

ORDINANCE NO. 087-071

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING SPECIAL USE ORDINANCE NO. 718 BY AMENDING THE SITE PLAN, LANDSCAPE PLAN, AND ELEVATION PLAN, ON APPLICATION FROM THE IMPROV RESTAURANT, LOCATED AT 4980 BELT LINE ROAD; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE;

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas as required by State Statutes and the zoning ordinance of the Town of Addison, Texas and all the legal requirements, conditions and prerequisites having been complied with the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

Published 11/5/87

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS:

SECTION 1. That Ordinance No. 718 passed by the City Council on the 29th day of September, 1981, is hereby amended by amending Section 2.1 to approve a new site plan, landscape plan and elevation plan which are attached hereto and made a part hereof for all purposes.

SECTION 2. That Ordinance No. 718 passed by the City Council on the 29th day of September, 1981, is hereby amended by amending Section 2, to add 10. to read as follows:

10. The restaurant may use luminous gas tubing in its exterior attached signage (one sign per facade). No additional luminous gas tubing shall be used on the restaurant in a manner which allows it to be visible from the exterior.

SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of One Thousand Dollars (1,000.00) and not less than Five Hundred Dollars (500.00) for each offense and that each day such violation shall continue to exist shall constitute a separate offense.

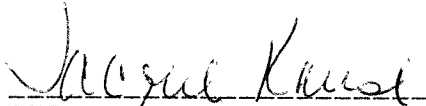
SECTION 5. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this 27th day of October, 1987.



MAYOR

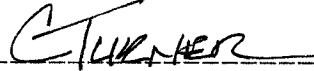
ATTEST:



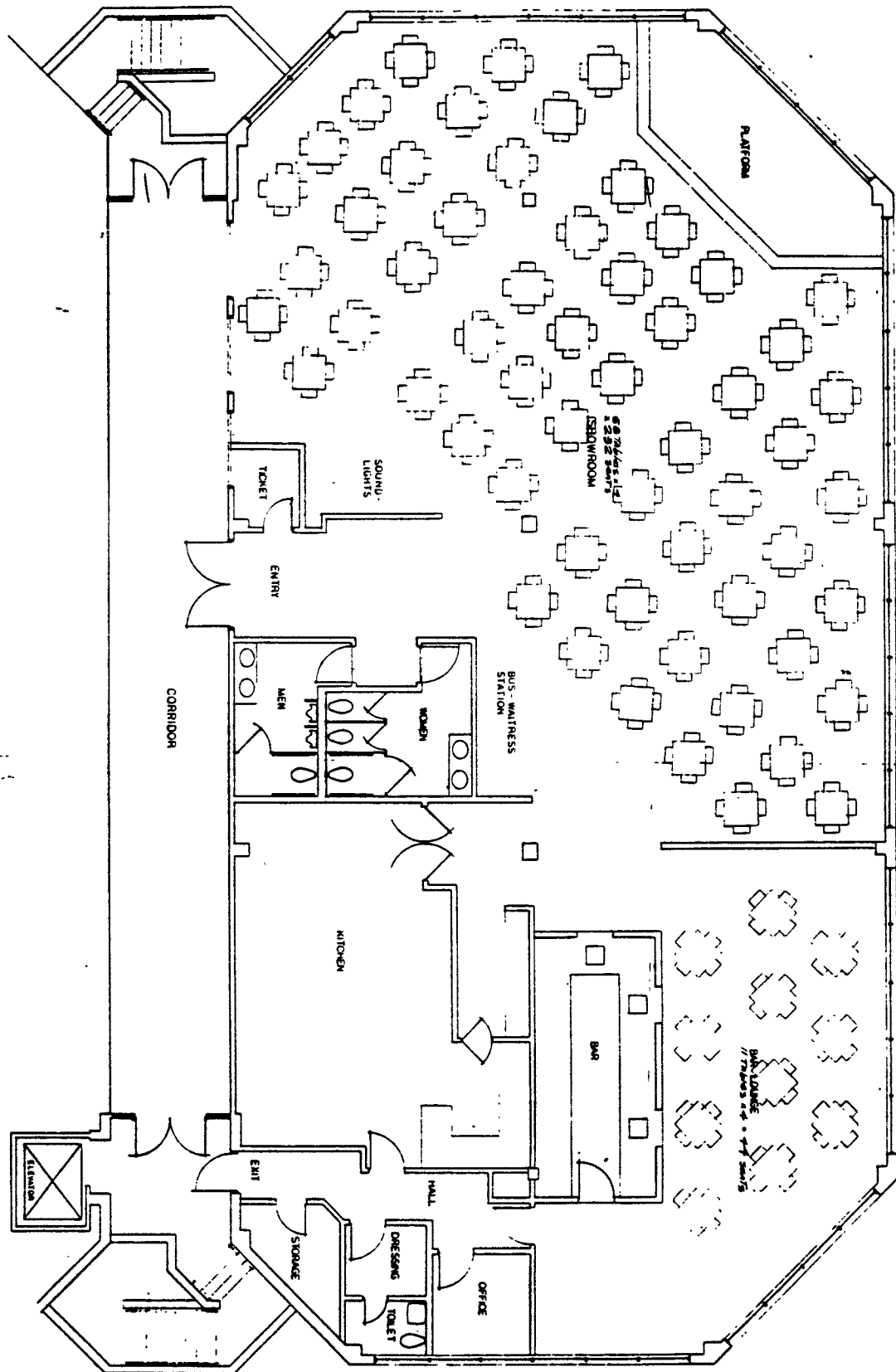
CITY SECRETARY

CASE NO. 628-SUP-1

APPROVED AS TO FORM:



CASE FILE NO. 628-SUP-1
RECEIVED.



SECOND FLOOR PLAN



NOTIFICATION
CONSTRUCTION

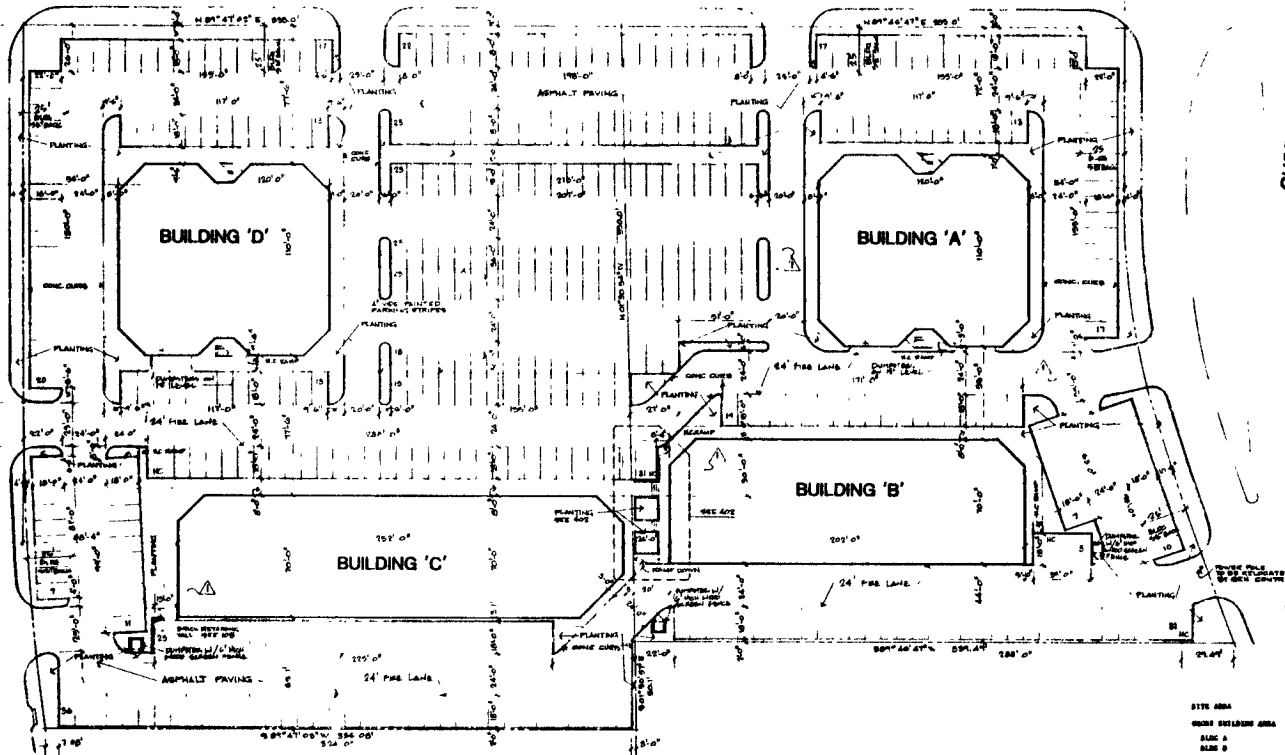
David Raphael Singer
Architect

Architect

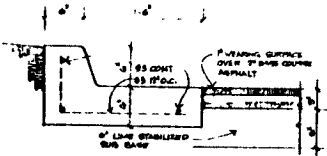
LANDMARK BLVD

BELT LINE DRIVE

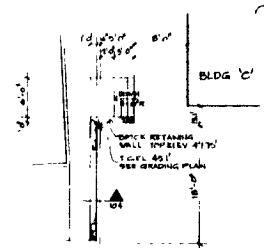
QUORUM DRIVE



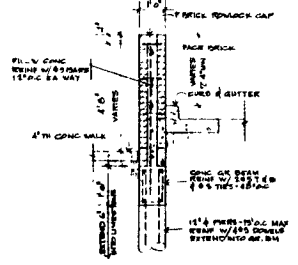
101 SITE PLAN
SCALE 1/8"=30'-0"
440 PARKING SPACES



102 TYPICAL CONC CURB, GUTTER & ASPHALT PAVING DETAIL
SCALE 1/2"=1'-0"



103 RETAINING WALL PLAN
SCALE 1/8"=1'-0"



104 RETAINING WALL SECT
SCALE 1/8"=1'-0"

SITE AREA	840,437.2 Sq Ft
GROSS BUILDING AREA	
BLDG A	23,864 Sq Ft
BLDG B	52,913 Sq Ft
BLDG C	13,063 Sq Ft
BLDG D	23,864 Sq Ft
TOTAL GROSS BUILDING AREA	113,664 Sq Ft
PERCENT SITE COVERAGE	13.4 %

OWNER: CROW FARRELL JOSEPH VENTURES
3001 SOUTH STREET
DENTON, TEXAS 76201
214/741-2800

PROPERTY STREET ADDRESS: 4000-3000 BELLEVILLE DRIVE
ADDRENO, TEXAS

USE AND OCCUPANCY: LOCAL RETAIL USE
TYPE B-1 OCCUPANCY

TYPE OF CONSTRUCTION: TYPE II-B

PLANS: CHARLES M HODGES & ASSOCIATES
4444 PANTON ROAD
MCKINNEY, TEXAS 75069
214/386-2081

INDEX OF DRAWINGS

AL	SITE PLAN
AC	FIRST FLOOR PLAN - BLDG A & D
AD	SECOND FLOOR PLAN - BLDG A & D
AA	FLOOR PLAN - BLDG B
AC	FLOOR PLAN - BLDG C
AE	ELEVATIONS - BLDG A & D
AF	ELEVATIONS - BLDG B & C
AG	ROOF FLOOR
AP	WALL SECTIONS
AQ	STAIR & ELEVATOR SECTIONS
AS	TYPICAL DETAILS
AT	FOUNDATION PLAN - BLDG A & D
AV	SECOND FLOOR PLAN - BLDG A & D
AW	ROOF FLOORING PLAN - BLDG A & D
AX	FOUNDATION PLAN - BLDG B
AY	ROOF FLOORING PLAN - BLDG B
AZ	FOUNDATION PLAN - BLDG C
BA	ROOF FLOORING PLAN - BLDG C
BB	FRAMING DETAILS

NO-1 SITE PLAN & DETAILS
NO-2 SITE PLAN & DETAILS

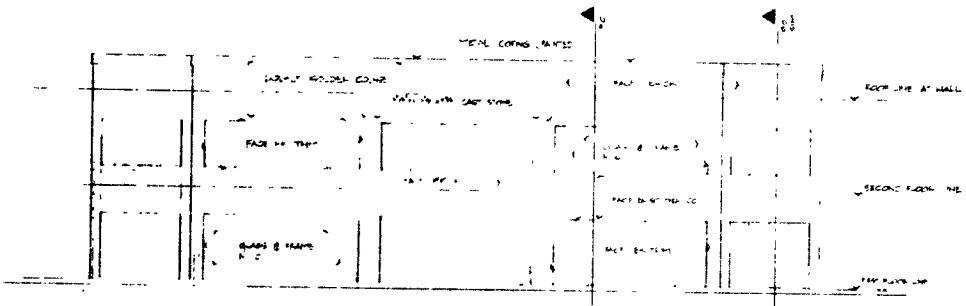
QUORUM II RETAIL CENTER
TEXAS
ADDRESS
CROW FARRELL PARTNERSHIP

Charles M Hodges & Assoc
PLANNERS
ARCHITECTS
DALLAS TEXAS

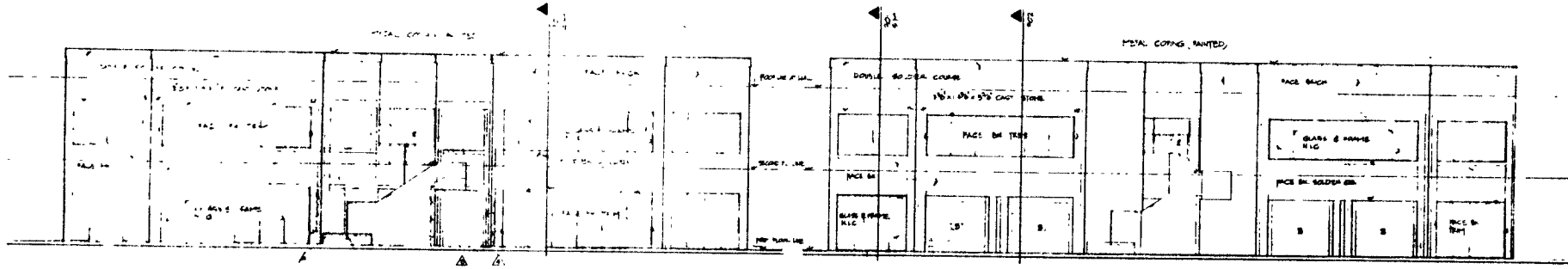
draw date
11/14

plan no.
0123

SHEET
A-1



603 EAST & WEST ELEVATION - BLDG. 'A' & 'D'
SCALE 1/8" = 1'-0"



601 NORTH ELEVATION - BLDG. 'A' & 'D'
SCALE 1/8" = 1'-0"

602 SOUTH ELEVATION - BLDG. 'A' & 'D'
SCALE 1/8" = 1'-0"

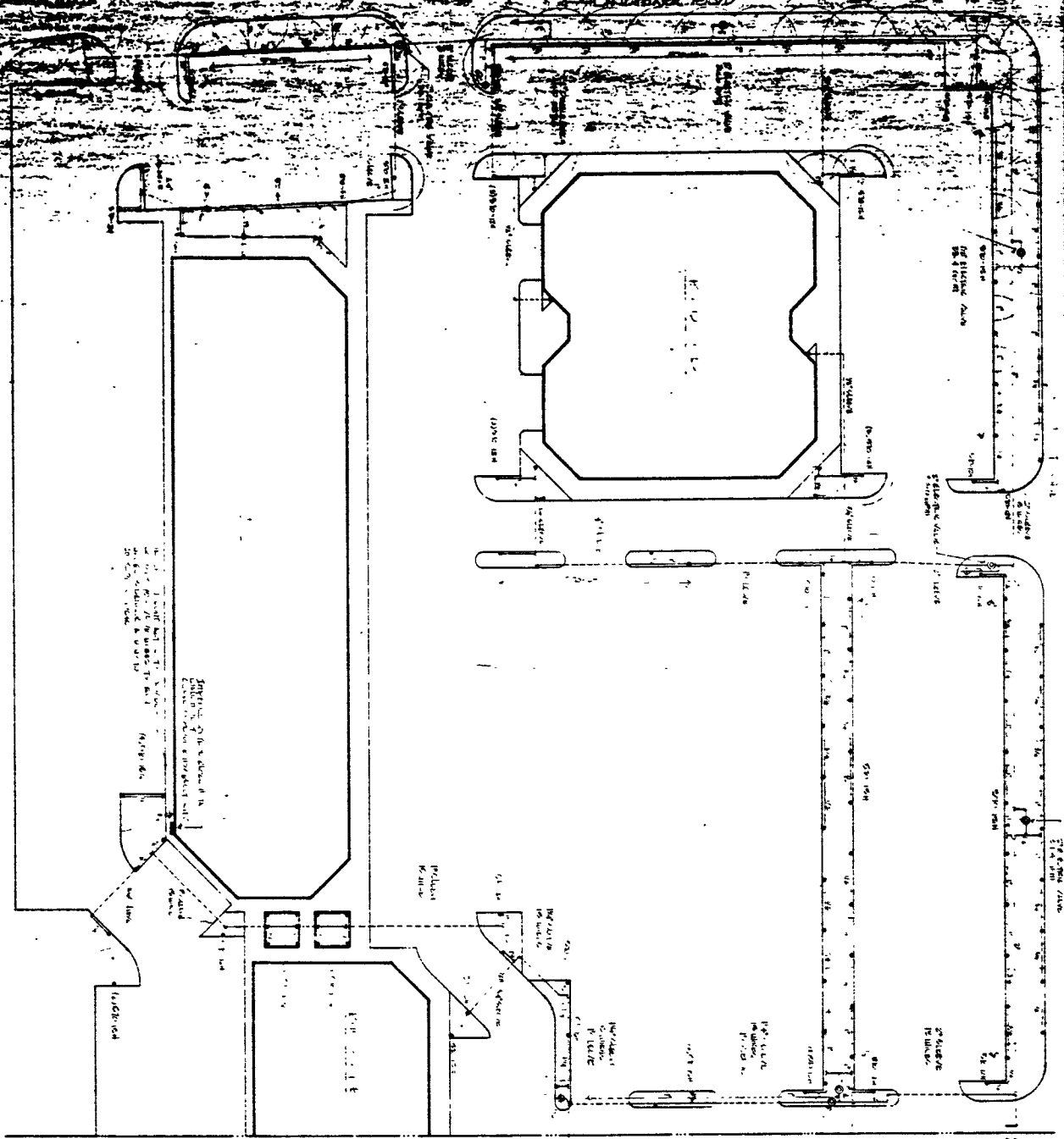
QUORUM II RETAIL CENTER
4800008
TEXAS
CROW FARRELL PARTNERSHIP

Charles M Hodges & Assoc
ARCHITECTS
PLANNERS
DALLAS
TEXAS

drawn date
RJC 4/11/80

plan no.
RJC

SHEET
A-6



2
 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"

1. All dimensions are in feet and inches.
2. All dimensions are to the center of the wall unless otherwise noted.
3. All dimensions are to the center of the door unless otherwise noted.
4. All dimensions are to the center of the window unless otherwise noted.
5. All dimensions are to the center of the column unless otherwise noted.
6. All dimensions are to the center of the beam unless otherwise noted.
7. All dimensions are to the center of the slab unless otherwise noted.
8. All dimensions are to the center of the ceiling unless otherwise noted.
9. All dimensions are to the center of the floor unless otherwise noted.
10. All dimensions are to the center of the wall unless otherwise noted.

<p>North</p>	<p>Scale 1/4" = 1'-0"</p>	<p>Scale 1/8" = 1'-0"</p>	<p>Scale 1/16" = 1'-0"</p>	<p>TEXAS LANDSCAPE COMPANY PROJECT 888 1234 TEXAS - 76124</p>	<p>QUORRY & RETAIL CENTER QUORRY BUNGALOWS AND EDCO 1234 TEXAS - 76124</p>	
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