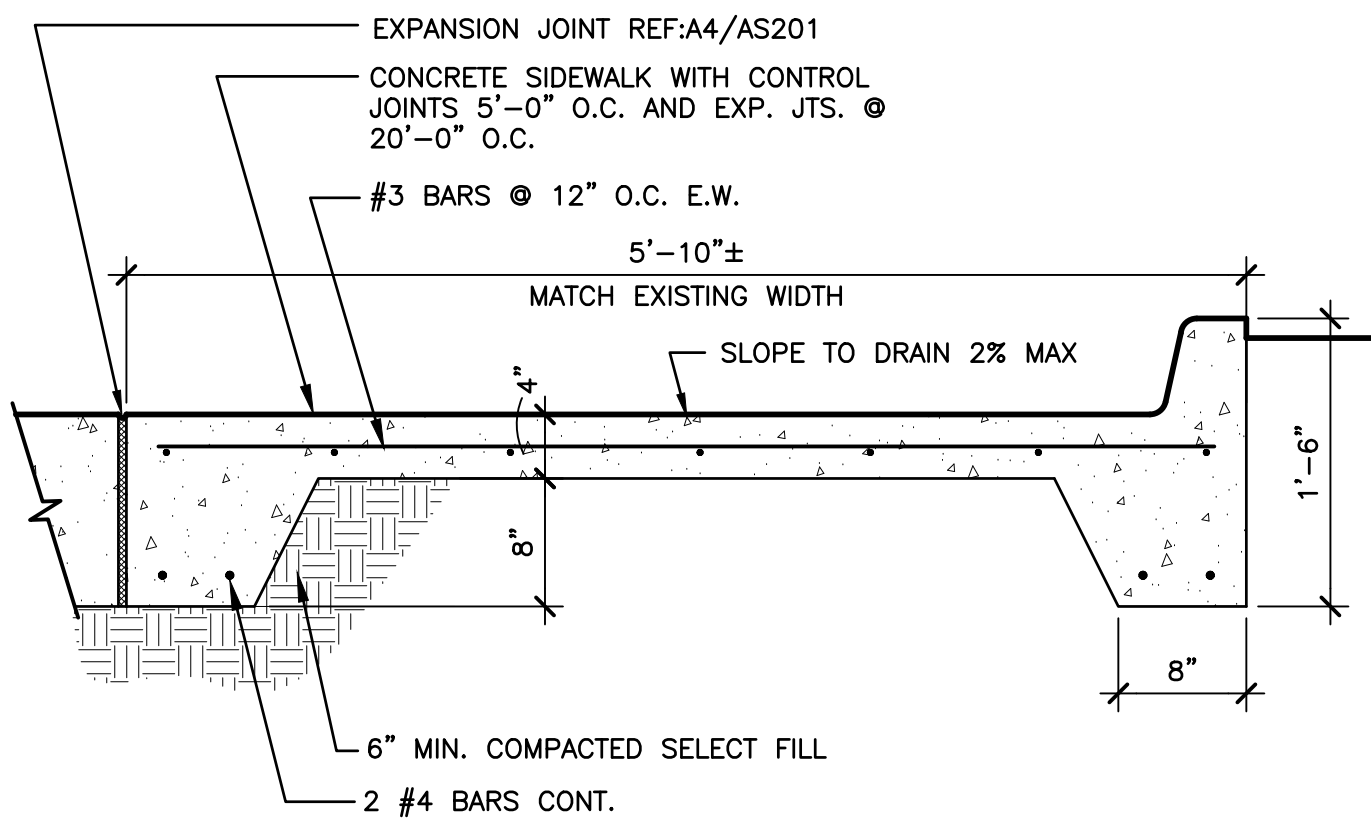
B4 HANDICAPPED PARKING SPACE
 SCALE: 1/4"=1'-0" 01B1001a



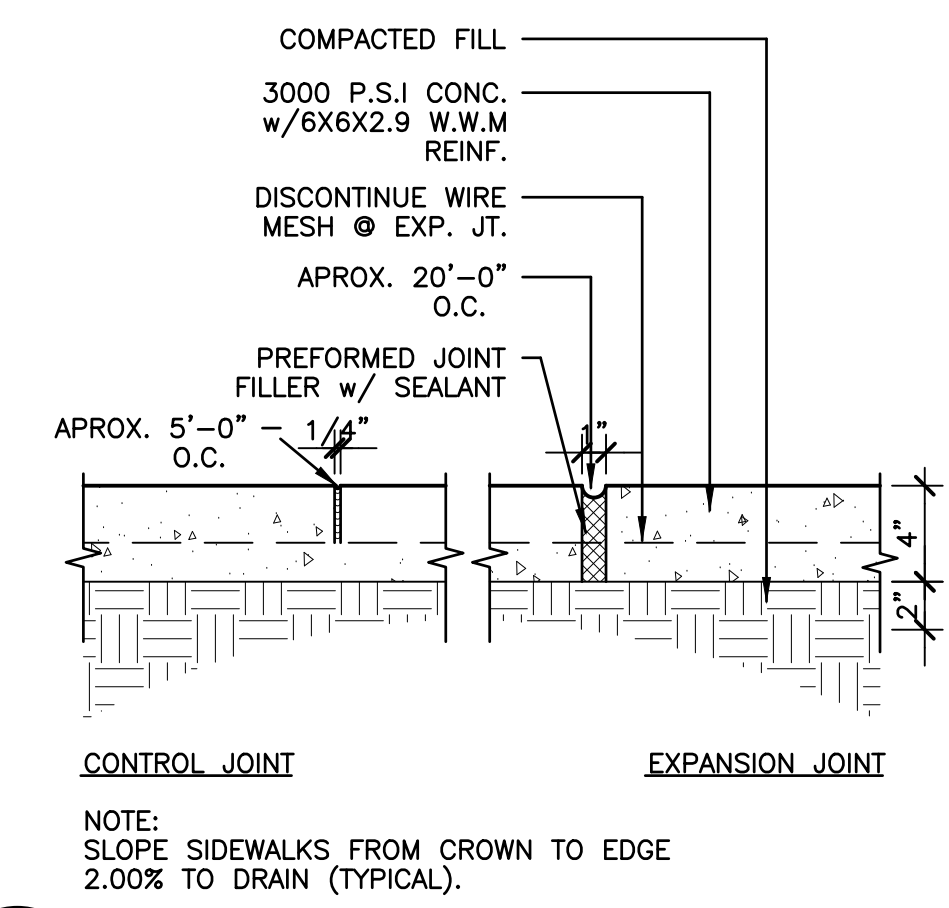
A1 CURB SECTION
 SCALE: 1-1/2"=1'-0" 02A1002a



A2 CURB SECTION
 SCALE: 1-1/2"=1'-0" 02A1003a



A3 CONCRETE SIDEWALK DETAIL
 SCALE: 1"=1'-0" 02A3001a



A4 TYP. SIDEWALK JOINTS
 SCALE: 1-1/2"=1'-0" 02A3002a

CONSULTANTS



Addison Police Court Upgrade

4799 Airport Pkwy
 Addison, TX 75001

MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE
ENLARGED SITE PLANS

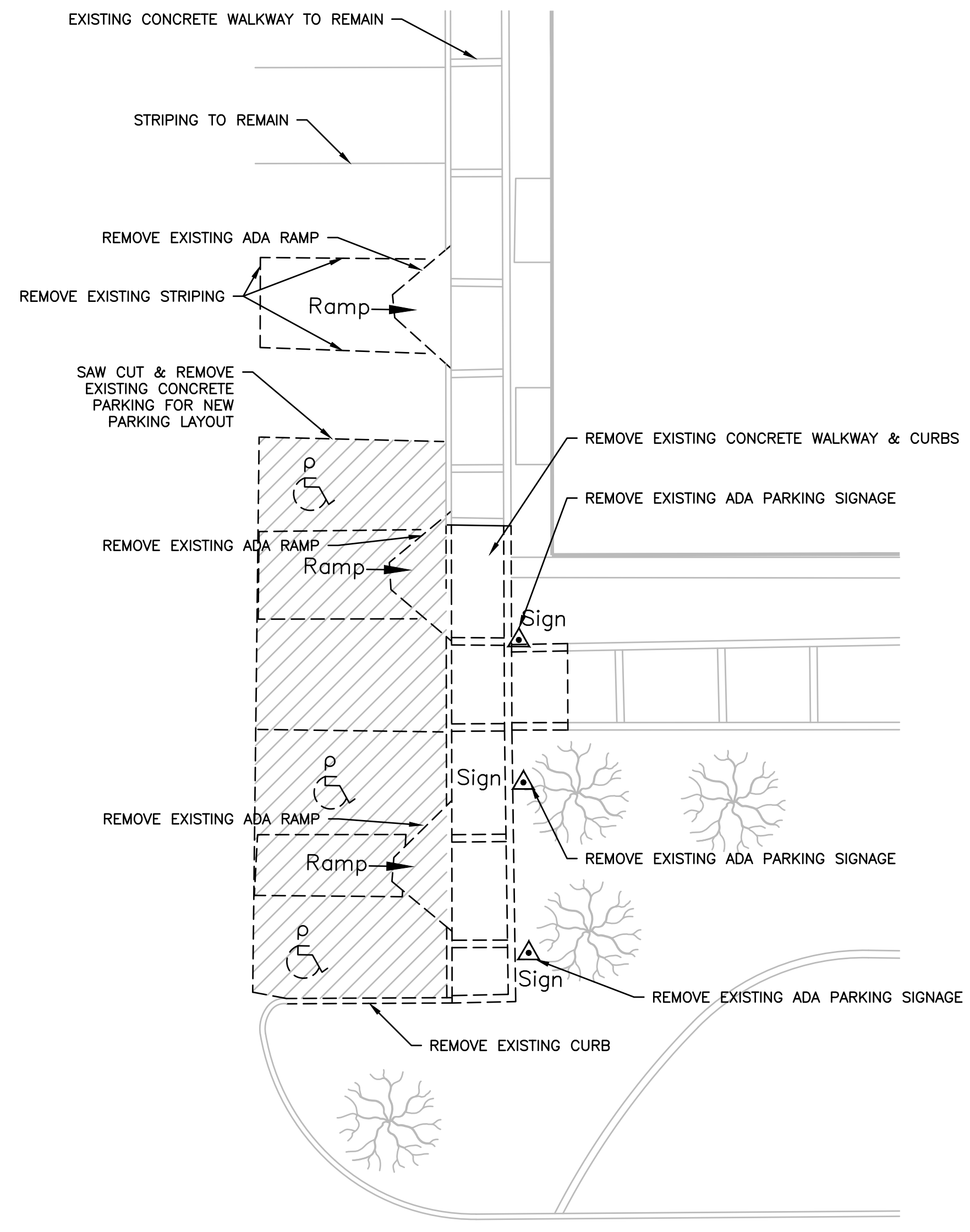
AS202

D

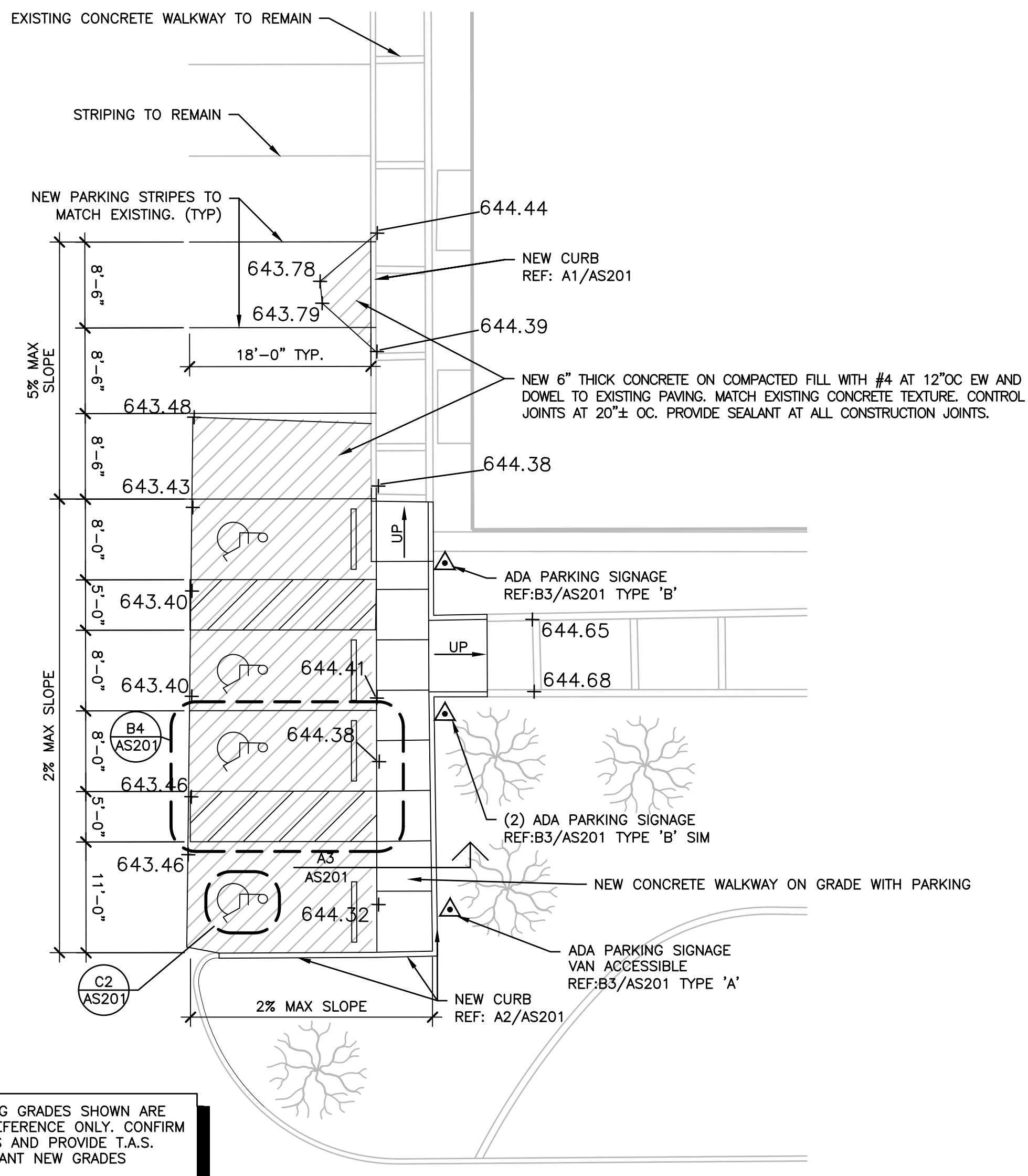
C

B

A

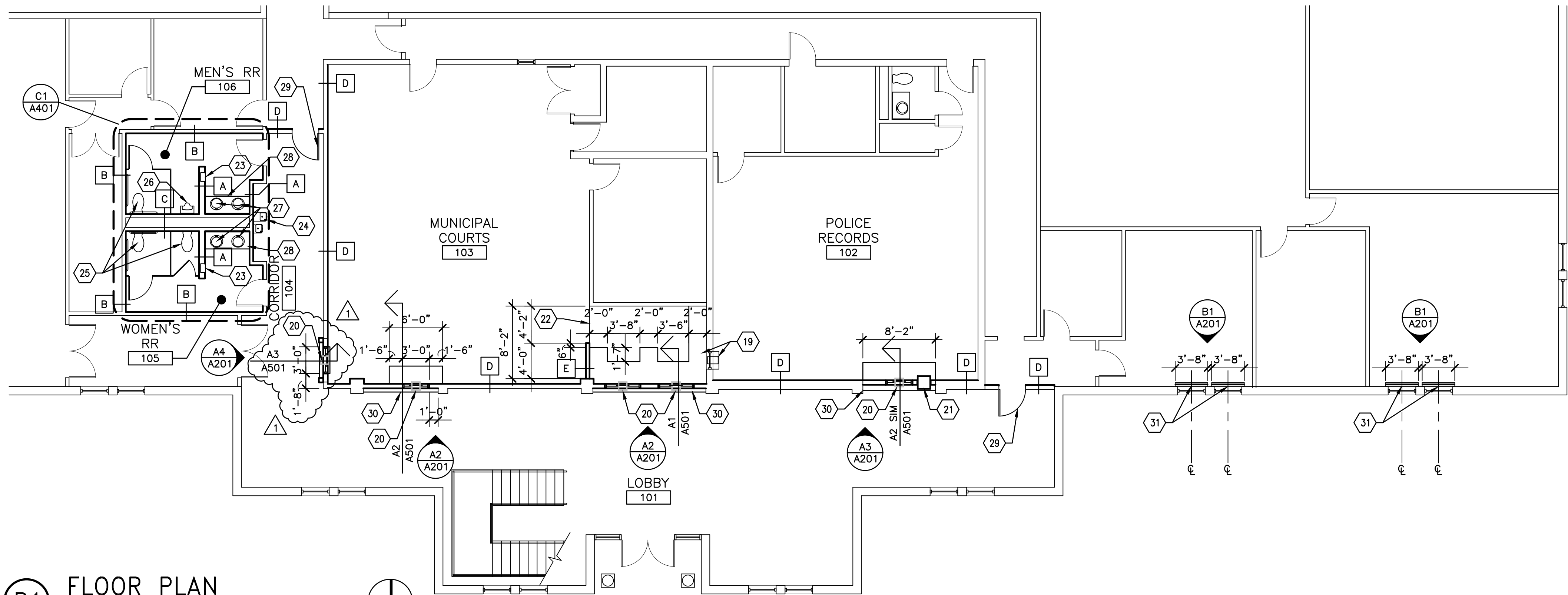


A1 ENLARGED DEMO PARKING PLAN
 SCALE: 1"=10'-0"

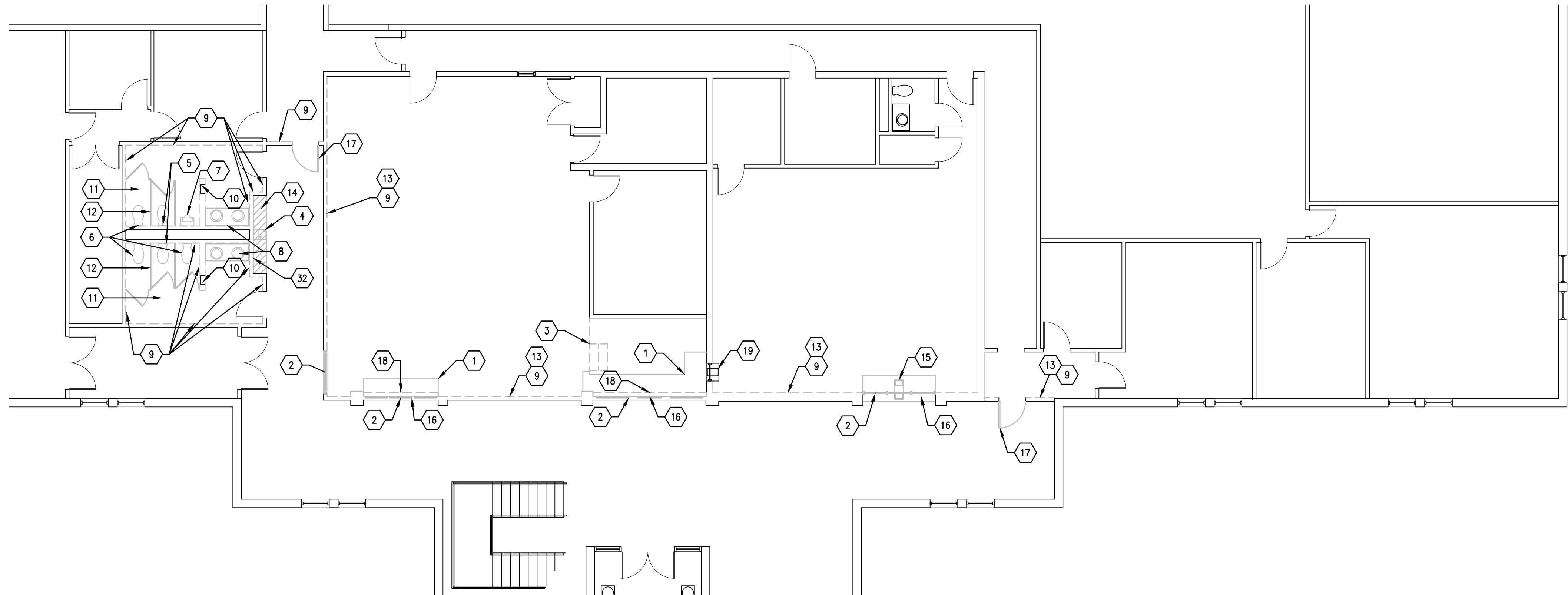


EXISTING GRADES SHOWN ARE FOR REFERENCE ONLY. CONFIRM GRADES AND PROVIDE T.A.S. COMPLIANT NEW GRADES

A3 ENLARGED PARKING PLAN
 SCALE: 1"=10'-0"



B1 FLOOR PLAN
SCALE: 1/8"=1'-0"



A1 DEMO FLOOR PLAN
SCALE: 1/8"=1'-0"

KEY NOTES

1. REMOVE EXISTING COUNTERS
2. REMOVE EXISTING GLAZING
3. REMOVE EXISTING RAISED PLATFORM. SALVAGE CARPET FOR RE-INSTALL OF NEW PLATFORM
4. REMOVE EXISTING WATER COOLER
5. REMOVE EXISTING WALL MOUNTED TOILET. CAP EXISTING PLUMBING LINES.
6. REMOVE EXISTING WALL MOUNTED TOILETS & CARRIERS
7. REMOVE EXISTING URINAL
8. REMOVE EXISTING COUNTERS, SINKS & MIRRORS
9. REMOVE ONE SIDE OF SHEET ROCK ON WALL AS INDICATED ON DRAWINGS. EXISTING STUDS TO REMAIN IN PLACE. REPLACE STUDS AS REQUIRED IF NEEDED.
10. REMOVE EXISTING RECESSED WALL MOUNTED PAPER TOWEL & TRASH UNIT. STORE FOR RE-USE IN NEW RESTROOM. LOCATION TO REMAIN THE SAME.
11. REMOVE ALL FLOOR TILE & WALL TILE IN RESTROOMS. PREP FOR NEW TILE FINISHES
12. REMOVE EXISTING TOILET PARTITIONS
13. REMOVE EXISTING CARPET AS NEEDED FOR INSTALLATION OF HARDENED WALLS. STORE FOR RE-INSTALLATION WHEN WALL IS COMPLETE.
14. REMOVE EXISTING CARPET FLOORING IN NICHE AND PREP FOR NEW TILE FLOORING
15. REMOVE EXISTING COUNTER AND PASS THROUGH TRAY.
16. REMOVE EXISTING WOOD HEADER & TRIM. WALL TO BE FLUSH WITH NEW SHEET ROCK ABOVE COUNTER.
17. REMOVE EXISTING DOOR & FRAME
18. REMOVE EXISTING OVERHEAD ROLLING DOOR @ EXISTING GLAZING
19. EXISTING WINDOW, COUNTER AND TRANSACTION TRAY TO REMAIN. ADJUST NEW COUNTER AS NEEDED.
20. NEW NON-RICOCHET LEVEL 3 BULLET RESISTANT 12"x12"x2" DROP-IN DEAL TRAY. CRL CATALOG NUMBER: BRT312 OR APPROVED EQUAL
21. NEW 16"x14"x14" LEVEL 3 GLAZED BULLET RESISTANT PACKAGE PASSER. TOTAL SECURITY SOLUTIONS PE | PACKAGE PASSER OR APPROVED EQUAL.
22. NEW 7" RAISED PLATFORM. INSTALL SALVAGED CARPET FROM DEMO. REF: A1/A501
23. REINSTALL EXISTING RECESSED PAPER TOWEL AND WASTE RECEPTACLE IN RESTROOMS
24. NEW ADA HI-LO WATER COOLER WITH ADA SKIRT. ELKAY EZTLVRBLC OR APPROVED EQUAL
25. NEW WALL MOUNTED TOILETS & HEAVY DUTY CARRIERS
26. NEW URINAL
27. NEW UNDER MOUNTED SINKS & NEW FAUCETS
28. NEW QUARTZ COUNTER TOPS
29. NEW METAL LEVEL 7 BULLET RESISTANT DOORS & FRAMES WITH CRASH BAR EGRESS HARDWARE. PAINT-COLOR TBD. REF: C5/A501 VERIFY ACCESS CONTROL SYSTEM W/ OWNER
30. EXISTING WOOD PANELING TRIM TO REMAIN. ADJUST AS NEEDED AT NEW COUNTERS. REFERENCE PHOTOS ON A501
31. 3'-8" x 8'-0" LEVEL 3 BULLET RESISTANT POLYCARBONATE GLAZING SUPPORTED ON HOLLOW METAL FRAM WITH END CAPS & STAINLESS STEEL STANDOFFS ANCHORING TO WALL. VERIFY IN FIELD FOR ALL TRIM AND DIMENSIONS. NEW BULLET RESISTANT GLAZING TO OVERLAP OPENING MINIMUM 3" ON EACH SIDE OF EXISTING OPENING. REF: B1/A201
32. REMOVE EXISTING WOOD PANELING TO CEILING ON BACK WALL OF EXISTING WATER COOLER LOCATION. PREP FOR NEW TILE WAINSCOT AND PAINTED GYP. BD. ABOVE. REF: B1/A401. SIDE WALLS SHALL REMAIN AS-IS. PROTECT SIDE WALLS FROM DAMAGE DURING CONSTRUCTION.

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL RELOCATION OF EXISTING FIRE SPRINKLER HEADS & NEW EXIT LIGHTING.
2. ALL EXISTING POWER, DATA & WALL FIXTURES TO REMAIN IN SAME LOCATION. ADJUST WALL APPLICATION AS NEEDED ON NEW HARDENED WALLS.
3. ALL EXISTING CEILINGS, LIGHT FIXTURES, EXIT LIGHTS, STROBES, ETC. TO REMAIN.

SYMBOLS LEGEND

- NEW WALL PARTITIONS
- EXISTING WALL
- DEMOLITION WALL
- TELEPHONE/DATA OUTLET-STUB UP CONDUIT 6" ABOVE CEILING. PROVIDE PULL STRING



CONSULTANTS



Addison Police Court Upgrade

4799 Airport Pkwy
Addison, TX 75001

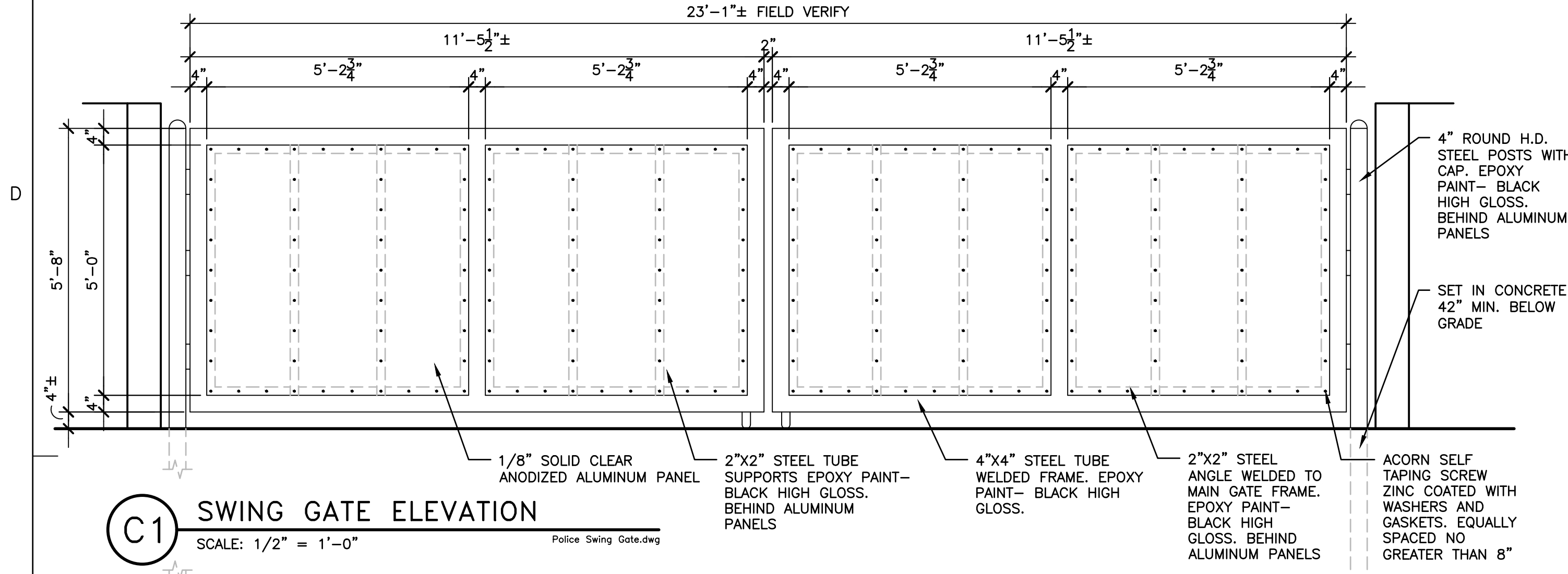
11/07/17 ADDENDUM 1-OWNER CHANGES

MARK	DATE	DESCRIPTION
ISSUE:		09/25/17
PROJECT NO:		6170203
FILE:		.dwg
DRAWN BY:		EB
CHECKED BY:		DJD

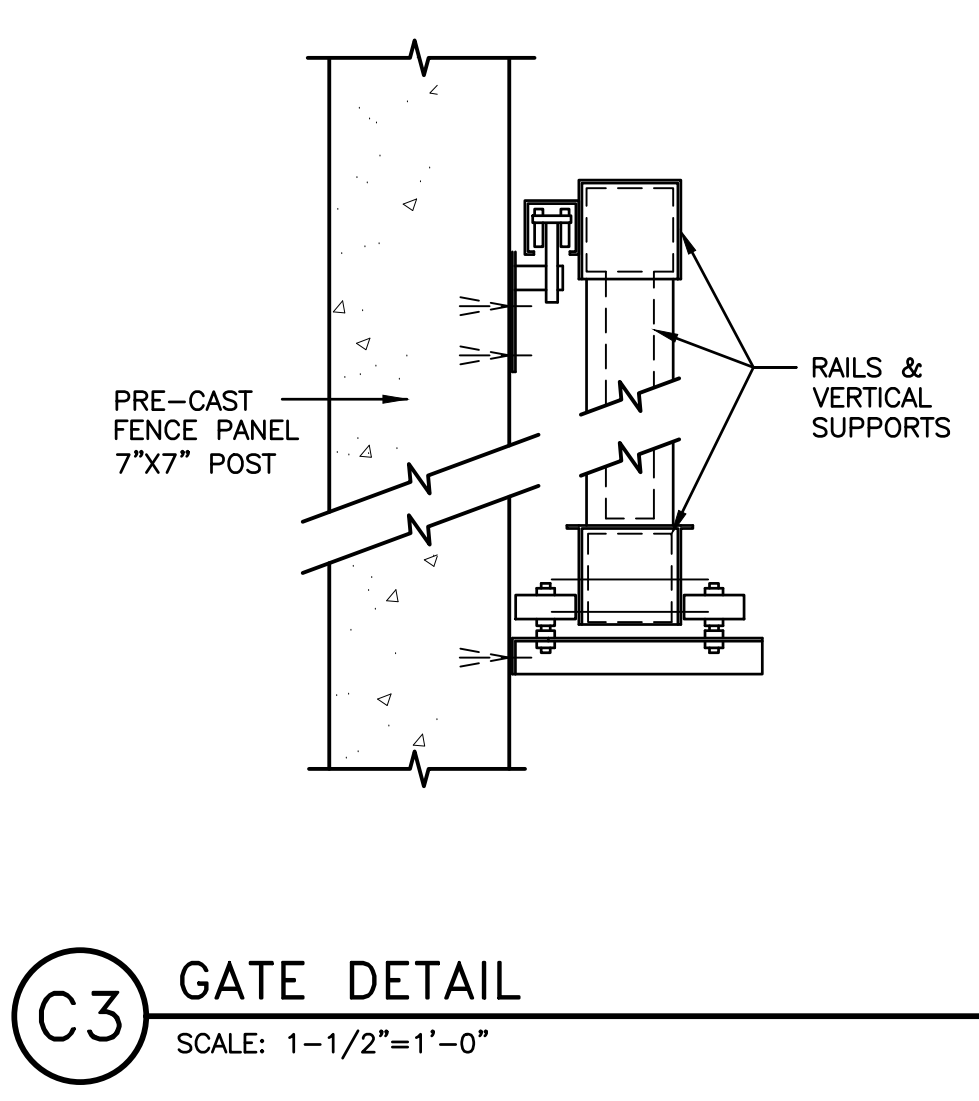
SHEET TITLE

DEMO PLAN & FLOOR PLAN

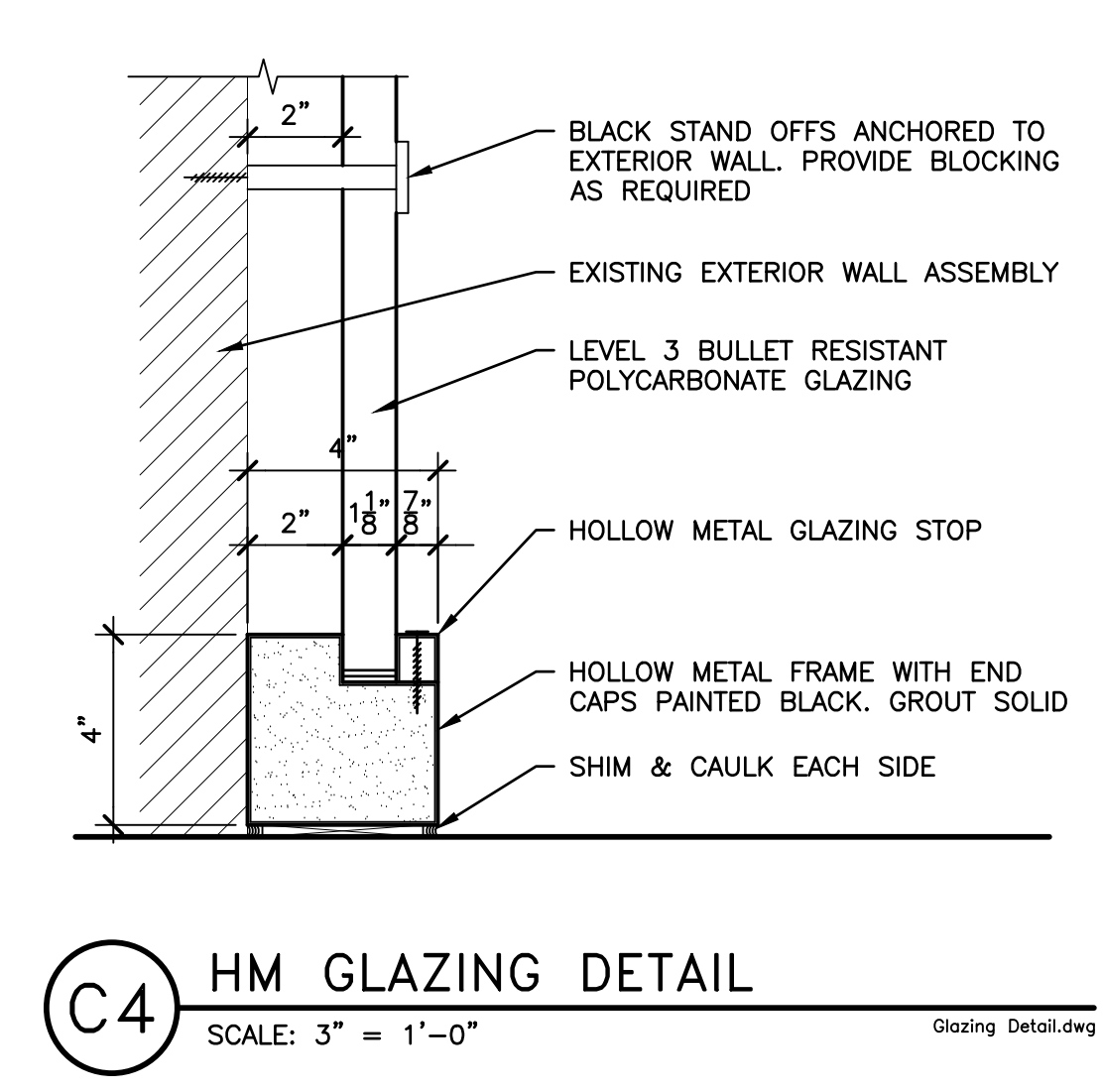
A101



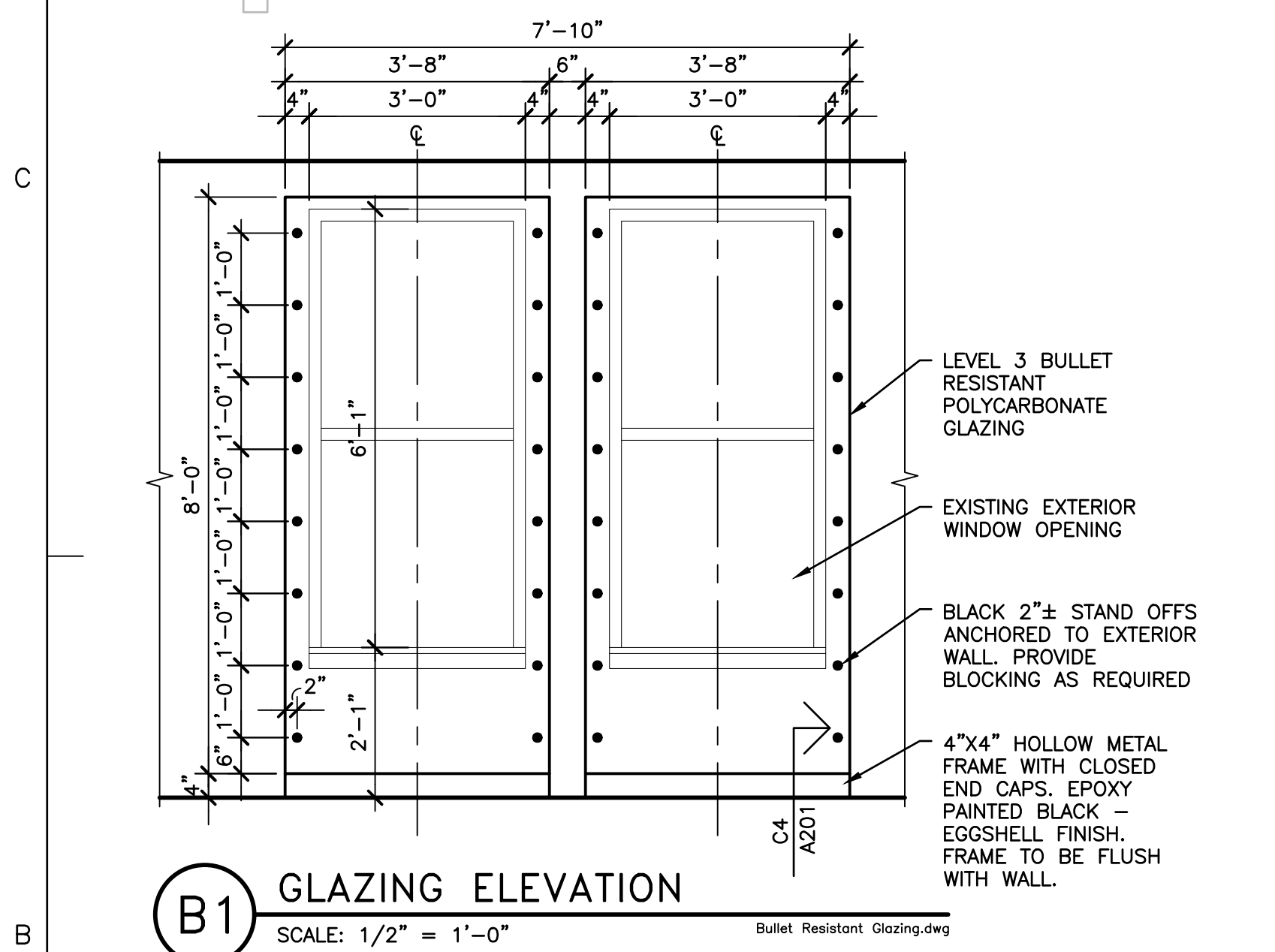
C1 SWING GATE ELEVATION
 SCALE: 1/2" = 1'-0"
 Police Swing Gate.dwg



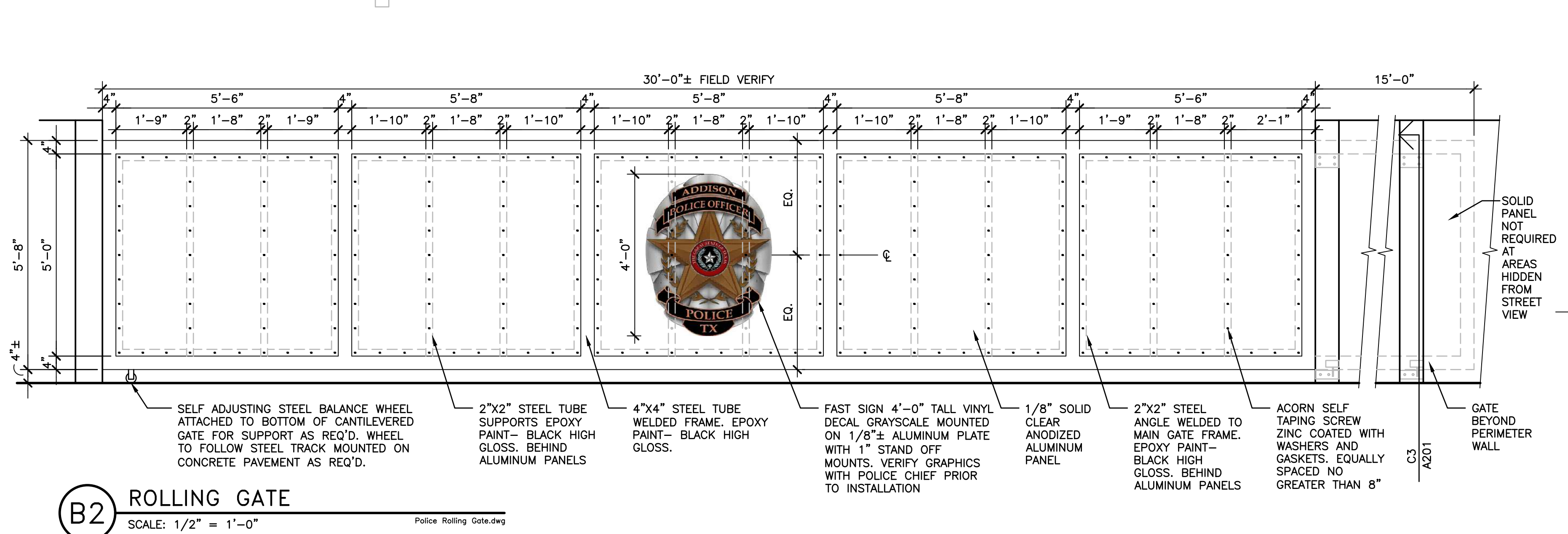
C3 GATE DETAIL
 SCALE: 1-1/2"=1'-0"
 02C1001A



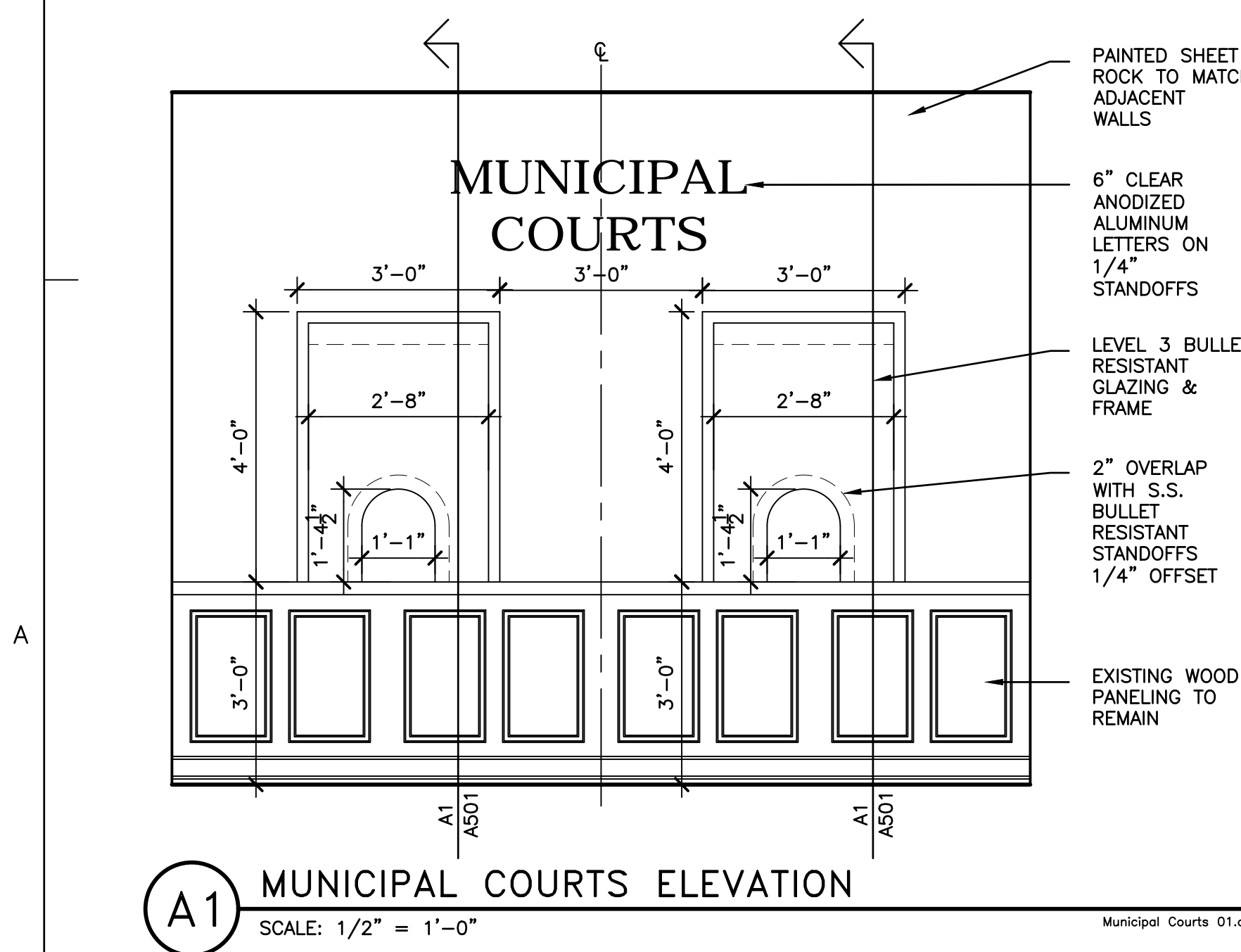
C4 HM GLAZING DETAIL
 SCALE: 3" = 1'-0"
 Glazing Detail.dwg



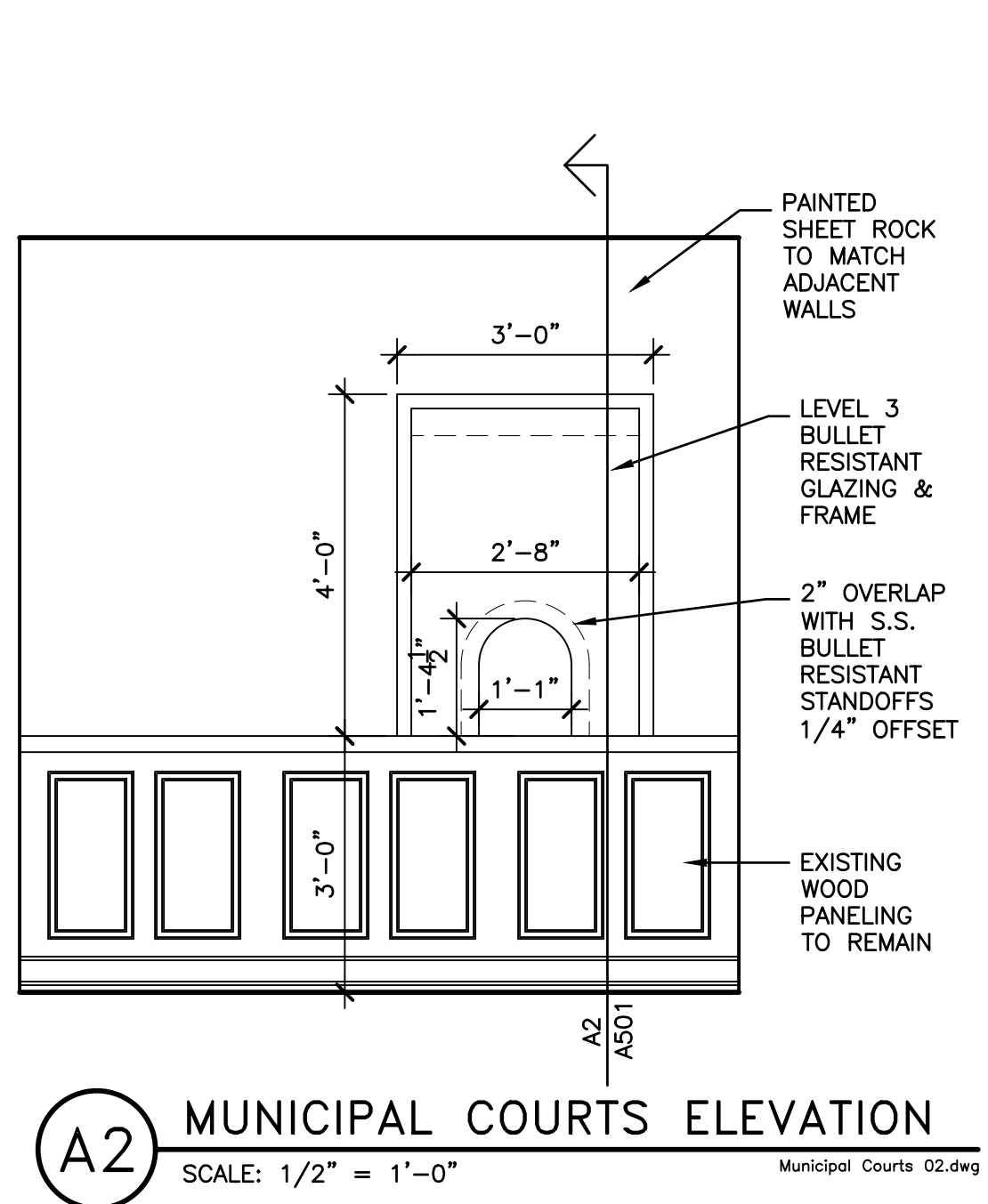
B1 GLAZING ELEVATION
 SCALE: 1/2" = 1'-0"
 Bullet Resistant Glazing.dwg



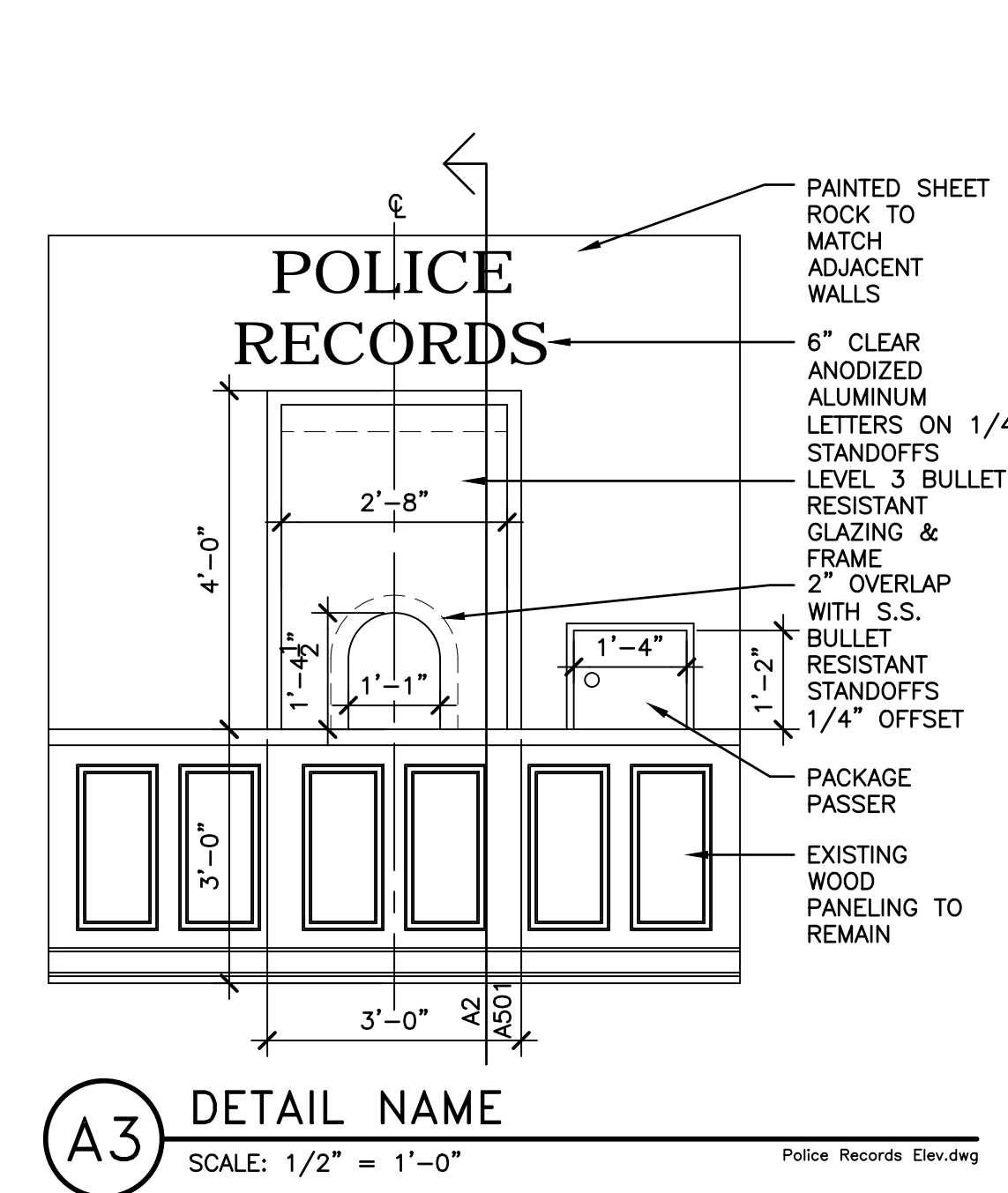
B2 ROLLING GATE
 SCALE: 1/2" = 1'-0"
 Police Rolling Gate.dwg



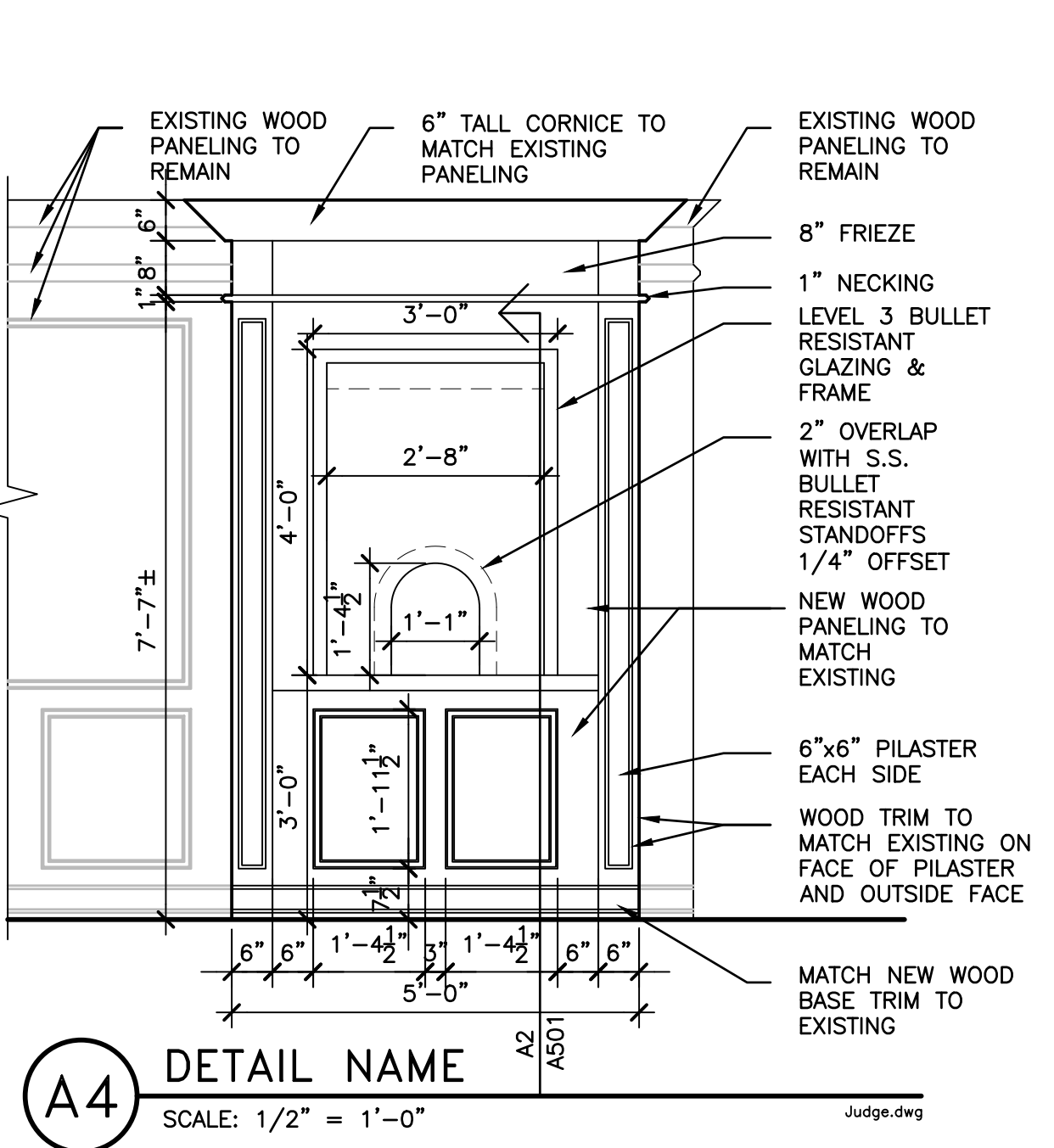
A1 MUNICIPAL COURTS ELEVATION
 SCALE: 1/2" = 1'-0"
 Municipal Courts 01.dwg



A2 MUNICIPAL COURTS ELEVATION
 SCALE: 1/2" = 1'-0"
 Municipal Courts 02.dwg



A3 DETAIL NAME
 SCALE: 1/2" = 1'-0"
 Police Records Elev.dwg



A4 DETAIL NAME
 SCALE: 1/2" = 1'-0"
 Judge.dwg

CONSULTANTS



Addison Police Court Upgrade

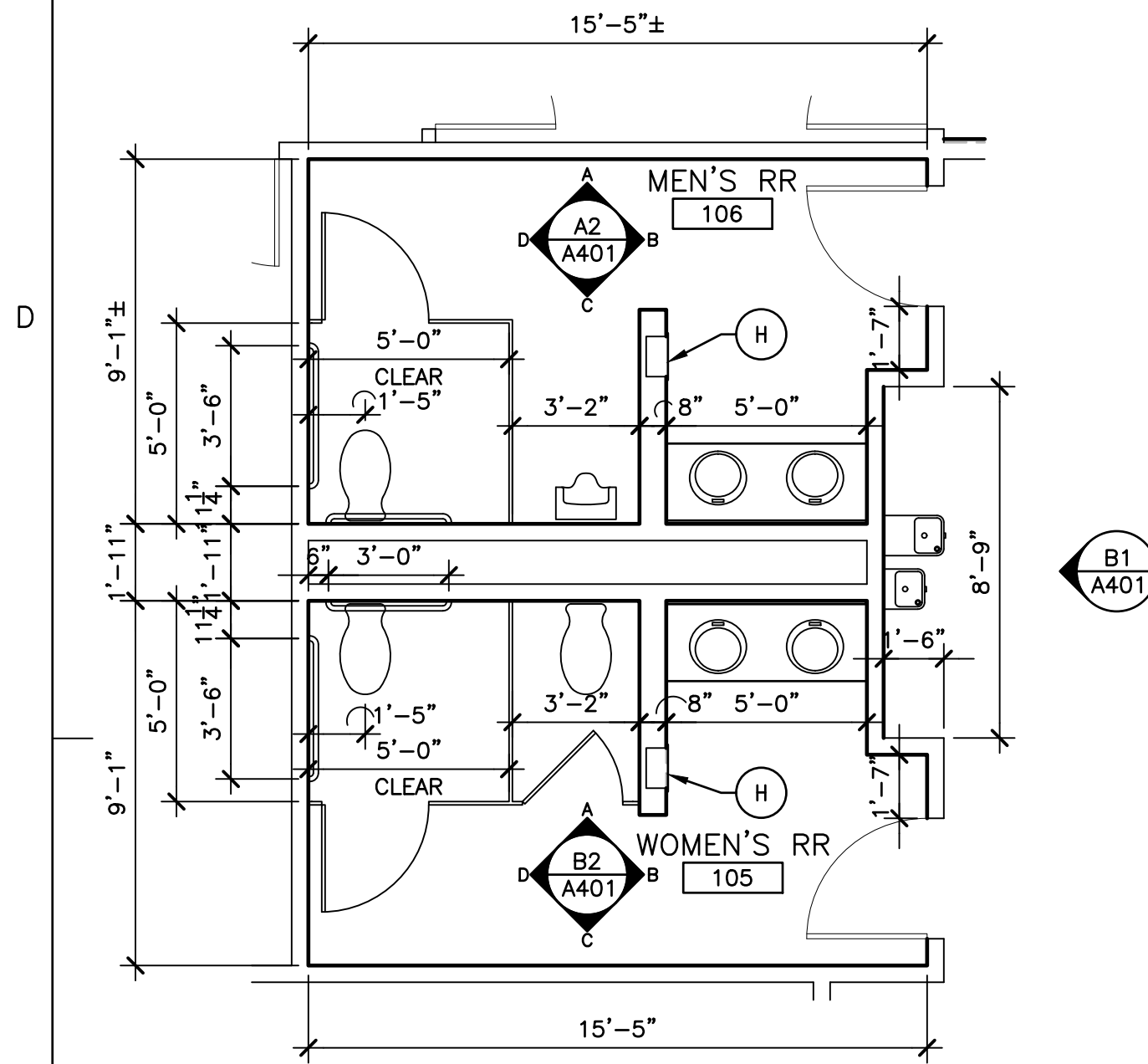
4799 Airport Pkwy
 Addison, TX 75001

MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

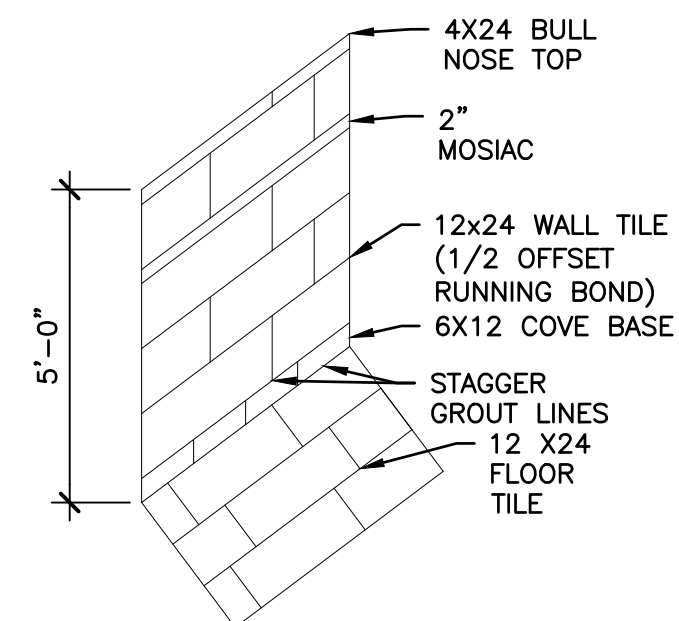
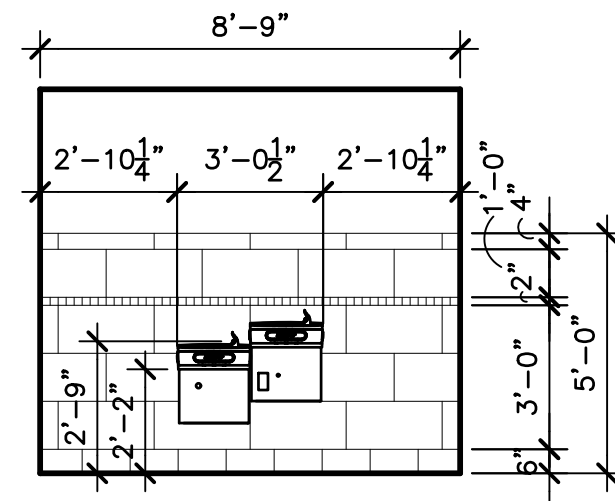
SHEET TITLE

ELEVATIONS

A201



C1 ENLARGED RESTROOM PLANS
SCALE: 1/4"=1'-0"

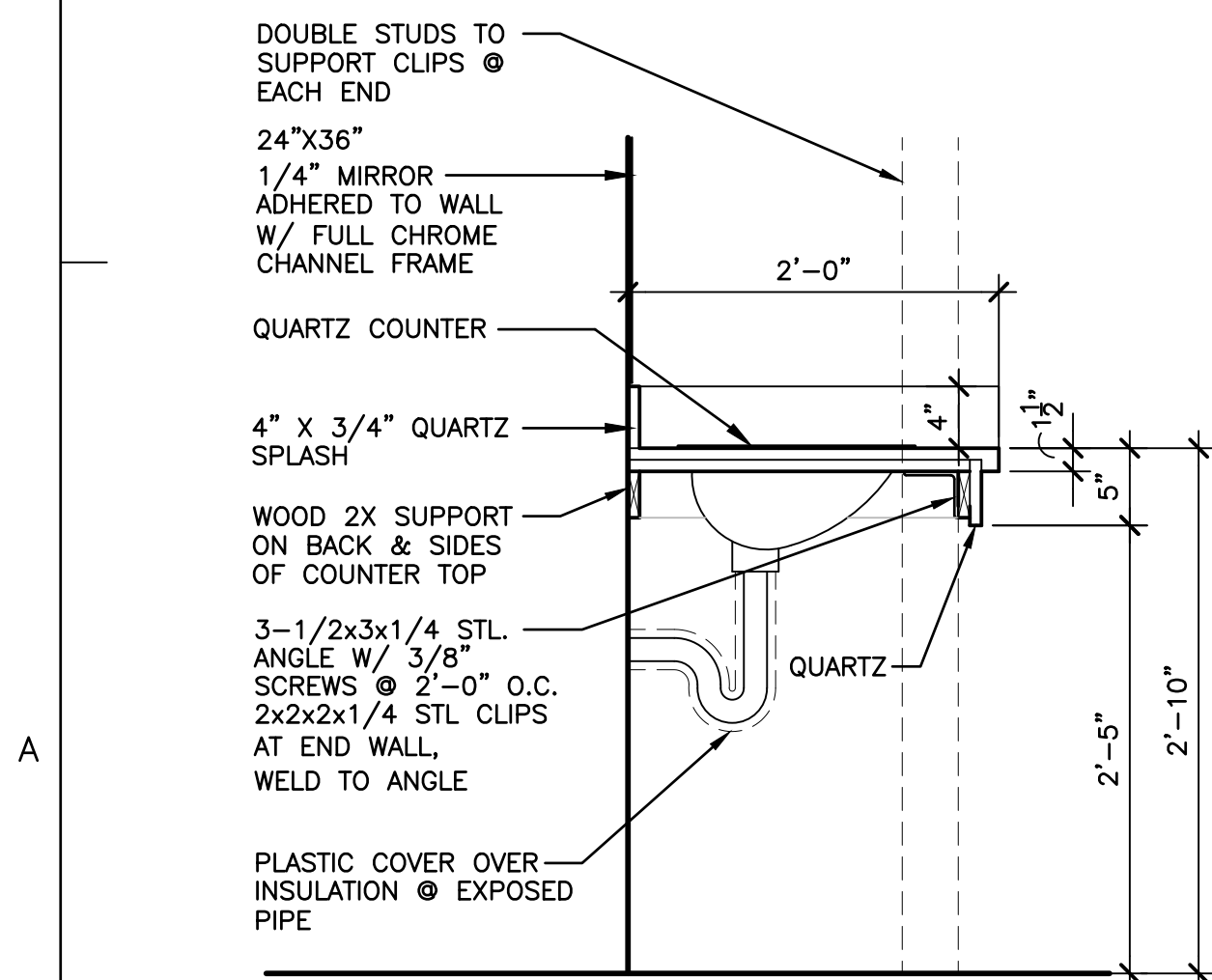


GENERAL NOTE:
BULLNOSE A FULL 12X24 TILE ON ALL OUTSIDE CORNERS.



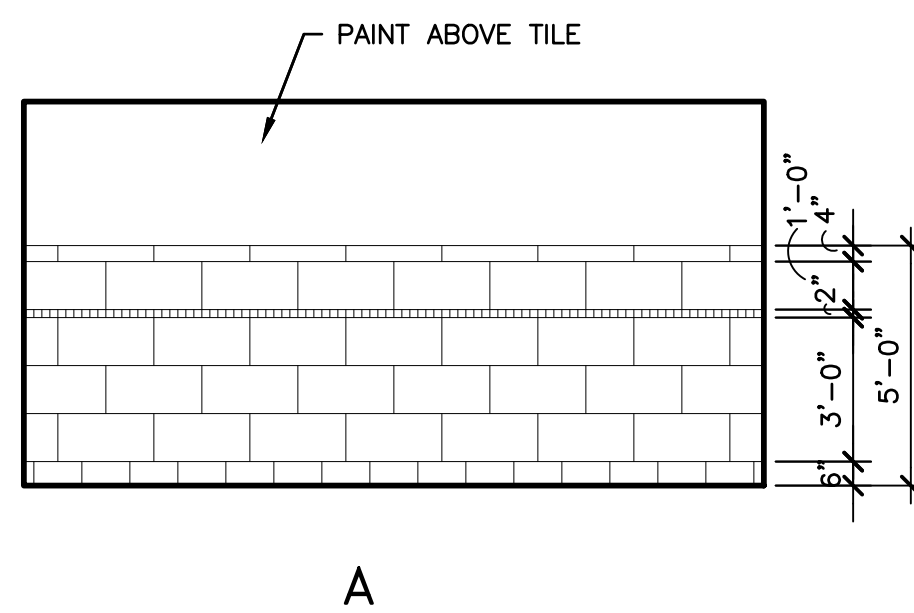
C2 TOILET & ACCESSORIES MOUNTING HEIGHTS
SCALE: 1/2"=1'-0"

B1 WATER COOLER
SCALE: 1/4"=1'-0"

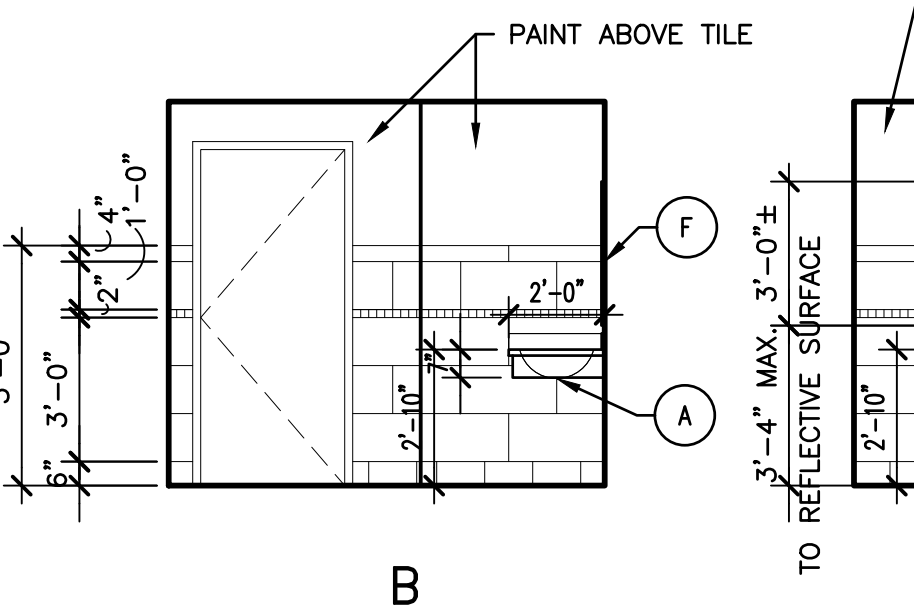


A1 SECTION @ LAVATORY
SCALE: 1"=1'-0"

B2 WOMEN'S RR
SCALE: 1/4"=1'-0"



A2 MEN'S RR
SCALE: 1/4"=1'-0"



MATERIALS KEY										
NO.	DESCRIPTION	MFR & MODEL No.								
F1	PORCELAIN TILE	AMERICAN TILE BLENDE CINEREA HONED 12X24 TILE WITH GROUT: ARDEX - COLOR: SLATE 14. CONTACT DEBBIE MICHALSKI 214/682/8243 FOR MATERIAL AND PRICING. PROVIDE SCHLUTER SCHIENE STRIP AT EXISTING HALLWAY.								
F2	CARPET	MATCH EXISTING INSTALLATION								
B1	PORCELAIN COVE BASE	AMERICAN TILE BLENDE CINEREA HONED 6" COVE BASE								
B2	RUBBER BASE	MATCH EXISTING RUBBER BASE								
W1	PAINT	MATCH EXISTING PAINT COLOR IN HALLWAY.								
W2	60" TILE/W3 ABOVE	AMERICAN TILE BLENDE BRUME HONED 12X24 TILE WITH GROUT: ARDEX - COLOR: SLATE 14. WITH HONED BLENDE BRUME 2X2 MOSAIC & HONED 4"X24" BULLNOSE @ TOP OF WAINSCOT								
W3	RESTROOM PAINT	SHERWIN WILLIAMS COLOR: VERIFY WITH OWNER-EGG SHELL FINISH								
C1	PAINTED GYP. BD.	PATCH AND REPAIR EXISTING CEILING AS REQUIRED. PAINT SHERWIN WILLIAMS COLOR: MATCH EXISTING - FLAT FINISH								
SPECIAL MATERIALS										
Q1	QUARTZ	SILESTONE BLACK ANUBIS								
	ELECTRICAL COVER PLATES	COLOR : WHITE								
FINISH SCHEDULE										
RN#	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CLG	C'HGT	REMARKS
105	WOMEN'S RR	F1	B1	W2	W2	W2	W2	C1	8'-0"±	-
106	MEN'S RR	F1	B1	W2	W2	W2	W2	C1	8'-0"±	-
PLUMBING FIXTURES & ACCESSORIES SCHEDULE										
REF	ITEM	REMARKS								
A	H.C. LAVATORY	34" A.F.F. TO RIM-CHINA WHITE-MAX DEPTH OF BOWL 6-1/2" AMERICAN STANDARD ORBITT UNDERCOUNTER SINK								
B	H.C. WATER CLOSET	WALL MOUNTED 17" TO 19" A.F.F. TO TOP OF SEAT-CHINA WHITE. AMERICAN STANDARD 1.1 GPF AFWALL SYSTEM W/ EVERCLEAN & SELECTRONIC EXPOSED AC FLUSH VALVE								
C	H.C. URINAL	17" A.F.F. MAX TO TOP OF RIM AMERICAN STANDARD WASHBROOK FLOWISE .5GPF HIGH EFFICIENCY URINAL SYSTEM SELECTRONIC EXPOSED AC FLUSH VALVE.								
D	36" GRAB BAR	36" A.F.F.								
E	42" GRAB BAR	36" A.F.F.								
F	24X36 MIRROR	40" A.F.F. MAX TO REFLECTIVE SURFACE TO 74" MIN TOP HEIGHT/PENCIL EDGE BRADLEY STANDARD MODEL 781-2436								
G	TOILET PAPER DISPENSER	24" A.F.F. TO CENTER 7-9" MAX FROM FRONT OF TOILET. BRADLEY DUAL ROLL MODEL #: 5224								
H	PAPER TOWEL DISPENSER	40" AFF TO PAPER DISPENSER. SALVAGED & INSTALLED								
J	LAVATORY FAUCET	AMERICAN STANDARD SENSOR FAUCET - SELECTRONIC CAST PROXIMITY METERING FAUCET MODEL #: 6055.104								
K	LAVATORY DRAIN PIPE COVER	WHITE								
L	COAT HOOK	48" AFF TO HOOK BEHIND EACH PARTITION DOOR								
M	NOT USED	-								
N	SOAP DISPENSER	IN COUNTER SENSORED SOAP DISPENSER BRADLEY BRADEX MODEL 6315-KT0000								
P	SEAT COVER DISPENSER	SURFACE MOUNTED BRADLEY MODEL 5440-11								
Q	RESTROOM PARTITIONS	SOLID PLASTIC FLOOR MOUNTED. SCRANTON PRODUCTS COLOR: GREY								
R	NOT USED	-								
S	NAPKIN DISPOSAL	SURFACE MOUNT NAPKIN DISPOSAL. BRADLEY DIPLOMAT SERIES 4A10-11								



CONSULTANTS



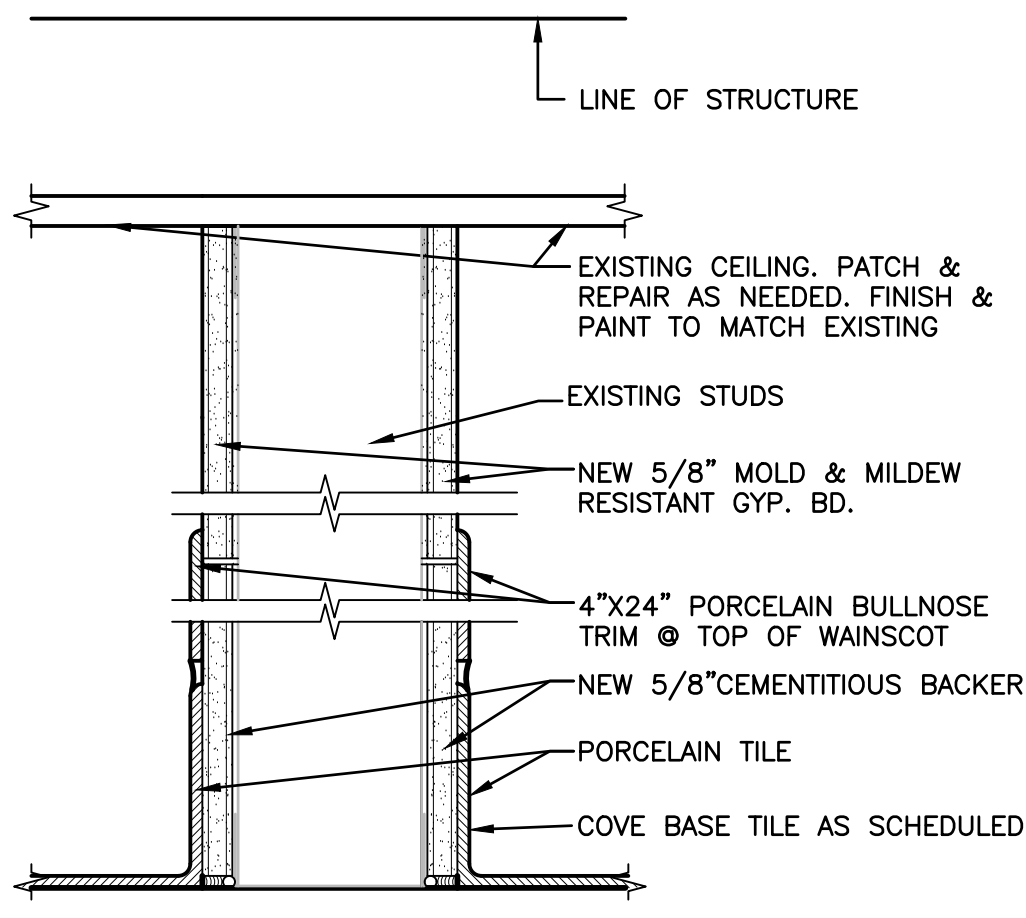
Addison Police Court Upgrade

4799 Airport Pkwy
Addison, TX 75001

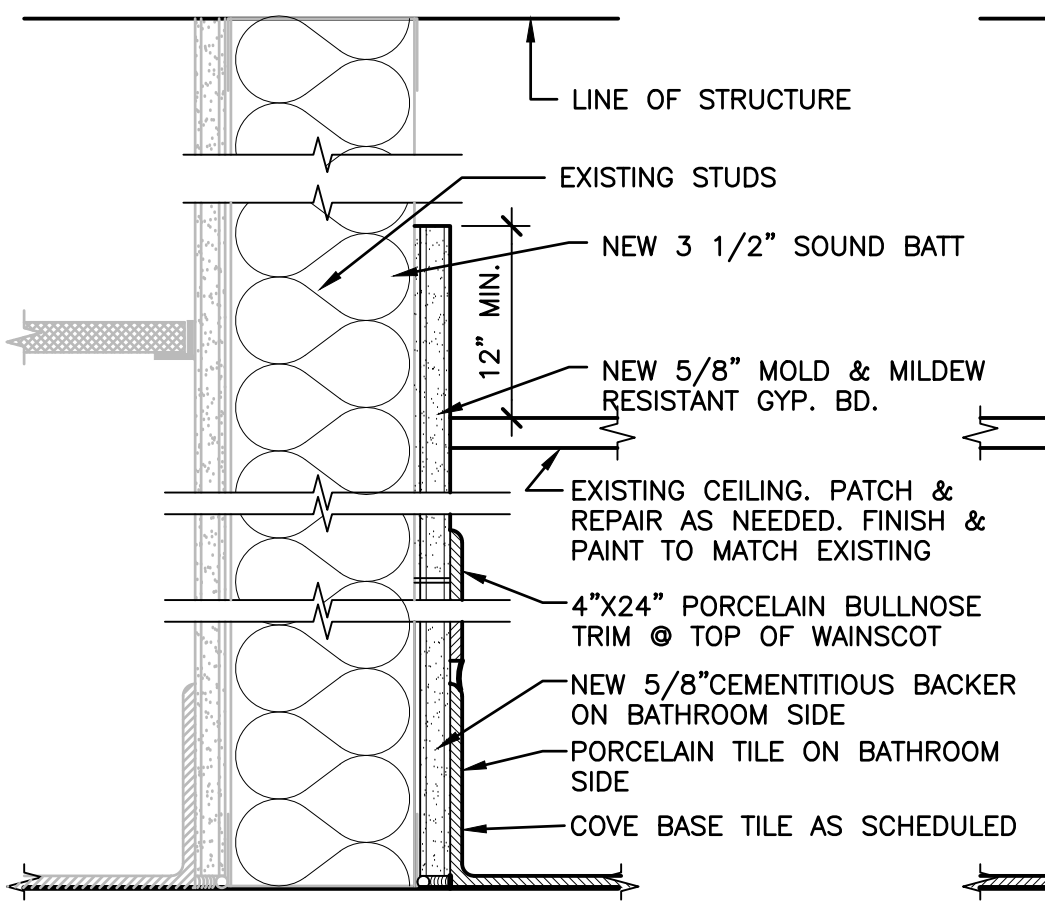
MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

SHEET TITLE
ENLARGED PLANS, ELEVATIONS, DETAILS & SCHEDULES

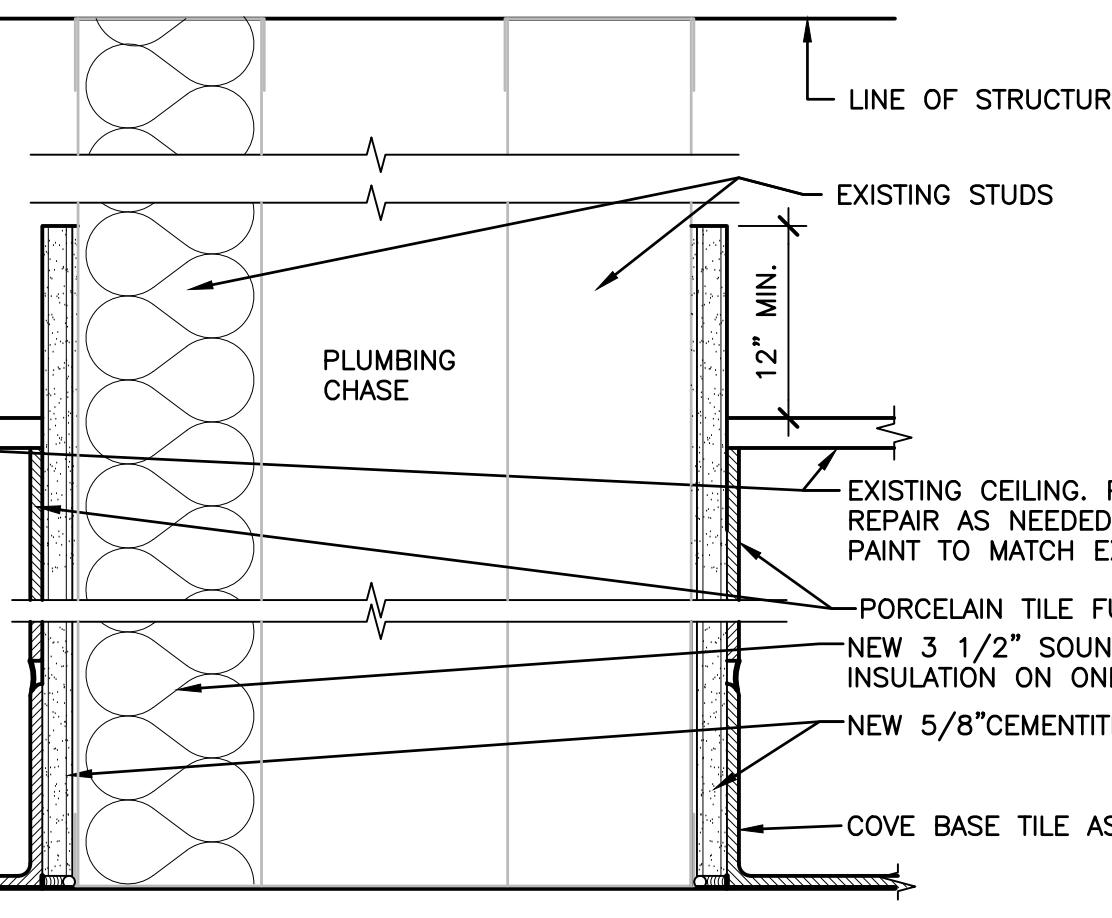
A401



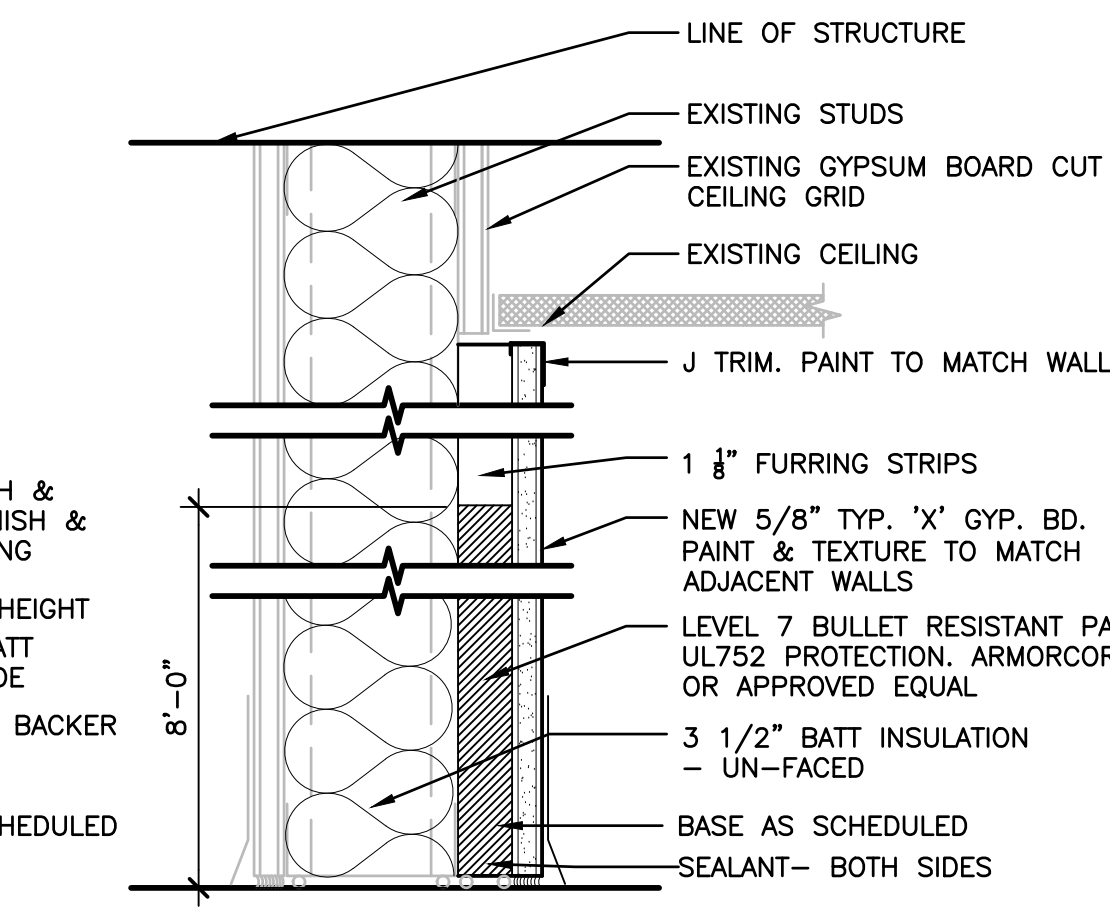
A PARTITION
SCALE: 3"=1'-0"



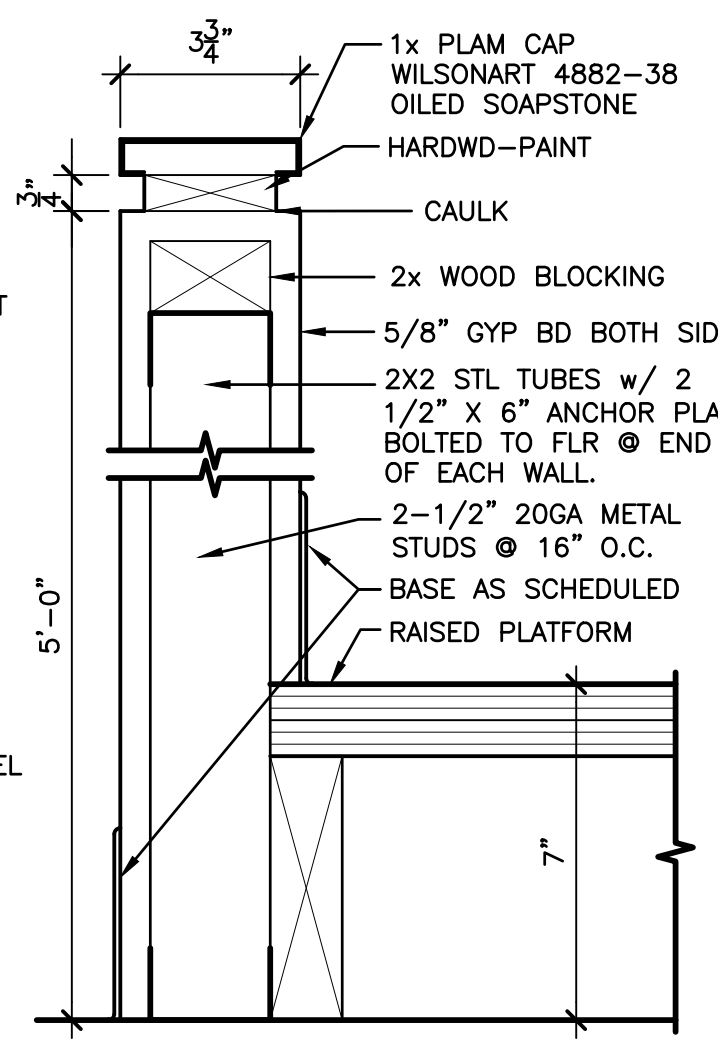
B PARTITION
SCALE: 3"=1'-0"



C PARTITION
SCALE: 3"=1'-0"



D PARTITION
SCALE: 3"=1'-0"



E PARTITION
SCALE: 3"=1'-0"



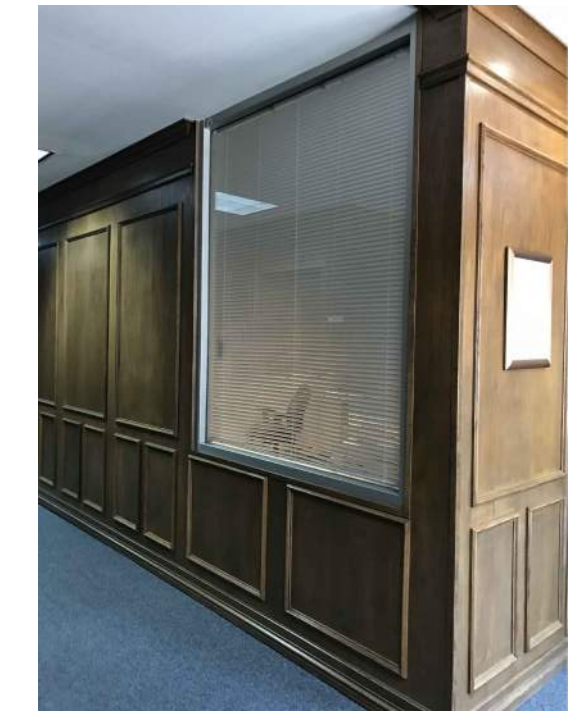
B1 POLICE RECORDS PHOTO
SCALE: N.T.S.



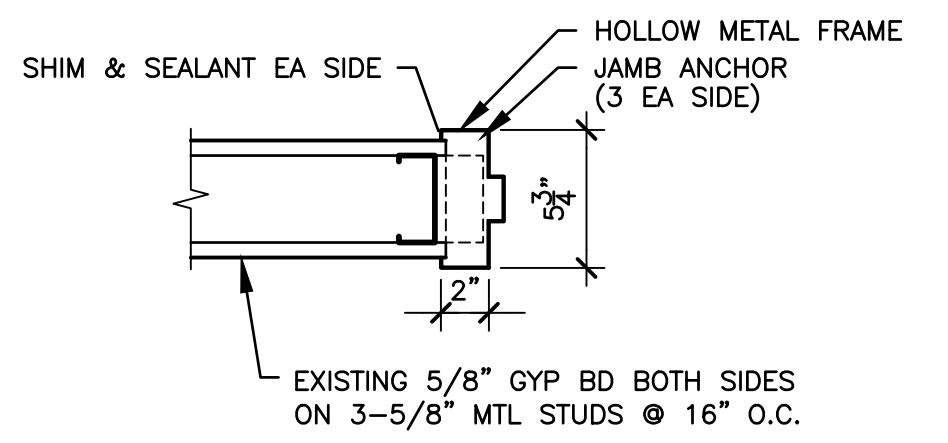
B2 MUNICIPAL COURTS PHOTO
SCALE: N.T.S.



B3 MUNICIPAL COURTS PHOTO
SCALE: N.T.S.



B4 JUDGE PHOTO
SCALE: N.T.S.



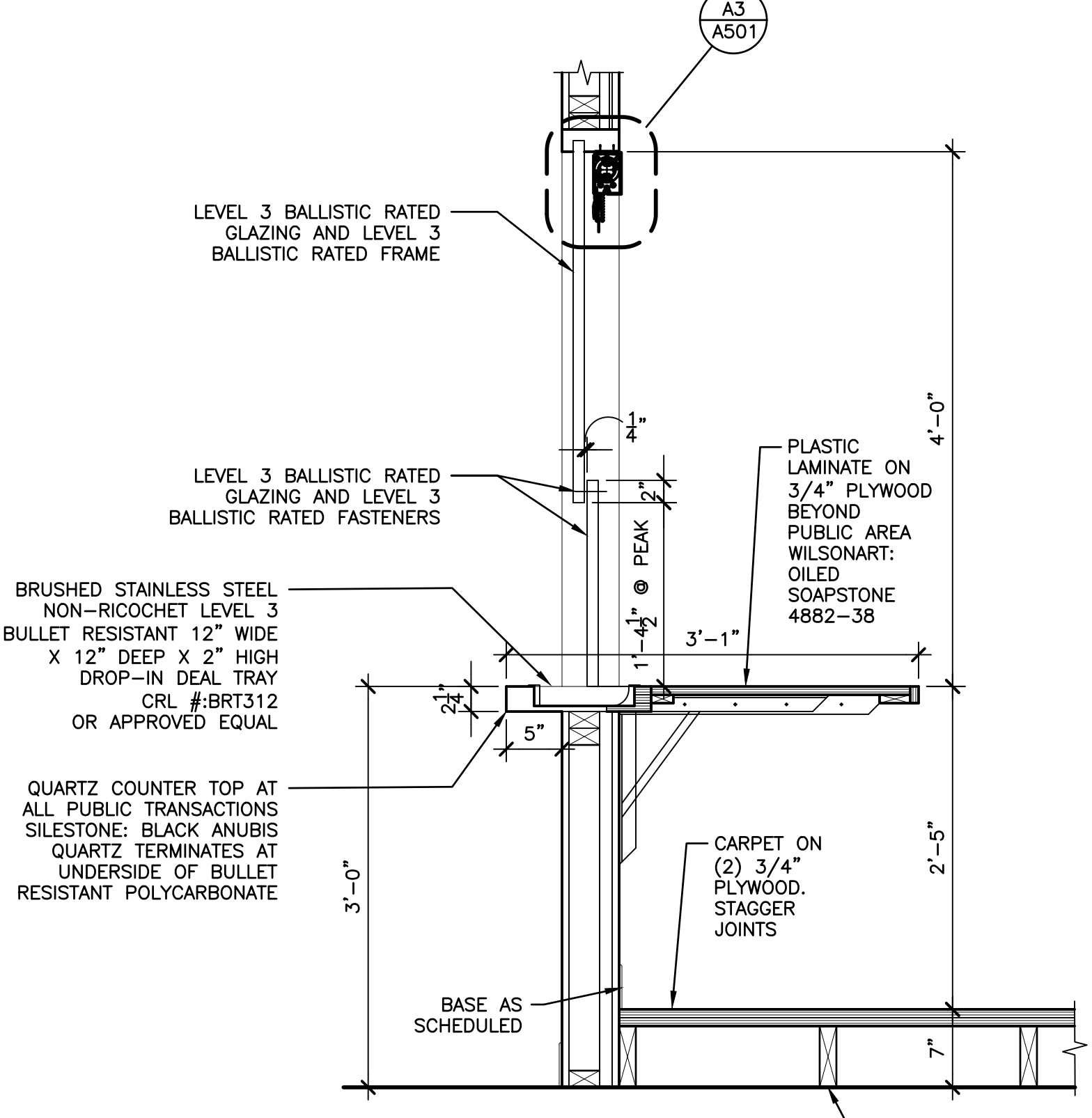
C5 DOOR JAMB DETAIL (HEAD SIM)
SCALE: 1-1/2"=1'-0"

PROPOSED LOCATION ELECTRIC OVERHEAD ROLLING DOOR OVERHEAD DOOR SECURITY GRILLE MODEL 670 OR APPROVED EQUAL WITH ELECTRIC CONTROLS & EXPOSED TRACK ON COLUMNS

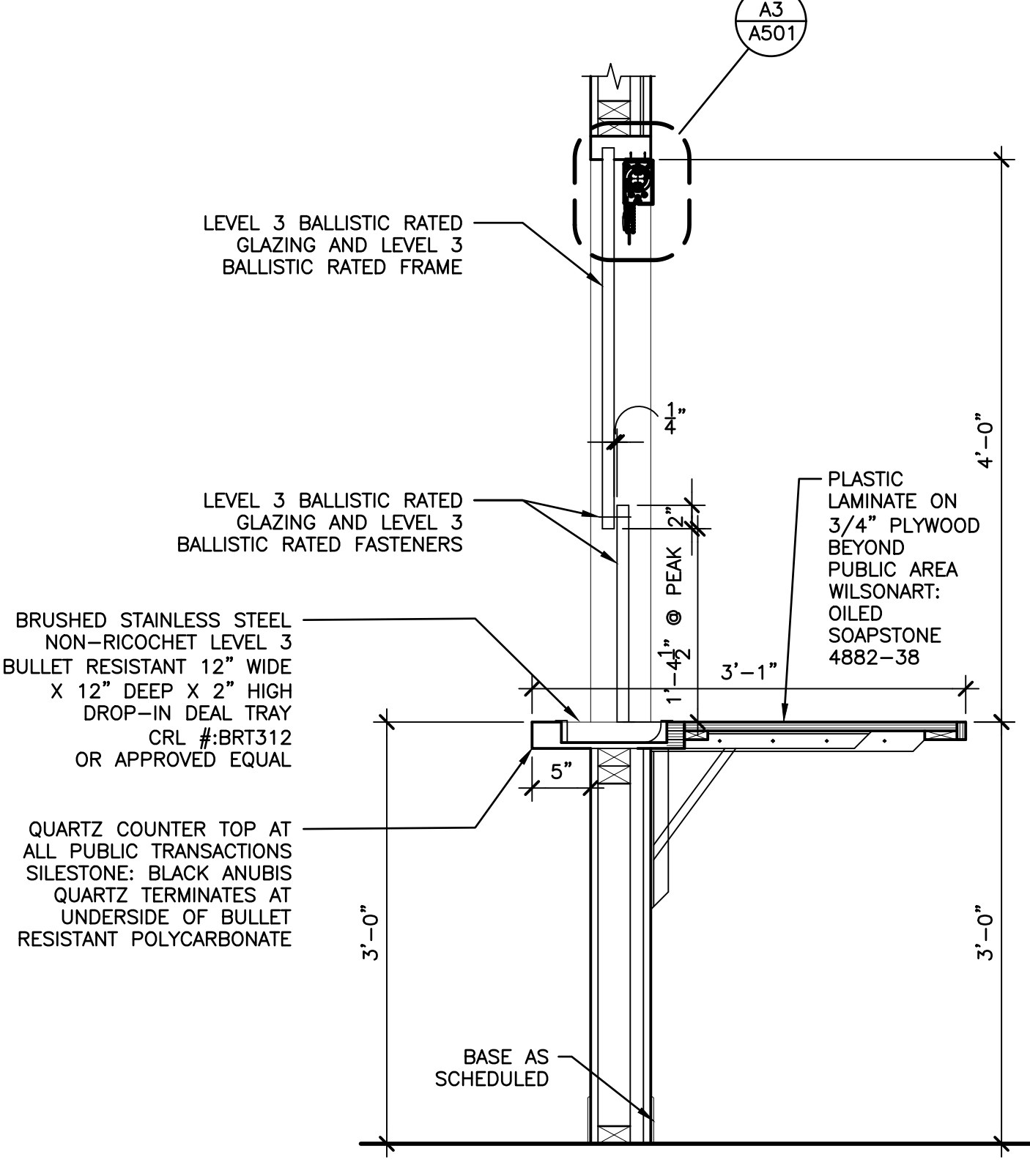


Addison Police Court Upgrade

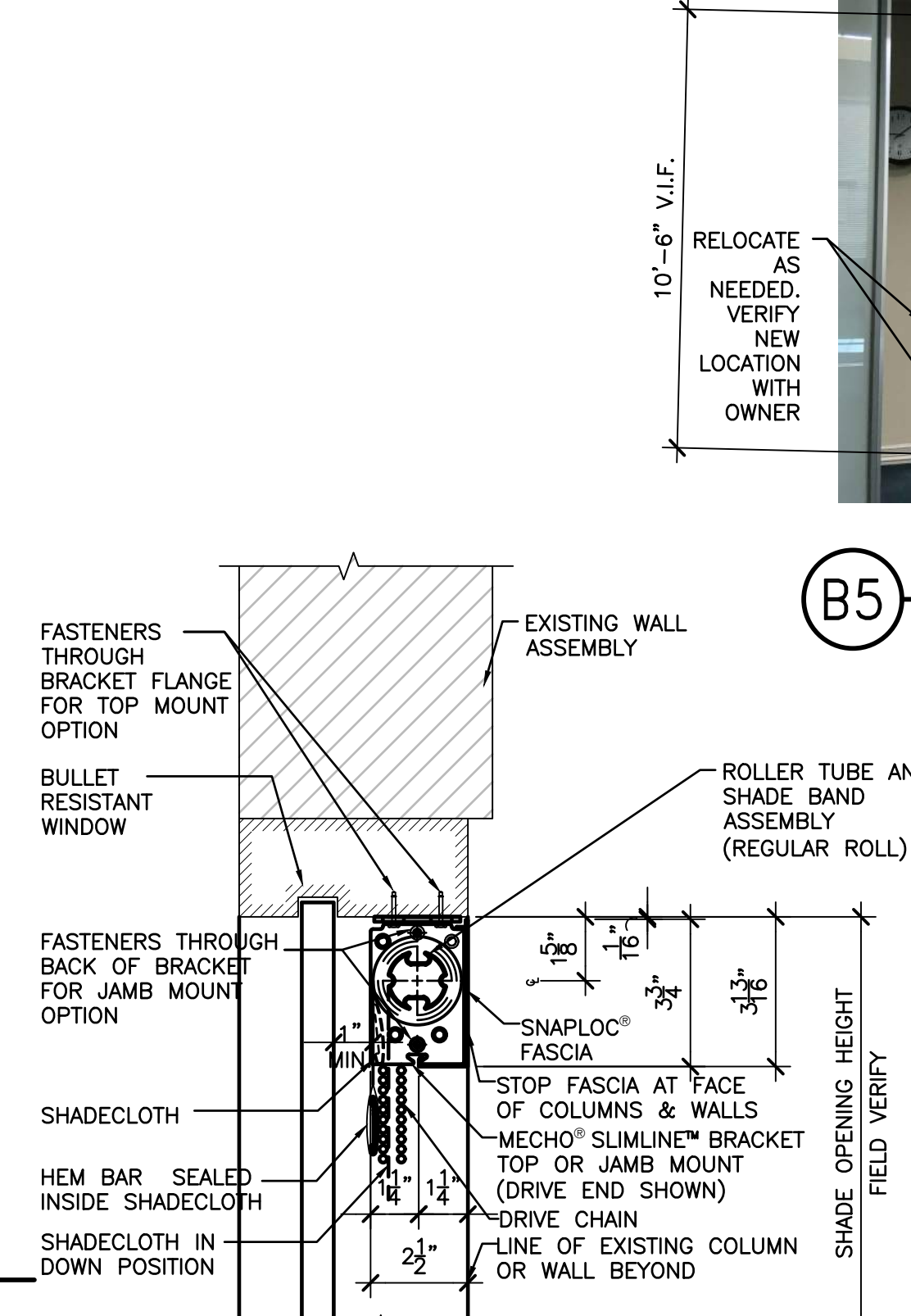
4799 Airport Pkwy
Addison, TX 75001



A1 MILLWORK SECTION
SCALE: 1"=1'-0"



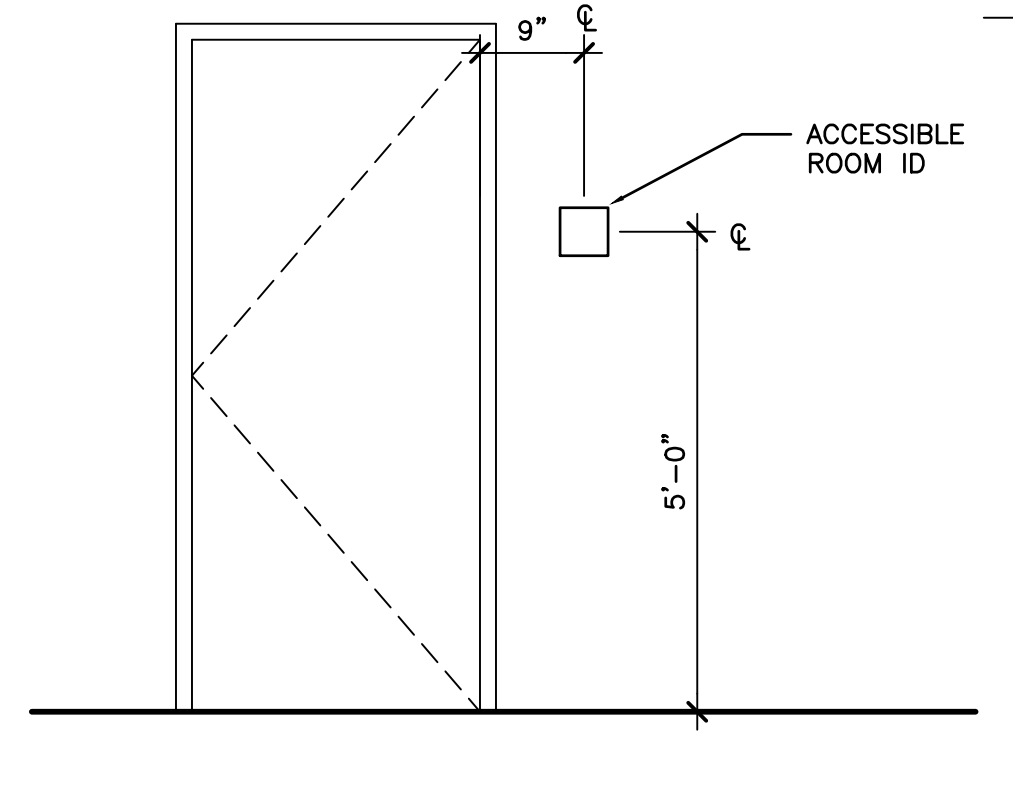
A2 MILLWORK SECTION
SCALE: 1"=1'-0"



A3 WINDOW SHADE DETAIL
SCALE: 3"=1'-0"



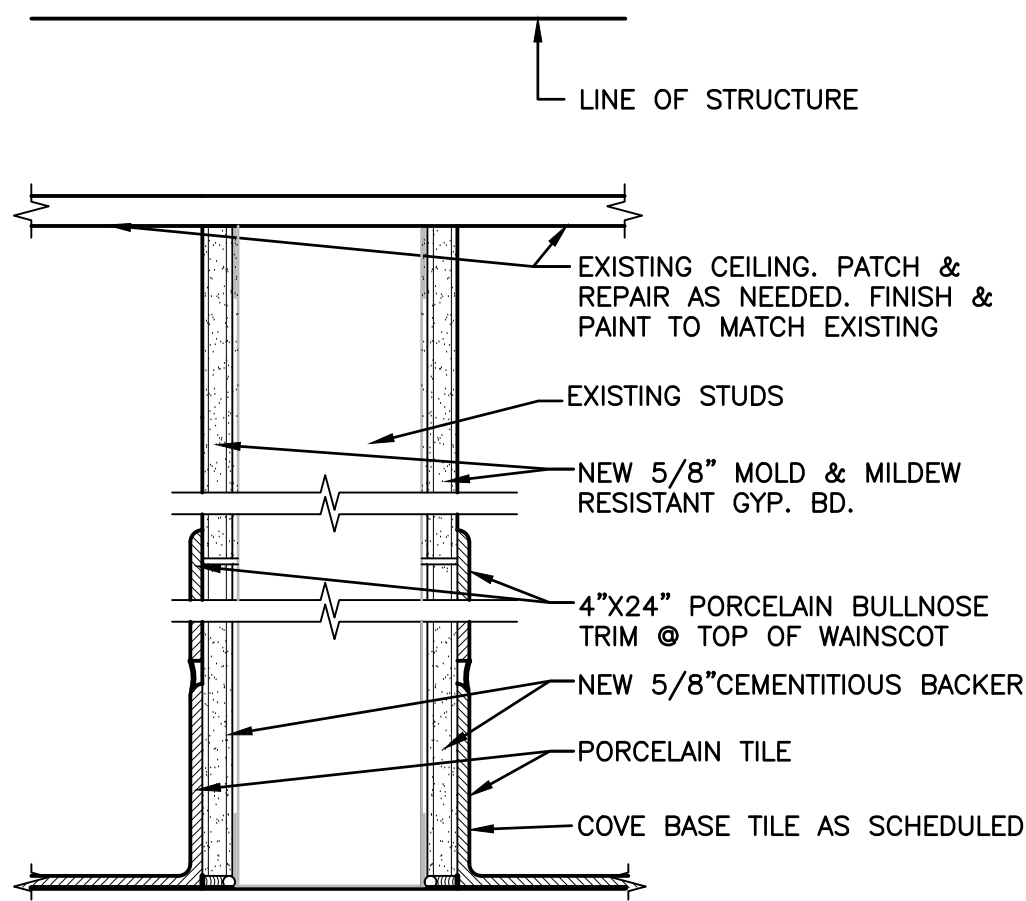
B5 SECOND FLOOR SECURITY
SCALE: N.T.S.



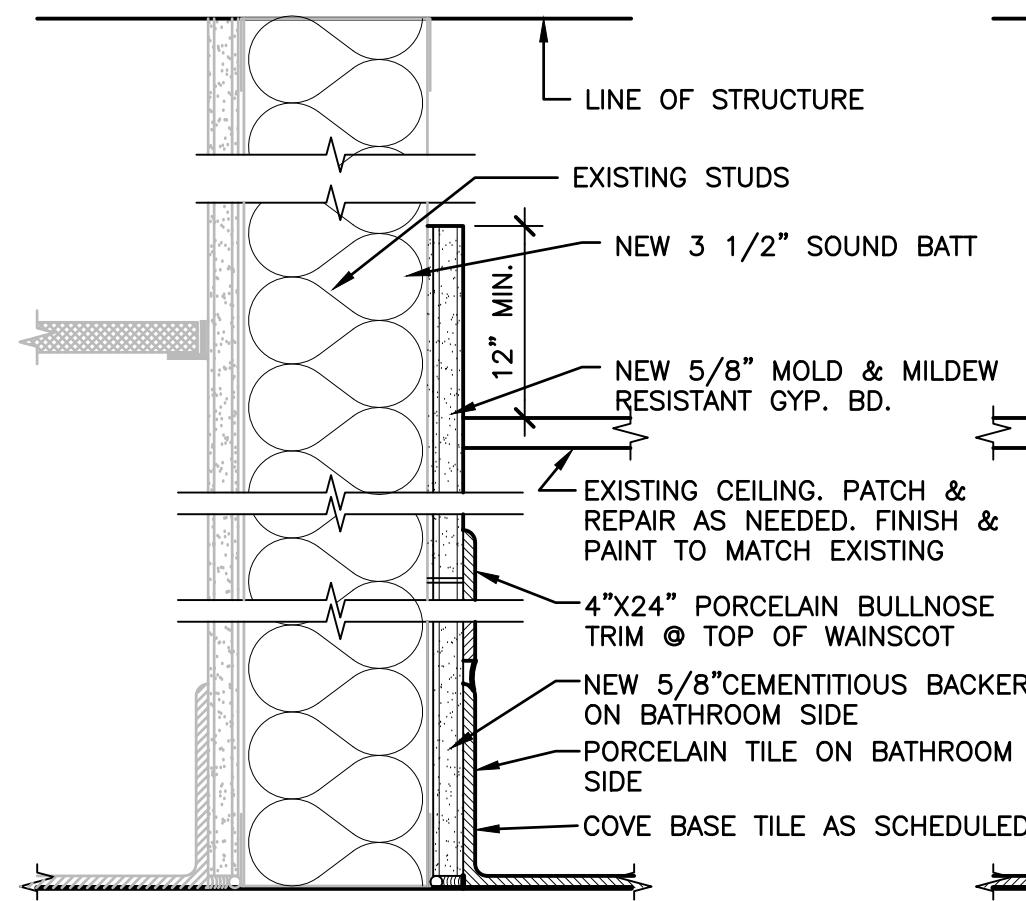
A5 TYPICAL SIGN MOUNTING HEIGHT
SCALE: 1/2"=1'-0"

MARK	DATE	DESCRIPTION
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

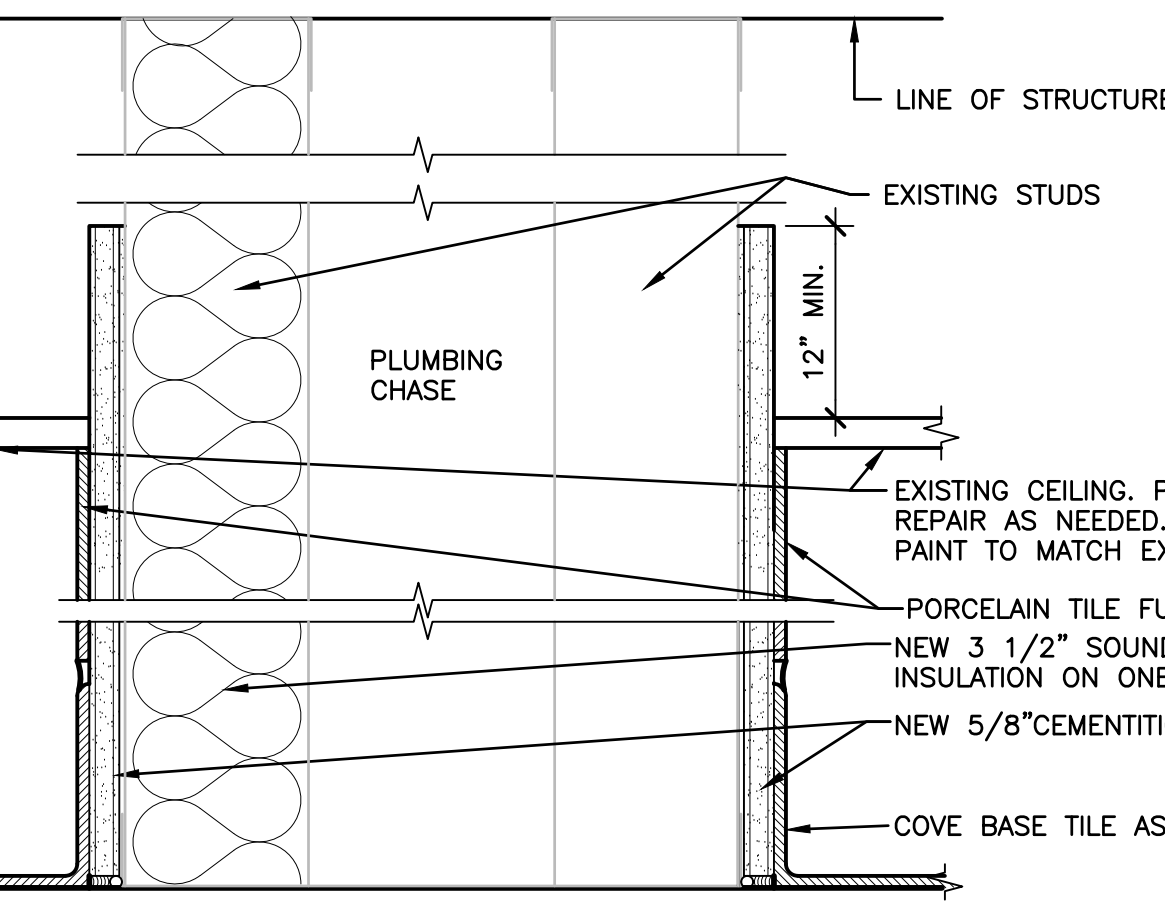
SHEET TITLE
DETAILS & WALL TYPES
A501



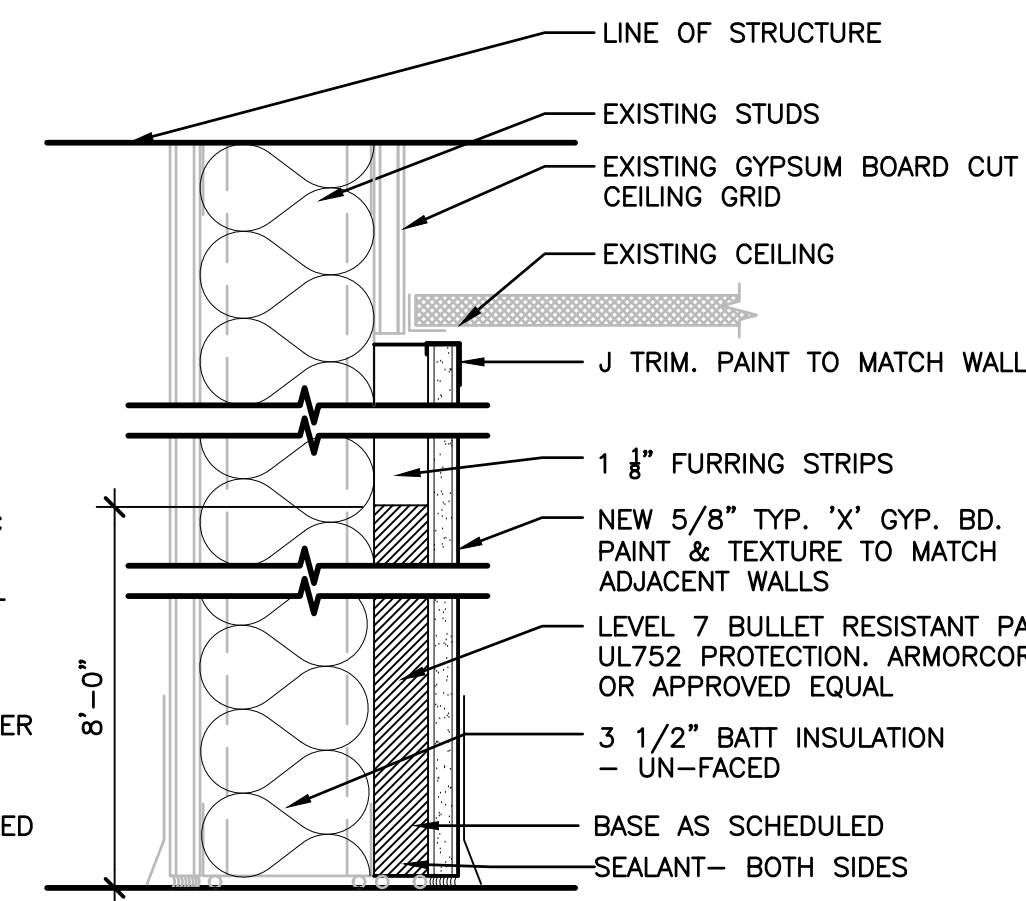
A PARTITION
SCALE: 3"=1'-0"



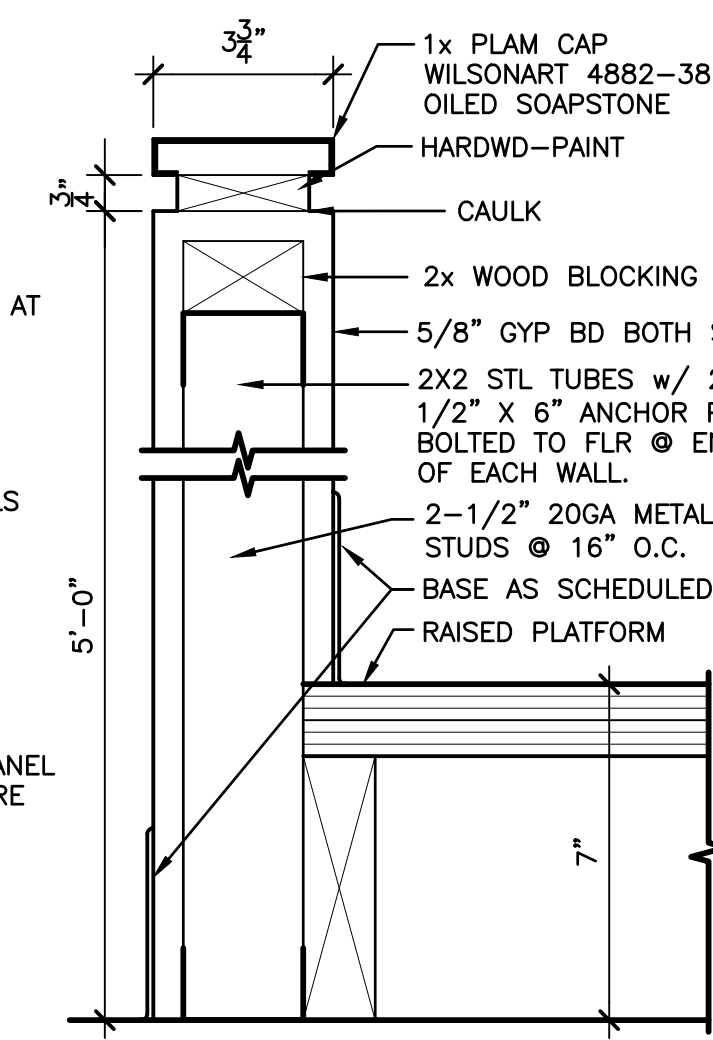
B PARTITION
SCALE: 3"=1'-0"



C PARTITION
SCALE: 3"=1'-0"



D PARTITION
SCALE: 3"=1'-0"



E PARTITION
SCALE: 3"=1'-0"



B1 POLICE RECORDS PHOTO
SCALE: N.T.S.



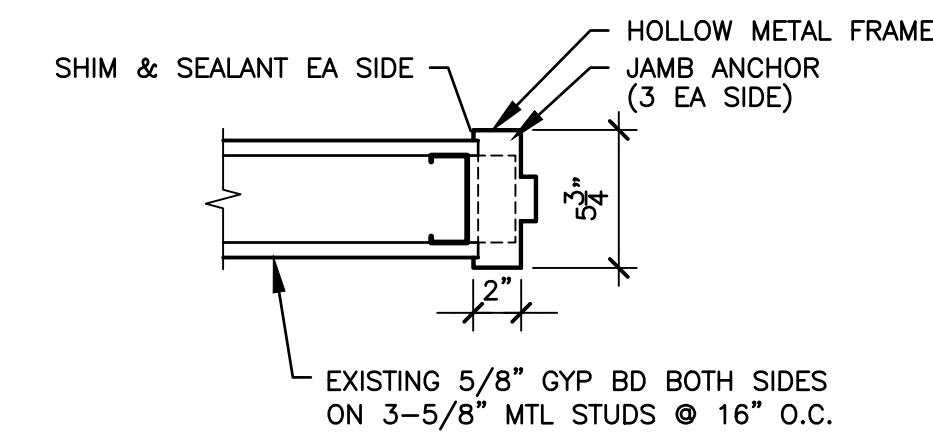
B2 MUNICIPAL COURTS PHOTO
SCALE: N.T.S.



B3 MUNICIPAL COURTS PHOTO
SCALE: N.T.S.

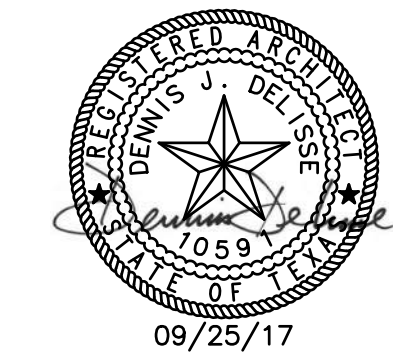


B4 JUDGE PHOTO
SCALE: N.T.S.



C5 DOOR JAMB DETAIL (HEAD SIM)
SCALE: 1-1/2"=1'-0"

PROPOSED LOCATION FAST ACTING ELECTRIC OVERHEAD ROLLING DOOR SECURITY GRILLE MODEL 670 OR APPROVED EQUAL WITH ELECTRIC CONTROLS & EXPOSED TRACK ON COLUMNS



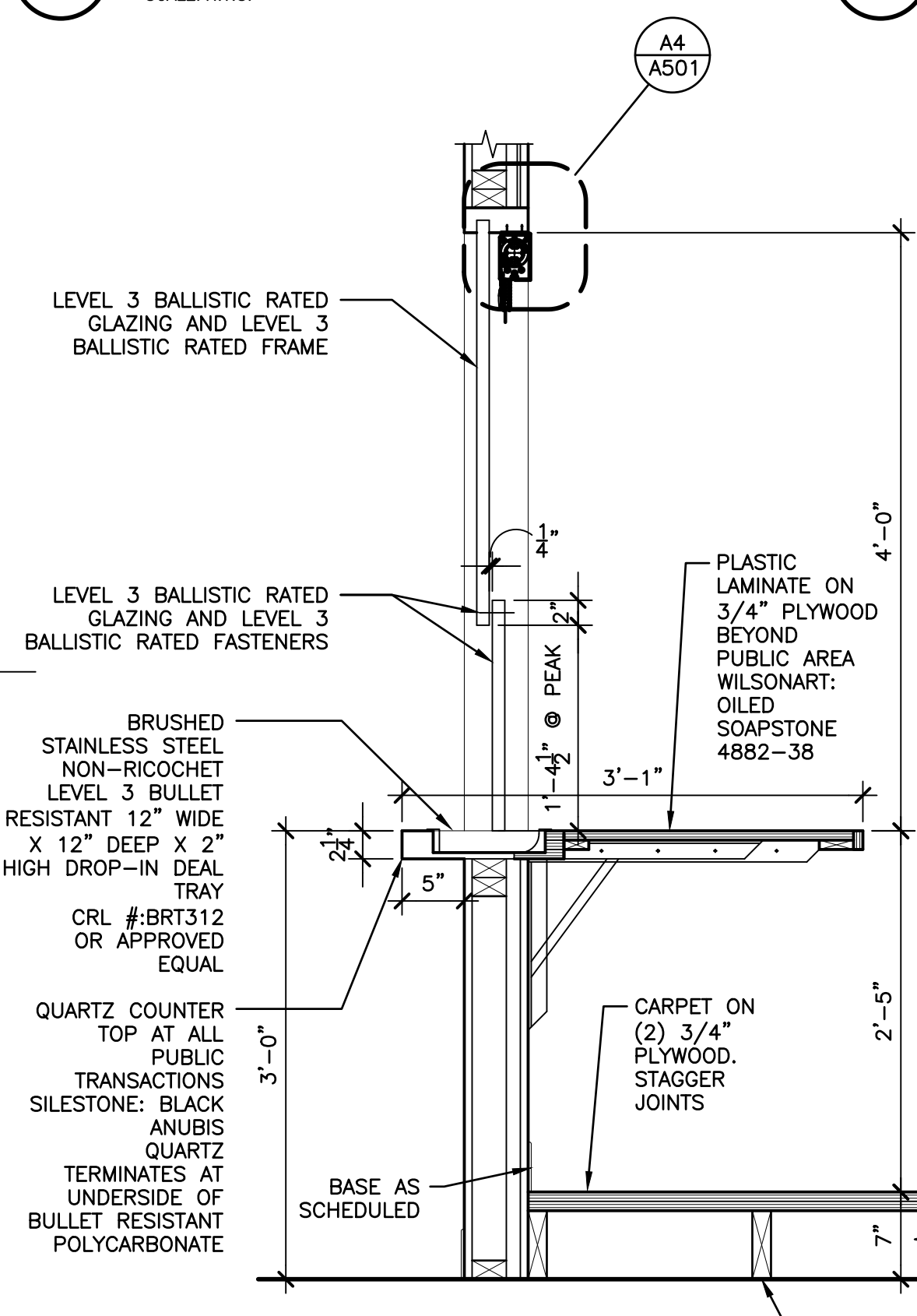
Addison Police Court Upgrade

4799 Airport Pkwy
Addison, TX 75001

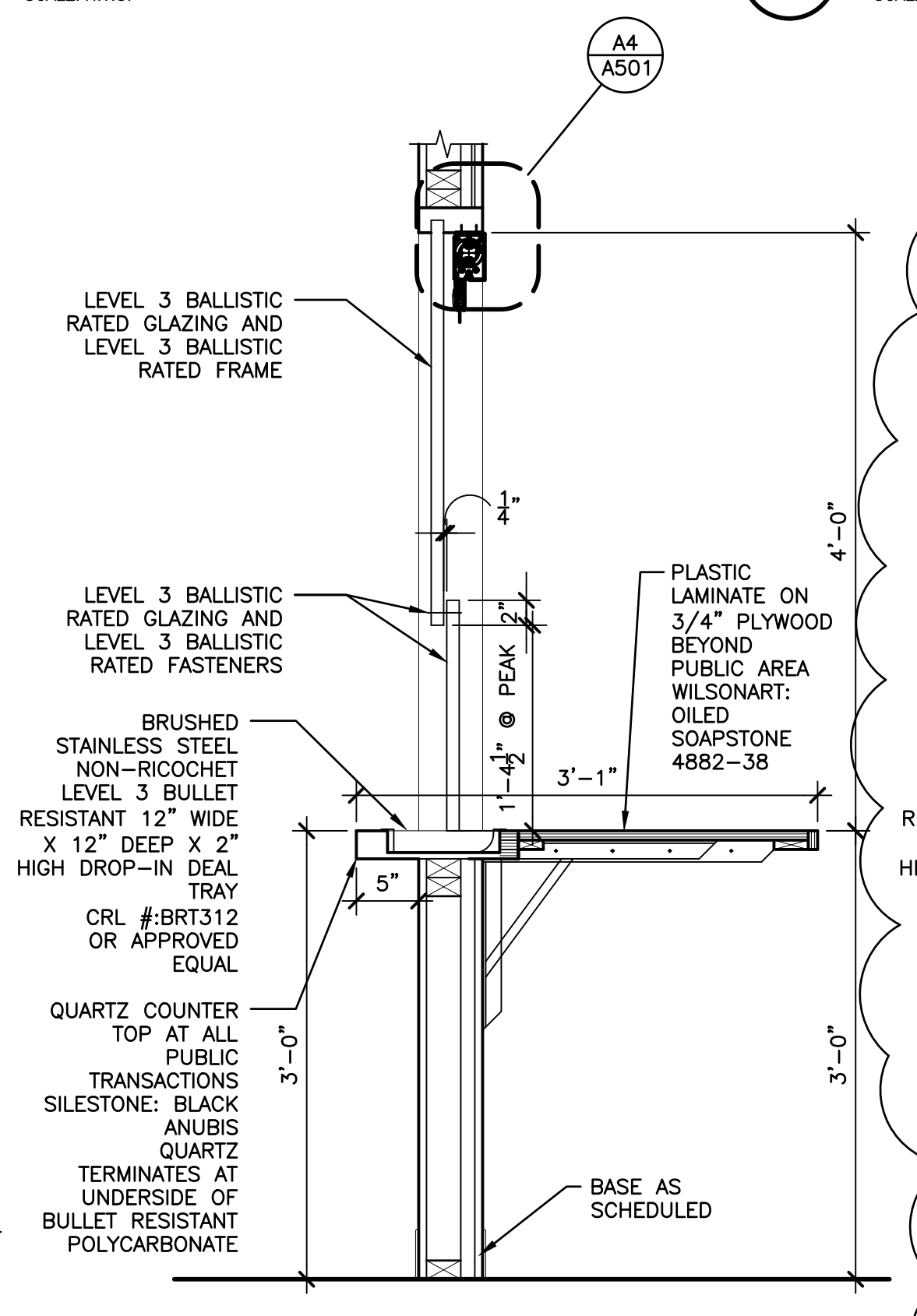
MARK	DATE	DESCRIPTION
1	11/07/17	ADDENDUM 1-OWNER CHANGES
ISSUE:	09/25/17	
PROJECT NO:	6170203	
FILE:	.dwg	
DRAWN BY:	EB	
CHECKED BY:	DJD	

DETAILS & WALL TYPES

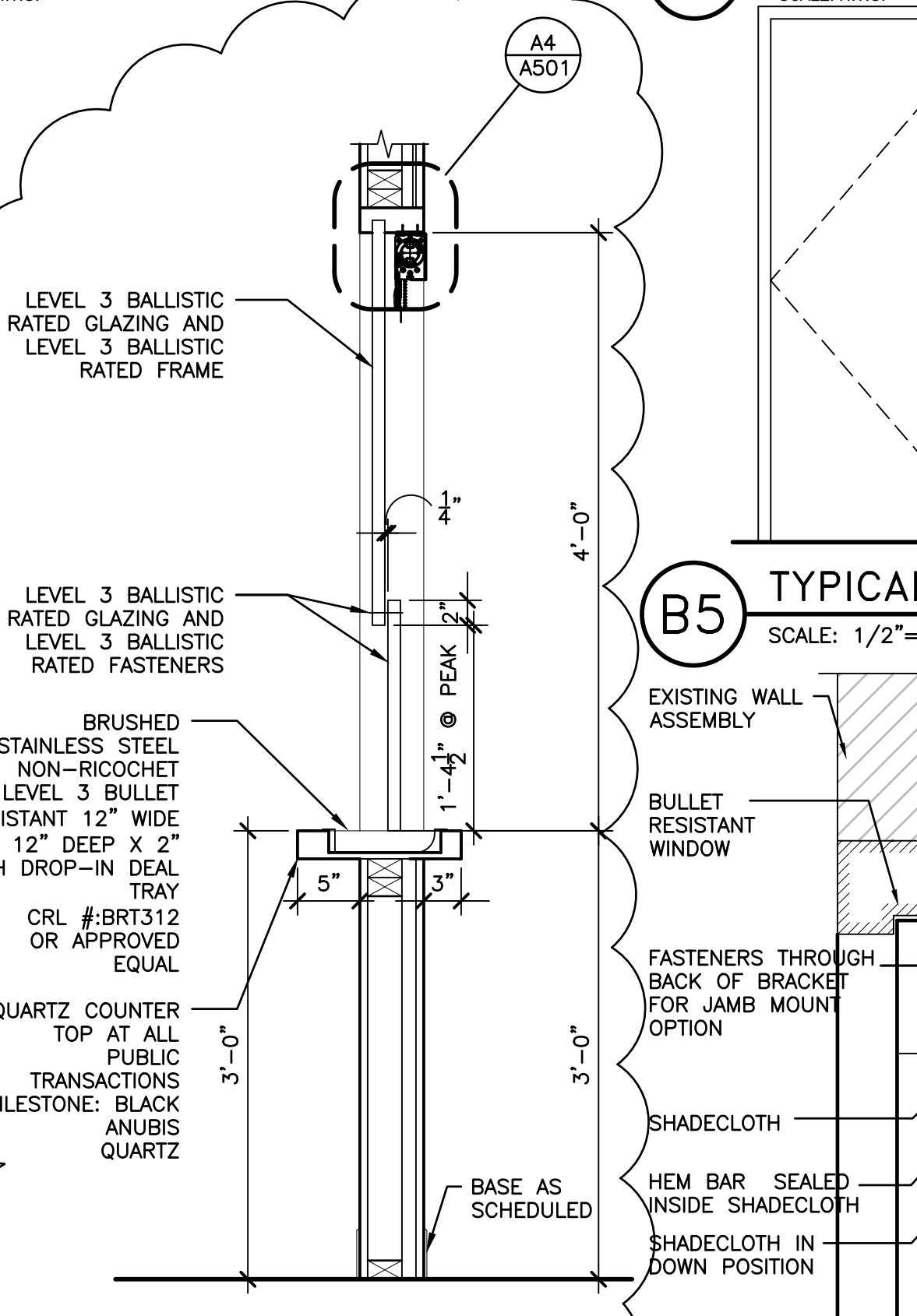
A501



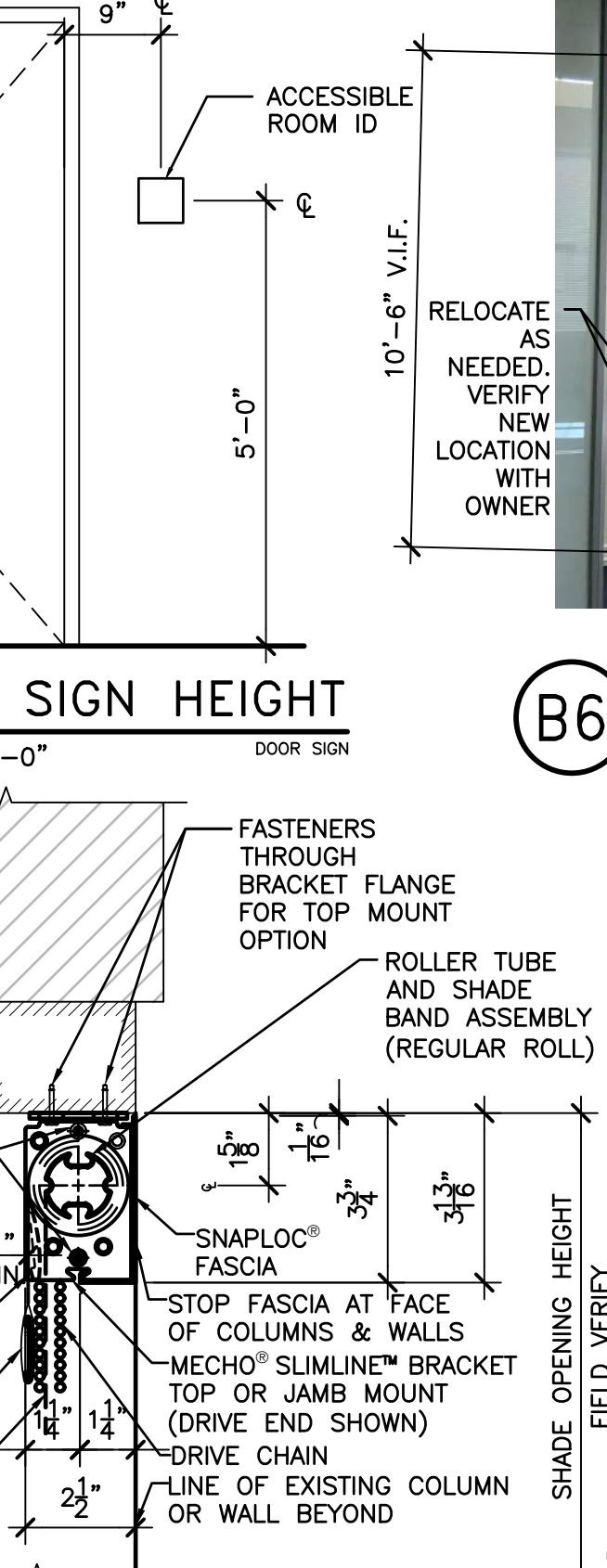
A1 MILLWORK SECTION
SCALE: 1"=1'-0"



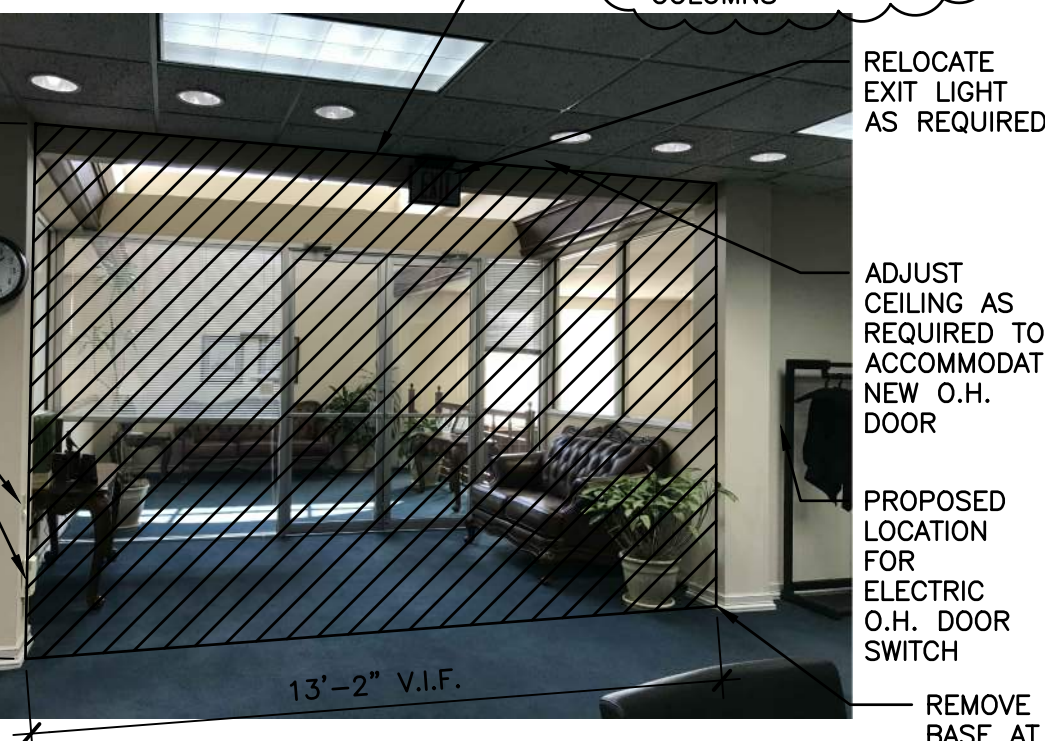
A2 MILLWORK SECTION
SCALE: 1"=1'-0"



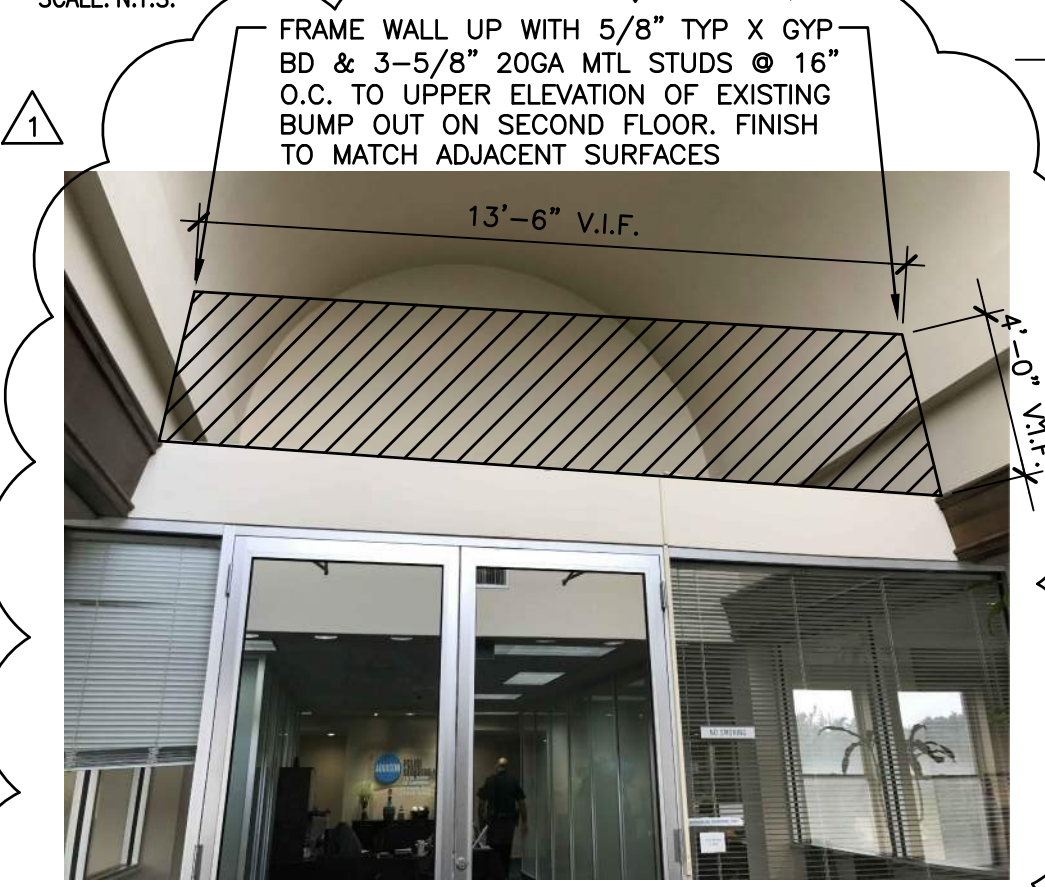
A3 MILLWORK SECTION
SCALE: 1"=1'-0"



A4 WINDOW SHADE DETAIL
SCALE: 3"=1'-0"



B6 SECOND FLOOR SECURITY
SCALE: N.T.S.



A5 SECOND FLOOR SECURITY
SCALE: N.T.S.