

ORDINANCE NO. 087-063

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM RESIDENTIAL TO PLANNED DEVELOPMENT, FOR THE DEVELOPMENT OF A SHOPPING CENTER COMPLEX WITH PARKING STRUCTURE AND FIRE LANE, ON APPLICATION FROM DALLAS INTERNATIONAL CENTRE, LOCATED AT THE AT THE SOUTHWEST CORNER OF ADDISON ROAD AND TRINITY MILLS, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR NO SEVERABILITY CLAUSE; PROVIDING FOR A REPEAL CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, and required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly

Published 10/22/87



requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas, be, and the same is hereby amended by amending the zoning map of the Town of Addison, Texas, so as to give the hereinafter described property the zoning district classification, to-wit: Planned Development. Said property being in the Town of Addison, Texas, and being described as follows:

Being a tract of land out of the G.D. Drake Survey, Abstract No. 273, and the Eli Shepherd Survey, Abstract No. 1113, 1361, Town of Addison, Dallas County, Texas, and being part of a 13.677 acre tract of land conveyed to Trinity Mills-Addison, Ltd., a Texas limited partnership, as recorded in Volume 2140, page 639, Deed Records of Collin County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod set in the West right-of-way line of Addison Road (60' right-of-way), same being the Southeast corner of the above mentioned Trinity Mills-Addison, Ltd. tract;

THENCE, S 89 deg 56' 29" W, leaving the West right-of-way line of said Addison Road and along the South line of said Trinity Mills-Addison, Ltd. tract for a distance of 1071.27 feet to a 1/2" iron rod found at the Southwest corner of said Trinity Mills-Addison, Ltd. tract, same being the Southeast corner of a 7.001 acre tract of land conveyed to Burns & Burns - Trinity Mills Joint Venture, as recorded in Volume 1885, page 712, Deed Records of Collin County, Texas;

THENCE, N 01 deg 57' 12" E, along the West line of said Trinity Mills-Addison, Ltd. tract and the East line of said Burns & Burns - Trinity Mills Joint Venture tract for a distance of 68.23 feet to a point for corner at the intersection of the West line of said Trinity Mills-Addison, Ltd. tract with the Collin and Dallas County line;

THENCE, S 89 deg 35' 36" E, along said Collin and Dallas County line for a distance of 1071.01 feet to a point for corner in the West right-of-way of said Addison Road;

THENCE, S 01 deg 57' 58" W, along the West right-of-way line of said Addison Road for a distance of 59.53 feet to the POINT OF BEGINNING and containing 68,388 square feet or 1.570 acres of land, more or less.

SECTION 2. As provided in Planned Development District Article of the Comprehensive Zoning Ordinance, said property shall be developed with a fire lane for a shopping center which shall be built in accordance with the development plans which are attached hereto and made a part hereof for all purposes.

SECTION 3. The following special conditions are placed on the above described property:

1. The fire lane along the south property line shall be built with speed bumps located at intervals of 500 feet along its entire length.

2. The berm and landscaping located on the south side of the fire lane and against the south property line shall be installed with an adequate inconspicuous irrigation system and shall be properly maintained.

3. The garage shall be finished on the exterior with the same materials used on the exterior of the building.

4. The garage shall be constructed with only three levels of parking (maximum height, 39' 6"), against the Addison city limit line as shown on the site development plans attached to this ordinance.

5. Prior to the issuance of any permits for construction of the fire lane which lies in Addison, the applicant shall present to the Town of Addison a "stamped building permit set" of construction plans for the mall and garage which lie within the City of Dallas. The set must be stamped and approved by the City of Dallas Building Inspection Department and must detail plans and construction materials for the parking garage.

Section 4. All paved areas, permanent drives, streets and drainage structure shall be constructed in accordance with standard Town of Addison specifications adopted for such purpose.

SECTION 5. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) and not less then (\$500.00) Five Hundred for each offense and that each day such violation shall continue to exist shall constitute a separate offense.


SECTION 6. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 7. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 8. Whereas, the above described property requires that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City and creates an urgency and an emergency for the preservation of the public health, safety and welfare and requires that this ordinance shall

take effect immediately from and after its passage and publication of the caption as the law in such cases provides.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 13th day of October, 1987.



MAYOR

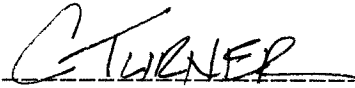
ATTEST:



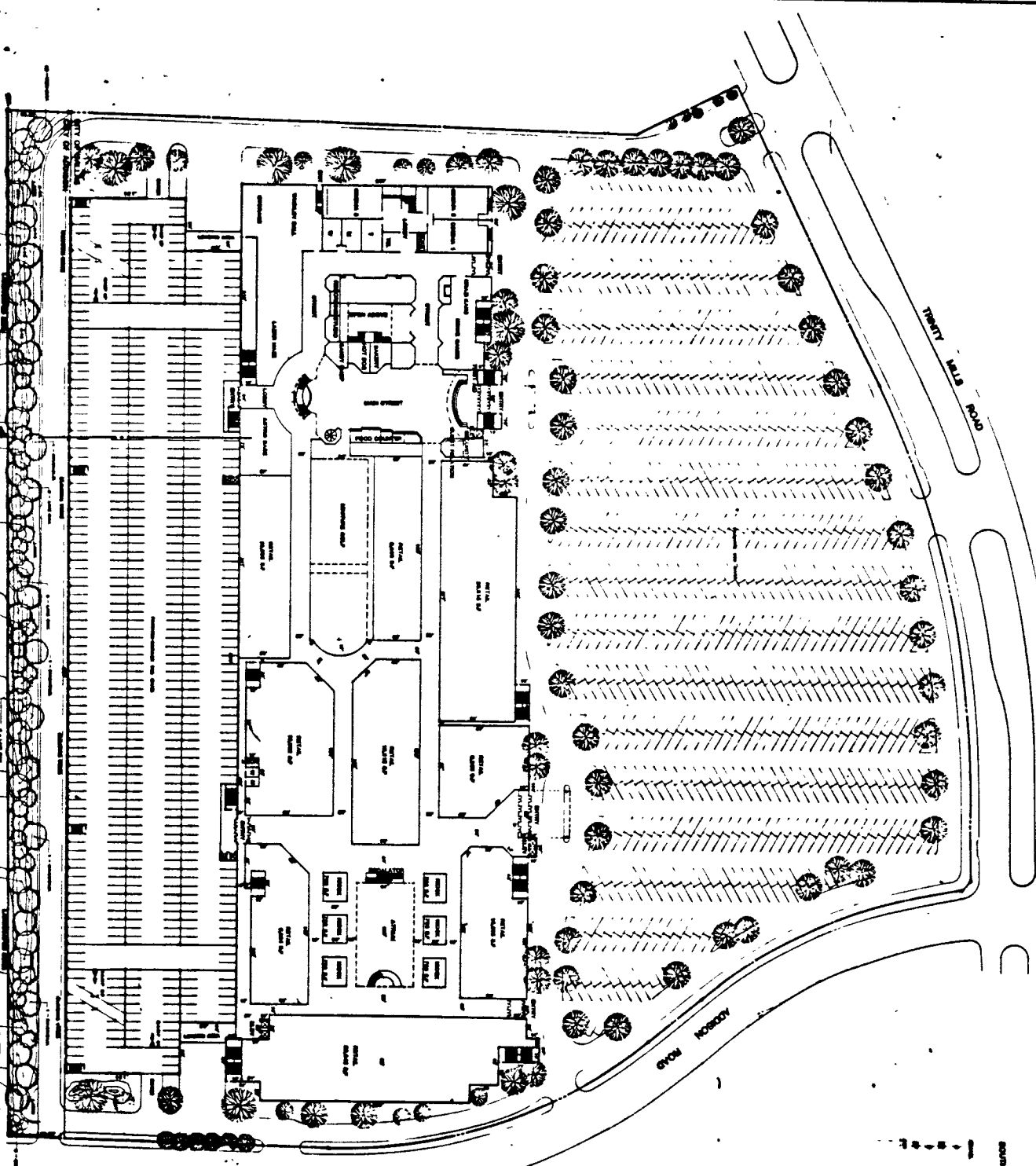
CITY SECRETARY

CASE NO. 1012-Z

APPROVED AS TO FORM:



LAST FILE NO. 1013-2
RECEIVED. 9-1-87



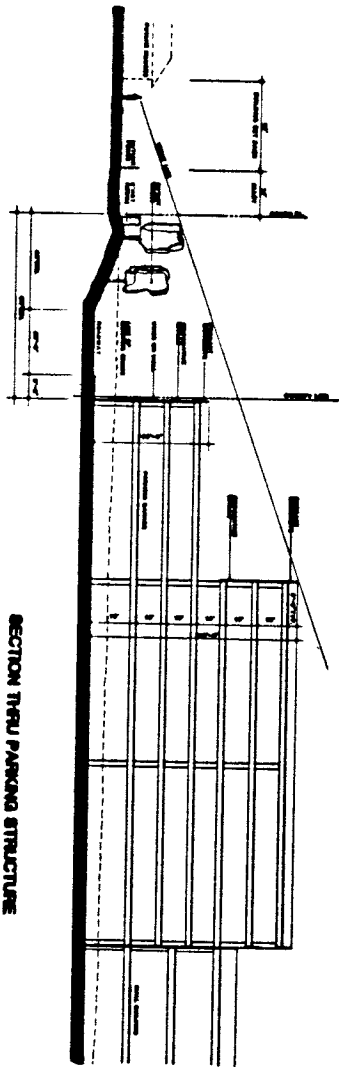
SITE PLAN



GENERAL NOTES

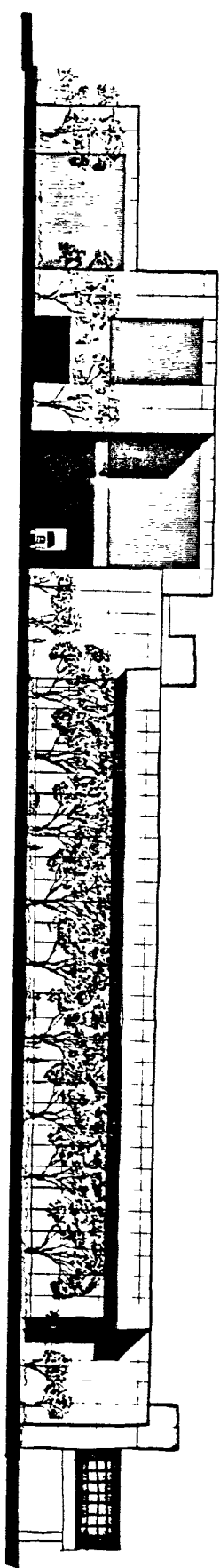
1.	SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
2.	SEE ELECTRICAL DRAWINGS FOR DETAILS.
3.	SEE MECHANICAL DRAWINGS FOR DETAILS.
4.	SEE CIVIL DRAWINGS FOR DETAILS.
5.	SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR DETAILS.
6.	SEE STRUCTURAL DRAWINGS FOR DETAILS.
7.	SEE PLUMBING DRAWINGS FOR DETAILS.
8.	SEE ROOFING DRAWINGS FOR DETAILS.
9.	SEE FINISHES DRAWINGS FOR DETAILS.
10.	SEE SPECIALTIES DRAWINGS FOR DETAILS.
11.	SEE SIGNAGE DRAWINGS FOR DETAILS.
12.	SEE SECURITY DRAWINGS FOR DETAILS.
13.	SEE TELECOMMUNICATIONS DRAWINGS FOR DETAILS.
14.	SEE FURNITURE DRAWINGS FOR DETAILS.
15.	SEE LIGHTING DRAWINGS FOR DETAILS.
16.	SEE SOUND DRAWINGS FOR DETAILS.
17.	SEE VENTILATION DRAWINGS FOR DETAILS.
18.	SEE WATER SUPPLY DRAWINGS FOR DETAILS.
19.	SEE WASTE REMOVAL DRAWINGS FOR DETAILS.
20.	SEE ENERGY EFFICIENCY DRAWINGS FOR DETAILS.

WOOD & TOWN & BARTWELL, INC. 1013-2 1013-2	THE DALLAS INTERNATIONAL CENTRE DALLAS TEXAS			
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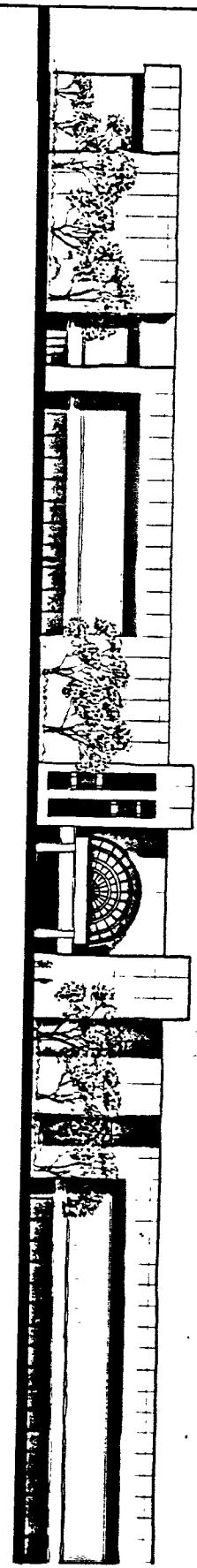



SECTION TRINITY PARKING STRUCTURE

ELEVATION AT ADDISON ROAD



ELEVATION AT TRINITY MILLS ROAD-PARTIAL




WONG & TUNG & PARTNERS, INC.
 ARCHITECTS PLANNERS
 2100 NORTH BARKSDALE STREET
 DALLAS, TEXAS 75201 TEL. 214-754-6140

THE DALLAS INTERNATIONAL CENTRE
 DALLAS TEXAS

SHEET NO. 10
 OF 10

DATE: 10/1/80
 DRAWN BY: [Name]
 CHECKED BY: [Name]

NO.	DATE	REVISION