

ORDINANCE NO. 086-073

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING SPECIAL USE ORDINANCE NO. 556 TO GRANT A SPECIAL USE PERMIT FOR THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISES CONSUMPTION; PROVIDING FOR AMENDMENT TO THE SITE PLAN, ON APPLICATION WITH BIG WONG CHINESE RESTAURANT, LOCATED AT 5330 BELT LINE ROAD; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR NO SEVERABILITY CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas as required by State Statutes and the zoning ordinance of the Town of Addison, Texas and all the legal requirements, conditions and prerequisites having been complied with the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

Published  
10/2/86



BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS:

SECTION 1. That Ordinance No. 556 passed by the City Council on the 16th day of January, 1980, is hereby amended by providing for the sale of alcoholic beverages for on-premises consumption.

SECTION 2. That the Special Use Permit for the sale of alcoholic beverages is granted subject to the following special conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, landscape plan, and the elevation drawings showing four exterior walls which are attached hereto and made a part hereof for all purposes. The landscaping shall be maintained in the condition as set forth in such drawings.
2. That the special use permit granted herein shall be limited to a restaurant and the sale of alcoholic beverages for on-premises consumption only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 3,722 sq. ft.
3. No signs advertising sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison, Texas, and all permitted signs must be shown on the elevation drawings.
4. That the sale of alcoholic beverages under this special use permit shall be permitted in restaurants. Restaurants if hereby defined as establishments which receives at least sixty percent (60%) of their gross revenues from the sale of food.
5. Said establishment shall make available to the city or its agents, during reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of Paragraph 4 are met.

6. The use of gaming devices, such as billiards (pool) tables, pinball machines, marble tables, and other coin operated amusement machines, other than machines for music are hereby prohibited.
7. Where the sale or serving of alcoholic beverages is permitted, dancing is hereby prohibited.
8. Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of alcoholic beverages.
9. That if the property for which the special use permit is granted and is not used for the purposes for which said permit was granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings.
10. That if a license or permit to sell alcoholic beverages on property covered by this special use permit is revoked, terminated or cancelled by proper authorities, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.

SECTION 3. Said special conditions are placed on the property outlined in Ordinance No. 556:

1. The property owners comply with the recommendations of Linda Smith concerning the Pecan trees.
2. The property owner replace any dead landscaping on the site prior to a Certificate of Occupancy for the restaurant.
3. The property owner install sidewalks along the entire Belt Line Road frontage.


SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of One Thousand Dollars (1,000.00) and not less than Five Hundred Dollars

(\\$500.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

SECTION 5. That should any paragraph, sentence, sub-division, clause, phrase, or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 6. The importance of this ordinance creates an emergency and an imperative public necessity, and the ordinance shall take effect and be in force from and after its adoption.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 23rd day of September, 1986.

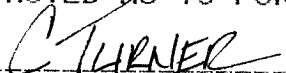
  
MAYOR

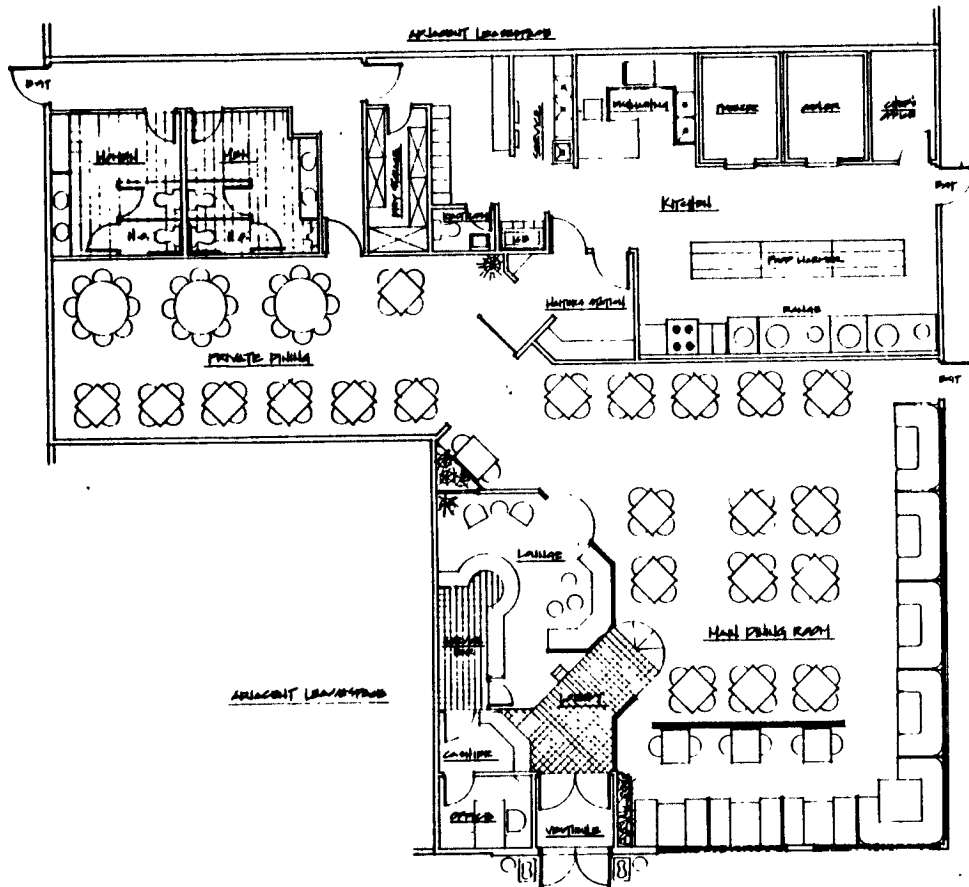
ATTEST:

  
CITY SECRETARY

CASE NO. 986-SUP

APPROVED AS TO FORM:

  
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**NOTES:**

- 1 TOTAL 48 PT = 0.75L
- 2 DRINKS 0.75L = 0.75L
- 3 RESTROOMS 0.75L = 0.75L
- 4 PRIVATE DINING:
- 5 DRINKS - 2 0.75L = 1.5L
- 6 DRINKS - 1.5L = 1.5L
- 7 TOTAL DRINKS PROVIDED = 31 DRINKS
- 8 TOTAL DRINKS PROVIDED = 47 DRINKS (SEE SITE PLAN)

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



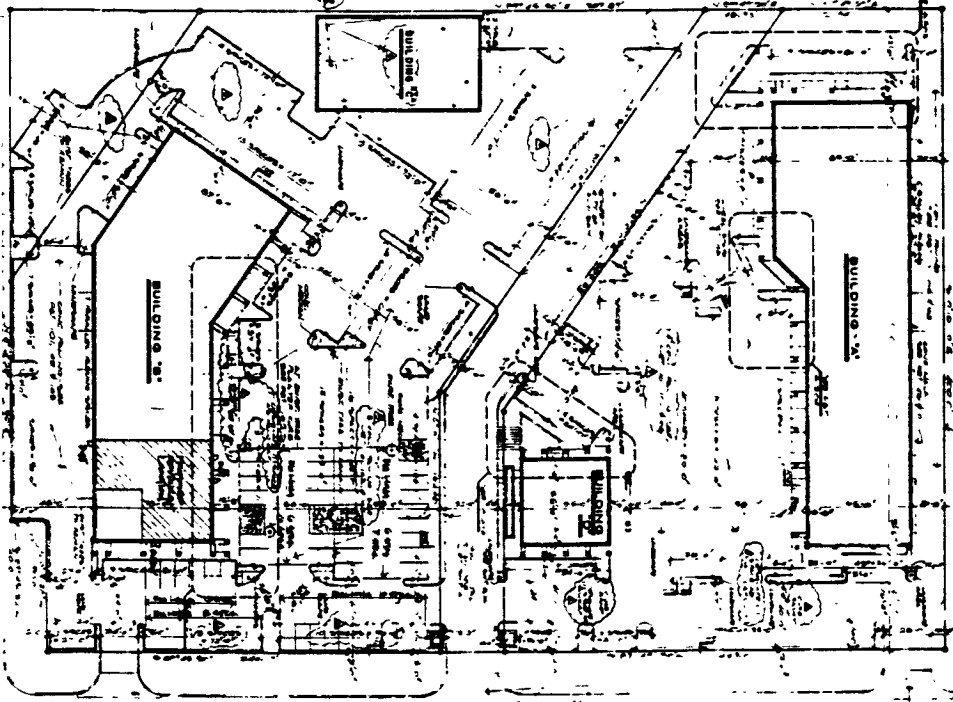
<b>BIG WONG CHINESE SEAFOOD RESTAURANT</b>	
BY: <u>W. R. CHAN</u>	DATE: <u>7/25/86</u>
DESIGNED BY: <u>W. R. CHAN</u>	REVISED:
DRAWN BY: <u>W. R. CHAN</u>	SHEET: <u>1 of 4</u>

**CASE FILE NO. 986-SUP**  
**RECEIVED 7/25/86**

10 RAMP DETAIL A 3/8"=1'-0"

**BIG WONG**  
CHINESE SUIFOOD  
RESTAURANT

DATE: 1/24/80  
BY: [Signature]  
CHECKED BY: [Signature]



**SITE PLAN (REVISED)**  
SCALE: 1/8"=1'-0"  
DATE: 1/24/80

BELT LINE ROAD

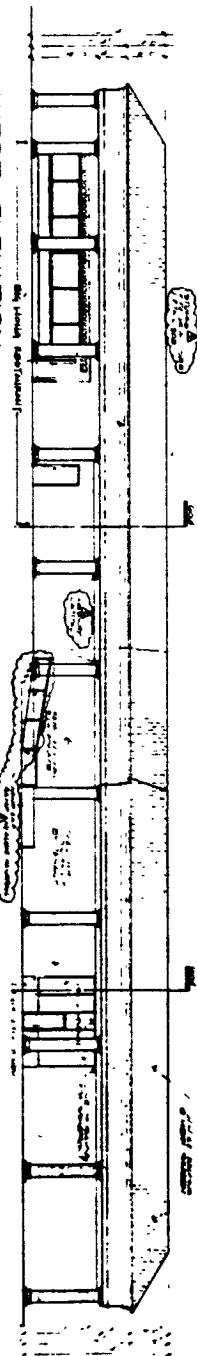
NO.	DATE	REVISIONS
1	1/24/80	ISSUED FOR PERMITS
2	2/10/80	REVISED PER COMMENTS
3	2/10/80	REVISED PER COMMENTS
4	2/10/80	REVISED PER COMMENTS
5	2/10/80	REVISED PER COMMENTS
6	2/10/80	REVISED PER COMMENTS
7	2/10/80	REVISED PER COMMENTS
8	2/10/80	REVISED PER COMMENTS
9	2/10/80	REVISED PER COMMENTS
10	2/10/80	REVISED PER COMMENTS

**TOWN HALL SQUARE SHOPPING CENTER**  
ADDRESS: [Blank] TEXAS

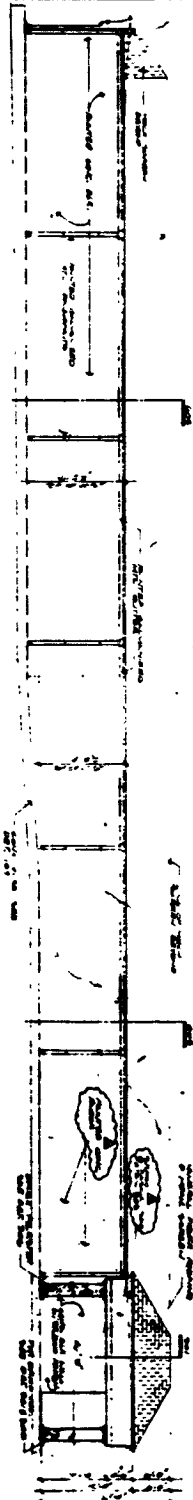
**SHEPHERD + BOYD**  
SHEPHERD + BOYD ARCHITECTS & INTERIORS  
1007 FORT WORTH AVENUE  
EAST WOODFORD LANE  
DALLAS TEXAS 75203  
TELEPHONE 214-888-8000

SHEPHERD + BOYD ARCHITECTS DALLAS, TEXAS

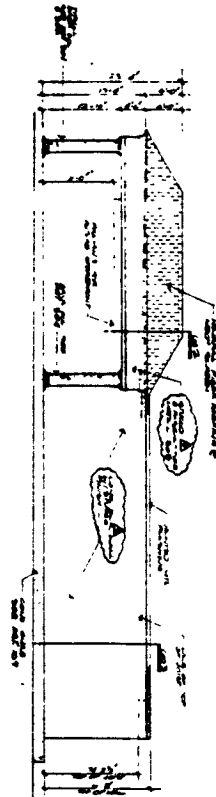
WEST ELEVATION BUILDING 'B'  
SCALE 1/8" = 1'-0"



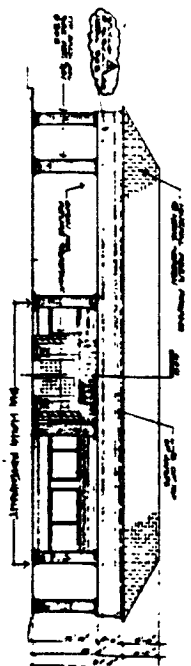
EAST ELEVATION BUILDING 'B'  
SCALE 1/8" = 1'-0"



SOUTH ELEVATION BUILDING 'B'  
SCALE 1/8" = 1'-0"



NORTH ELEVATION BUILDING 'B'  
SCALE 1/8" = 1'-0"



BIG WONG  
CHINESE STAFFOOD  
RESTAURANT  
DATE: 1/24/70  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

Architectural title block containing a star logo and project information.

TOWN HALL SQUARE  
SHOPPING CENTER  
DELTA DEVELOPMENT

SHEPHERD + BOYD  
ARCHITECTS  
P.O. BOX 1000  
DALLAS, TEXAS 75201

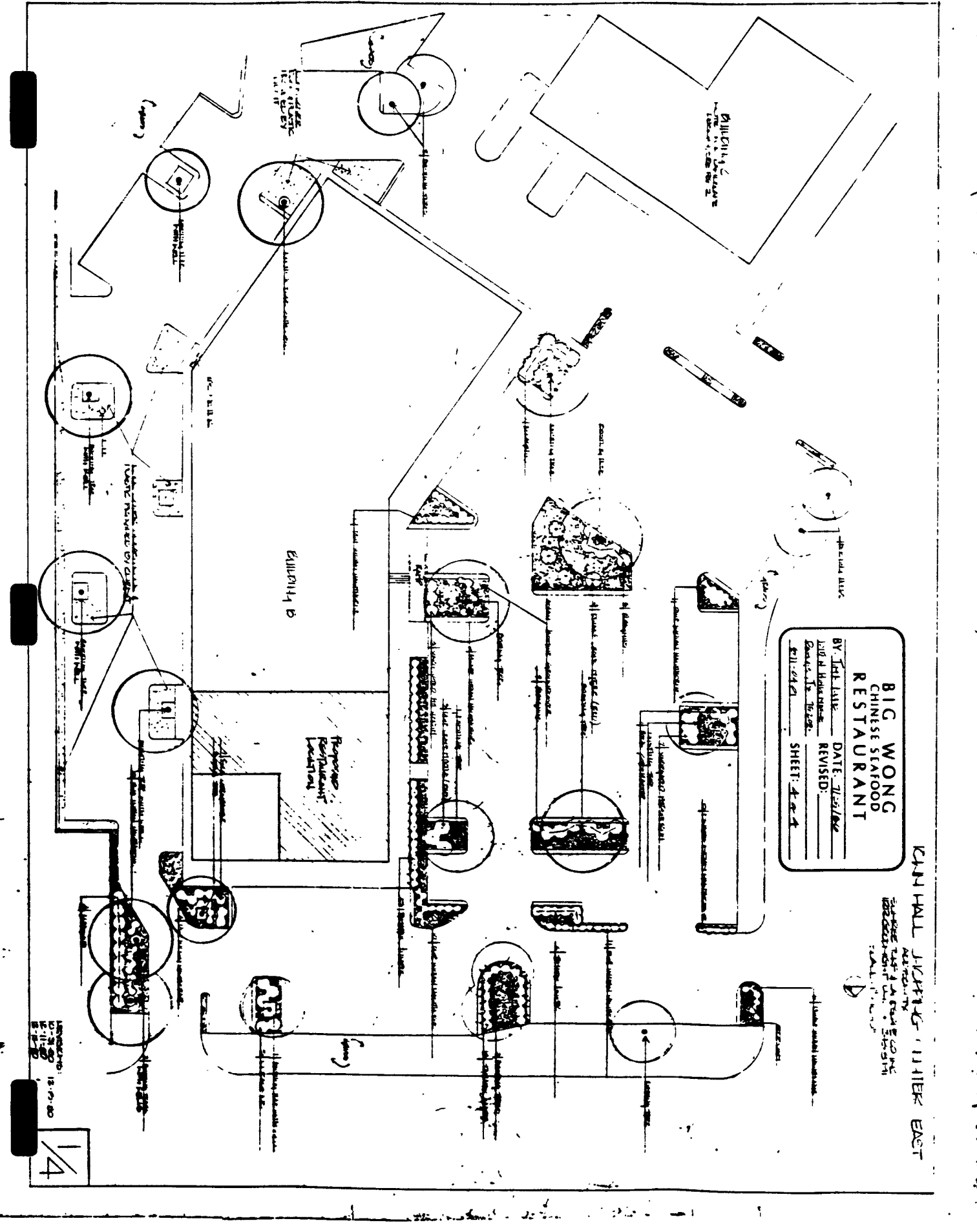


# BIG WONG CHINESE SEAFOOD RESTAURANT

BY: JOHN LAMB  
DATE: 7/25/84  
REVISED:  
SHEET: 4 of 4

KAN HALL 1147 1/2 ST. N. W. ALBUQUERQUE, N.M. 87102

RESTAURANT  
DESIGNED BY JOHN LAMB  
DRAWN BY JOHN LAMB



1/4