

ORDINANCE NO. 095-060

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO APPROVE AN AMENDMENT TO ORDINANCE 095-019, THE URBAN CENTER DISTRICT ORDINANCE, IN ORDER TO CHANGE STREET CROSS-SECTIONS FOR EAST MILDRED STREET AND THE MEWS, AND TO APPROVE A FINAL DEVELOPMENT PLAN FOR PHASE I OF A MULTI-FAMILY RESIDENTIAL PROJECT, ON APPLICATION FROM COLUMBUS REALTY TRUST, LOCATED ON 12.2 ACRES AT THE NORTHEAST CORNER OF THE INTERSECTION OF QUORUM DRIVE AND MILDRED STREET, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS:

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 095-060

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas, be, and the same is hereby amended by amending Ordinance 095-019, Appendix A, to substitute the cross-sections for Mildred Street at the "neck-down" and the cross section for the Mews, which are attached hereto and made a part hereof, for the cross-sections that were originally approved.

SECTION 2. As provided in Ordinance 095-019, Section 9, FINAL DEVELOPMENT PLAN APPROVAL, said property shall be improved in accordance with the approved final development plans which are attached hereto and made a part hereof for all purposes.

SECTION 3. That the development plans, which have been submitted by Columbus Realty Trust in accordance with the requirements of Ordinance No. 095-019, Section 9, FINAL DEVELOPMENT PLAN APPROVAL, are hereby approved with the exception of the following items which are not approved as a part of this development plan:

1. Streetscape plans for any streets. Insufficient information is provided. The elements that need to be resolved relate to crosswalks, eye-brows, inter-face between edge of building and street, and final drive locations. In addition, elements on the various plans conflict with one another.
2. Paving plan for the mews streets.
3. Security gates and control devices.
4. Landscape architectural design development drawings for both the public and private improvements.
5. Master Street Plan for the district.
6. Master Drainage and Utility plan for the district.
7. Final design for roundabout.

Staff recommends the above-listed items be submitted to, and approved by the staff prior to the issuance of any construction permits for the development.

SECTION 4. That the development plans shall be approved subject to the following conditions:

The waiver request for 18% of efficiency units at smaller than 500 square feet shall be approved.

The waiver request for 18% of 1-bedroom units at smaller than 750 square feet shall be approved.

Public property may be used for locations for switch gears and any transformers needed to serve the public facilities. Transformers needed for Building A shall be located either within Building A or within the courtyard for Building A unless a plan for the location of the transformers within the park property is approved by the staff.

Tree wells along Quorum Drive shall be changed from 5'x10' to 5'x12'.

Tree wells along the residential streets shall be changed to 5'x9'.

Tree wells at the round-a-bout shall be changed from 5'x5' with tree grates to 5'x7.5' with tree guards with protective bollards. A plan for the tree guards shall be submitted to the staff for approval prior to the issuance of a building permit.

Tree wells in the Mews shall be changed from 5'x5' with tree grates to 5'x5' with tree guards with protective bollards. A plan for the tree guards shall be submitted to the staff for approval prior to the issuance of a building permit.

No foundation planting along the north side of Building A, except for vine pockets at building entrances, shall be required

Buildings A, B, C, shall be allowed to have a minimum 5-foot building setbacks from public rights-of-way, and from adjacent city property. The lot width for Building B shall be approved at 166 feet.

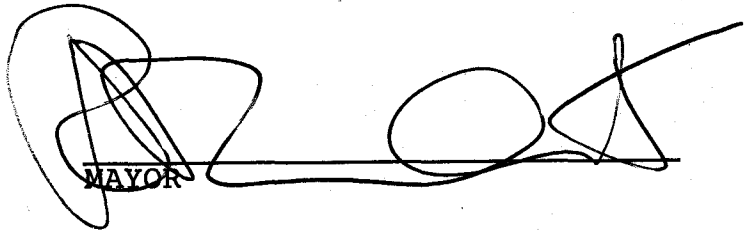
Sufficient parking for all uses shall be provided. A final plan for parking shall be approved by the staff prior to the issuance of any construction permits for the development.

All encroachments into the public rights-of-way, below a height of 10 feet shall be eliminated. All encroachments between the height



repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 12th day of December 1995.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO. 1234-Z

APPROVED AS TO FORM:

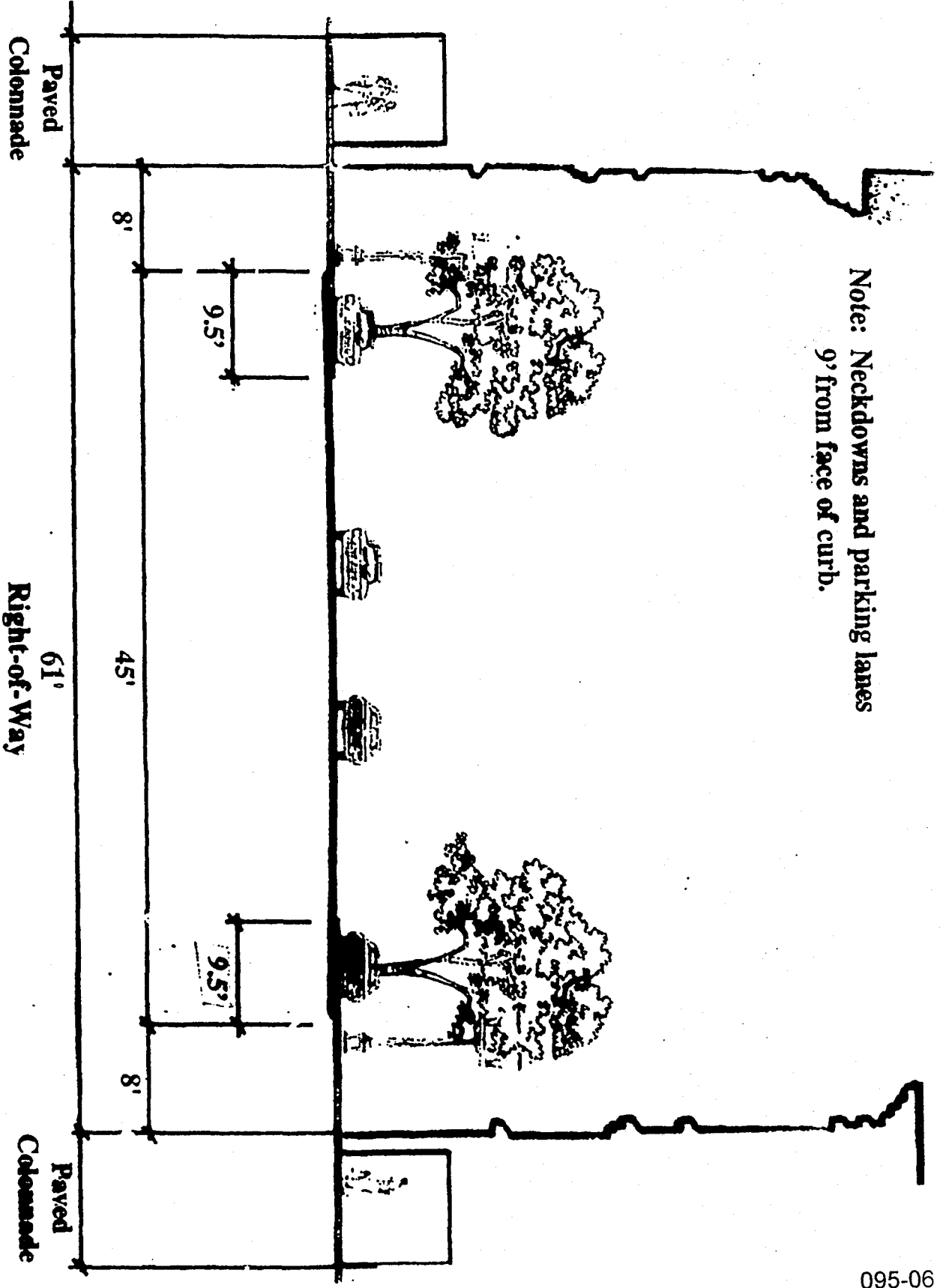


DIRECTOR OF DEVELOPMENT SERVICES

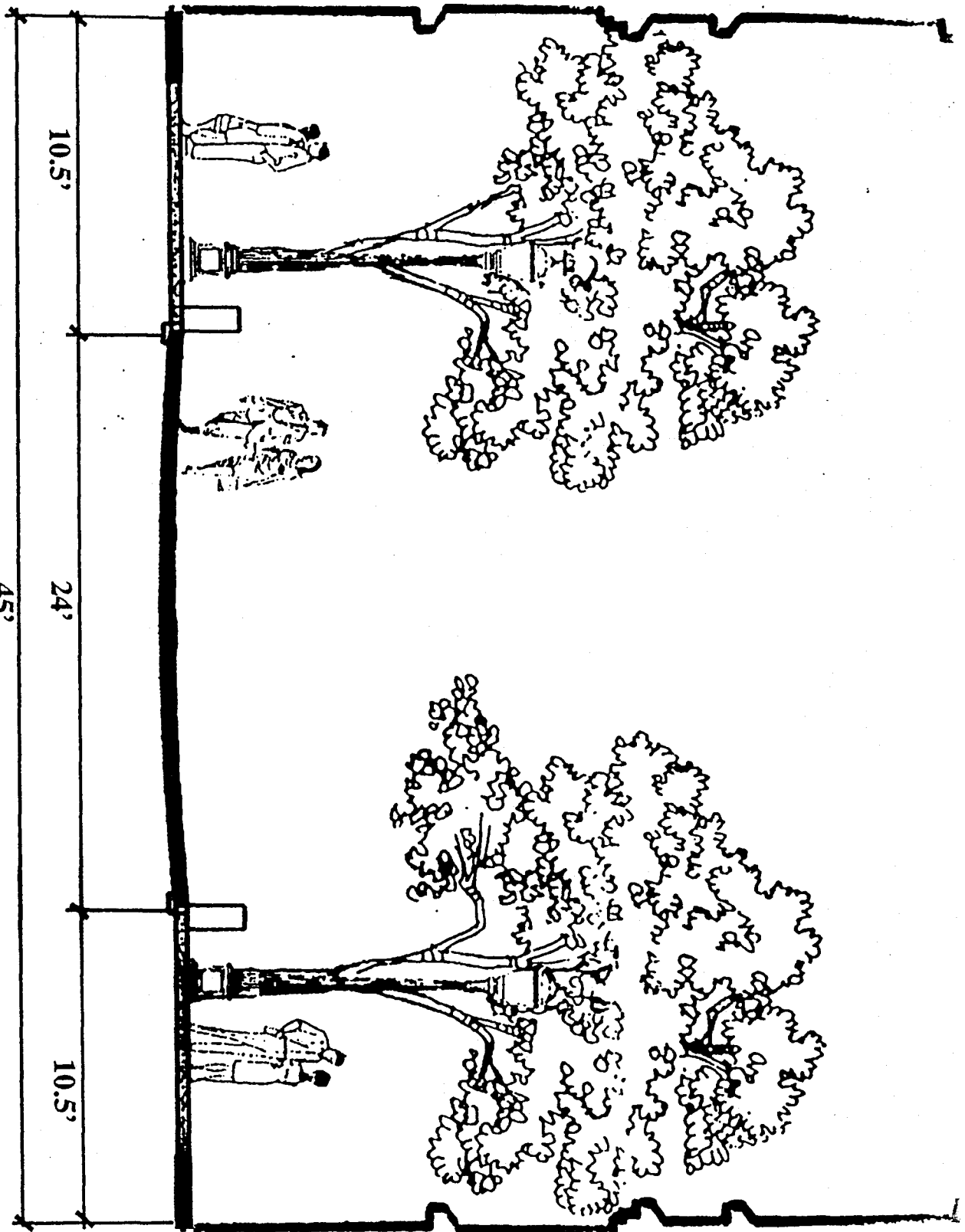
Published  
3/7/26



Note: Neckdowns and parking lanes  
9' from face of curb.



Category G - Retail Street @ Neckdown (Mildred)



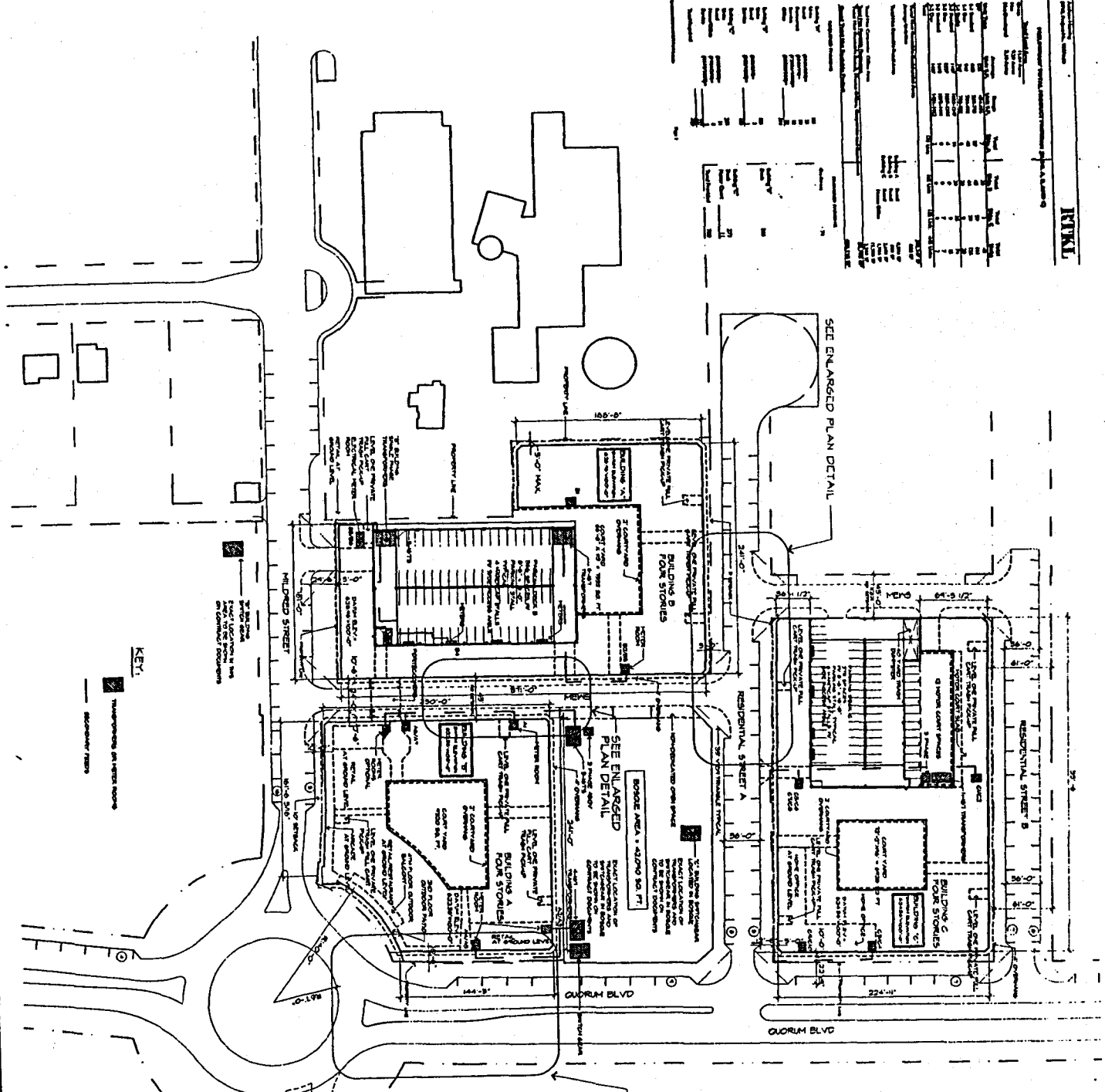
45'  
Right-of-Way

Category D - Mews



RTK&K

NO.	DESCRIPTION	DATE	BY	CHKD.
1	PRELIMINARY	11/15/88	RTK	KK
2	REVISED	12/15/88	RTK	KK
3	REVISED	1/15/89	RTK	KK
4	REVISED	2/15/89	RTK	KK
5	REVISED	3/15/89	RTK	KK
6	REVISED	4/15/89	RTK	KK
7	REVISED	5/15/89	RTK	KK
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48	REVISED	10/15/92	RTK	KK
49	REVISED	11/15/92	RTK	KK
50	REVISED	12/15/92	RTK	KK



KEY

TRANSFORMERS IN OPEN AREAS

RECREATION AREAS

MANAGEMENT PLAN

1. The site plan is based on the information provided by the applicant and is not a guarantee of the accuracy of the information provided.

2. The site plan is subject to the approval of the City of Addison, Texas, and the State of Texas, and the applicant is responsible for obtaining all necessary permits and approvals.

3. The site plan is subject to the approval of the City of Addison, Texas, and the State of Texas, and the applicant is responsible for obtaining all necessary permits and approvals.

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SEE ENLARGED PLAN DETAIL

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095-06

# A D D I S O N

## C I R C L E

ADDISON TEXAS

Owner / Developer: COLLETTUS REALTY TRUST, 3825 South River, Suite 400, Dallas, TX 75246

Architect: RTK & K ASSOCIATES, INC., 5000 Greenville Avenue, Suite 1100, Dallas, TX 75246

Structural Engineer: BROCKBATE-DAVIS-GRACE, INC., 114 North Central Expressway, Suite 1100, Dallas, TX 75246

MSP Engineer: BUCKLEUP PLANNING, INC., 5000 Greenville Avenue, Suite 500, Dallas, TX 75246

**RTK&K**

RTK & K ASSOCIATES, INC.

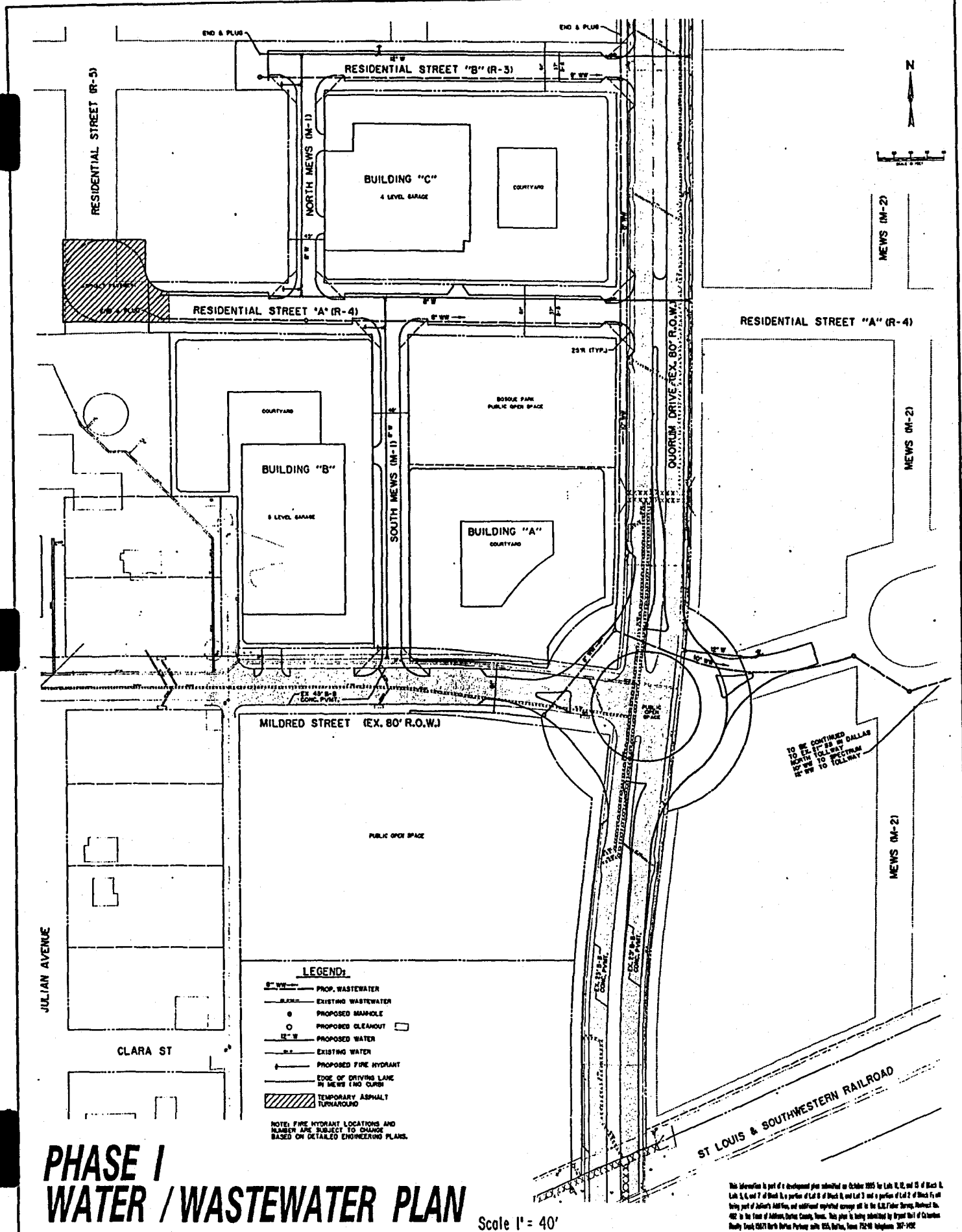
5000 Greenville Avenue, Suite 1100, Dallas, TX 75246

Phone: (214) 350-1100

Fax: (214) 350-1101

SITE PLAN

03



**LEGEND:**

- PROP. WASTEWATER
- EXISTING WASTEWATER
- PROPOSED MANHOLE
- PROPOSED CLEANOUT
- PROP. WATER
- EXISTING WATER
- PROPOSED FIRE HYDRANT
- EDGE OF DRIVING LANE IN NEWS (NO CURB)
- ▨ TEMPORARY ASPHALT TERRAZING

NOTE: FIRE HYDRANT LOCATIONS AND NUMBER ARE SUBJECT TO CHANGE BASED ON DETAILED ENGINEERING PLANS.

# PHASE I WATER / WASTEWATER PLAN

Scale 1" = 40'

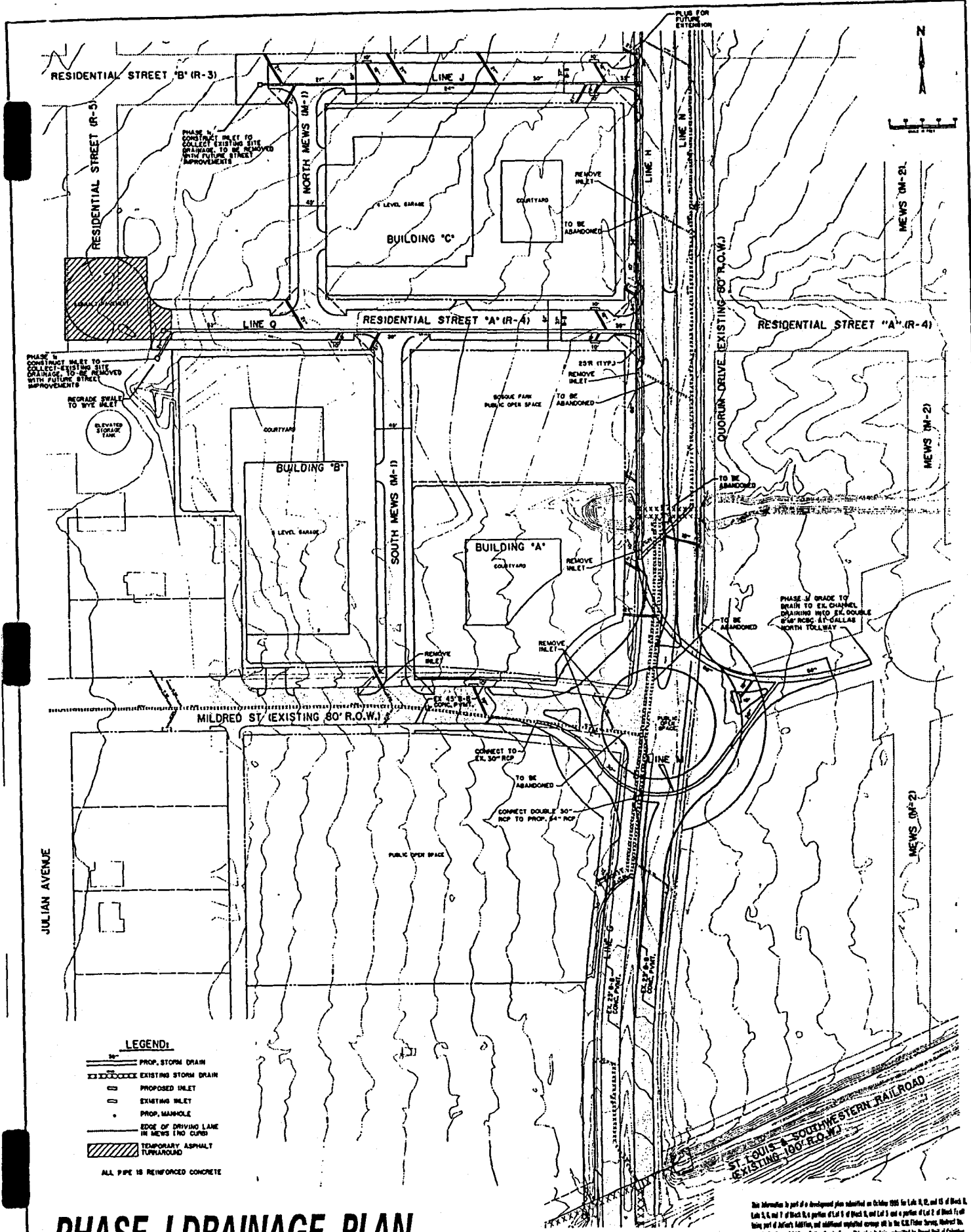
This information is part of a development plan submitted on October 2005 for Lots 10, 12, and 13 of Block 8, Lots 5, 6, and 7 of Block 9, a portion of Lot 16 of Block 8, and Lot 3 and a portion of Lot 2 of Block 7, all being part of Julian's Addition, and additional unplatted acreage off to the S.E. of Fisher Street, Block 10, 402' to the front of Addison, Dallas County, Texas. This plan is being submitted by Bryant Hill of Columbus Realty Group 1527 North Dallas Parkway Suite 105, Dallas, Texas 75240 Telephone 307-1502

095-060

A D D I S O N  
C I R C L E

ADDISON TEXAS





**LEGEND:**

- PROPOSED STORM DRAIN
- - - - - EXISTING STORM DRAIN
- PROPOSED INLET
- EXISTING INLET
- PROP. MANHOLE
- EDGE OF DRIVING LANE IN NEWS TWO CURB
- ▨ TEMPORARY ASPHALT TURNAROUND

ALL PIPE IS REINFORCED CONCRETE

# PHASE I DRAINAGE PLAN

Scale 1" = 40'

This information is part of a development plan submitted on October 1985 for Lots 8, 12, and 13 of Block 8, Lots 3, 6, and 7 of Block 9, a portion of Lot 1 of Block 8, and Lot 3 and a portion of Lot 2 of Block 8, all being part of Julian's Addition, and additional unplatted coverage will be the C.S. Fisher Survey, Block 10, 402 in the Town of Addison, Tarrant County, Texas. This plan is being submitted by Special Order of Columbia Realty Trust 0577 North Dallas Parkway Suite 208, Dallas, Texas 75246 Telephone 357-1402

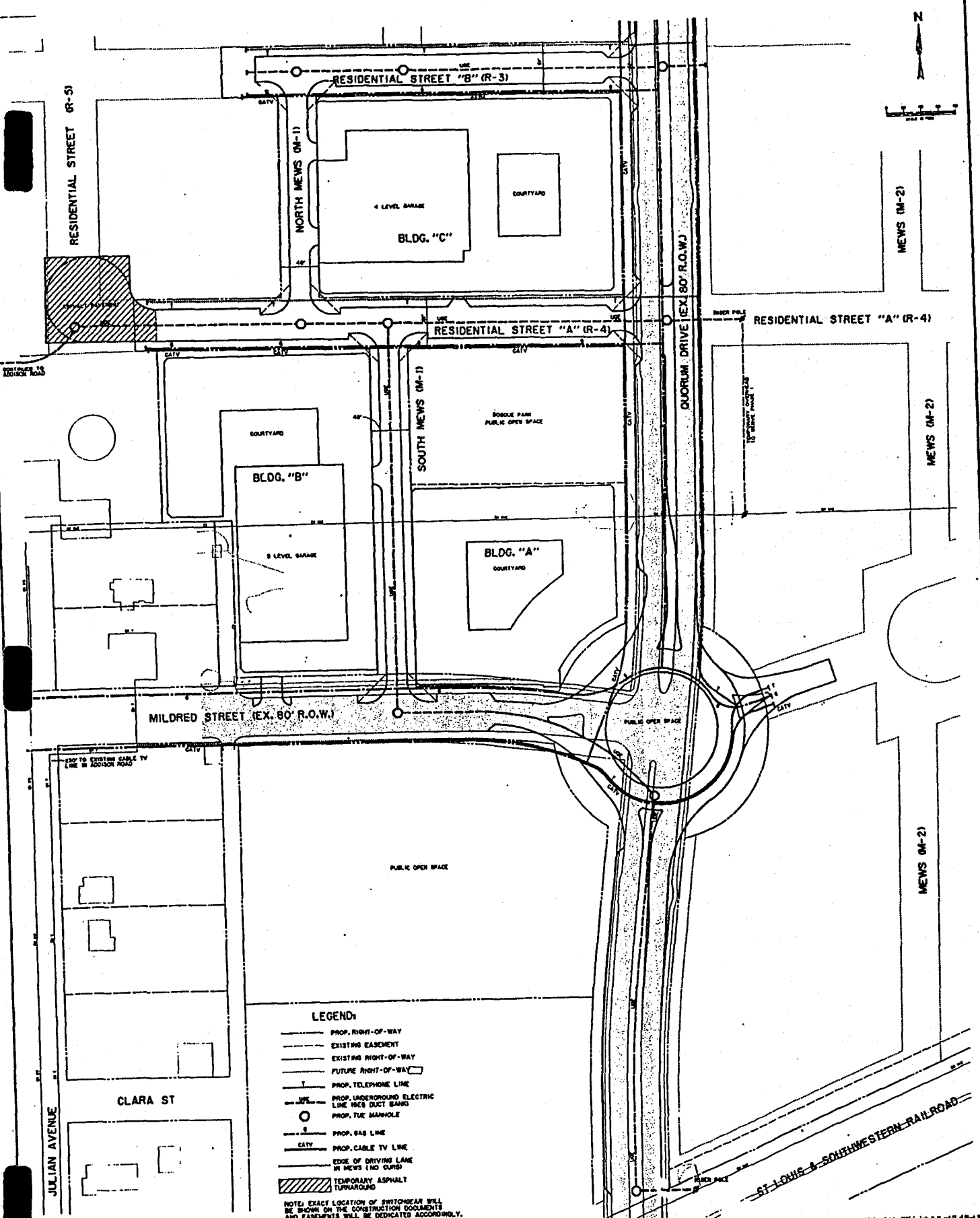
RTK

A D D I S O N 095-060

C I R C L E

ADDISON TEXAS





- LEGEND:**
- PROP. RIGHT-OF-WAY
  - - - EXISTING EASEMENT
  - - - EXISTING RIGHT-OF-WAY
  - - - FUTURE RIGHT-OF-WAY
  - PROP. TELEPHONE LINE
  - PROP. UNDERGROUND ELECTRIC LINE (4" & 6" DUCT BAND)
  - PROP. TIE MANHOLE
  - PROP. GAS LINE
  - CATV PROP. CABLE TV LINE
  - EDGE OF DRIVING LANE IN MEWS (NO CURB)
  - ▨ TEMPORARY ASPHALT TURNAROUND

NOTE: EXACT LOCATION OF SWITCHGEAR WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND EASEMENTS WILL BE DEDICATED ACCORDINGLY.

# PHASE I FRANCHISE UTILITIES PLAN

Scale 1" = 40'

This information is part of a development plan submitted on October 2005 for Lots 4, 12, and 13 of Block 4, Lots 4, 6, and 7 of Block 5, a portion of Lot 8 of Block 4, and Lot 5 and a portion of Lot 8 of Block 4, all being part of Addicks Addition, and additional unperfected survey set to the S.E. Fisher Survey, Block 4, 400 to the Town of Addison, Dallas County, Texas. This plan is being submitted by David Reed of Columbia Realty Group 1000 North Dallas Parkway Suite 100, Dallas, Texas 75242 telephone 972-7192

**RTK**

REGISTERED PROFESSIONAL SURVEYOR

NO. 12345

STATE OF TEXAS

COMMISSION EXPIRES 12/31/2010

**ADDISON** 095-060

C I R C L E

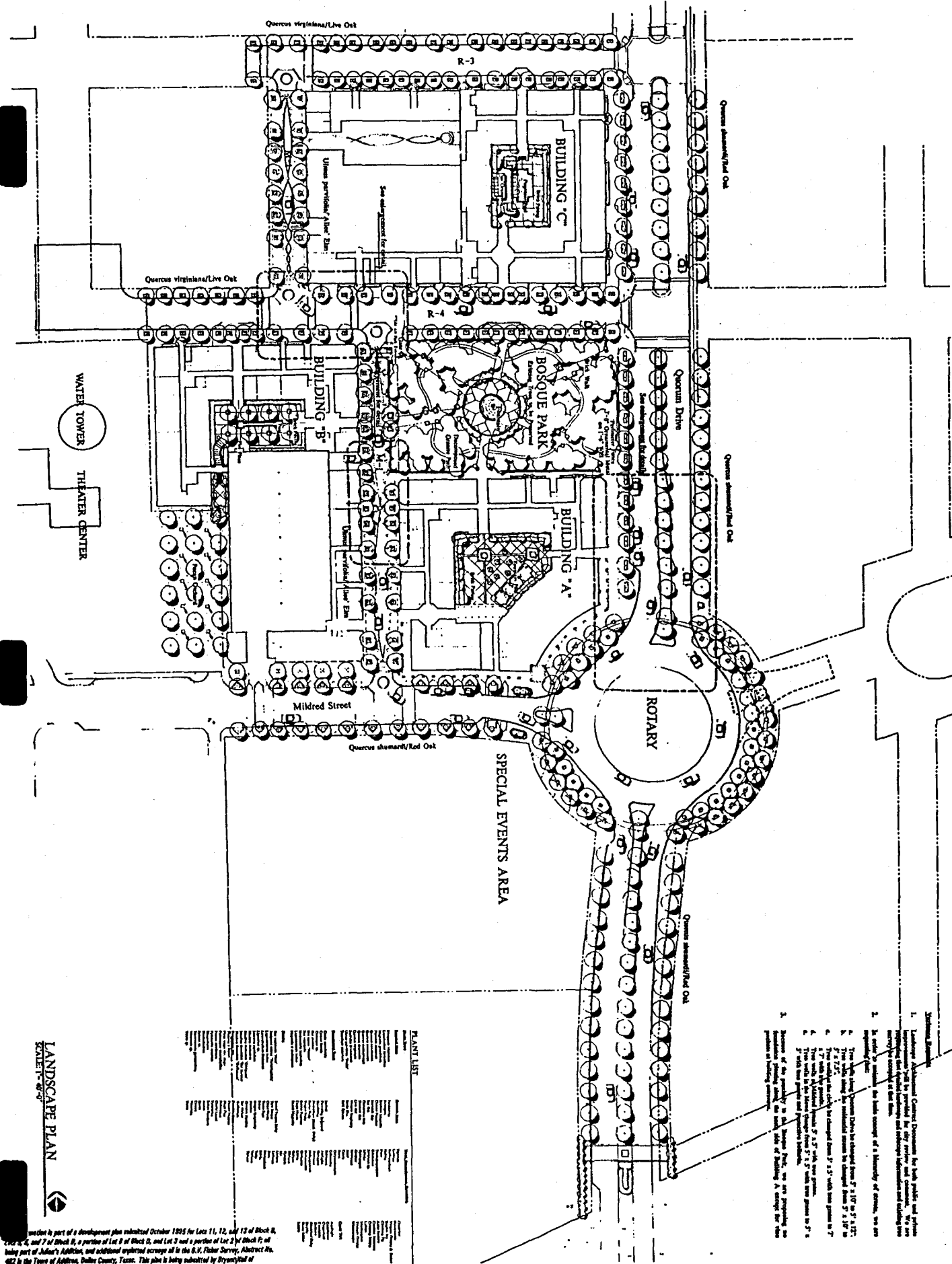
ADDISON TEXAS

Owner/Preparer: COLUMBIA REALTY GROUP

Architect: RTK ASSOCIATES, INC.

Engineering: DRE ASSOCIATES, INC. 100 North Highway 381

Surveying: BUCKLEY & ASSOCIATES, INC. 200 McKinney Avenue Suite 200



LANDSCAPE PLAN  
SCALE 1" = 40'-0"

**PLANT LIST**

QV	Quercus virginiana/Live Oak
QS	Quercus shumardii/Red Oak
U	Ulmus parviflorus/Elm
R-1	Planting Code
R-2	Planting Code
R-3	Planting Code
A	Planting Code
B	Planting Code
C	Planting Code
D	Planting Code
E	Planting Code
F	Planting Code
G	Planting Code
H	Planting Code
I	Planting Code
J	Planting Code
K	Planting Code
L	Planting Code
M	Planting Code
N	Planting Code
O	Planting Code
P	Planting Code
Q	Planting Code
R	Planting Code
S	Planting Code
T	Planting Code
U	Planting Code
V	Planting Code
W	Planting Code
X	Planting Code
Y	Planting Code
Z	Planting Code

1. Landscape Architect/Contractor/Owner: The landscape and plantings shown on this plan are to be installed by the contractor and are not to be installed by the owner.
2. The contractor shall be responsible for the maintenance of the landscape and plantings during the construction period.
3. The contractor shall be responsible for the maintenance of the landscape and plantings during the construction period.
4. The contractor shall be responsible for the maintenance of the landscape and plantings during the construction period.
5. The contractor shall be responsible for the maintenance of the landscape and plantings during the construction period.

portion of a development plan submitted October 1995 for Lots 11, 12, and 13 of Block B, Lots 4, 6, and 7 of Block B, a portion of Lot 8 of Block B, and Lot 2 and a portion of Lot 3 of Block B of being part of Miller's Addition, and additional unplatted acreage all in the G.H. Fisher Survey, Abstract No. 482 in the Town of Addison, Dallas County, Texas. This plan is being submitted by Bryan Child of Columbus Realty Trust, 15871 North Dallas Parkway Suite 855, Texas 75248 telephone: 367-1482.

**RTKI**  
RICK THOMAS TRUCKING & LOGGING, INC.  
15871 North Dallas Parkway, Suite 855  
Addison, Texas 75248  
Phone: 367-1482

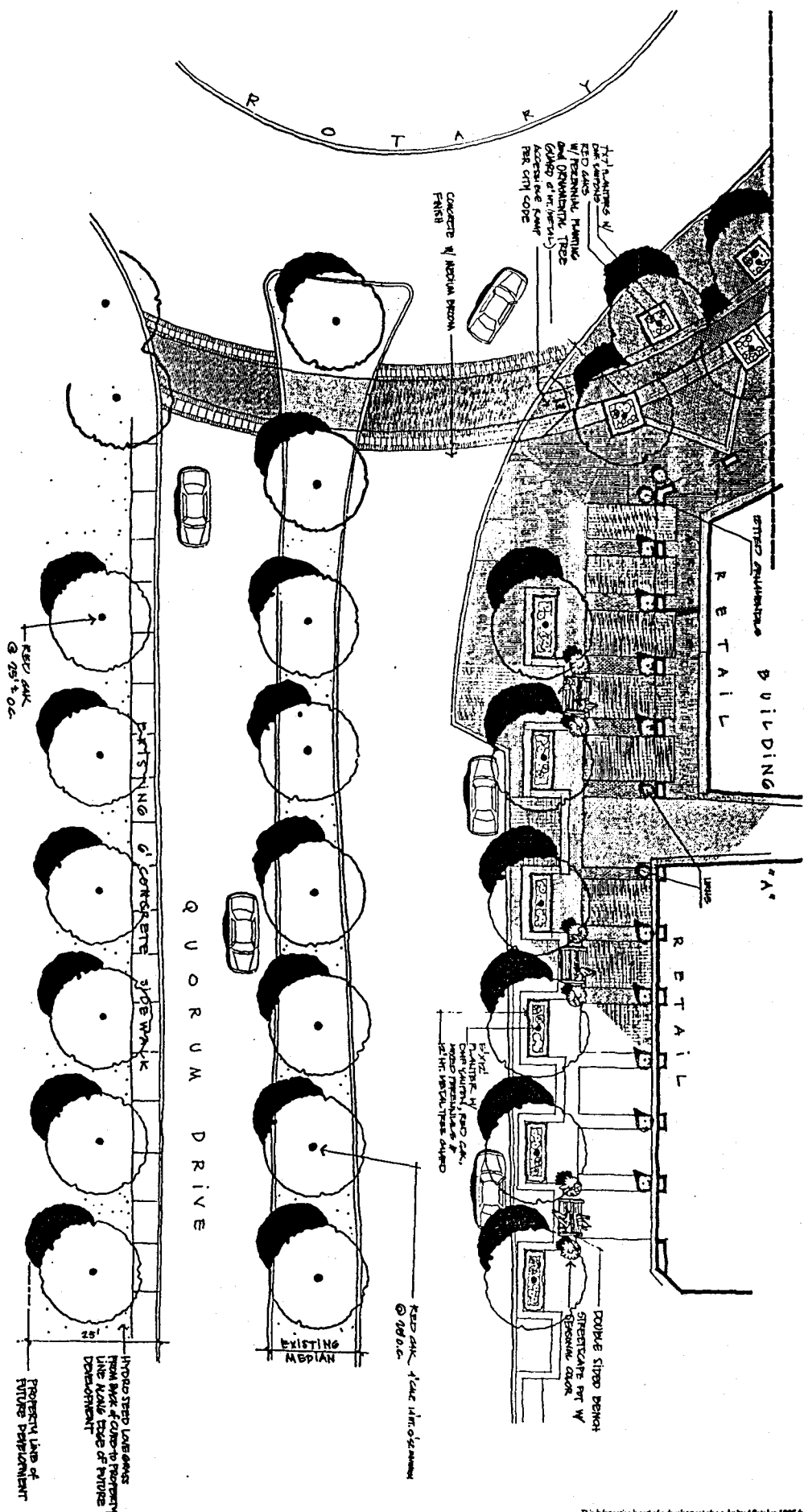
**A D D I S O N**  
C I R C L E

ADDISON TEXAS

Owner / Developer COLUMBUS REALTY TRUST 15871 North Dallas Parkway Suite 855 158	Architect RTKI ASSOCIATES, INC. 3826 South Street Suite 300	Landscape Architect MARTY JULIANS 1300 McKinney Ave. Suite 100 75201	Landscape Architect STEPHEN J. ANDERSON/STANLEY, INC. 13700 Coit Rd. Suite 118 Dallas, TX 75244
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095-060





PLAN - Quorum Drive Streetscape  
 SCALE: 1/8" = 1'-0"

095-06

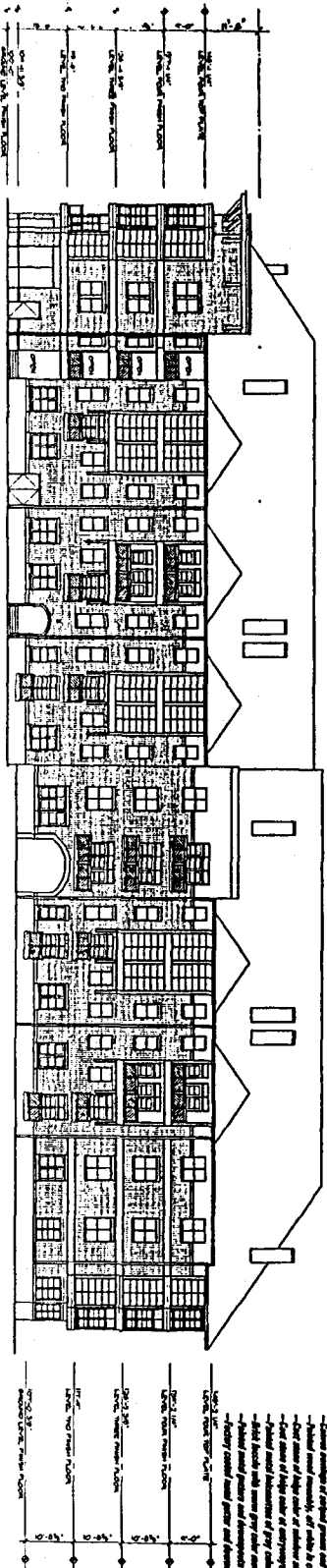
This information is part of a development plan submitted October 1985 for Lots 11, 12, and 13 of Block B, Lots 5, 6, and 7 of Block B, a portion of Lot 8 of Block B, and a portion of Lot 2 of Block F; of being part of Julia's Addition, and additional optional scope of in the U.S. Fisher Survey, Abstract No. 482 in the Town of Addison, Dallas County, Texas. This plan is being submitted by Bryant Hill of Columbia Realty Truss 16671 North Dallas Parkway Suite 805, Texas 75240 telephone: 267-1482.

A D D I S O N  
 C I R C L E

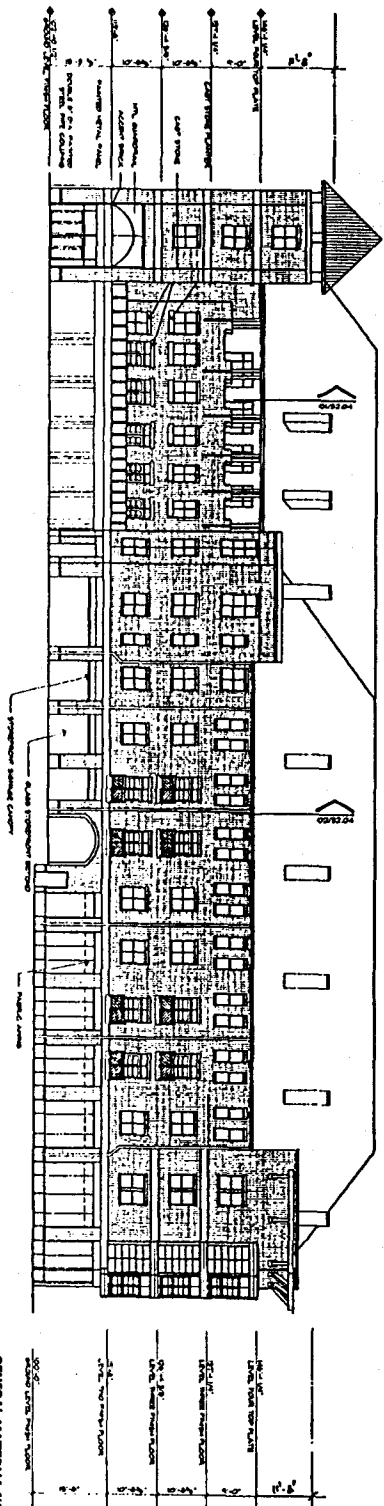
RTK  
 Registered Professional Engineer  
 State of Texas  
 License No. 12345  
 1000 Main Street  
 Dallas, Texas 75201  
 Phone: (214) 123-4567



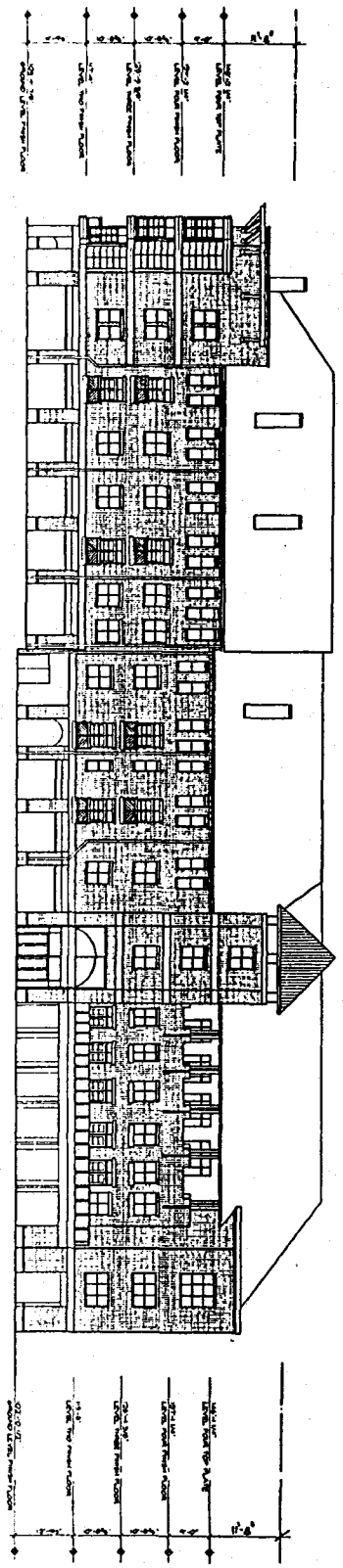
**03 BUILDING A - NORTH ELEVATION**



**01 BUILDING A - EAST ELEVATION**



**02 BUILDING A - SOUTH ELEVATION**



*This document is part of a development plan submitted December 1955 for lots 11, 12, and 13 of Block 8, Lots 6, 7 and 8 of Block 9, sections of Lot 6, Block 8, and Lot 2 and 3 sections of Lot 2 of Block 8, all being part of Addison, Dallas County, Texas. The plan is being submitted for approval by the Board of Commissioners of Dallas County, Texas. The plan is being submitted for approval by the Board of Commissioners of Dallas County, Texas. The plan is being submitted for approval by the Board of Commissioners of Dallas County, Texas.*

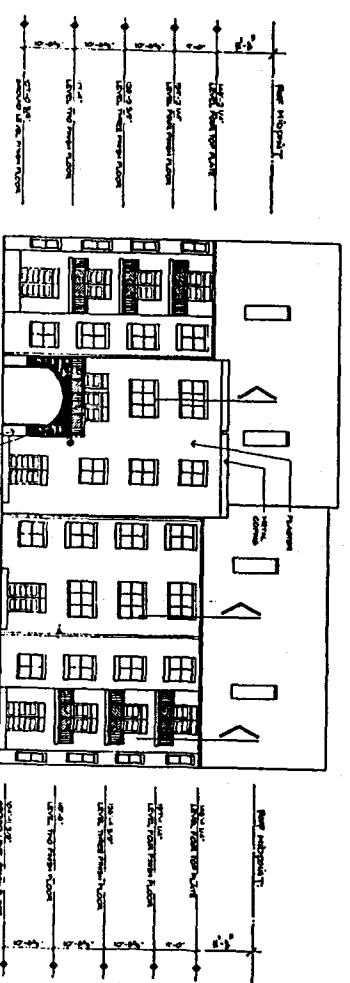
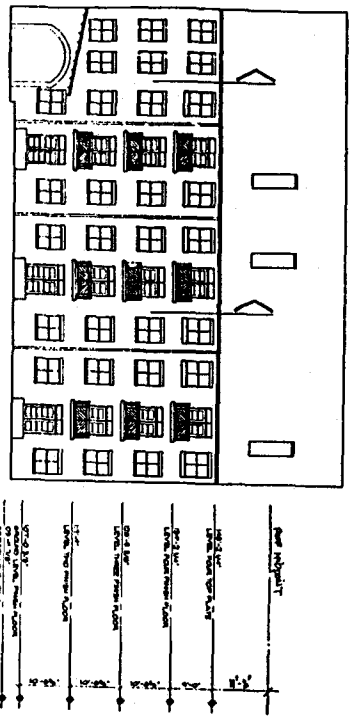
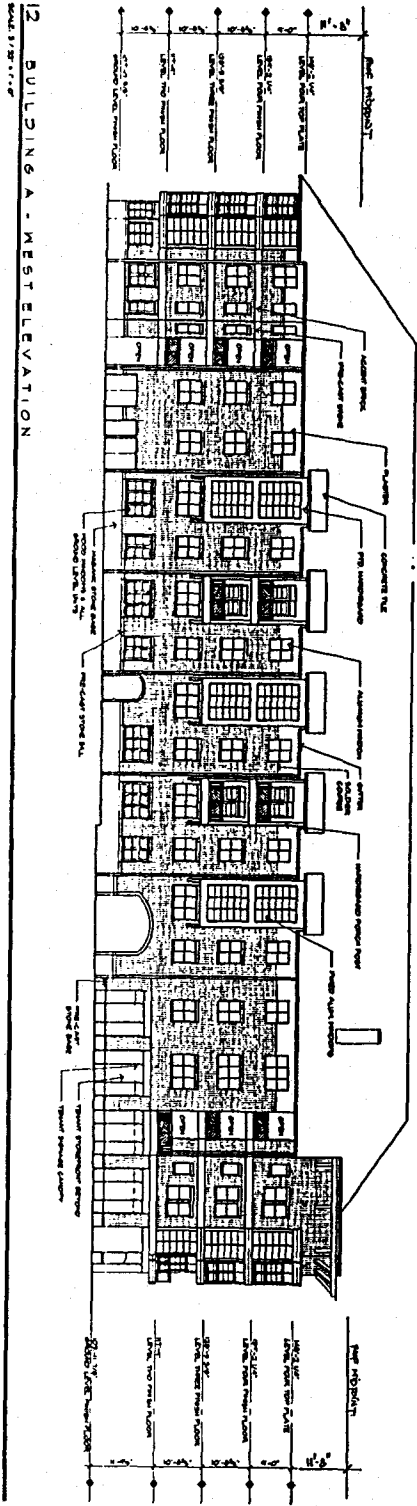
**GENERAL MATERIAL NOTES**

- Concrete shall be made and placed in accordance with all applicable building codes.
- Reinforcement shall be of the type and grade specified.
- Steel shall be of the type and grade specified.
- Masonry shall be of the type and grade specified.
- Lumber shall be of the type and grade specified.
- Windows shall be of the type and grade specified.
- Doors shall be of the type and grade specified.
- Other materials shall be of the type and grade specified.

095-06C

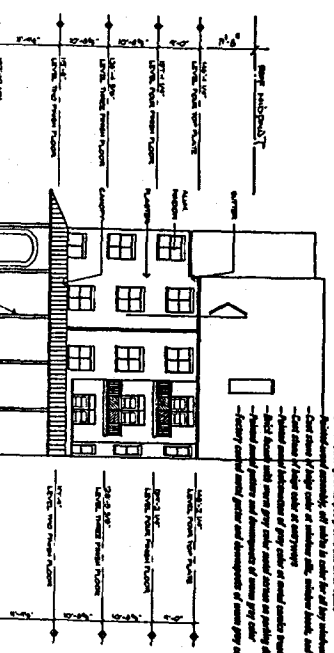
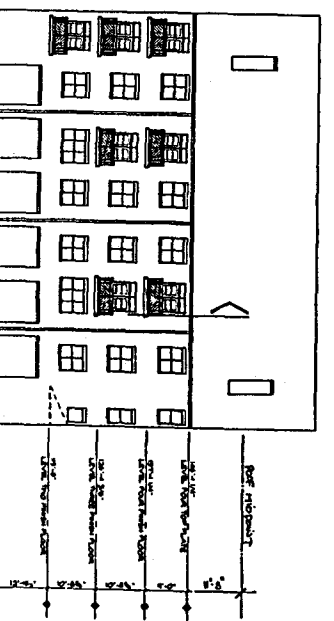
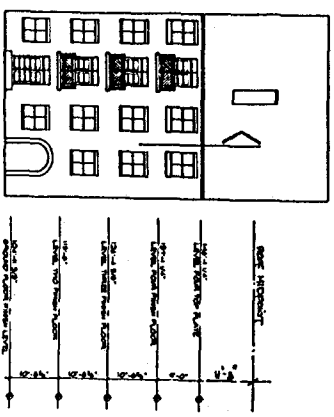
**RPM**  
 BUILDING "A"  
 ELEVATIONS  
 SHEET NO. 01

**ADDISON**  
**CLUB**  
 ADDISON TEXAS  
 Owner / Developer  
 COLLETT'S REALTY TRUST  
 2801 Dallas Parkway  
 Suite 501  
 Architect  
 HWL ASSOCIATES INC  
 2828 North Street  
 Structural Engineers  
 COWIETTE-DAVIS-DEANE INC.  
 4144 North First  
 MEP Engineers  
 BUCKLEHEAD FLOWER, INC.



02 BUILDING 'A' - WEST COURTYARD ELEVATION

06 BUILDING 'A' - NORTH COURTYARD ELEVATION



04 BUILDING 'A' - EAST COURTYARD ELEVATION

03 BUILDING 'A' - SOUTHEAST COURTYARD ELEVATION

01 BUILDING 'A' - SOUTH COURTYARD ELEVATION

GENERAL MATERIAL NOTES

- 1. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
- 2. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
- 3. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
- 4. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
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- 9. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
- 10. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.

This drawing is part of a development plan submitted to the City of Addison, Texas, on 10/15/1985. The drawing is not to be used for any other purpose without the written consent of the City of Addison, Texas. Any part of this drawing, and any information contained herein, shall be the property of the City of Addison, Texas.

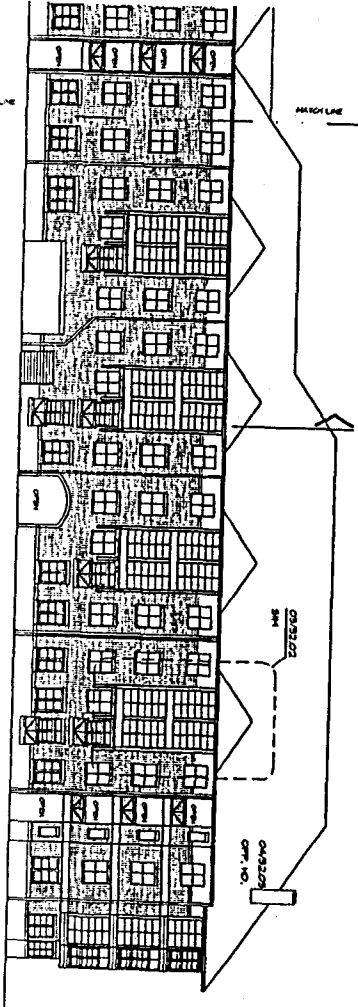
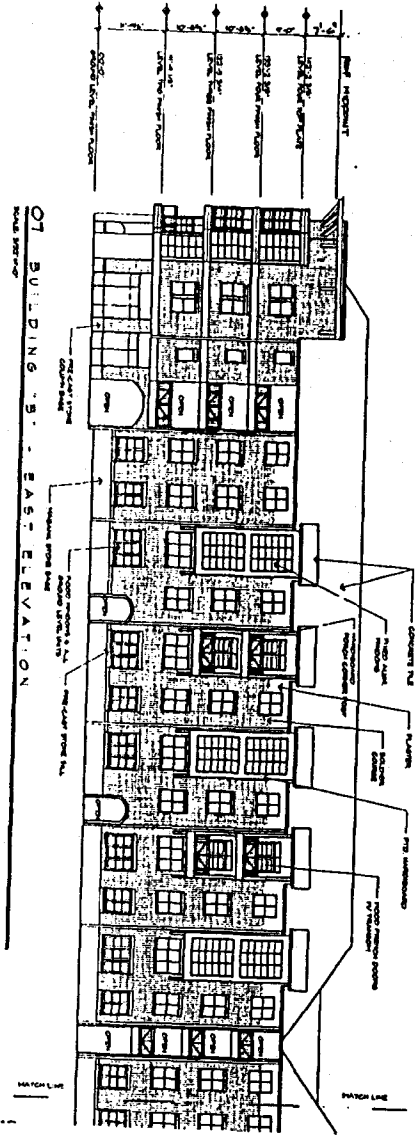
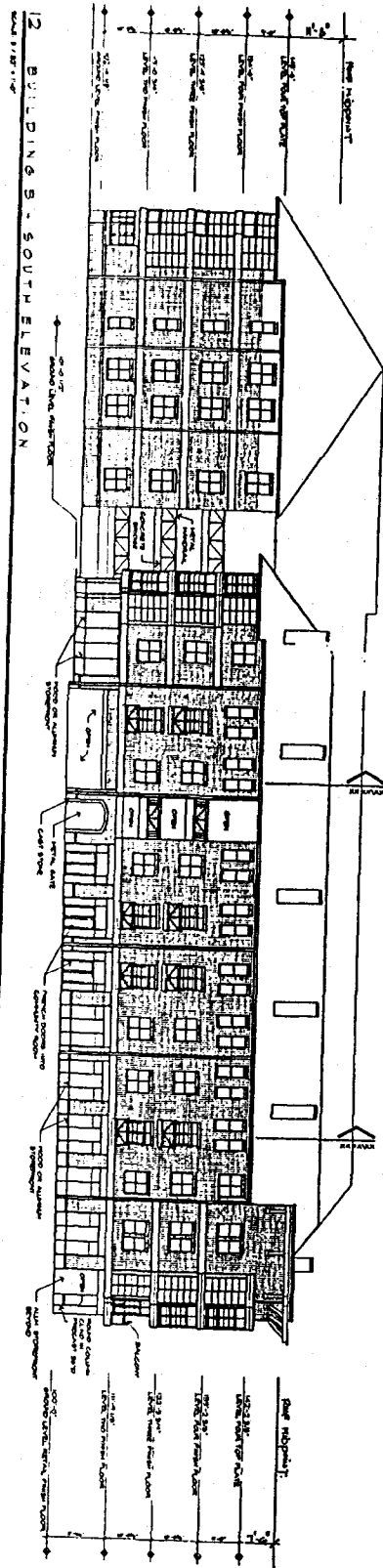
**A D D I S O N**  
C I R C L E  
ADDISON TEXAS

Owner / Developer: COLONY REALTY TRUST, 5611 Dallas Parkway  
 Architect: RWB ASSOCIATES INC., 528 South St.  
 Structural Engineer: RPK ASSOCIATES INC., 10000 W. Highway 175, Suite 100  
 MEP Engineer: RPK ASSOCIATES INC., 10000 W. Highway 175, Suite 100

**RPKI**

BUILDING 'A' ELEVATIONS

31



**GENERAL MATERIAL NOTES**

- 1. ALL MATERIALS TO BE SUPPLIED BY THE CONTRACTOR.
- 2. ALL MATERIALS TO BE OF THE BEST QUALITY AVAILABLE.
- 3. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 4. ALL MATERIALS TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- 5. ALL MATERIALS TO BE MAINTAINED IN GOOD CONDITION THROUGHOUT THE PROJECT.
- 6. ALL MATERIALS TO BE DELIVERED TO THE PROJECT SITE ON TIME.
- 7. ALL MATERIALS TO BE STORED PROPERLY ON SITE.
- 8. ALL MATERIALS TO BE USED AS SPECIFIED.
- 9. ALL MATERIALS TO BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- 10. ALL MATERIALS TO BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.

This information is part of a preliminary plan submitted October 1, 1962 for the City of Dallas, Texas. It is not intended to be a final plan and is subject to change without notice. The City of Dallas is not responsible for any errors or omissions in this plan.

**A D D I S O N**  
C I R C L E

ADDISON TEXAS

Owner / Developer  
CONSUMERS HEALTH TRUST  
1801 South Parkway  
Suite 600 LB  
Dallas, TX 75201

Architect  
RTKL ASSOCIATES, INC.  
2870 South Street  
Suite 300  
Dallas, TX 75201

Structural Engineer  
BOLLETTI-DAYE-THORP, INC.  
2102 North Central Expressway  
Suite 1100  
Dallas, TX 75201

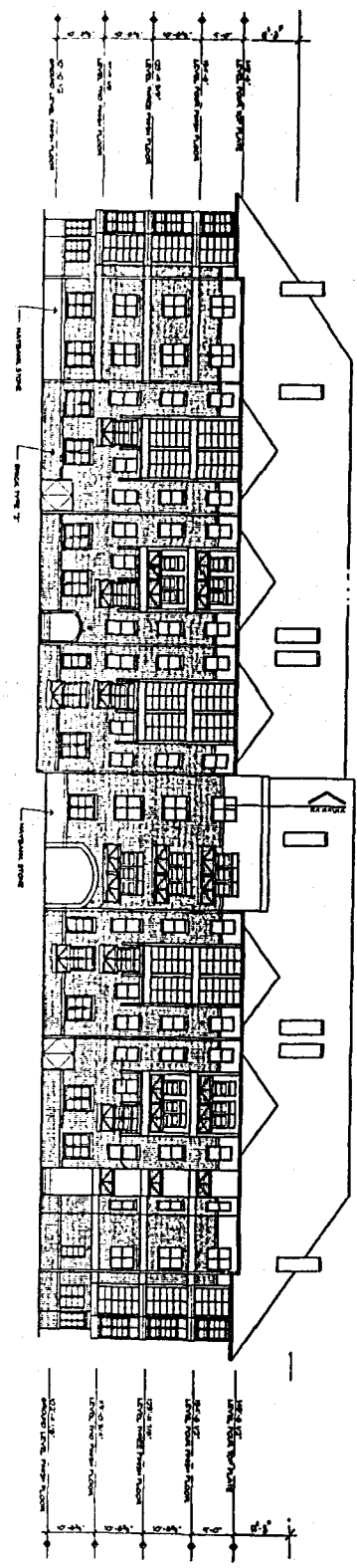
MEP Engineers  
BANKS-REARD FLOWER, INC.  
8500 Greenville Avenue  
Suite 100  
Dallas, TX 75243

**RTKL**

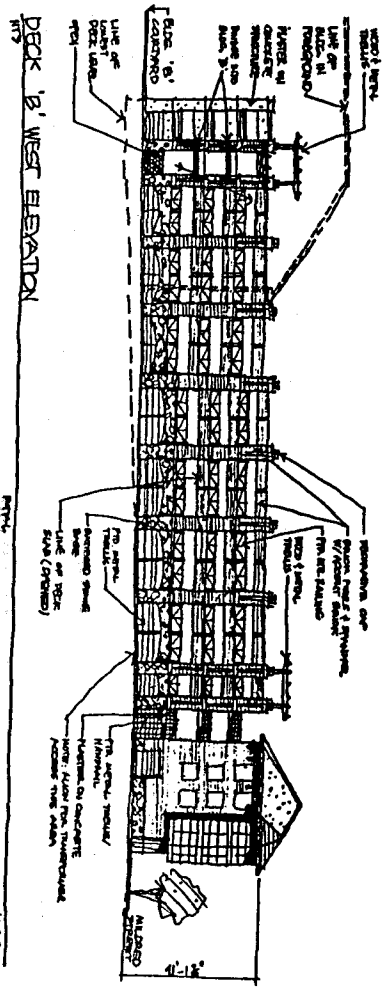
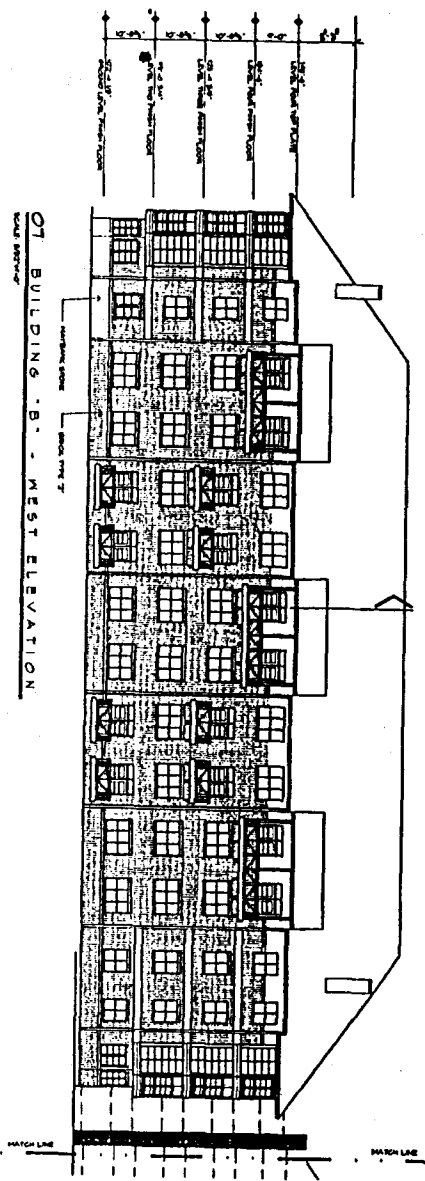
**BUILDING B  
ELEVATION**

DATE: 10/1/62  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS SHOWN

12 BUILDING B - NORTH ELEVATION



07 BUILDING B - WEST ELEVATION



**GENERAL MATERIAL NOTES**

1. All steel framing, and steel framing to be used, shall be of the same grade and weight as shown on the drawings.
2. All steel framing shall be painted with a minimum of two coats of a rust-inhibiting primer and a finish coat of a rust-inhibiting paint.
3. All steel framing shall be galvanized to meet the requirements of the AISC Specification for Structural Steel Buildings.
4. All steel framing shall be bolted with A325 bolts.
5. All steel framing shall be welded with E70 electrodes.
6. All steel framing shall be fabricated to meet the requirements of the AISC Specification for Structural Steel Buildings.
7. All steel framing shall be erected in accordance with the AISC Specification for Structural Steel Buildings.
8. All steel framing shall be inspected and approved by the local building department.
9. All steel framing shall be protected from fire and corrosion.
10. All steel framing shall be installed in accordance with the drawings and specifications.

This information is part of a preliminary plan submitted for review by the City of Dallas, Texas, on 11/11/2011. It is not to be used for any other purpose without the written consent of the City of Dallas, Texas.

095-06

A D D I S O N

C I R C L E

ADDISON TEXAS

Owner / Developer: COLUMBUS REALTY TRUST 1441 Dallas Parkway Suite 400 LB Dallas, TX 75244	Architect: STELL ASSOCIATES INC 3000 South Street Suite 200 Dallas, TX 75201	Structural Engineers: BRACKETT-DAVIS-DEANE INC. 4111 North Central Expressway Suite 1100 Dallas, TX 75204
--	--	---

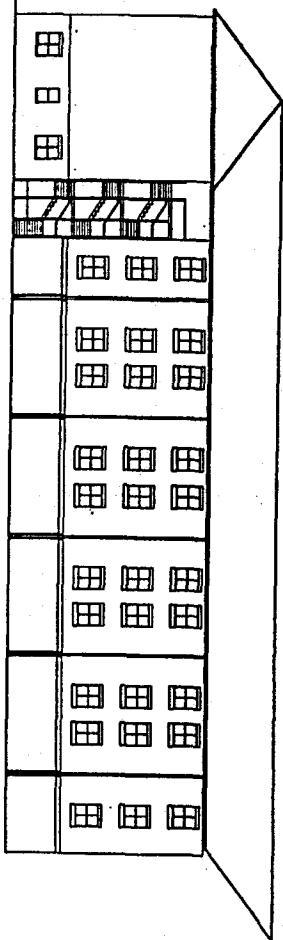
RPPKL

BUILDING B  
ELEVATION

11/11/2011

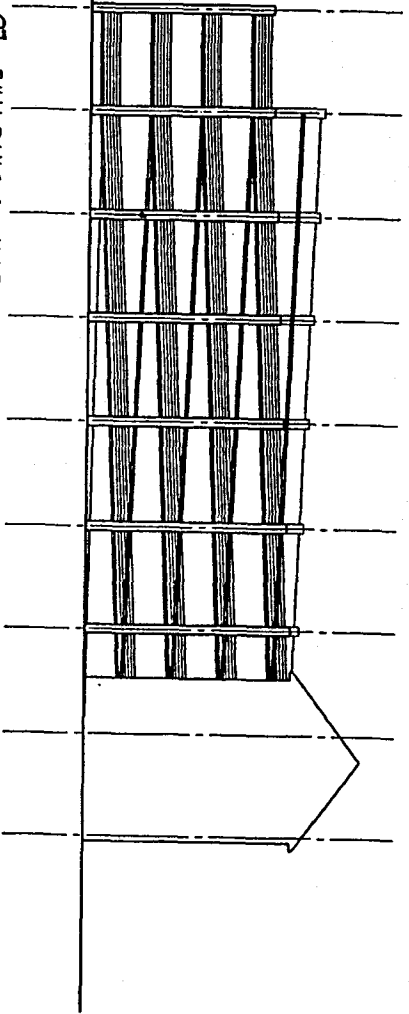
31

1	ROOF
2	2ND FLOOR
3	3RD FLOOR
4	4TH FLOOR
5	5TH FLOOR
6	6TH FLOOR
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9	9TH FLOOR
10	10TH FLOOR
11	11TH FLOOR
12	12TH FLOOR
13	13TH FLOOR
14	14TH FLOOR
15	15TH FLOOR
16	16TH FLOOR
17	17TH FLOOR
18	18TH FLOOR
19	19TH FLOOR
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21	21ST FLOOR
22	22ND FLOOR
23	23RD FLOOR
24	24TH FLOOR
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31	31ST FLOOR
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33	33RD FLOOR
34	34TH FLOOR
35	35TH FLOOR
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43	43RD FLOOR
44	44TH FLOOR
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69	69TH FLOOR
70	70TH FLOOR
71	71ST FLOOR
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73	73RD FLOOR
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81	81ST FLOOR
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83	83RD FLOOR
84	84TH FLOOR
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89	89TH FLOOR
90	90TH FLOOR
91	91ST FLOOR
92	92ND FLOOR
93	93RD FLOOR
94	94TH FLOOR
95	95TH FLOOR
96	96TH FLOOR
97	97TH FLOOR
98	98TH FLOOR
99	99TH FLOOR
100	100TH FLOOR



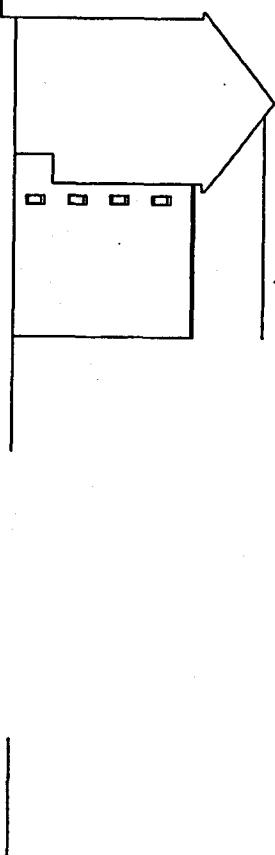
11 BUILDING C - MOTORCOURT NORTH ELEVATION

1	ROOF
2	2ND FLOOR
3	3RD FLOOR
4	4TH FLOOR
5	5TH FLOOR
6	6TH FLOOR
7	7TH FLOOR
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33	33RD FLOOR
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40	40TH FLOOR
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43	43RD FLOOR
44	44TH FLOOR
45	45TH FLOOR
46	46TH FLOOR
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51	51ST FLOOR
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63	63RD FLOOR
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65	65TH FLOOR
66	66TH FLOOR
67	67TH FLOOR
68	68TH FLOOR
69	69TH FLOOR
70	70TH FLOOR
71	71ST FLOOR
72	72ND FLOOR
73	73RD FLOOR
74	74TH FLOOR
75	75TH FLOOR
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77	77TH FLOOR
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79	79TH FLOOR
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91	91ST FLOOR
92	92ND FLOOR
93	93RD FLOOR
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100	100TH FLOOR

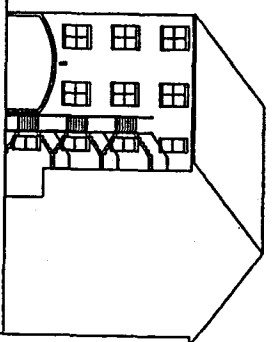


01 BUILDING C - MOTORCOURT SOUTH ELEVATION

1	ROOF
2	2ND FLOOR
3	3RD FLOOR
4	4TH FLOOR
5	5TH FLOOR
6	6TH FLOOR
7	7TH FLOOR
8	8TH FLOOR
9	9TH FLOOR
10	10TH FLOOR
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18	18TH FLOOR
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21	21ST FLOOR
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23	23RD FLOOR
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28	28TH FLOOR
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31	31ST FLOOR
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33	33RD FLOOR
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37	37TH FLOOR
38	38TH FLOOR
39	39TH FLOOR
40	40TH FLOOR
41	41ST FLOOR
42	42ND FLOOR
43	43RD FLOOR
44	44TH FLOOR
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46	46TH FLOOR
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88	88TH FLOOR
89	89TH FLOOR
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91	91ST FLOOR
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99	99TH FLOOR
100	100TH FLOOR



03 BUILDING C - MOTORCOURT EAST ELEVATION



02 BUILDING C - MOTORCOURT WEST ELEVATION

**GENERAL MATERIAL NOTES**  
 1. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.  
 2. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.  
 3. ALL MATERIALS SHALL BE SUBJECT TO TESTING AND APPROVAL BY THE ARCHITECT.  
 4. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.  
 5. ALL MATERIALS SHALL BE SUBJECT TO TESTING AND APPROVAL BY THE ARCHITECT.  
 6. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.  
 7. ALL MATERIALS SHALL BE SUBJECT TO TESTING AND APPROVAL BY THE ARCHITECT.  
 8. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.  
 9. ALL MATERIALS SHALL BE SUBJECT TO TESTING AND APPROVAL BY THE ARCHITECT.  
 10. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

095-060

**RTKL**  
 REGISTERED PROFESSIONAL ARCHITECTS  
 10000 WEST HIGHTWAY 300  
 SUITE 100  
 DALLAS, TEXAS 75240  
 PHONE: (214) 343-1000  
 FAX: (214) 343-1001  
 WWW: RTKL.COM

**BUILDING C ELEVATIONS**  
 SHEET NO. 31

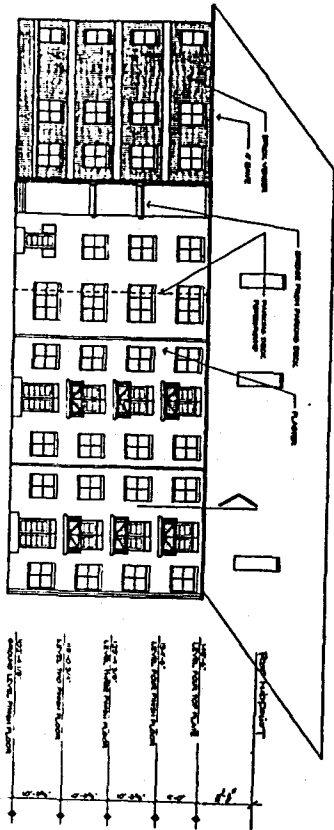
**ADDISON**  
**C I R C L E**  
 ADDISON TEXAS

**Owner / Developer**  
 COLLEGE HEALTH TRUST  
 1641 Dallas Parkway  
 Suite 400 LB  
 Dallas, TX 75244

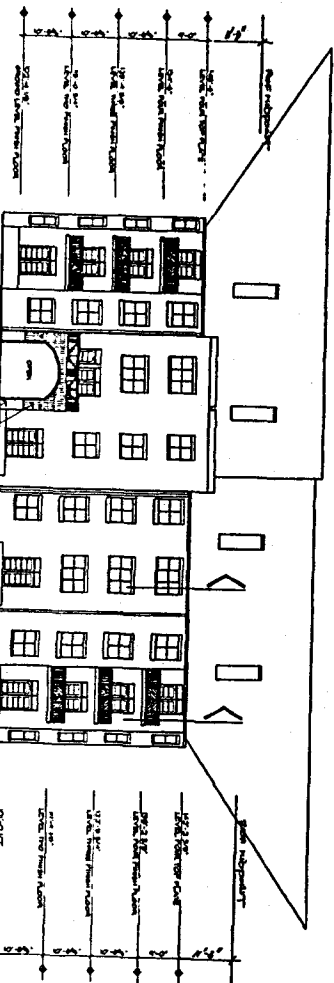
**Architect**  
 RTKL ASSOCIATES INC.  
 10000 West Highway 300  
 Suite 100  
 Dallas, TX 75240

**Structural Engineer**  
 SOCIETY-WAY-BEACE INC.  
 4141 North Central Express  
 Suite 1100  
 Dallas, TX 75204

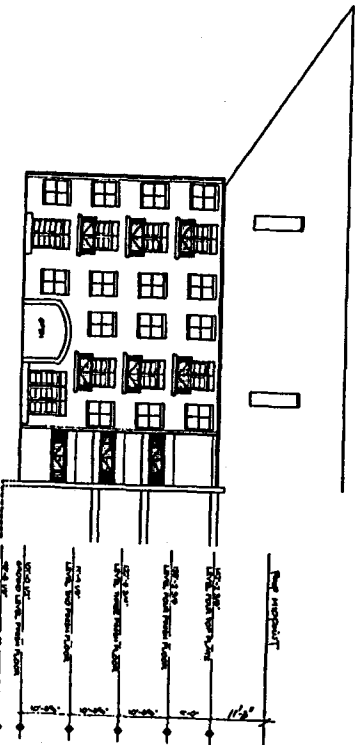
**MSP Engineers**  
 ENGINEERING FLORIN, INC.  
 4500 Greenfield Avenue  
 Suite 100  
 Dallas, TX 75240



12 BUILDING "B" - WEST COURTYARD ELEVATION



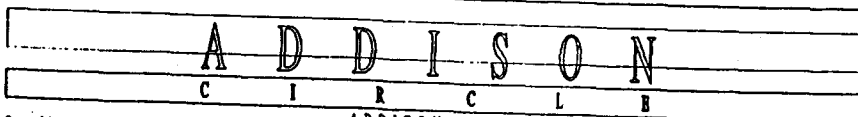
10 BUILDING "B" - NORTH COURTYARD ELEVATION



06 BUILDING "B" - EAST COURTYARD ELEVATION

**GENERAL MATERIAL NOTES**

- 1975 White Brick, set and finish as shown on all elevations.
- Concrete work shall be finished by exposure and cure and prepared as shown.
- Finish brick and mortar joints by all elevations, unless noted.
- Where finish is noted as "smooth", it shall be smooth.
- Where finish is noted as "rough", it shall be rough.
- Where finish is noted as "flat", it shall be flat.
- Where finish is noted as "architectural", it shall be as shown on all elevations.
- Where finish is noted as "natural", it shall be natural.
- Where finish is noted as "stone", it shall be stone.
- Where finish is noted as "tile", it shall be tile.
- Where finish is noted as "metal", it shall be metal.
- Where finish is noted as "wood", it shall be wood.
- Where finish is noted as "glass", it shall be glass.
- Where finish is noted as "other", it shall be as shown on all elevations.



Owner / Developer  
**COLLIER REALTY TRUST**  
 15851 Dallas Parkway  
 Suite 400 LPO  
 Dallas, TX 75248

Architect  
**STC ASSOCIATES INC.**  
 8200 South Street  
 Suite 800  
 Dallas, TX 75245

Associate Architect  
**LAN ASSOCIATES INC.**  
 777 North Highway 360  
 Suite 150  
 Dallas, TX 75245

Structural Engineer  
**BUCKETT-DAVIS-DRAKE INC.**  
 1111 North Central Expressway  
 Suite 1500  
 Dallas, TX 75242

MEP Engineer  
**BASKARAN FLOWER, INC.**  
 800 Greenhill Avenue  
 Suite 600  
 Dallas, TX 75245

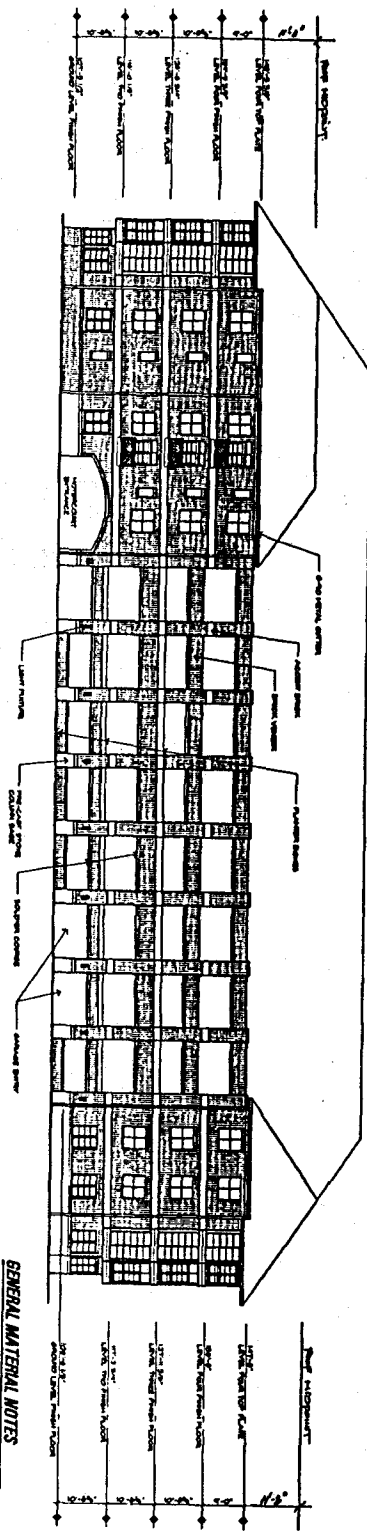
**RTKL**

Architectural Firm

10000 North Central Expressway  
 Suite 2000  
 Dallas, TX 75245

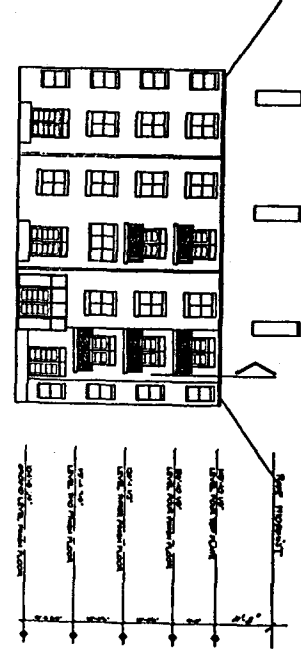
Phone: (214) 424-8800  
 Fax: (214) 424-8801  
 Website: www.rtkl.com

This information is part of a preliminary plan submitted to the City of Dallas for review and approval. It is not to be used for any other purpose without the written consent of RTKL Associates, Inc. and the City of Dallas.

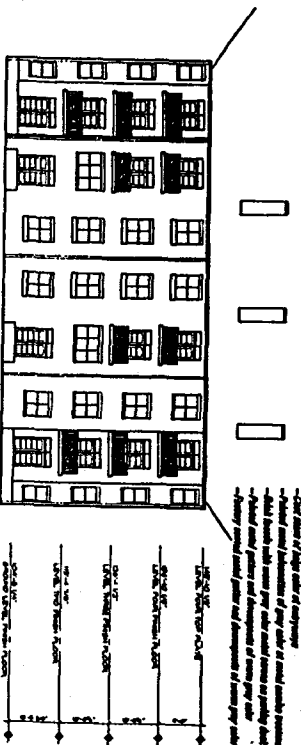


11 BUILDING C - WEST ELEVATION

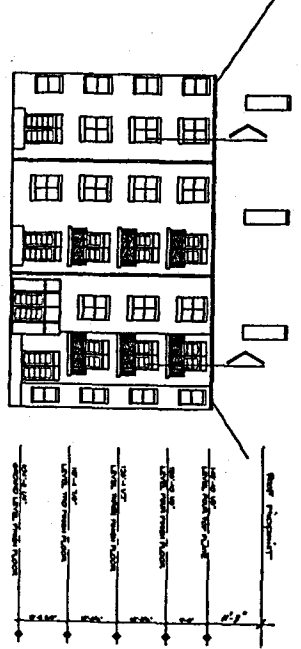
**GENERAL MATERIAL NOTES**  
 1. ALL MATERIALS TO BE USED SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT.  
 2. ALL MATERIALS TO BE USED SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT.  
 3. ALL MATERIALS TO BE USED SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT.  
 4. ALL MATERIALS TO BE USED SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT.  
 5. ALL MATERIALS TO BE USED SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT.



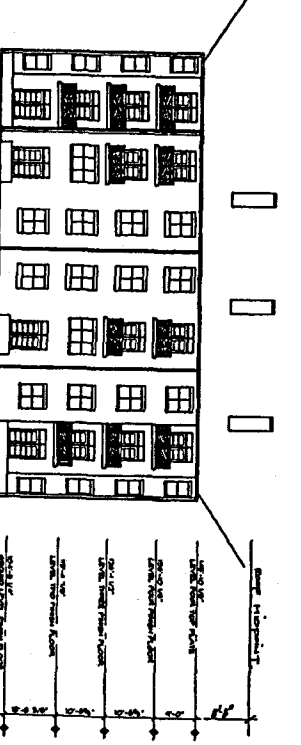
01 BUILDING C - NORTH COURTYARD ELEVATION



06 BUILDING C - EAST COURTYARD ELEVATION



03 BUILDING C - SOUTH COURTYARD ELEVATION



02 BUILDING C - WEST COURTYARD ELEVATION

This document is part of a set of drawings for the proposed building project. It is intended for informational purposes only and should not be used for construction without the approval of the architect. The drawings are the property of the architect and are not to be reproduced or distributed without the written consent of the architect.

**A D D I S O N**  
**C I R C L E**  
 TEXAS

Owner / Developer: TRUST  
 1501 Dallas Parkway  
 Suite 400  
 Dallas, TX 75246

Architect:  
 STELL ASSOCIATES, INC.  
 1501 Dallas Parkway  
 Suite 400  
 Dallas, TX 75246

Structural Engineer:  
 BENTLEY-LITTLE-ORR ASSOCIATES, INC.  
 1100 North Central Expressway  
 Suite 1100  
 Dallas, TX 75242

MEP Engineer:  
 BENTLEY-LITTLE-ORR ASSOCIATES, INC.  
 1100 North Central Expressway  
 Suite 1100  
 Dallas, TX 75242

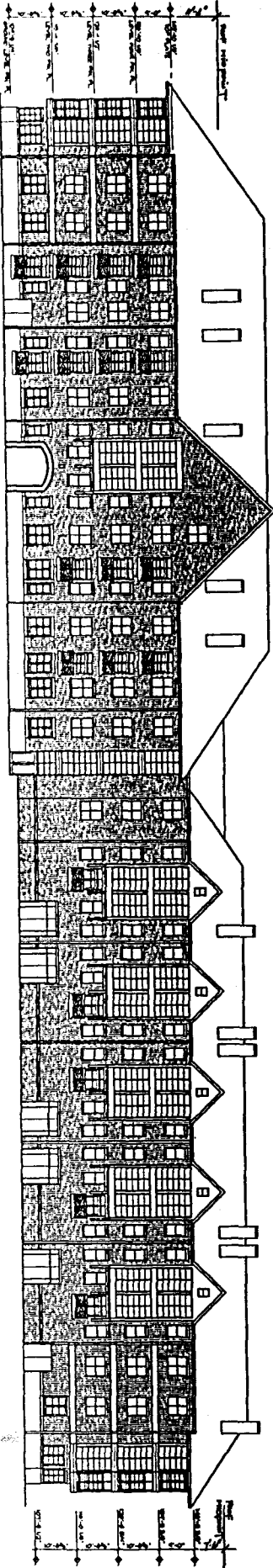
**RTKL**

200 Ross Street, Suite 200  
 Dallas, TX 75201

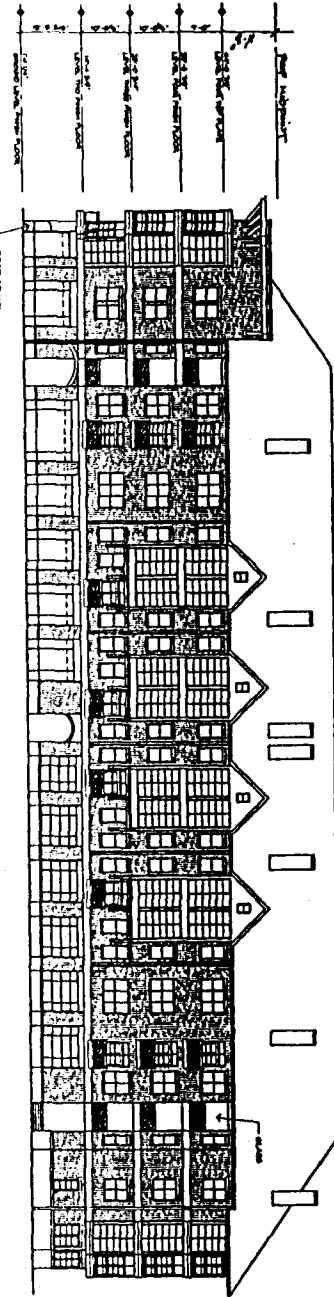
BUILDING C  
 ELEVATIONS

31

04 BUILDING C - EAST ELEVATION

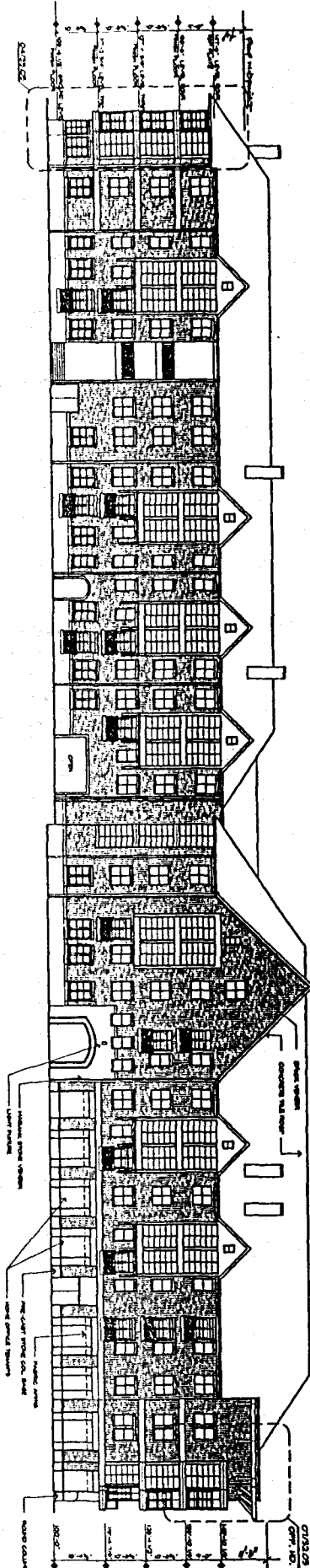


07 BUILDING C - EAST ELEVATION



GENERAL NOTES:  
 1. All dimensions are to face unless otherwise noted.  
 2. All elevations are shown as they appear from the street.  
 3. All elevations are shown as they appear from the street.  
 4. All elevations are shown as they appear from the street.

12 BUILDING C - SOUTH ELEVATION



01/23/25

095-06

**RTK**  
 REGISTERED TRADEMARK  
 REGISTERED SERVICE MARK  
 REGISTERED DESIGN  
 REGISTERED PATENT  
 REGISTERED COPYRIGHT  
 REGISTERED TRADE DRESS

**BUILDING C ELEVATIONS**

2025  
 2024  
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**A D D I S O N**  
**C I L B**

A D I S O N TEXAS

Drawn / Designer  
 CULINUS REALTY TRUST  
 15651 Dallas Parkway

Architect  
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 1048 North Street

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This document is part of a set of drawings for Building C, located at 15651 Dallas Parkway, Dallas, Texas 75244. It is a preliminary drawing and is not to be used for construction without the approval of the architect.



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