

ORDINANCE NO.092-020

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM COMMERCIAL-1, ON APPLICATION FROM PAYLESS CASHWAYS, LOCATED ON APPROXIMATELY 6.5 ACRES AT THE SOUTHWEST CORNER OF ARAPAHO ROAD AND QUORUM DRIVE, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEAL CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas, be, and the same is hereby amended by amending the zoning map of the Town of Addison, Texas, so as to give the hereinafter described property the zoning district classification, to-wit: Planned Development. Said property being in the Town of Addison, Texas, and being described as follows:

BEING a tract of land situated in the G.W. Fisher Survey, Abstract No. 482, and being part of Quorum Centre Addition, an addition to the City of Addison as recorded in Volume 84067, Page 5718, Deed Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a point for corner situated in the west line of Quorum Drive (variable R.O.W.). Said point also being the southeast point of a 14.22 feet corner clip situated at the intersection of south line of Arapaho Road (60' R.O.W.) and the west line of said Quorum Drive;

THENCE S 00°21'59" W along the west line of said Quorum Drive a distance of 649.78 feet to a point for corner;

THENCE N 89°57'28" W departing the west line of said Quorum Drive a distance of 342.91 feet to a point for corner;

THENCE S 00°15'05" E a distance of 137.67 feet to a point for corner;

THENCE N 89°57'28" W a distance of 60.00 feet to a point for corner situated in the east line of TRACT B;

THENCE N 00°14'01" W along the east line of TRACT B a distance of 777.44 feet to a point for corner in the curving south line of said Arapaho Road. Said point also being the northeast corner of TRACT B;

THENCE along the said curving south line of Arapaho Road, in a curve to the left having a central angle of 03°14'36", a radius of 359.39 feet, a tangent length of 10.17 feet, and a chord which bears N 78°28'58" E 20.34 feet, a distance of 20.34 feet to a point for corner at the end of said curve;

THENCE continuing along the south line of said Arapaho Road the following:

S 89°34'58" E a distance of 28.05 feet to a point for corner;

N 01°14'37" W a distance of 8.70 feet to a point for corner at the beginning of a curve to the right;

76.72 feet along said curve having a central angle of 14°41'10", a radius of 299.31 feet a tangent length of 38.57 feet, and a chord which bears N 83°04'25" E 76.51 feet to a point for corner at the end of said curve;

S 89°35'00" E a distance of 275.86 to a point for corner, said point also being the northwest corner of said corner clip;

THENCE S 44°53'47" E a distance of 14.22 feet to the POINT OF BEGINNING and containing 275,659 square feet or 6,3283 acres of land, more or less.

SECTION 2. This property shall be developed with the following use: Home improvement center and lumber yard.

SECTION 3. As provided in Planned Development District Article of the Comprehensive Zoning Ordinance, said property shall be improved in accordance with the development plans which are attached hereto and made a part hereof for all purposes.

SECTION 4. All paved areas, permanent drives, streets and drainage structure shall be constructed in accordance with standard Town of Addison specifications adopted for such purpose

SECTION 5. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 6. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged

or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 7. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 8. The importance of this ordinance creates an emergency and an imperative public necessity, and the ordinance shall take effect and be in force from and after its adoption.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 14th day of April, 1992.


MAYOR

ATTEST:


CITY SECRETARY

CASE FILE NO. 1101-Z

APPROVED AS TO FORM:


ZONING ADMINISTRATOR

Published
9-3-92



ARAPAHO ROAD

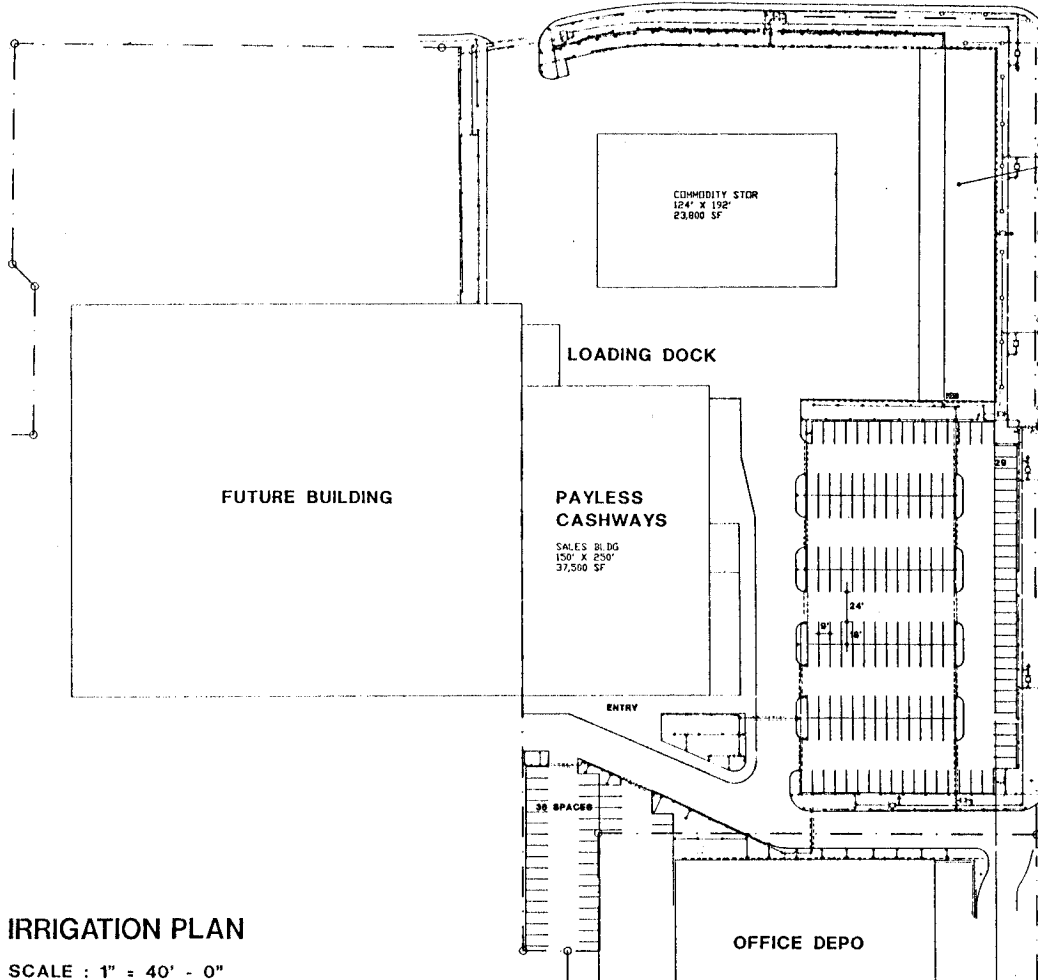
60' R.O.W.



TAYLOR GAHL & STENSLAND
ARCHITECTS

ARCHITECTURE
INTERIORS
PLANNING

800 PROVIDENCE TOWERS EAST
5001 SPRING VALLEY ROAD
DALLAS, TEXAS 75244 3910
214 788 4715 FAX
214 788 1945



COMMODITY STOR
60' X 225'
17,100 SF

COMMODITY STOR
124' X 192'
23,800 SF

LOADING DOCK

FUTURE BUILDING

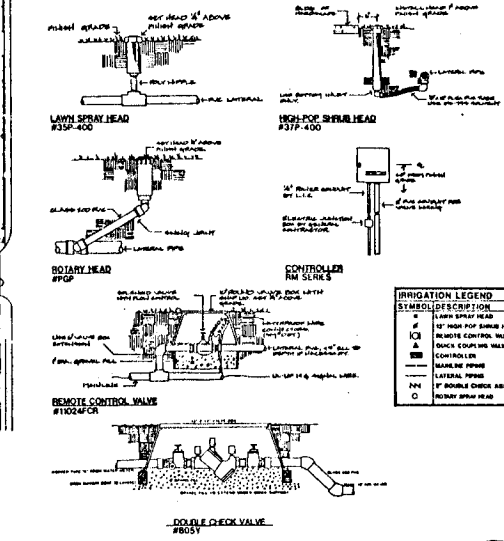
PAYLESS
CASHWAYS

SALES BLDG
150' X 250'
37,500 SF

ENTRY

OFFICE DEPO

QUORUM DRIVE
80' R.O.W.



- NOTES:
- All sprinkler equipment numbers reference the Weather-Resist equipment schedule unless otherwise indicated.
 - LAWN SPRAY HEADS shall be #33P installed per detail shown. Lawn spray nozzles are 430P, 430M, or 430S unless otherwise indicated on plans.
 - HIGH-POP SPRAY HEADS shall be #37P installed per detail shown. Nozzles are 430P, 430M or 430S unless otherwise indicated on plans.
 - SOLENOID VALVES shall be Hunter POP with #10 nozzle installed per detail shown on swing joint risers. Swing joints shall be constructed using 1/2" Schedule 40 PVC threaded nipples and 3/4" Schedule 40 PVC threaded elbows.
 - REMOTE CONTROL VALVES shall be #102P-01R installed per detail shown. Size valves as shown on plans. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid or valve cover without any earth excavation.
 - DOUBLE CHECK VALVES shall be #605Y installed per detail shown. Swing joints shall be constructed using 1/2" Schedule 40 PVC threaded nipples and 3/4" Schedule 40 PVC threaded elbows. Supply Owner with three (3) CO2S Couplers and three (3) #10 swing hose w/riser as part of this contract.
 - REMOTE CONTROL VALVES shall be #102P-01R installed per detail shown. Power (120V) shall be located in a junction box within five (5) feet of controller location by others.
 - All solenoid valve wiring is to be 14 single conductor. All wire splices are to be permanent and waterproof.
 - WELDS shall be installed by others. Sleeve material shall be Class 200 PVC, sized as shown on plans.
 - Ten days prior to start of construction, verify static pressure. If static pressure is less than 40.0 PSI or more than 70.0 PSI, do not start work until notified to proceed by Owner. Design pressure is 55.0 PSI.
 - Lateral piping shall have a minimum of 12 inches of cover. Piping under paving and main line piping shall have a minimum of 18 inches of cover.
 - Coordinate installation of the system with the landscape contractor to insure all plant material will be watered in accordance with the intent of the plans and specifications.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION
☐	LAWN SPRAY HEAD
☐	HIGH-POP SPRAY HEAD
☐	REMOTE CONTROL VALVE
☐	DOUBLE CHECK VALVE
☐	SOLENOID VALVE
☐	CONTROLLER
☐	MANHOLE RISER
☐	LATERAL PIPING
☐	1" DOUBLE CHECK ASSEMBLY
☐	SOLENOID SPRAY HEAD

IRRIGATION PLAN

SCALE : 1" = 40' - 0"

PAYLESS
CASHWAYS
IRRIGATION
PLAN
PRELIMINARY
NOT FOR CONSTRUCTION
OWNER
BELTWAY DEVELOPMENT
1080 BELTWAY ROAD #200
ADDISON, TEXAS
75248
PHONE (214) 981-1011

REV.	DATE	BY	DESCRIPTION
1.01	01/10/01	REVISED	
2.01	01/10/01	REVISED	
3.01	01/10/01	REVISED	
4.01	01/10/01	REVISED	

APPROVED

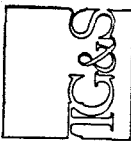
THESE PLANS ARE REDUCTIONS OF THE ACTUAL "RECORD SET" OF PLANS WHICH ARE FILED IN ZONING CASE FILE 1101-Z.

SYSTEMS DESIGN DEPARTMENT
IRAI * TECH

PROJECT: 92003
DATE: L.2

092-020

ITC #92040



TAYLOR GAILL & STENSLEND
ARCHITECTS

ARCHITECTURE
INTERIORS
PLANNING

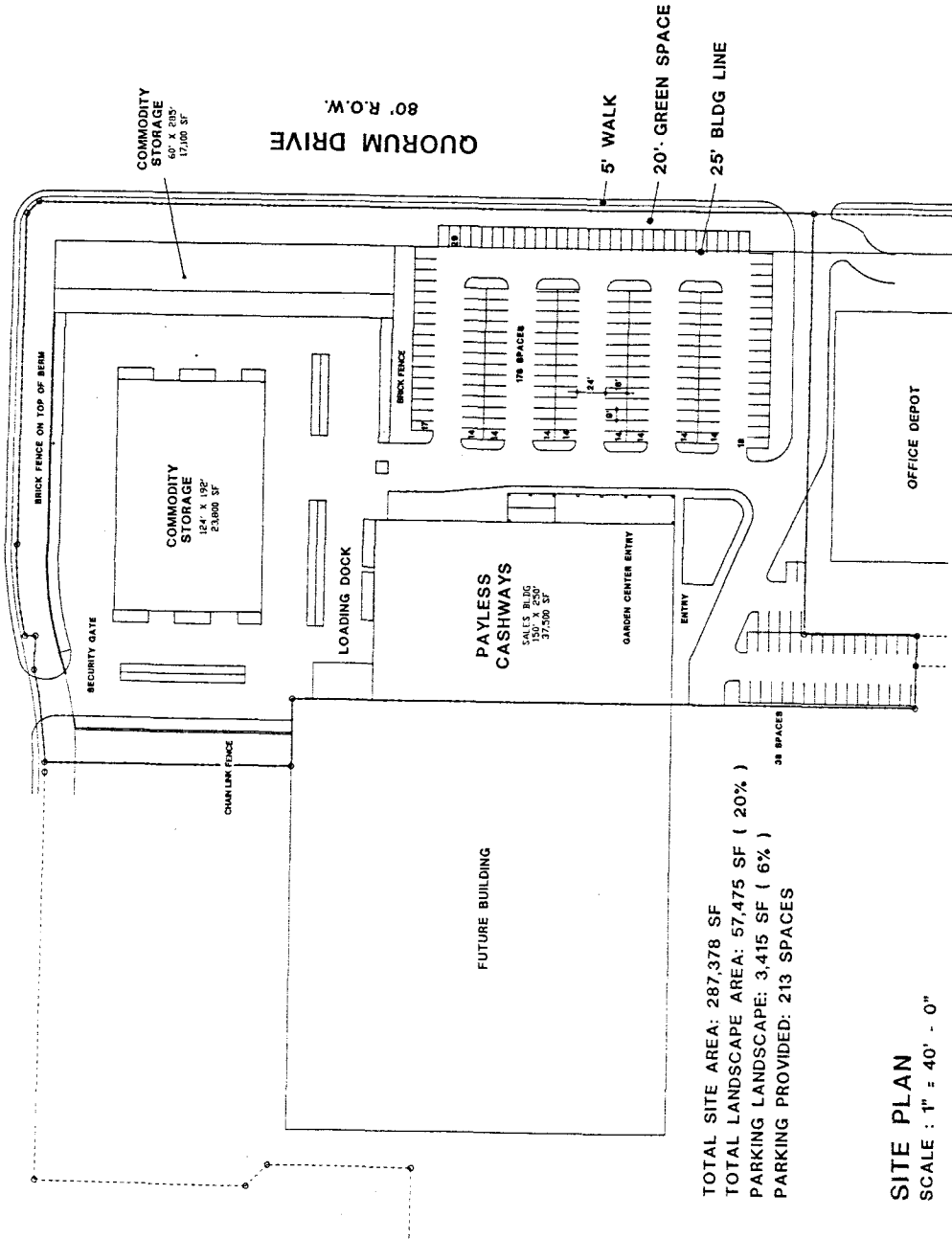
900 PROVIDENCE TOWERS EAST
5001 SPRING VALLEY ROAD
DALLAS, TEXAS 75244-3910
214.706.4716 FAX
214.706.1845

PAYLESS
CASHWAYS
SITE
PLAN
OWNER:
BELTWAY
DEVELOPMENT
ADDISON, TEXAS

DATE:	11/11/03
BY:	TC
SCALE:	AS SHOWN
PROJECT:	PAYLESS CASHWAYS
SHEET:	01 OF 02

92003
A101

ARAPAHO ROAD
60' R.O.W.



TOTAL SITE AREA: 287,378 SF
TOTAL LANDSCAPE AREA: 57,475 SF (20%)
PARKING LANDSCAPE: 3,415 SF (6%)
PARKING PROVIDED: 213 SPACES

SITE PLAN
SCALE : 1" = 40' - 0"

APPROVED

THESE PLANS ARE REDUCTIONS OF THE ACTUAL
"RECORD SET" OF PLANS WHICH ARE FILED IN 092-020
ZONING CASE FILE 1101-2

