

ORDINANCE NO. 086-078

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE SO AS TO GRANT A SPECIAL USE PERMIT FOR A TELEPHONE SUBSTATION BUILDING, ON APPLICATION WITH SOUTHWESTERN BELL TELEPHONE, LOCATED ON THE NORTH SIDE OF ARAPAHO ROAD, APPROXIMATELY 430 FEET EAST OF ITS INTERSECTION WITH ADDISON ROAD; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

Published 10/30/84



BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit for a Telephone Substation Building for Southwestern Bell Telephone. Said zoning amendment shall be noted on the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

BEING a 0.1338 acre tract of land lying in the G.W. Fisher survey, abstract No. 482, city of ADDISON, DALLAS COUNTY, TEXAS, bounded as follows:

BEGINNING at a 1/2 inch steel pin on the north right-of-way line of Arapaho Road (60 foot R/W), said pin being 429.55 feet 589 deg 55' 20" E from the intersection of the east right of way of Addison Road (60 foot R/W) and the north line of Arapaho Road;

THENCE N 01 deg 27' 02" E at 39.90 feet the southeast corner of a concrete walled building, continuing along the east side of said building a total distance of 100.00 feet to a 1/2 inch steel pin;

THENCE S 89 deg 57' 03" E a distance of 57.00 feet to a 1/2 inch steel pin;

THENCE S 00 deg 03' 46" E a distance of 100.00 feet to a 1/2 inch steel pin on the north line of Arapaho Road;

THENCE N 89 deg 55' 20" W with said right of way 59.64 feet to the beginning.

SECTION 2. That the Special Use Permit for a telephone substation building is granted subject to the following special condition:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be developed in accordance with the development plans attached hereto and made a part hereof for all purposes. The landscaping shall be maintained in the condition as set forth in such drawings.

SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of One Thousand Dollars (\$1,000.00) and not less than Five Hundred (\$500.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 6. Whereas, the above described property required that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City and creates an urgency and an emergency for the preservation of the public

health, safety and welfare and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption as the law in such cases provides.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 14th day of October, 1986.

  
MAYOR

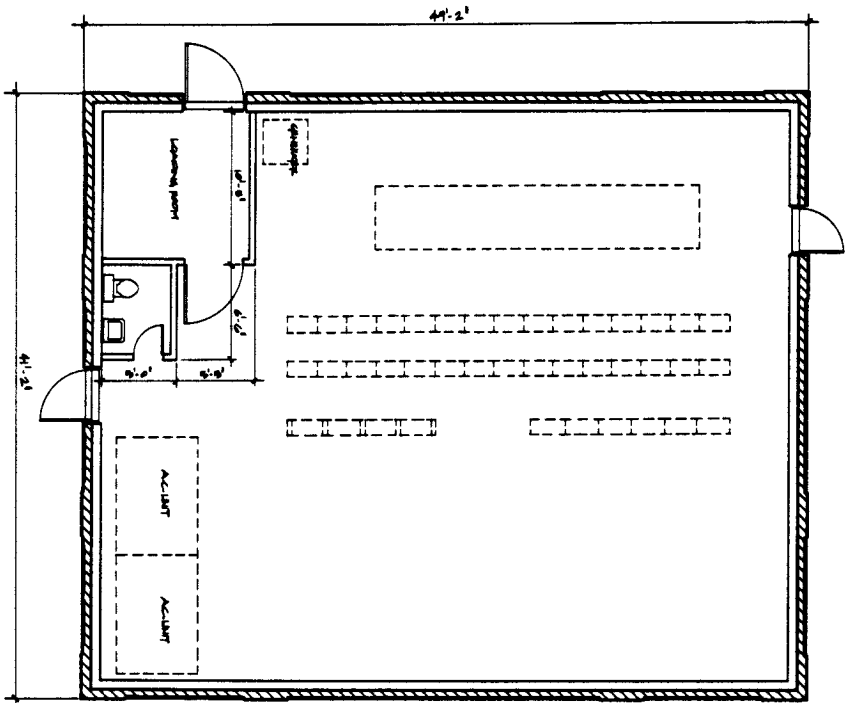
ATTEST:

  
CITY SECRETARY

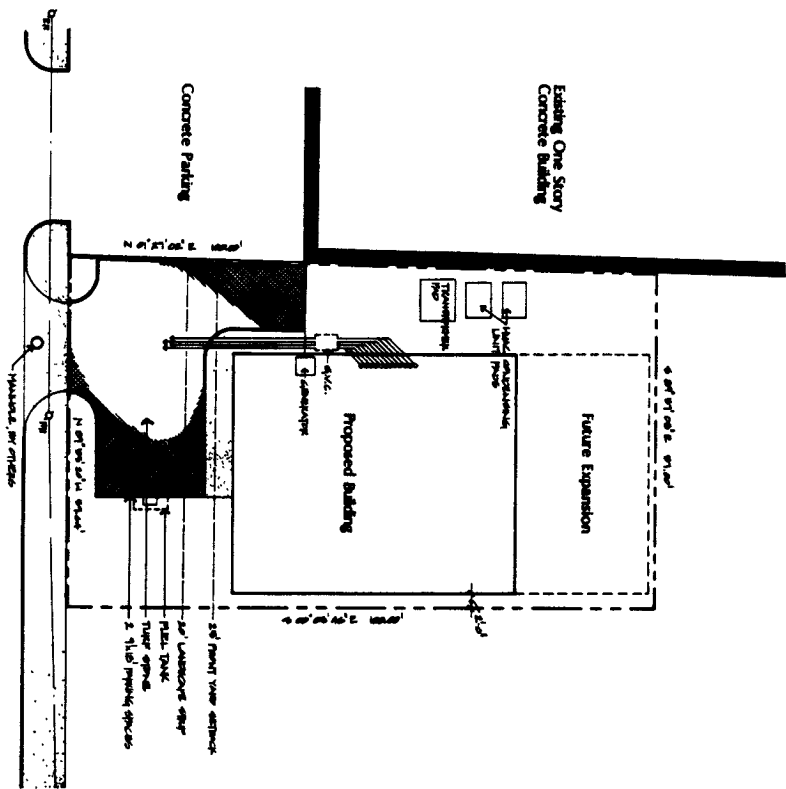
CASE NO. 991-SUP

APPROVED AS TO FORM:

  
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**FLOOR PLAN**  
SCALE 1/4"=1'-0"

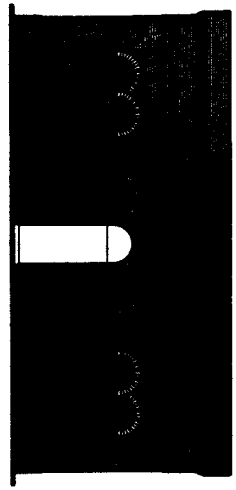


**SITE PLAN**  
SCALE 1"=100'-0"

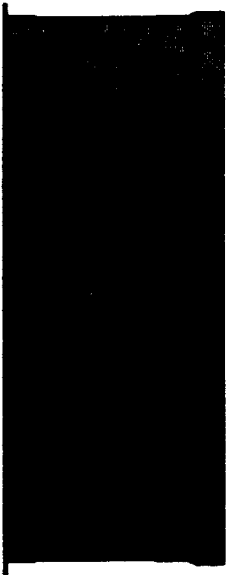
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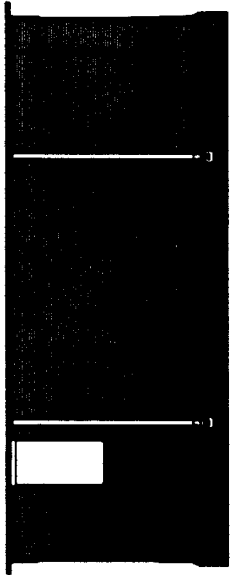
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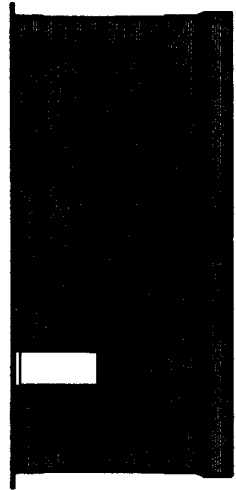
**SOUTH ELEVATION**



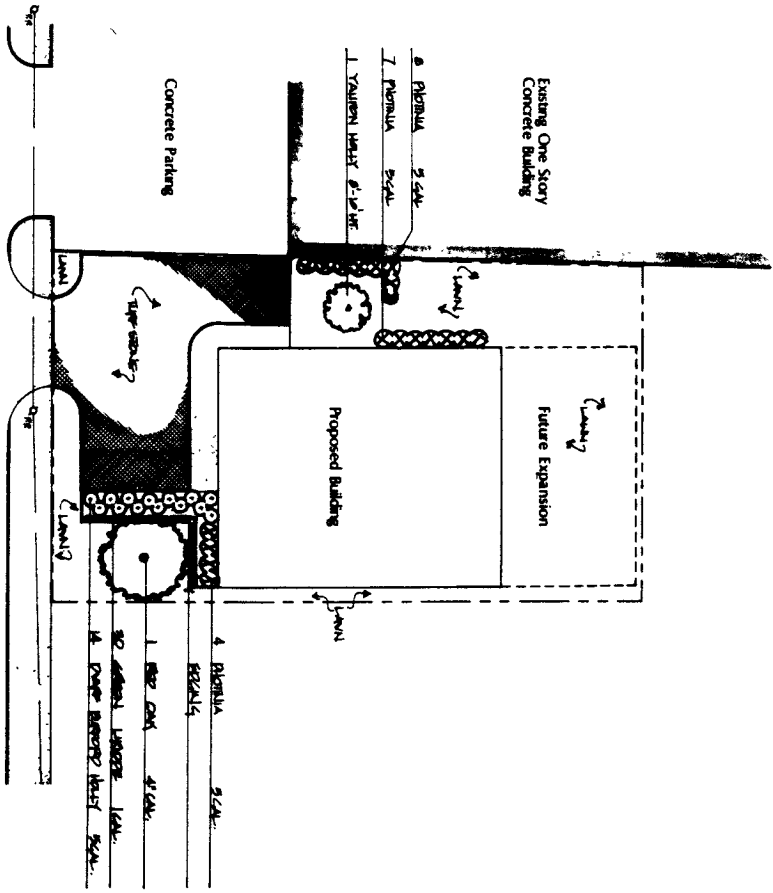
**EAST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION** SCALE 3/16"=1'-0"



**ARAPAHO ROAD 60' R.O.W.**

**LANDSCAPE PLAN** SCALE 1/8"=1'-0"

QUANTITY	PLANT NAME	SIZE	REMARKS
1	2" PALMIA	2'x4'	2'x4' PALMIA
7	7" PALMIA	2'x4'	7" PALMIA
1	YAUDEI WREST	2'x4'	YAUDEI WREST
2,200	DIFFER. LARGES	1'x4'	DIFFER. LARGES
14	DIVER. BURNING WREST	2'x4'	DIVER. BURNING WREST
4	BIRD CHA	4'x4'	BIRD CHA
30	DIFFER. LARGES	1'x4'	DIFFER. LARGES
1	CONCRETE		CONCRETE
1	LAWN		LAWN
1	CONCRETE		CONCRETE
1	LAWN		LAWN

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Existing One Story  
Concrete Building

Future Expansion

Proposed Building

1 TREE YALPO. 1 HOLLY 8'HT.

6 PHOTINIA 5 GAL.

Concrete Parking

2 DW. BURFORD HOLLY 5 GAL.

1 CRAPMYRTLE 8'HT

5 GREEN LIRIOPE 1 GAL.

6 PHOTINIA 5 GAL

EDGING

1 RED OAK 4" CAL.

60 GREEN LIRIOPE 1 GAL.

24 DWARF BURFORD HOLLY 5 GAL.

2 CRAPMYRTLE 8'HT

SOCC

LYTIC BLOCK  
PAVING

CONC.

CONC

PR

0.00

