

ORDINANCE NO. 085-089

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIAL USE PERMIT FOR A RESTAURANT AND THE SALE OF ALCOHOLIC BEVERAGES FOR ON PREMISES CONSUMPTION ON APPLICATION FROM FULTS MANAGEMENT, LOCATED AT 14651 DALLAS PARKWAY, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR NO SEVERABILITY CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the

public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. The Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, be amended, by amending the zoning map of the Town of Addison, Texas, so as to grant a special use permit for a restaurant and the sale of alcoholic beverages for on-premises consumption to Fultz Management. Said special use permit shall be granted subject to the special conditions on the following described property, to-wit:

BEING a tract of land out of the Josiah Pancoast Survey, Abstract 1144, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a point in the west line of Dallas Parkway (124 feet wide) said point being 19 degrees 05'00" West, 335.0 feet along said west line, from the northeast corner of the S. Finley Ewing, Jr. Addition, an addition to the City of Addison, Texas, recorded in volume 73095, Page 1346, Map Records, Dallas, County, Texas:

THENCE S 71 degrees 54'52" W, departing said west line, a distance of 70.12 feet to the point of tangency of a circular curve to the right having a radius of 200.0 feet:

THENCE Southwesterly, along said curve thru a central angle of 14 degrees 46'27" an arc distance of 58.55 feet to its point of tangency:

THENCE S 88 degrees 41'19" W, a distance of 344.22 feet to a point for a corner:

THENCE S 1 degree 18'41" E, a distance of 292.0 feet to a point for a corner:

THENCE S 88 degrees 41'19" W, a distance of 389.50 feet to a point for a corner:

THENCE N 0 degrees 21'01" E, a distance of 472.41 feet to a point for a corner:

THENCE N 88 degrees 41'19" E, a distance of 605.28 feet to a point for a corner:

THENCE S 1 degree 10'41" S, a distance of 120.22 feet to a point for a corner:

THENCE S 88 degrees 41'19" E, a distance of 334.22 feet to a point of tangency of a circular curve to the left having a radius of 140.0 feet:

THENCE Northeasterly, along said curve thru a central angle of 16 degrees 46'27" an arc distance of 40.99 feet to its point of tangency:

THENCE S 71 degrees 54'52" E, a distance of 70.12 feet to a point for a corner in the said west line of Dallas Parkway:

THENCE S 18 degrees 05'04" E, along said west line, a distance of 60.0 feet to the POINT OF BEGINNING AND CONTAINING 213,385 square feet or 4.499 acres of land more or less.

Lot 4

BEGINNING at the intersection of the north line of the S. Finley Ewing Addition and the City Limits line between the City of Farmers Branch, Texas, and the City of Addison, Texas, said point being S 88 degrees 41'19" N, along said north line a distance of 975.34 feet from the westerly line of Dallas Parkway (120 feet wide):

THENCE S 88 degrees 41'19" W, along said north line, a distance of 123.23 feet to a point for a corner in the easterly line of a D.P.&I. Company right-of-way (100 feet wide):

THENCE N 17 degrees 01' W, along said easterly line, a distance of 498.53 feet to a point for a corner:

THENCE N 88 degrees 41'19" S, a distance of 249.71 feet to a point for a corner:

THENCE S 0 degrees 21'01" W, a distance of 472.41 feet to the POINT OF BEGINNING AND CONTAINING 92,776 square feet or 2.130 acres of land more or less.

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, landscape plan, and the elevation drawings showing four exterior walls which are attached hereto and made a part hereof for all purposes. The landscaping shall be maintained in the condition as set forth in such drawings.
2. That the Special Use Permit granted herein shall be limited to a restaurant and the sale of alcoholic beverages for on-premises consumption only and to that particular area designated on the final site plan as being outlined in red and encompassing a total area not to exceed 1,260 sq. ft.
3. No signs advertising sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison, Texas, and all permitted signs must be shown on the elevation drawings.
4. That the sale of alcoholic beverages under this special use permit shall be permitted in restaurants. Restaurants is hereby defined as: establishments which receives at least sixty percent (60%) of their gross revenues from the sale of food.
5. Said establishment shall make available to the city or its agents, during reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of Paragraph 4 are being met.
6. The use of gaming devices, such as billiard, (pool) tables, pinball machines, marble table, and other coin operated amusement machines, other than machines for music are hereby prohibited.

7. Where the sale or serving of alcoholic beverages is permitted, dancing is hereby prohibited.
8. Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of alcoholic beverages.
9. That if the property for which the special use permit is granted and is not used for the purposes for which said permit was granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings.
10. That if a license or permit to sell alcoholic beverages on property covered by this special use permit is revoked, terminated or cancelled by proper authorities, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.
11. The sale of alcoholic beverages is prohibited in drive-in restaurants where food and beverages are served to customers for consumption on the premises but outside of the building. Such drive-in restaurants shall not be considered to be restaurants under the provisions of this ordinance.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of One Thousand Dollars (\$1,000.00) and not less than Five Hundred Dollars (\$500.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. The importance of this ordinance creates an emergency and an imperative public necessity, and the ordinance shall take effect and be in force from and after its adoption.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, this the 5 day of November, 1985.


MAYOR

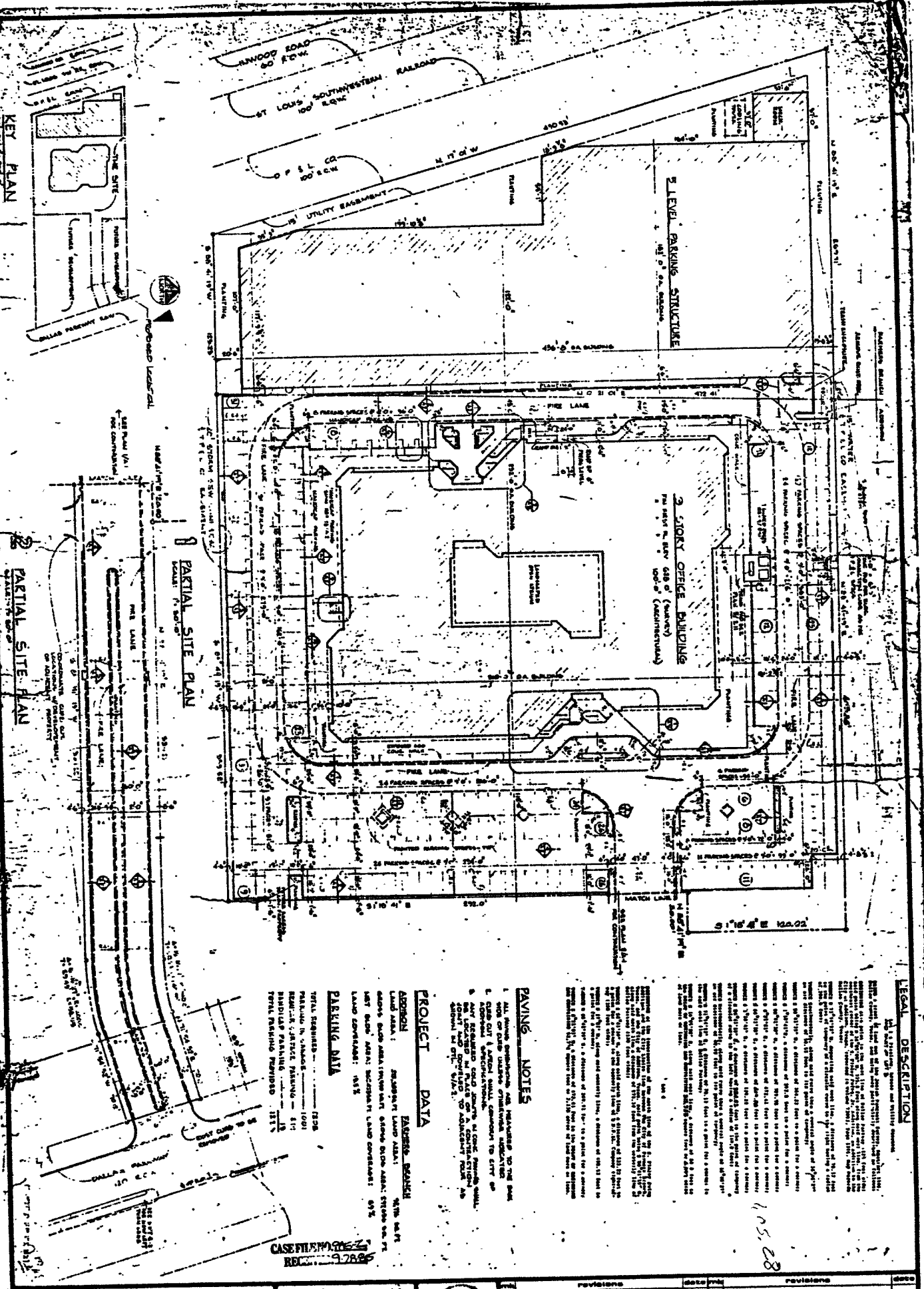
ATTEST:


CITY SECRETARY

APPROVED AS TO FORM:

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Pub. 11-14-85



LEGAL DESCRIPTION

ALL RIGHTS IN AND TO THE LAND SHOWN HEREON ARE RESERVED TO THE DEVELOPER, AND THE DEVELOPER HEREBY AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE CITY OF ST. LOUIS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, WHICH MAY BE ASSERTED AGAINST OR INCURRED BY THE CITY OF ST. LOUIS AS A RESULT OF THE DEVELOPER'S NEGLIGENCE, ACTIVE OR PASSIVE NEGLIGENCE, OR WILLFUL AND WANTON NEGLIGENCE IN THE PERFORMANCE OF HIS OBLIGATIONS UNDER THIS AGREEMENT. THE DEVELOPER'S OBLIGATION TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE CITY OF ST. LOUIS SHALL NOT BE LIMITED BY ANY CAP OR CEILING, AND SHALL SURVIVE THE COMPLETION OF THE PROJECT AND THE EXPIRATION OF ANY PERIOD OF LIMITATION OF REMEDY. THIS AGREEMENT SHALL BE GOVERNED BY THE LAWS OF THE STATE OF MISSOURI. IN WITNESS WHEREOF, THE DEVELOPER HAS HEREUNTO SET HIS HAND AND SEAL OF OFFICE ON THIS 15th DAY OF FEBRUARY, 1988.

PAVING NOTES

1. All paving conditions and materials to the best of our knowledge and belief.
2. CURB CUT & LANDSCAPE SHALL BE LOCATED AS SHOWN ON THE PLAN.
3. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ST. LOUIS SPECIFICATIONS.
4. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ST. LOUIS SPECIFICATIONS.
5. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ST. LOUIS SPECIFICATIONS.

PROJECT DATA

ADDRESS: INWOOD ROAD, ST. LOUIS, MO. 63103
OWNER: [Name obscured]
DESIGNER: [Name obscured]
DATE: 1/25/88

PARKING DATA

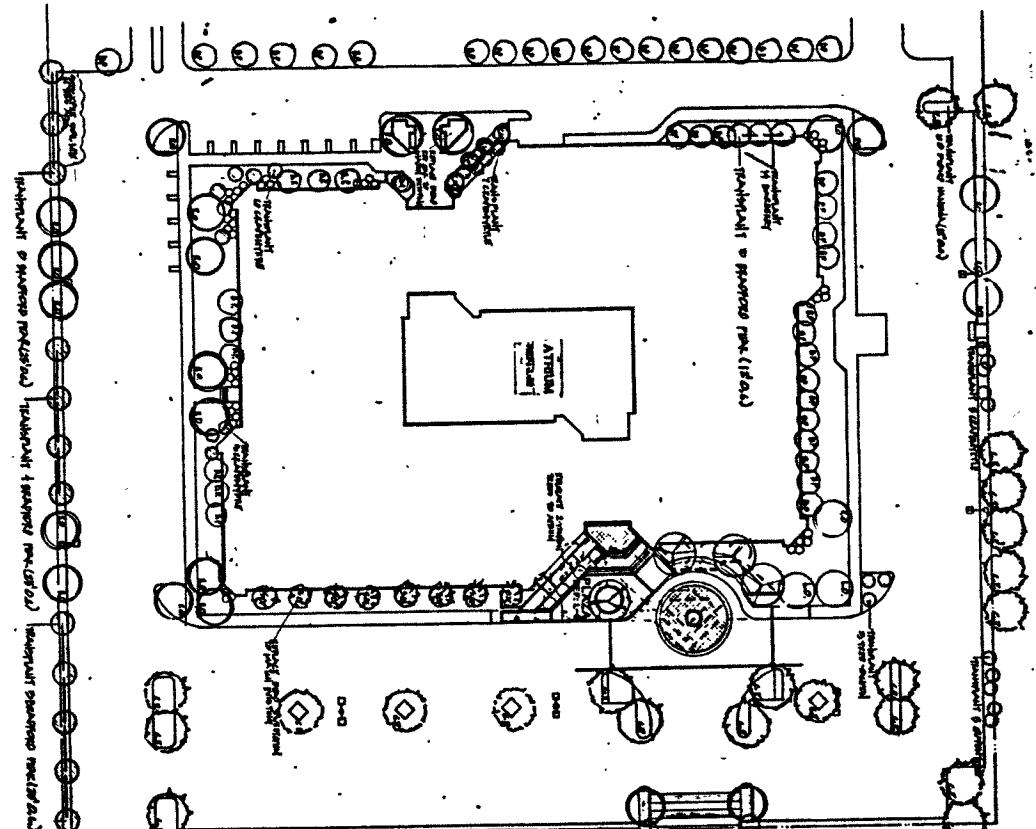
TOTAL SPACES: 1200
REPAIRS: 1000
REPAIRS: 1000
TOTAL PARKING REQUIRED: 1200

CASE FILE NO. 9-2885

NO.	REVISIONS	DATE
1	GENERAL REVISIONS	1-2-88
2	REVISED AREAS	1-5-88
3	REVISED NEIGHBORHOOD	1-10-88
4	MEDICAL CROSS, DISTRICT NO. 1, A-1	1-15-88
5	REVISIONS - TEAM ENCLOSURES	1-20-88

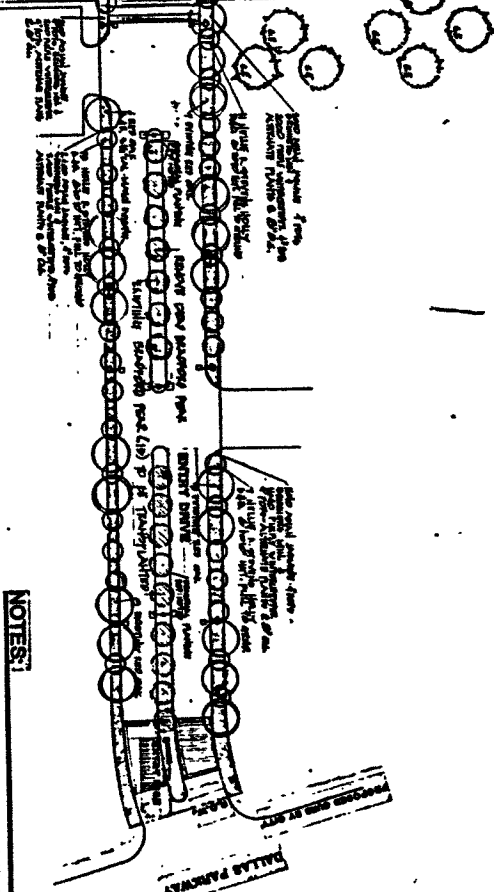


CRESTVIEW SQUARE



ENTRY BERM

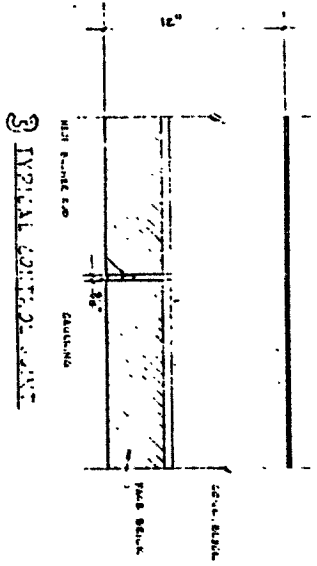
- REASON PLANTING FOR ENTRY BERM:**
1. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 2. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 3. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 4. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 5. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
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 14. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 15. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
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 17. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 18. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 19. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 20. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 21. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 22. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 23. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 24. Plant: *Prunella* (Color: purple) - 10' x 10' spacing
 25. Plant: *Prunella* (Color: purple) - 10' x 10' spacing



NOTES:

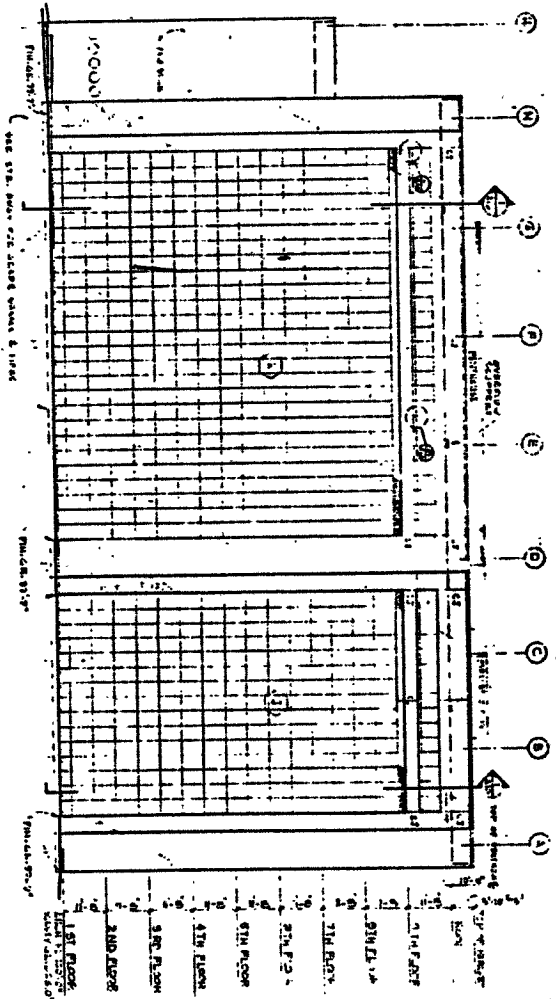
1. All plants shall be installed in accordance with the specifications and drawings.
2. All plants shall be installed in accordance with the specifications and drawings.
3. All plants shall be installed in accordance with the specifications and drawings.
4. All plants shall be installed in accordance with the specifications and drawings.
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19. All plants shall be installed in accordance with the specifications and drawings.
20. All plants shall be installed in accordance with the specifications and drawings.
21. All plants shall be installed in accordance with the specifications and drawings.
22. All plants shall be installed in accordance with the specifications and drawings.
23. All plants shall be installed in accordance with the specifications and drawings.
24. All plants shall be installed in accordance with the specifications and drawings.
25. All plants shall be installed in accordance with the specifications and drawings.

LANDSCAPE TRANSPLANT PLAN



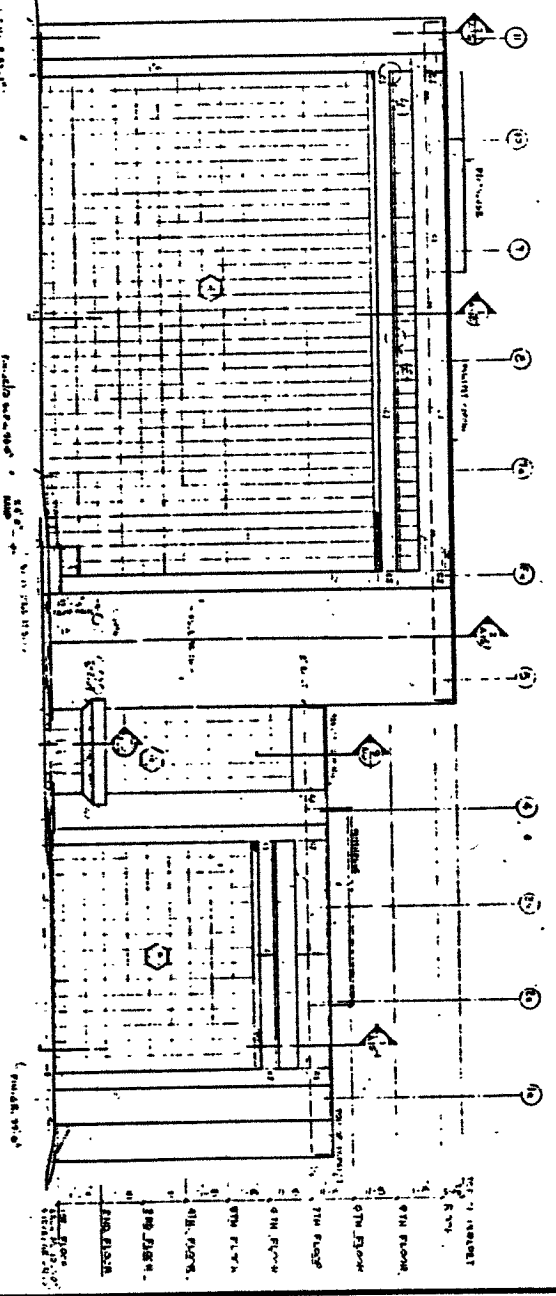
2 NORTH ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

SCALE 1/8" = 1'-0"



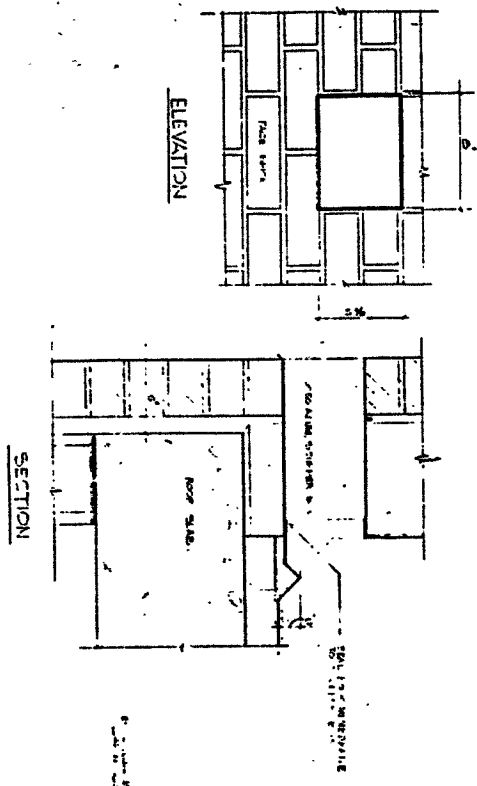
DATE	BY	CHKD
12/15/50	J.M.	J.M.
12/15/50	J.M.	J.M.

CRESTVIEW SQUARE
A 9 STORY OFFICE BUILDING
ADJACENT TEXAS

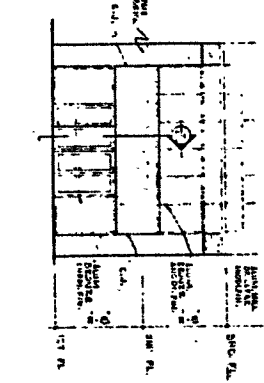


NO.	REVISIONS	DATE	BY	CHKD
1	GENERAL REVISION	12/15/50	J.M.	J.M.

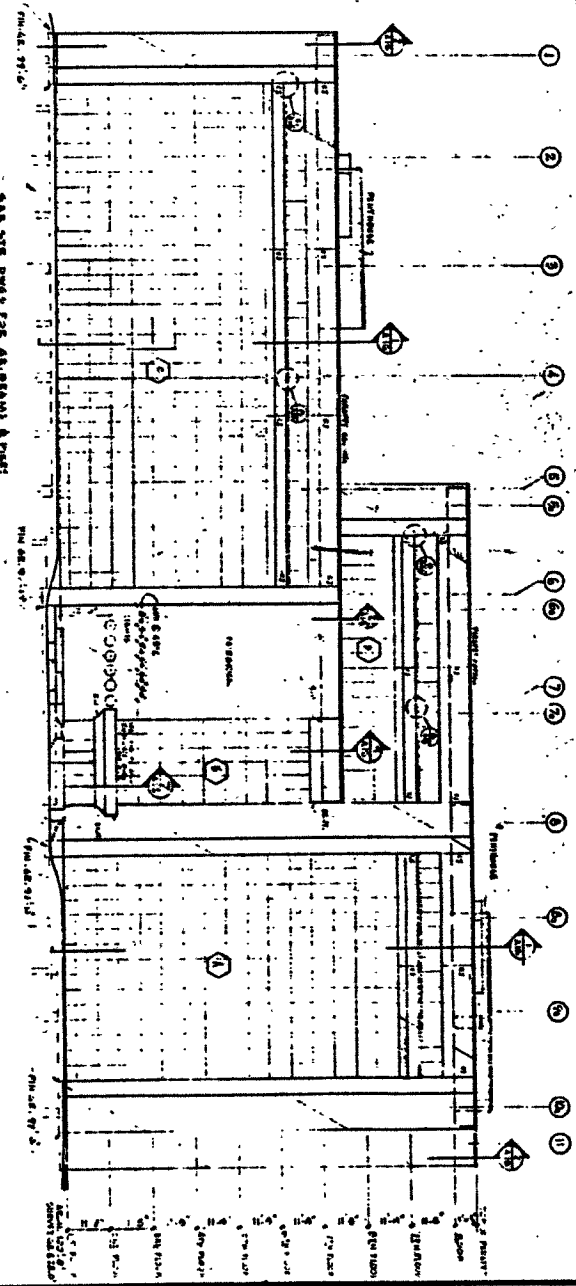
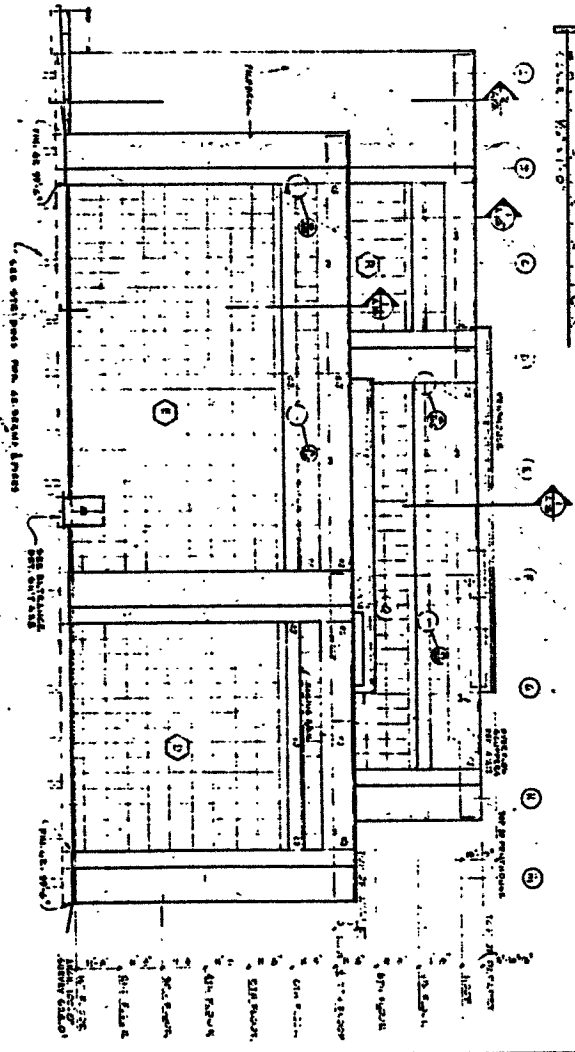
SCUPPER DETAIL
SCALE 1/4" = 1'-0"



SECTION
SCALE 1/4" = 1'-0"



SECTION
SCALE 1/4" = 1'-0"



	CRESTVIEW SQUARE			Revisions	Date	Revisions	Date
	A 3 STORY OFFICE BUILDING			1. GENERAL REVISION	2-4-51		
ADDISON, TEXAS							

FINISH MATERIALS

1. WALLS: 2" x 4" STUDS, GYPSUM BOARD, 1/2" PLASTER, PAINT TO MATCH EXISTING.

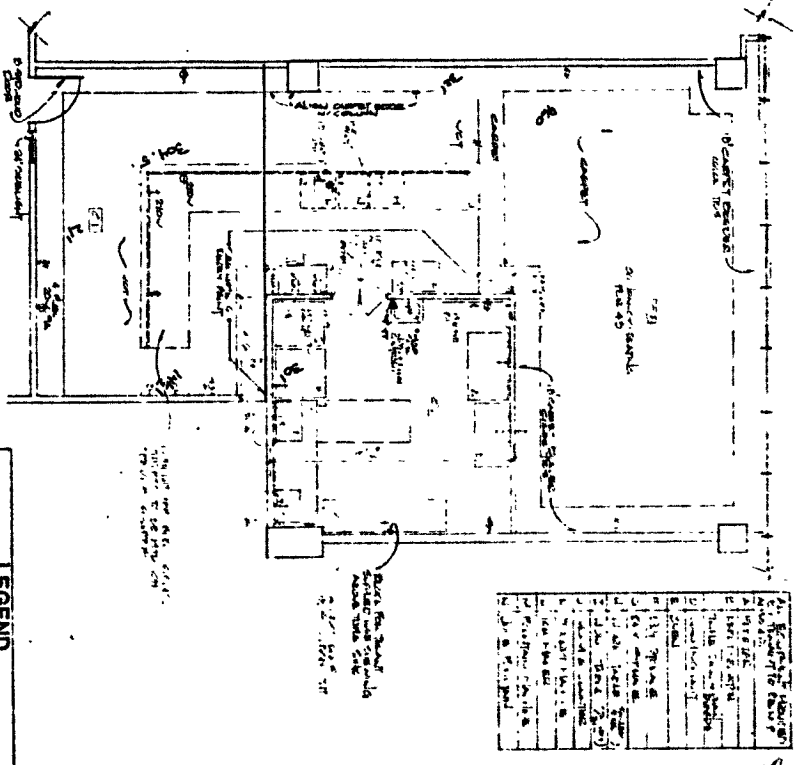
2. FLOOR: 2" x 4" JOISTS, 1" x 6" PLANKS, 1/2" SAND, 1" GRAVEL, 4" CONCRETE SLAB, 1" FINISH FLOOR.

3. CEILING: 2" x 4" JOISTS, 1/2" GYPSUM BOARD, PAINT TO MATCH EXISTING.

4. ROOF: 2" x 4" JOISTS, 1" x 6" PLANKS, 1/2" SAND, 1" GRAVEL, 4" CONCRETE SLAB, 1" FINISH FLOOR.

5. EXTERIOR: 4" CONCRETE SLAB, 1" FINISH FLOOR, 1" GYPSUM BOARD, PAINT TO MATCH EXISTING.

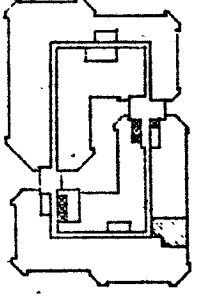
FLOOR PLAN
SCALE 1/4" = 1'-0"



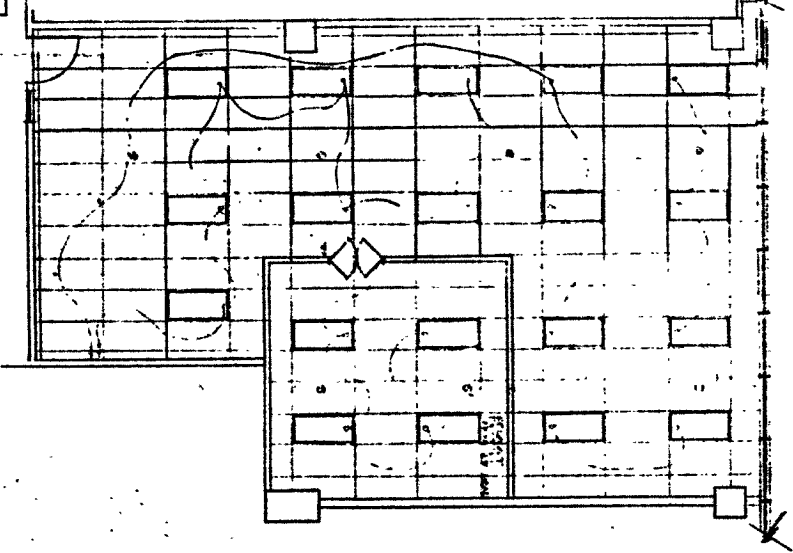
LEGEND

1	PLATE GLASS
2	PAINT TO MATCH EXISTING
3	1" x 6" PLANKS, 1/2" SAND, 1" GRAVEL, 4" CONCRETE SLAB, 1" FINISH FLOOR
4	2" x 4" JOISTS, 1/2" GYPSUM BOARD, PAINT TO MATCH EXISTING
5	2" x 4" JOISTS, 1" x 6" PLANKS, 1/2" SAND, 1" GRAVEL, 4" CONCRETE SLAB, 1" FINISH FLOOR
6	4" CONCRETE SLAB, 1" FINISH FLOOR, 1" GYPSUM BOARD, PAINT TO MATCH EXISTING

LOCATION PLAN
SCALE 1/4" = 1'-0"



REFLECTED CEILING PLAN
SCALE 1/4" = 1'-0"



GENERAL NOTES

- All work shall comply with all applicable codes.
- The Contractor shall be responsible for all permit applications and fees.
- The Contractor shall be responsible for all utility relocation and protection.
- The Contractor shall be responsible for all site work, including site preparation, site clearing, site grading, site drainage, site paving, site lighting, site security, site fencing, site signage, site maintenance, site restoration, site cleanup, site disposal, site recycling, site reuse, site conservation, site protection, site safety, site health, site environment, site quality, site performance, site satisfaction, site success.
- The Contractor shall be responsible for all construction quality control and assurance.
- The Contractor shall be responsible for all construction safety and health.
- The Contractor shall be responsible for all construction environmental protection.
- The Contractor shall be responsible for all construction social and community relations.
- The Contractor shall be responsible for all construction risk management.
- The Contractor shall be responsible for all construction stakeholder communication.
- The Contractor shall be responsible for all construction project management.
- The Contractor shall be responsible for all construction team collaboration.
- The Contractor shall be responsible for all construction innovation and improvement.
- The Contractor shall be responsible for all construction sustainability and resilience.
- The Contractor shall be responsible for all construction transparency and accountability.
- The Contractor shall be responsible for all construction integrity and ethics.
- The Contractor shall be responsible for all construction leadership and excellence.
- The Contractor shall be responsible for all construction vision and mission.
- The Contractor shall be responsible for all construction values and culture.
- The Contractor shall be responsible for all construction identity and reputation.
- The Contractor shall be responsible for all construction legacy and impact.

LEGEND

1	Example: Structural Head
2	Example: 2-4 Floor Joists 1/2" Gypsum Board
3	Example: 1" x 6" Plank

NOTES

- Contractor to supply and install per 1b, provide shop drawings and details per plumbing code.
- Contractor to supply and install 20 gallon water heater above ceiling in Rm. 02.
- All existing walls must be to dem. 1/2" drywall and exterior finish.
- Per No. 02, ceiling tiles may be installed and exterior finish.
- All walls in Rm. 01 and 02 to be fiberglass reinforced panels.
- Contractor shall install exterior water meter and water supply main (1/2" dia. water meter 1/2" dia. water supply main) in Rm. 01 and 02.
- Per No. 02, floor 1/2" to be concrete (11x11 200's), with 1/2" sand on top (180's).
- Per No. 01 and 02 floors are to be 4" (11x11 200's) sand on top (180's).
- See to all other T&E.

PRINCETON CAFE
THE PRINCETON OFFICE BLDG
1ST FLOOR



BRANCH + TAYLOR ASSOCIATES, INC
ARCHITECTS PLANNERS DESIGNERS
10440 GOLF ROAD, SUITE 810
DALLAS, TEXAS 75240



DATE: 3-2-82
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]
CD-1