

ORDINANCE NO. *085-088*

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING ORDINANCE NO. 604, PASSED BY THE CITY COUNCIL ON AUGUST 12, 1980, SO AS TO AMEND THE SITE DEVELOPMENT PLAN TO ADD A POOL, CLUB HOUSE AND SPORT COURT TO THE DEVELOPMENT; ON APPLICATION FROM THE ADDISON PLACE, LOCATED ON THE NORTH SIDE OF SOJOURN LANE AND WEST OF WESTGROVE DRIVE; PROVIDING FOR A SEVERABILITY CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at

large, the citizens of the Town of Addison, Texas, and help promote the general welfare and safety of this community. now therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS:

SECTION 1. That ordinance NO. 604, passed by the City Council on the 12th day of August, 1960, is hereby amended by amending Section 8, to add Q. to read as follows:

- Q. As provided in Planned Development District Article of the Comprehensive Zoning Ordinance, said property shall be improved in accordance with the development plans which are attached hereto and made a part hereof for all purposes. Such plans will include a 1,746 sq. ft. club-house area, a pool and a 5,090 sq. ft. landscaped area.

SECTION 2. The following additional special conditions are placed on Ordinance NO. 604:

1. The applicant submit a revised landscape plan which indicates additional plantings in the area along the street prior to the issuance of a building permit.
2. The applicant up grade the existing sprinkler system, and the system pass an inspection by the Landscape Department, prior to the issuance of a building permit.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction

shall be punished by a fine not to exceed the sum of One Thousand (\$1,000.00) and not less than Five Hundred (\$500.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

SECTION 4. Whereas, That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 5. Whereas, the above described property requires that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City and create an urgency and an emergency for the preservation of the public health, safety and welfare and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption as the Law in such cases provides.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS,  
on this the 5 day of November, 1945.

*Jim Raddig*  
\_\_\_\_\_  
MAYOR

ATTEST:

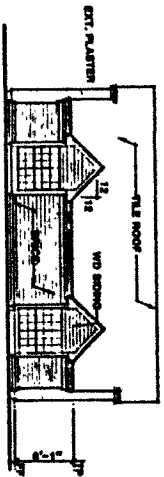
*Jacquel Kruse*  
\_\_\_\_\_  
CITY SECRETARY

APPROVED AS TO FORM:

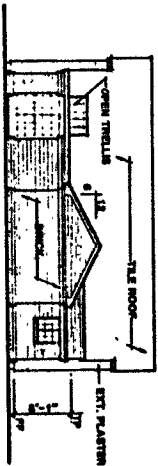
*Mark Hill* 12/9/85  
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Rev. 11-14-85

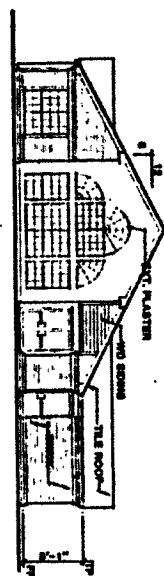

THE CROSSLER ARCHITECTS, INC., AN



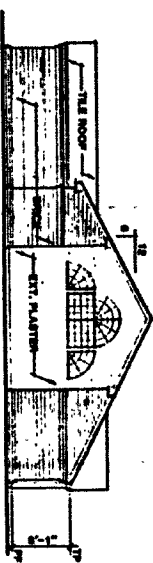
EAST ELEVATION  
SCALE 1/8" = 1'-0"



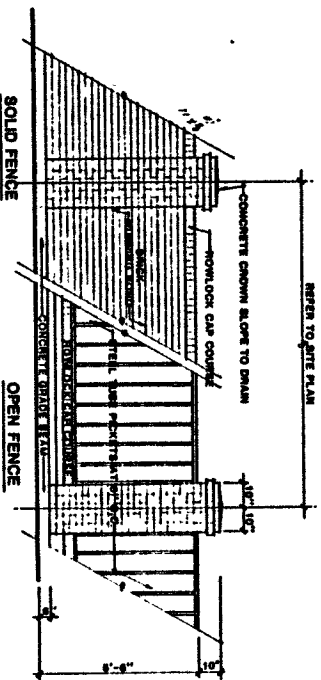
WEST ELEVATION  
SCALE 1/8" = 1'-0"



NORTH ELEVATION  
SCALE 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



FENCE ELEVATION  
SCALE 1/2" = 1'-0"



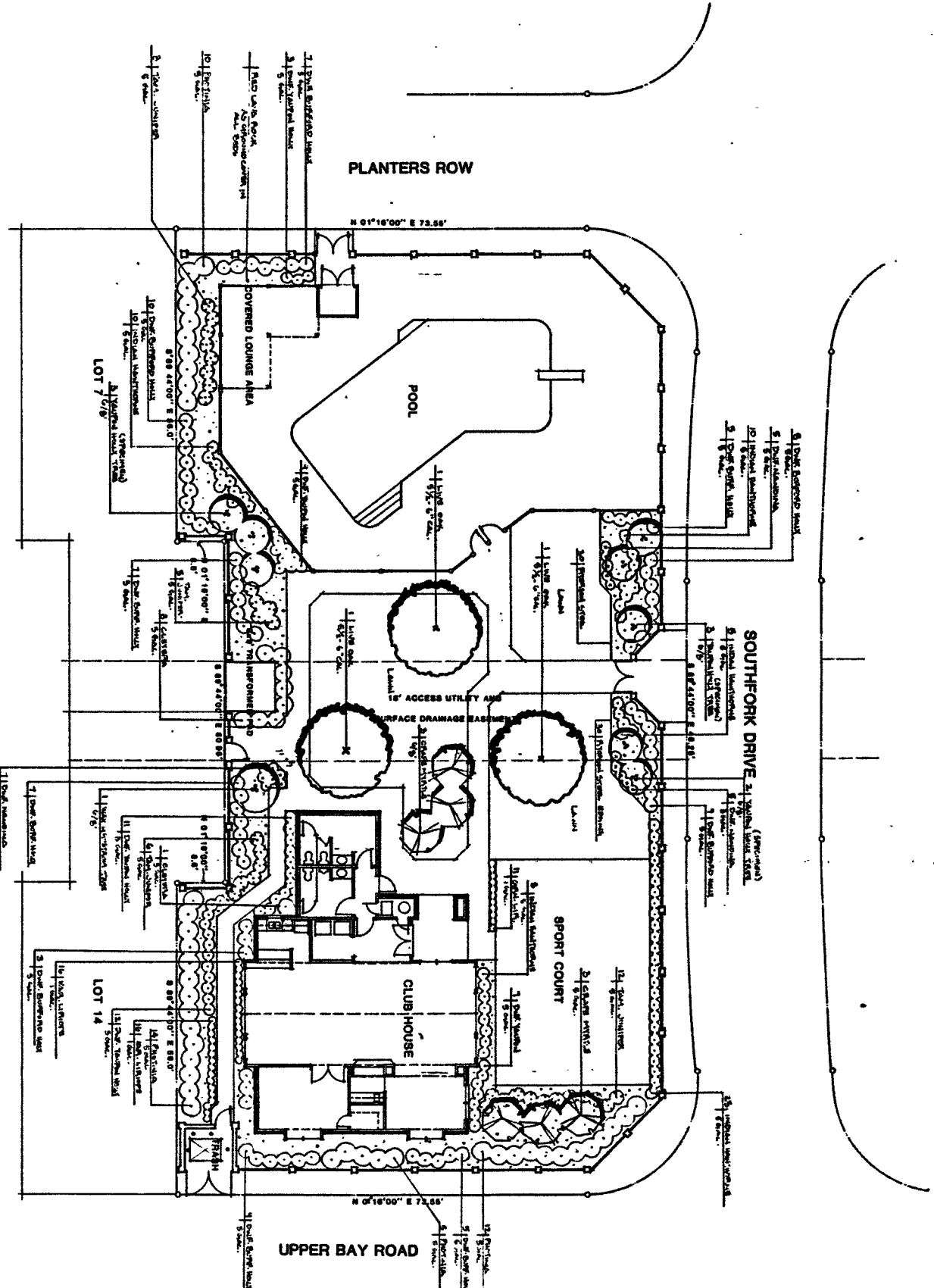
THE CROSSLER ARCHITECTS, INC.  
REGISTERED PROFESSIONAL ARCHITECTS  
STATE OF TEXAS  
MEMBERSHIP NO. 45012  
EXPIRES 09/01/2003

**Grookless Architects Inc.** AIA  
1718 GREENVILLE AVENUE  
SUITE 276 LA PAS  
DALLAS TEXAS 75271  
214-762-1700

**ADDISON PLACE**  
ADDISON, TEXAS  
PO 14-804

**MORRY HOMES**  
4000 W. PARK BLVD.  
PLANO, TEXAS 75073

RESPONSIBLE	
DRAWN BY	
CHECKED BY	
DATE	SEPT. 20, 1982
JOB NUMBER	8205
SHEET NUMBER	2
OF	3



LANDSCAPE SITE PLAN  
SCALE: 1/8" = 1'-0"  
LANDSCAPE AREA: 5,080 S.F.



NOTES:	
DATE:	
BY:	
PROJECT NAME:	
SHEET NUMBER:	
ADDISON PLACE	
ADDISON, TEXAS	
PD: 145-804	
MURPHY HOMES	
4180 W. PARK BLVD	
PLANO, TEXAS 75075	
DRAWN BY:	
CHECKED BY:	
DATE:	
JOB NUMBER:	
SHEET NUMBER:	
3	
OF 3	