

ORDINANCE NO. 087-035

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING SPECIAL USE ORDINANCE NO. 084-028 TO AMEND THE SITE PLAN, ON APPLICATION FROM ADDISON SQUARE GARDEN, LOCATED AT 16101 ADDISON ROAD; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR NO SEVERABILITY CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas as required by State Statutes and the zoning ordinance of the Town of Addison, Texas and all the legal requirements, conditions and prerequisites having been complied with the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

Published 6/18/87



BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS:

SECTION 1. That Ordinance No. 084-028 passed by the City Council on the 8th day of May, 1984, is hereby amended by amending Section 2.1 to approve a new site plan which is attached hereto and made a part hereof for all purposes.

SECTION 2. That the Speical Use Permit is granted subject to the addition of the following conditions:

12. The owner of the property shall comply with the recommendations of the Landscape Director prior to the issuance of a permit for the remodeling.
13. The property shall be improved with 5' sidewalks, built to city specifications along the entire Addison Road frontage.
14. No signage shall be allowed on the site which includes the word "BAR".

SECTION 2. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of One Thousand

Dollars (1,000.00) and not less than Five Hundred Dollars (500.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. The importance of this ordinance creates an emergency and an imperative public necessity, and the ordinance shall take effect and be in force from and after its adoption.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this 9th day of June, 1987.



MAYOR

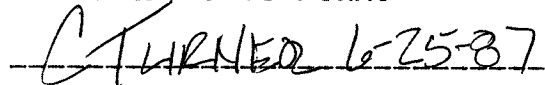
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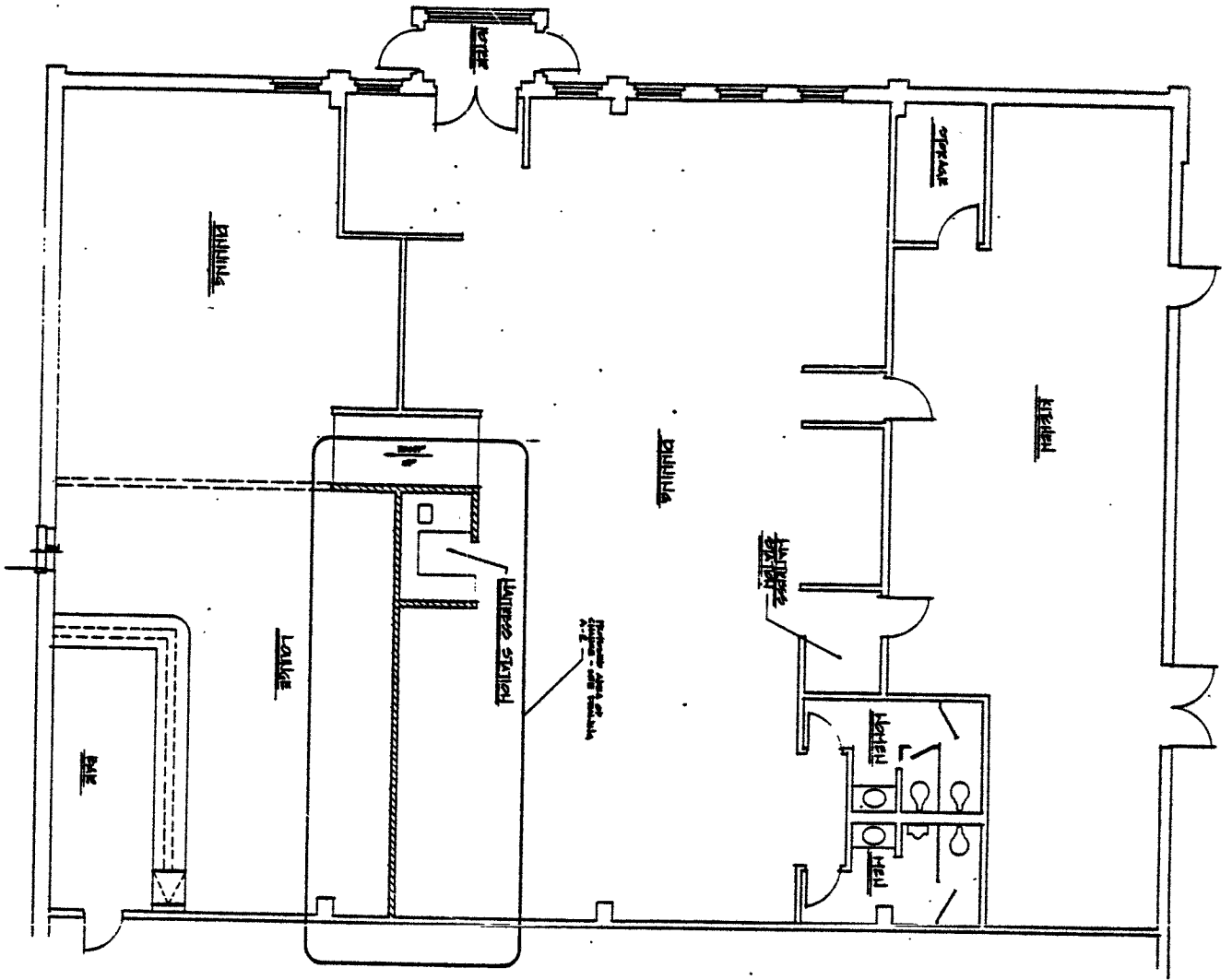


CITY SECRETARY

CASE NO. 821-SUP-2

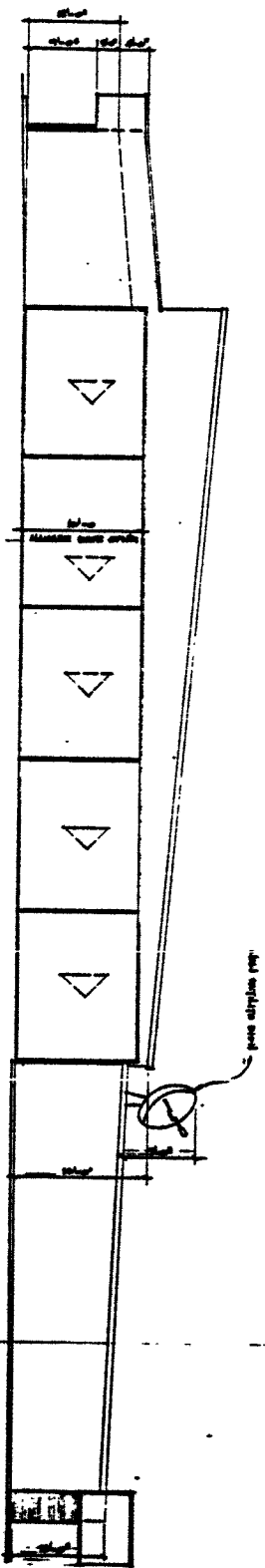
APPROVED AS TO FORM:



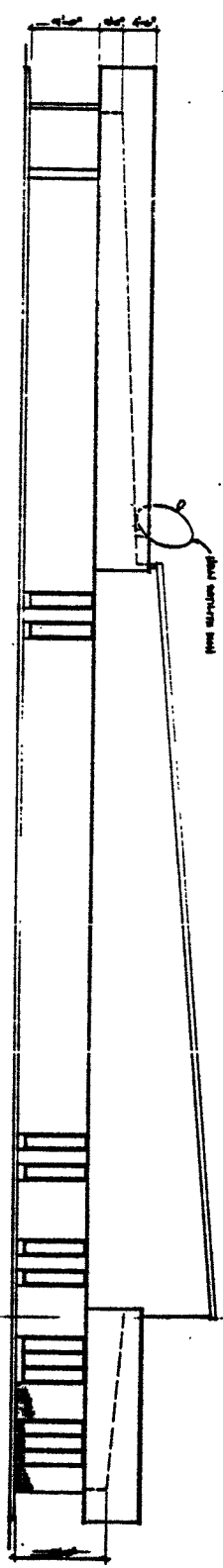


RESTAURANT

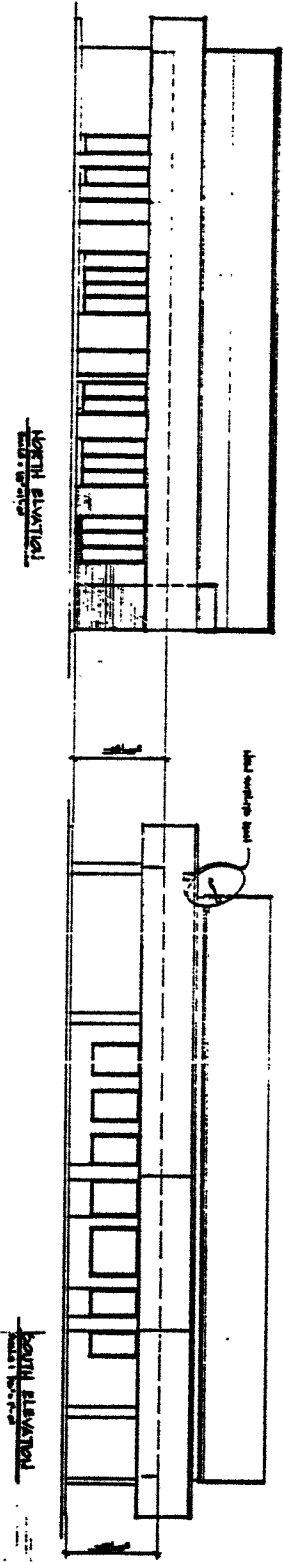
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 SERVICE GUARANTEED
 CALL BY 800-...
 1-800-848-1111



WEST ELEVATION



EAST ELEVATION

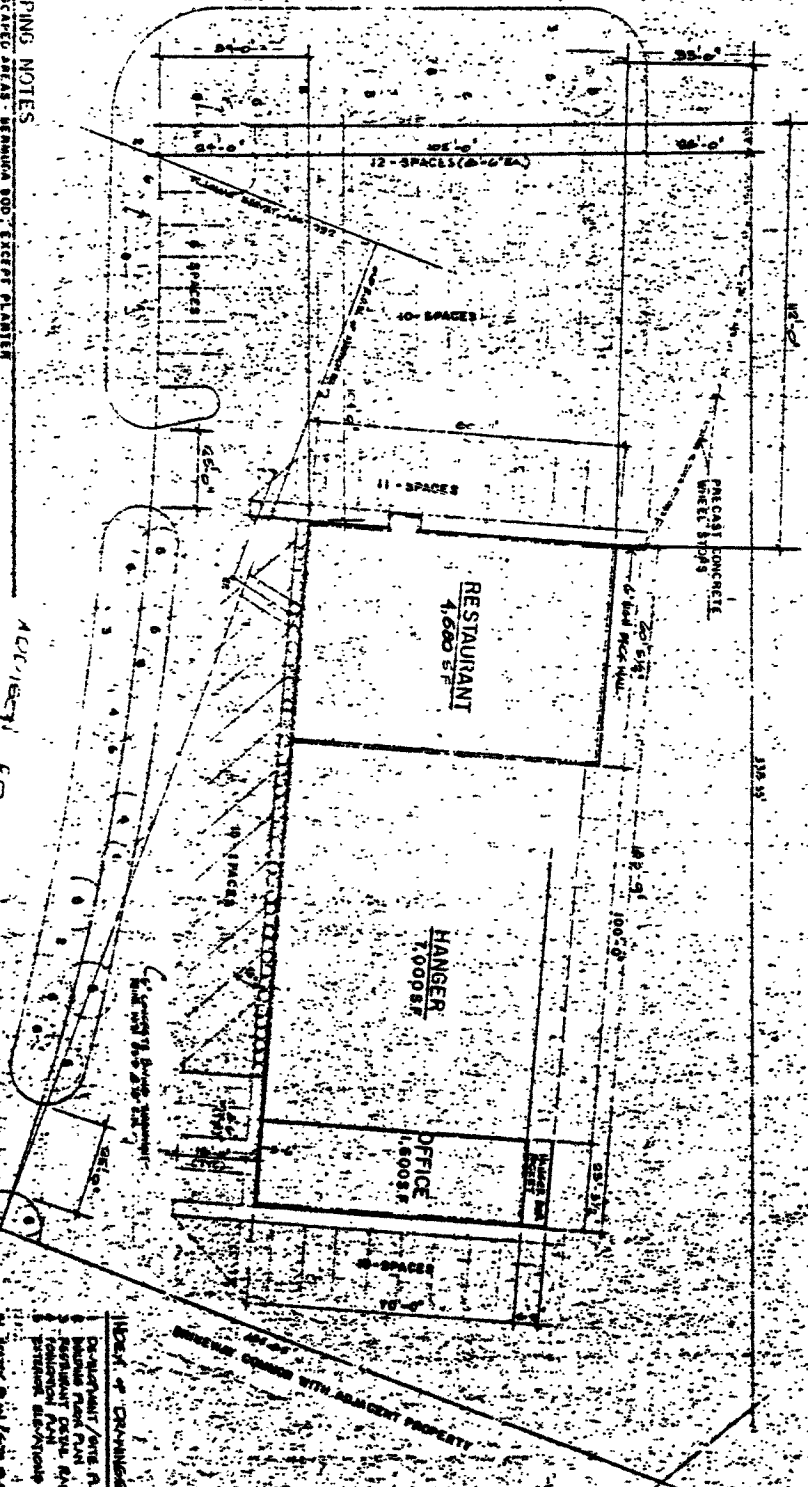


NORTH ELEVATION

SOUTH ELEVATION

DRAWING SCALE TO APPROX
 1/8" = 1'-0"
 DATE: 11-1-68
 1-5

KELLER SPRING ROAD



- LANDSCAPING NOTES**
1. ALL LANDSCAPED AREAS - REMAIN TO BE EXCEPT PLANTING AT EAST SIDE OF BLDG.
 2. IRRIGATION SYSTEM TO MAINTAIN BUOYED AREAS.
 3. 2" POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (FRP) TO BE USED FOR ALL FLOORING UNDER 2" KELLER SPRING ROAD - 18" HGT.
 4. 2" POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (FRP) TO BE USED FOR ALL FLOORING UNDER 2" KELLER SPRING ROAD - 18" HGT.
 5. 2" POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (FRP) TO BE USED FOR ALL FLOORING UNDER 2" KELLER SPRING ROAD - 18" HGT.
 6. 2" POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (FRP) TO BE USED FOR ALL FLOORING UNDER 2" KELLER SPRING ROAD - 18" HGT.
 7. 4" - 6" MULTI-LAYERED CHESE WYTHILL (12" TALL).
 8. 4" - 6" FLOWING QUINCE PLANTS ALONG EAST SIDE OF BLDG & RESTAURANT ON WALL.
 9. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 10. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 11. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 12. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 13. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
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 16. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 17. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 18. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 19. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.
 20. 4" - 6" FLOWING QUINCE PLANTS ALONG CORNERS AND SCENTENAS AT SE CORNER PARKING.

DEVELOPMENT PLAN

SCALE: 1/8" = 1'-0"

DEVELOPMENT DATA

TOTAL LAND	90,969.60 SQ. FT. - 1.5 AC.
TOTAL BLDG. AREA	19,600 SQ. FT.
RESTAURANT	4,600 SQ. FT.
HANGER	10,000 SQ. FT.
OFFICE	4,000 SQ. FT.
PARKING SPACES REQUIRED	60
PARKING SPACES PROVIDED	64
LANDSCAPED AREA WITHIN PROPERTY LINES	9.5%
LANDSCAPED AREA TOTAL	16%

- IDENT. OF CHANGES**
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Job No. 2372
 Date: 10/1/84
 SHEET NO.



DENNIS E. ANDERS
 ARCHITECTS
 P.O. BOX 21422, DALLAS, TEXAS 75221 214/492-4554

KODISON ARBERT RICE
 KODISON RD. @ KELLER SPRING
 KODISON, TEXAS



SPR. PLAN

Published

