

Special Use Permit for a restaurant. Said Special Use Permit shall be granted subject to the special conditions on the following described property, to-wit:

COMMENCING at the southwesterly end of a corner clip at the intersection of the east line of Marsh Lane (100-foot right-of-way), and the south line of Belt Line Road (100-foot right-of-way);

THENCE, South 00°56'06" West, with the east line of Marsh Lane, a distance of 204.43 feet to a 1/2-inch iron rod with "Pacheco Koch" cap set for corner at the POINT OF BEGINNING;

THENCE, South 89°03'54" East, departing the east line of Marsh Lane, a distance of 248.50 feet to a 1/2-inch rod with "Pacheco Koch" cap set;

THENCE South 00°56'06" West, passing at a distance of 28.77 feet a northwest corner of Lot 3, Block D of the Town Center Addition, an addition to the Town of Addison as recorded in Volume 93237, Page 3848, continuing with a west line of said Lot 3, Block D, a total distance of 148.00 feet to a point for corner;

THENCE N 89°03'54" West a distance of 248.50 feet to a point for corner;

THENCE N 00°56'06" East a distance of 148.00 feet to the point of beginning, and containing 0.843 acres more or less.

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, floor plan, landscape plan, and the elevation drawings showing four exterior walls, which are attached hereto and made a part hereof for all purposes.
2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 3,060 square feet.
3. The use of gaming devices, such as billiards (pool) tables, pinball machines, marble tables, and other coin operated amusement machines, other than machines for music are hereby prohibited.

4. The applicant shall revise the site plan to provide for the extension of the right-turn lane past his driveway. The revised plan shall maintain a five-foot sidewalk (back of curb) and a 20-foot landscaping buffer after the turn lane is extended.
5. The applicant shall revise the landscaping plan to provide a combination of berms and plants on the frontage adjacent to Marsh Lane.
6. The restaurant shall screen all mechanical equipment on the roof of the building with a sight-barring screen or parapet wall that screens the equipment from the view of anyone on the site, on the public streets, or on an adjacent property. Such screen shall be constructed of a material that is architecturally compatible with the building. The determination as to what is "architecturally compatible" shall be made by the Building Official

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any section of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict

with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 12th day of April, 1994.



MAYOR

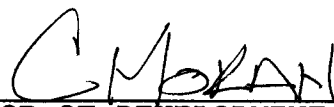
ATTEST:



CITY SECRETARY

CASE NO. 1178-SUP

APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES

Published
8/4/94



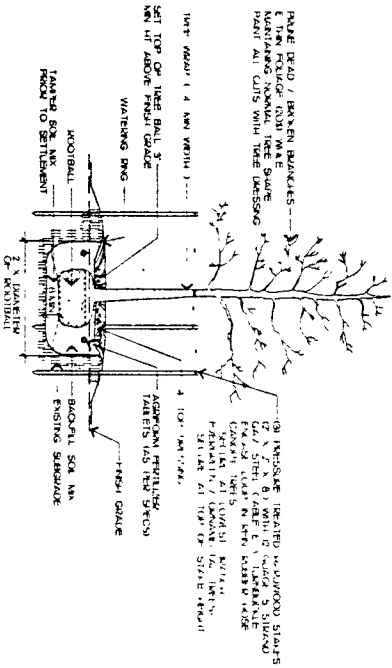
SPECIFICATIONS

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ADDISON LANDSCAPE REGULATIONS (ORDINANCE NUMBERED 9-14-93).
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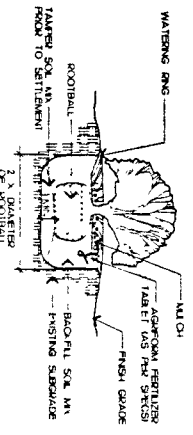
CITY REQUIREMENTS

- MINIMUM OF ADDITIONAL LANDSCAPE REQUIREMENTS (ORDINANCE NUMBERED 9-14-93)
- 1. GROUND SITE AREA 10,000 SQ FT - 20 FT - 20 FT - 20 FT LANDSCAPE REQUIRED
 - 2. LANDSCAPE BUFFER STRIP
 - 3. 100 FT PER FOOT OF FRONT YARD
 - 4. 60 SHUBS REQUIRED
 - 5. 20 TREES / 10 COMMERCIALS PROVIDED
 - 6. 400 FT PER FOOT OF FRONT YARD
 - 7. 15 TREES / 4 COMMERCIALS PROVIDED
 - 8. 100 SHUBS REQUIRED
 - 9. 10 TREES / 4 COMMERCIALS PROVIDED
 - 10. 100 SHUBS REQUIRED
 - 11. 10 TREES / 4 COMMERCIALS PROVIDED
 - 12. 100 SHUBS REQUIRED
 - 13. 10 TREES / 4 COMMERCIALS PROVIDED
 - 14. 100 SHUBS REQUIRED
 - 15. 10 TREES / 4 COMMERCIALS PROVIDED
 - 16. 100 SHUBS REQUIRED
 - 17. 10 TREES / 4 COMMERCIALS PROVIDED
 - 18. 100 SHUBS REQUIRED
 - 19. 10 TREES / 4 COMMERCIALS PROVIDED
 - 20. 100 SHUBS REQUIRED

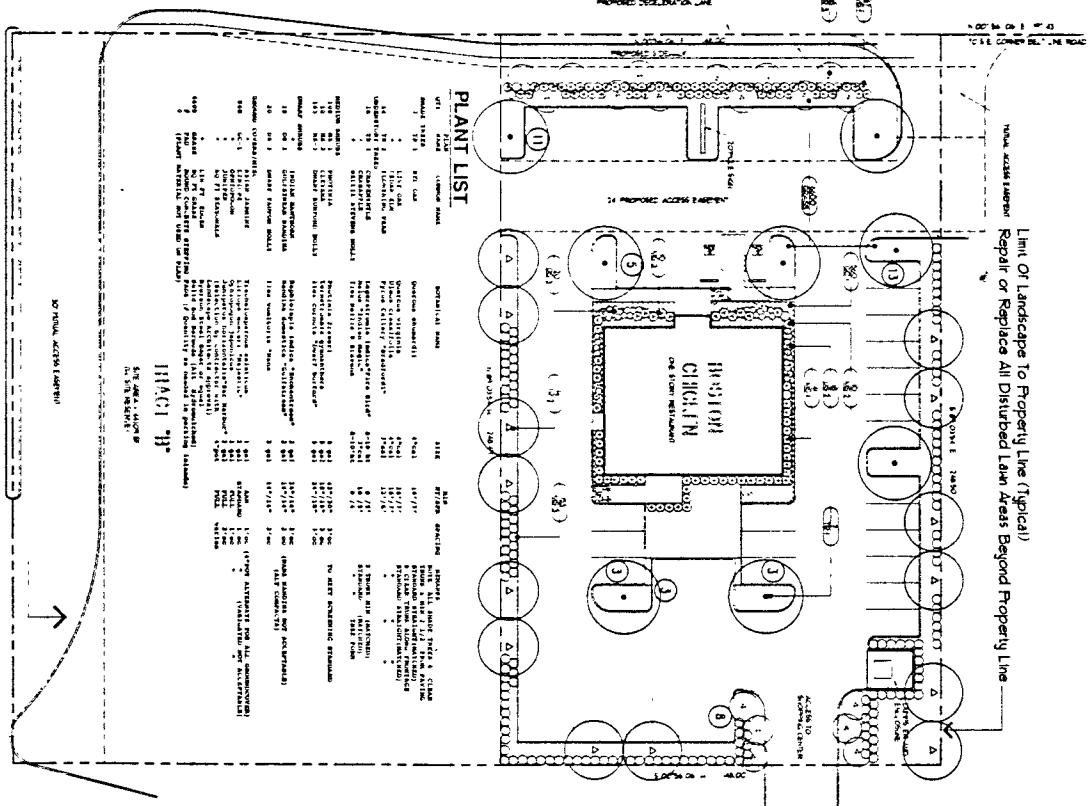
TREE PLANTING DETAIL (TYPICAL)
NOT TO SCALE



SHRUB PLANTING DETAIL (TYPICAL)
NOT TO SCALE



PLANT LIST



PLANT LIST	QUANTITY	SIZE	PLANTING DATE	PLANTING METHOD	PLANTING NOTES
1. RESTROOM CHILDRN	1	10' x 10'	ASAP	CONCRETE	SEE ARCHITECTURAL DRAWINGS
2. PAVEMENT	100	4' x 8'	ASAP	CONCRETE	SEE ARCHITECTURAL DRAWINGS
3. TREES	20	12' x 12'	ASAP	PLANTING	SEE SPECIFICATIONS
4. SHRUBS	100	4' x 4'	ASAP	PLANTING	SEE SPECIFICATIONS
5. MULCH	100	4' x 4'	ASAP	INSTALL	SEE SPECIFICATIONS
6. IRRIGATION	100	4' x 4'	ASAP	INSTALL	SEE SPECIFICATIONS
7. LIGHTING	100	4' x 4'	ASAP	INSTALL	SEE SPECIFICATIONS
8. SIGNAGE	100	4' x 4'	ASAP	INSTALL	SEE SPECIFICATIONS
9. FURNITURE	100	4' x 4'	ASAP	INSTALL	SEE SPECIFICATIONS
10. BENCHES	100	4' x 4'	ASAP	INSTALL	SEE SPECIFICATIONS



LANDSCAPE PLAN

SCALE 1" = 20' 0"

DATE: STEPHEN'S COMPANIES
10/15/94

094-024

Boston Chicken
Tract A, Lee Lacs Plaza
SEC March at Belt Line Rd
Addison, Texas



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ARCHITECTS AND INTERIOR DESIGNERS
6500 Greenville Avenue Suite 307 Dallas, Texas 75206 (214) 696-9073

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10/15/94

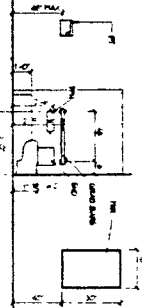
FOOD SERVICE EQUIPMENT SCHEDULE

NO.	DESCRIPTION	QUANTITY	MANUFACTURER	MODEL	FINISH	HEIGHT	WIDTH	DEPTH	WGT.	NOTE
1	STOVE	1	FRIGIDAIRE
2	GRIDDLE	1	FRIGIDAIRE
3	WARMER	1	FRIGIDAIRE
4	WARMER	1	FRIGIDAIRE
5	WARMER	1	FRIGIDAIRE
6	WARMER	1	FRIGIDAIRE
7	WARMER	1	FRIGIDAIRE
8	WARMER	1	FRIGIDAIRE
9	WARMER	1	FRIGIDAIRE
10	WARMER	1	FRIGIDAIRE
11	WARMER	1	FRIGIDAIRE
12	WARMER	1	FRIGIDAIRE
13	WARMER	1	FRIGIDAIRE
14	WARMER	1	FRIGIDAIRE
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36	WARMER	1	FRIGIDAIRE
37	WARMER	1	FRIGIDAIRE
38	WARMER	1	FRIGIDAIRE
39	WARMER	1	FRIGIDAIRE
40	WARMER	1	FRIGIDAIRE

COMPUTER EQUIPMENT

NO.	DESCRIPTION	QUANTITY	MANUFACTURER	MODEL	FINISH	HEIGHT	WIDTH	DEPTH	WGT.	NOTE
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02 TOILET ACCESSORY MOUNTING HEIGHTS



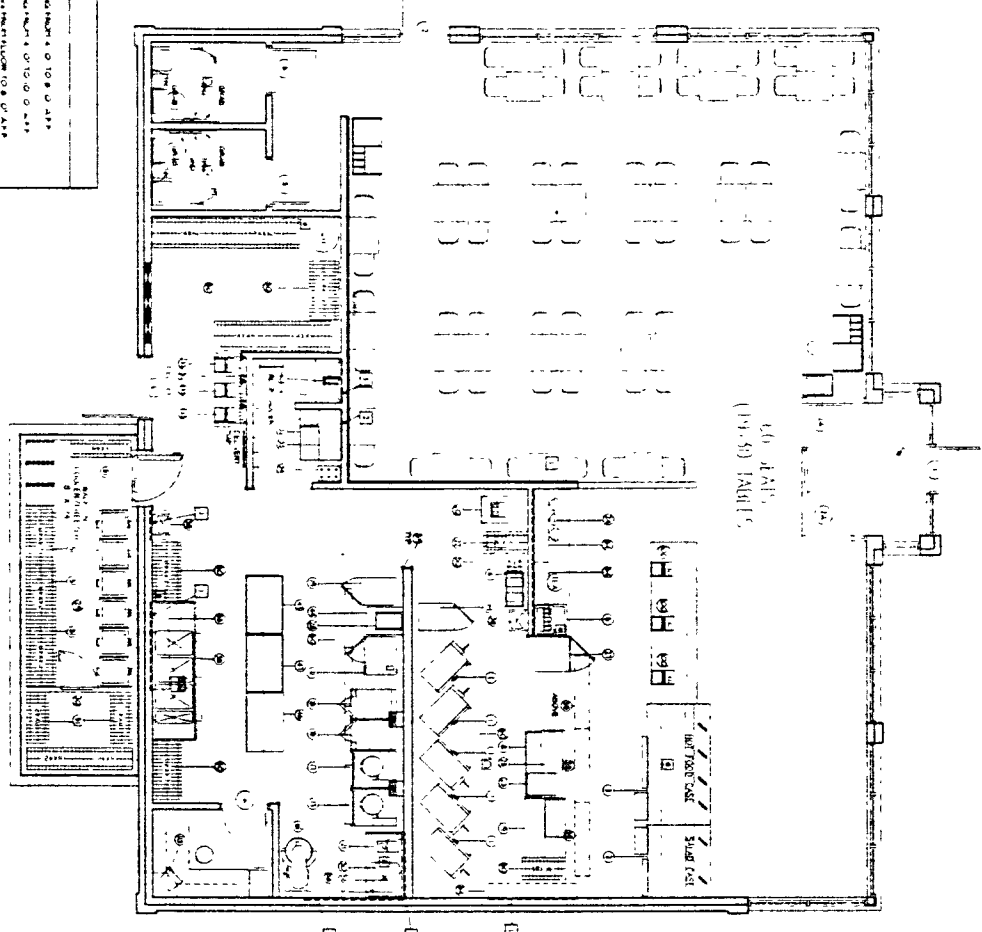
KEY NOTES

- 1 FINISHED FLOOR HEIGHT 0' 10 1/2" O.A.S.
- 2 FINISHED BASEMENT FLOOR 0' 10 1/2" O.A.S.
- 3 FINISHED BASEMENT FLOOR 0' 8" O.A.S.
- 4 FINISHED BASEMENT FLOOR 0' 8" O.A.S.

TOILET ACCESSORY SCHEDULE

NO.	DESCRIPTION	QUANTITY	MANUFACTURER	MODEL	FINISH	HEIGHT	WIDTH	DEPTH	WGT.	NOTE
1
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01 EQUIPMENT/FIXTURE PLAN



NOTE: THE FOLLOWING ARE STANDARD HEIGHTS FOR EQUIPMENT AND FIXTURES. THE FINISHED FLOOR HEIGHT IS 0' 10 1/2" O.A.S. THE FINISHED BASEMENT FLOOR IS 0' 10 1/2" O.A.S. THE FINISHED BASEMENT FLOOR IS 0' 8" O.A.S. THE FINISHED BASEMENT FLOOR IS 0' 8" O.A.S.

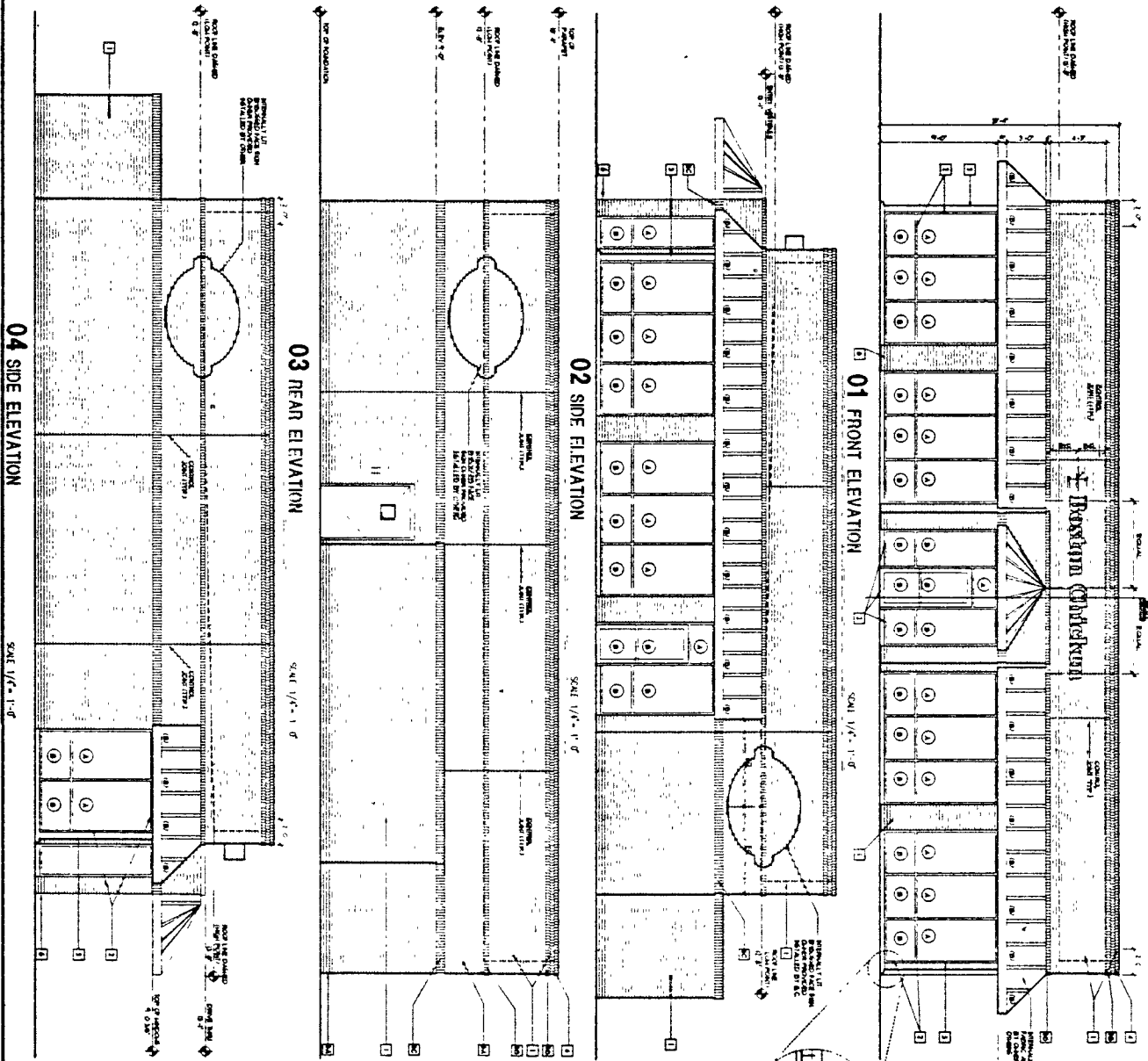
094-024

Boston Chicken
Tract A, Les Lacs Plaza
SEC Marsh & Belt Line R.
Addison, Texas



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ARCHITECTS AND INTERIOR DESIGNERS
6500 WILLOW AVENUE Suite 307 Dallas Texas 75206 (214) 696-9073

A-0
Date March 4, 1984



04 SIDE ELEVATION

SCALE 1/8" = 1'-0"

03 NEAR ELEVATION

SCALE 1/8" = 1'-0"

02 SIDE ELEVATION

SCALE 1/8" = 1'-0"

01 FRONT ELEVATION

SCALE 1/8" = 1'-0"

MATERIAL LEGEND	
1	FACE BRICK TO MATCH SHOWN
2	COMMON BRICK
3	ALUMINUM SCREENING MATERIALS
4	ALUMINUM WINDOW FRAMES IN BLACK
5	ALUMINUM TRIM PROFILE IN BLACK
6	3" O.D. PIPER CAPS (ALUMINUM WITH CORNER PAINTED) (SEE SECTION 03)
7	FACE BRICK PAINTED (SEE SECTION 03)
8	CONCRETE AND CONCRETE BLOCK (SEE SECTION 03)
9	CONCRETE REINFORCED SOLID BRICK (SEE SECTION 03)
10	CONCRETE PAINTED (SEE SECTION 03)
11	GLASS TYPES
12	1" INSULATING GLASS
13	1" INSULATING GLASS (SPRINGS)

094-024

10
Date: March 4, 1984

A-4

Boston Chicken
Tract A, Les Lacs Plaza
SEC Marsh at Belt Line Rd
Addison, Texas



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ARCHITECTS AND INTERIOR DESIGNERS
6500 Greenville Avenue Suite 307 Dallas, Texas 75206 (214) 696-9273