

Special Use Permit for a restaurant. Said Special Use Permit shall be granted subject to the special conditions on the following described property, to-wit:

WHEREAS, DARYL N. SNADON is the owner of a tract of land situated in the D. Meyers Survey, Abstract No 923 and T.L. Chenoweth Survey, Abstract No. 273 and also being part of the Belt Line-Marsh Business Park, an addition to the Town of Addison, Dallas County, Texas as recorded in Volume 78155, page 0001 Deed Records, Dallas County, Texas and further being part of the replat of Belt Line-Marsh Business Park, an addition to the City of Addison, Dallas County, Texas, as recorded in Volume 79252, Page 0210, Deed Records, Dallas County, Texas and being more particularly described as follows:

COMMENCING at an 5/8 inch iron rod set for the most southerly end of a corner clip situated at the intersection of the north line of Belt Line Road, a 100 foot right-of-way, and the west line of Business Avenue, a 60 foot right-of-way,

THENCE North 89°54'31" West along the north line of Belt Line Road a distance of 202.00 feet to a 5/8 inch iron rod set for corner;

THENCE North 00°05'29" East departing the north line of Belt Line Road a distance of 265.00 feet to a 5/8 inch iron rod set for corner

THENCE South 89°54'31" East a distance of 202.00 feet to a 5/8 inch iron rod set for corner;

THENCE South 00°05'29" West a distance of 265.00 feet to the POINT OF BEGINNING;

CONTAINING within the metes recited 1.229 acres of land, more or less.

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, floor plan, landscape plan, and the elevation drawings showing four exterior walls, which are attached hereto and made a part hereof for all purposes.

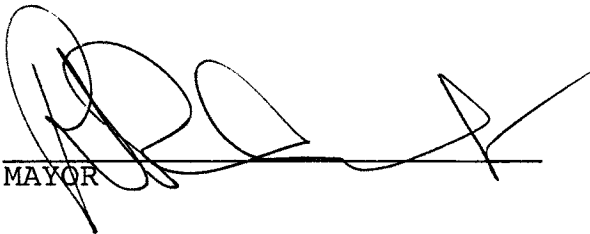
2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 3,060 square feet.
3. The use of gaming devices, such as billiards (pool) tables, pinball machines, marble tables, and other coin operated amusement machines, other than machines for music are hereby prohibited.
4. The applicant shall construct a drive across the adjacent site to Business Avenue at the time the restaurant is constructed. The drive shall be completed prior to the issuance of a Certificate of Occupancy for the restaurant.
5. The facades shall be 80% brick. The cooler at the rear of the building shall be covered with a brick screening wall.
6. The playground shall be deleted from the plans and that area replaced with landscaping.
7. The subdivider of the tract shall provide a master access, drainage, and utility plan for the entire tract prior to developing any tract.
8. Cross access shall be provided on this tract for future developments.
9. The proposed monument sign, berms and shrubs shall not be placed within the sight visibility triangle.
10. The landscaping against the frontage of the Chick-fil-A shall be consistent with the landscaping plan for the frontage of the previously-approved shopping center.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any section of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 12th day of April, 1994.


MAYOR

ATTEST:


CITY SECRETARY

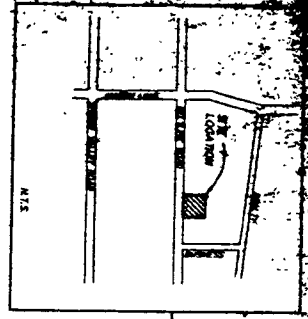
CASE NO. 1156-SUP-1

APPROVED AS TO FORM:


DIRECTOR OF DEVELOPMENT SERVICES

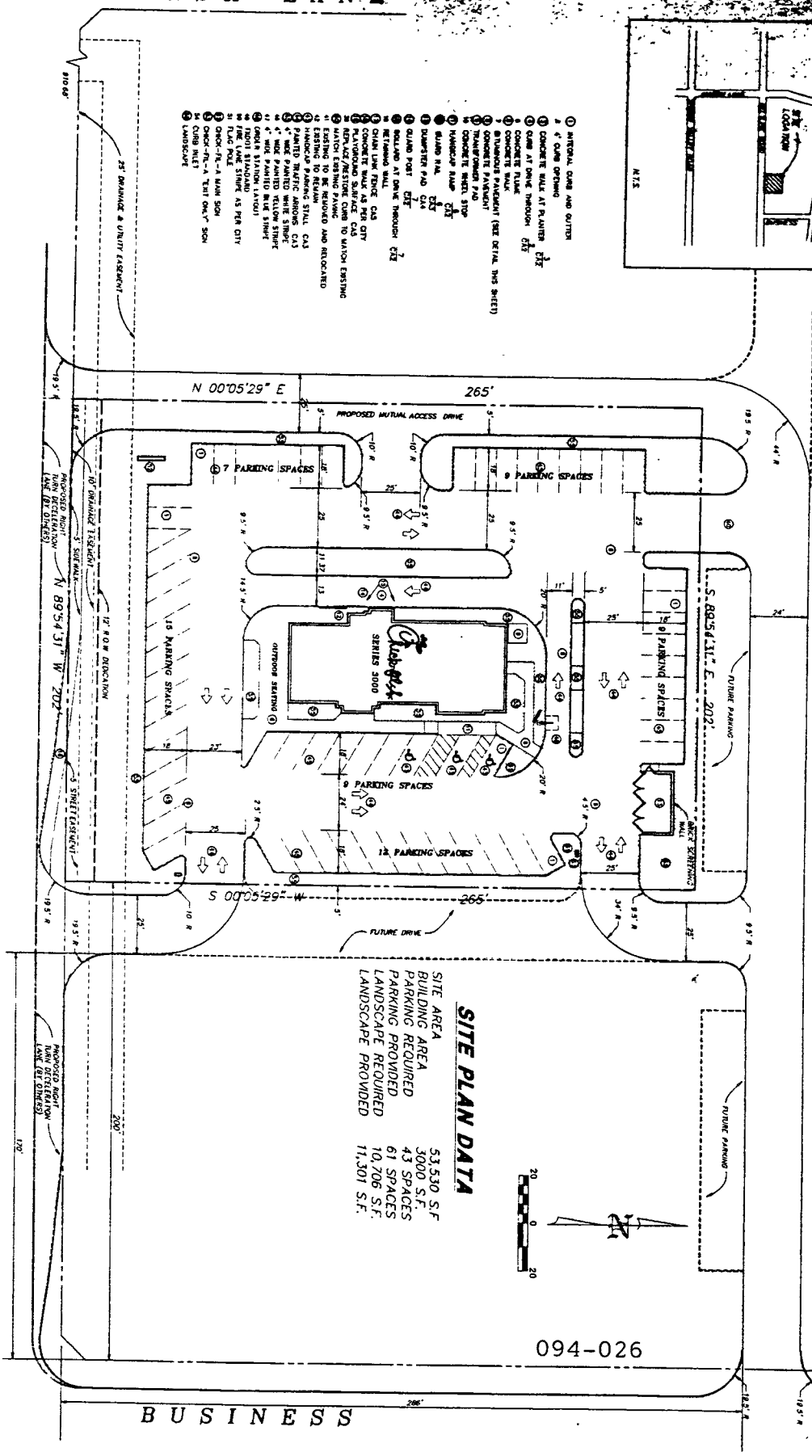
Published
8/4/94

MARSH LANE



- 1. METAL CURB AND GUTTER
- 2. 4" CURB OPENING
- 3. CONCRETE WALK AT RAILERS 2 1/2"
- 4. CURB AT DRIVE THROUGH 2 1/2"
- 5. CONCRETE WALK
- 6. CONCRETE WALK
- 7. STAINLESS PAVEMENT (SEE DETAIL THIS SHEET)
- 8. CONCRETE PAVEMENT
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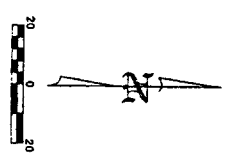
BELTLINE ROAD



- NOTES:
1. ALL CURB DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE
 2. SEE ARCH. PLANS FOR ALL CURB DIMENSIONS, RAMP ENTRANCE AND SPECIAL LOCATIONS
 3. SEE ARCHITECTURAL DETAILS
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SITE PLAN DATA

SITE AREA 53,530 S.F.
 BUILDING AREA 3000 S.F.
 PARKING PROVIDED 43 SPACES
 PARKING PROVIDED 61 SPACES
 LANDSCAPE PROVIDED 10,706 S.F.
 LANDSCAPE PROVIDED 11,301 S.F.



094-026

BUSINESS



THE SEAL, CERTIFICATE OR SIGNATURE OF THE SURVEYOR OR ENGINEER IS REQUIRED FOR THIS PLAN TO BE VALID.

VILBIG & ASSOCIATES, INC.
 CONSULTING ENGINEERS & SURVEYORS
 2700 STRONGS PLY. 400 TORRES SOUTH
 DALLAS, TEXAS 75207 214-590-1585

APPROVED

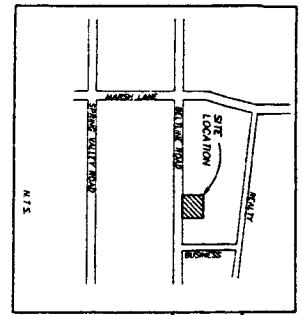
Edition Date:	
Project Date: 4-8-94	
#	Date Revision
Sheet Title SITE PLAN	

Beltline Road
 Addison, Texas

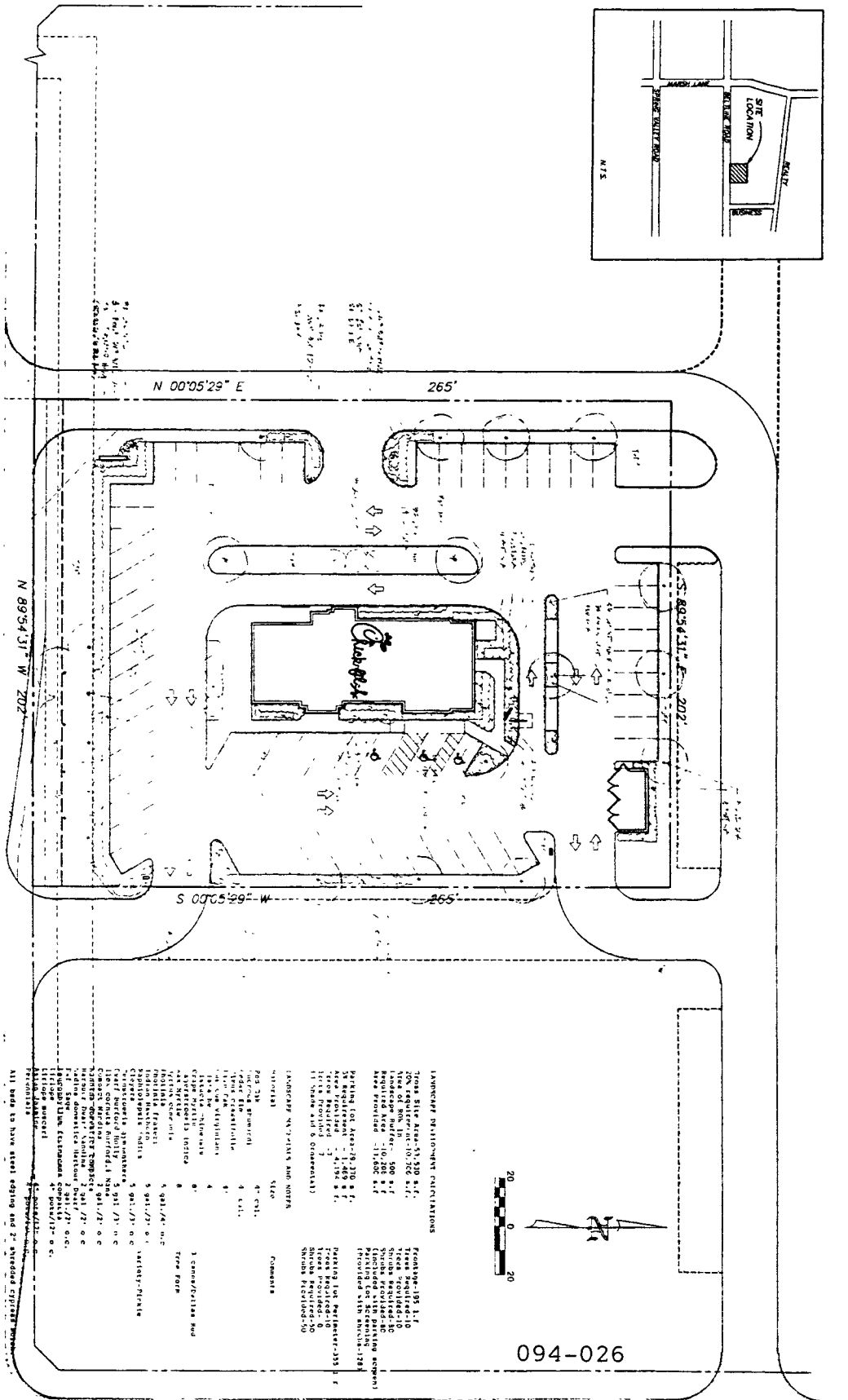


5200 Buffington Road
 Atlanta, Georgia 30349-2998
 Telephone 404-765-8000

Charles R. Rice, A.I.A.



BELTLINE ROAD



LANDSCAPE DEVELOPMENT CALCULATIONS

TRACT AREA: 51,510 S.F.
 20% REQUIREMENT: 10,302 S.F.
 LANDSCAPE BUFFER: 500 S.F.
 REQUIRED FROM: 10,202 S.F.
 AVAILABLE FROM: 1,000 S.F.

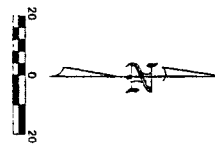
Planting for Area: 210 S.F.
 Tree Requirement: 1,469 S.F.
 Tree Required: 1,469 S.F.
 Shrubs Required: 11,200 S.F.
 Shrubs Required: 11,200 S.F. (See Schedule)

Planting for Area: 195 S.F.
 Tree Requirement: 10
 Tree Required: 10
 Shrubs Required: 30
 Shrubs Required: 30
 Planting for Screening: 100
 Planting for Screening: 100

LANDSCAPE SPECIFICATIONS AND NOTES

ITEM	SIZE	COMMENTS
20' DIA. TREE	4" C.I.L.	
12" DIA. TREE	4" C.I.L.	
6" DIA. TREE	4" C.I.L.	
3" DIA. TREE	4" C.I.L.	
12" DIA. SHRUB	4" C.I.L.	
6" DIA. SHRUB	4" C.I.L.	
3" DIA. SHRUB	4" C.I.L.	
12" DIA. PALM	4" C.I.L.	
6" DIA. PALM	4" C.I.L.	
3" DIA. PALM	4" C.I.L.	
12" DIA. PALM	4" C.I.L.	
6" DIA. PALM	4" C.I.L.	
3" DIA. PALM	4" C.I.L.	
12" DIA. PALM	4" C.I.L.	
6" DIA. PALM	4" C.I.L.	
3" DIA. PALM	4" C.I.L.	

All notes to have steel edging and 2" expanded gravel.



094-026

BUSINESS



HIG LANDSCAPE ARCHITECTS, INC. / 720 EAST PARK BOULEVARD, SUITE 106
 PLANO, TEXAS 75074 214-424-6156

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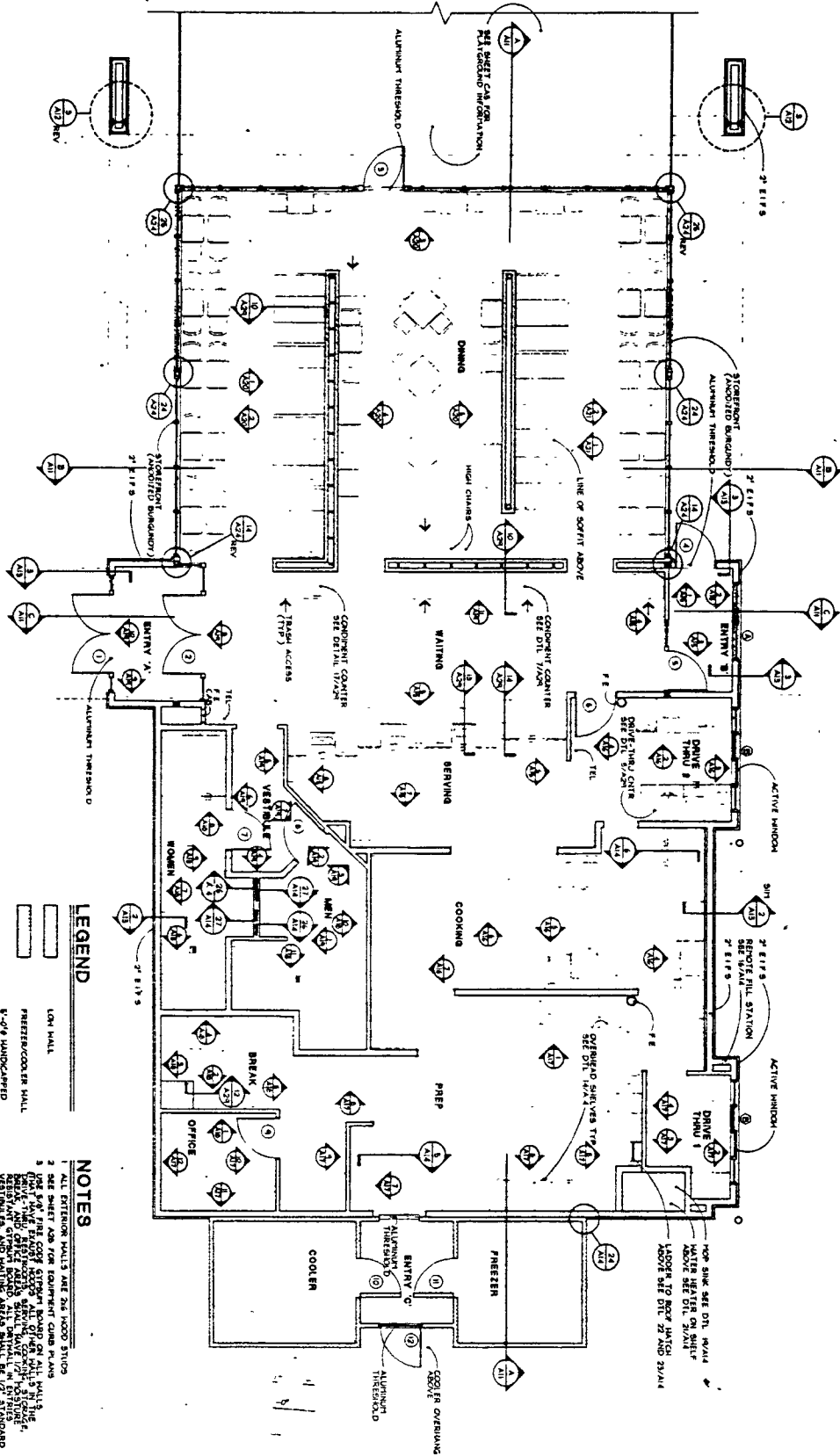
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Sheet Title	

Beltline Road
 Addison, Texas



5200 Buffington Road
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 Telephone 404-765-8000

Charles R. Race, A.I.A.



DEPICTIVE FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE

SEATING (INCLUDING PATIO/COLENS)	3844 SQUARE FEET
NET (EXCLUDING PATIO/COLENS) AND EXTERIOR	3237 SQUARE FEET
NET (EXCLUDING PATIO/COLENS) AND INTERIOR	3103 SQUARE FEET

SEATING

OF SEATS

LEGEND

- LOBBY HALL
- PREEZER/COOKER HALL
- 1'-0" HANG-CAPED TYPED AROUND

NOTES

- 1 ALL EXTERIOR WALLS ARE 2x6 HOOD STUDS
- 2 SEE SHEET A36 FOR EQUIPMENT CURB PLANS
- 3 JOIST 2x4, FINE COFFER CEILING BOARD ON ALL WALLS, DRIVE THRU, RESTROOMS, SERVING, COFFEE STATION, BREAK ROOM, OFFICE, WAITING, AND DRIVE THRU 2. RESTROOMS, SERVING, COFFEE STATION, BREAK ROOM, OFFICE, WAITING, AND DRIVE THRU 2. RESTROOMS, SERVING, COFFEE STATION, BREAK ROOM, OFFICE, WAITING, AND DRIVE THRU 2.

094-026

A5

Project Name: _____
Date: _____

Sheet Title: **Depictive Floor Plan**



Series 90C-E.I.F.S.

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Charles R. Pace, AIA