

ORDINANCE NO. 097-030

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, SO AS TO GRANT A SPECIAL USE PERMIT FOR A HOTEL, A SPECIAL USE PERMIT FOR A RESTAURANT, AND A SPECIAL USE PERMIT FOR THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISES CONSUMPTION, ON APPLICATION WITH HILTON GARDEN INN; LOCATED ON 2.12 ACRES ON THE RUNYON ROAD EXTENSION, 300 FEET SOUTH OF BELT LINE ROAD; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit

OFFICE OF THE CITY SECRETARY ORDINANCE NO. 097-030

to a hotel, a special use permit to a restaurant, and a special use permit for the sale of alcoholic beverages for on-premises consumption. Said zoning amendment shall be noted on the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

BEGINNING at a cut "+" in concrete found in the south right-of-way line of Belt Line Road (a 1-- foot wide right-of-way); said point also being the northwest corner of Lot 1, Block 1 said Belt Line Centre; said point also being the intersection of the center line of a variable width Access Easement, dedicated by instruments recorded in Volume 92009, Page 3611 and Volume 92084, Page 3178 of the Deed Records of Dallas County, Texas;

THENCE, departing said south right-of-way line of Belt Line Road and along the said center line of the said Access Easement and the west and south line of said Lot 1, the following three courses and distances;

South 00 degrees, 35 minutes, 00 seconds West, a distance of 305.30 feet to a cut "+" in concrete found at the beginning of a curve to the left whose center bears South 89 degrees, 25 minutes, 00 seconds East, a distance of 85.00 feet from said point;

Southerly, southeasterly and easterly, along said curve to the left, through a central angle of 90 degrees, 33 minutes, 42 seconds, an arc distance of 134.35 feet, on a chord bearing and distance of South 44 degrees, 41 minutes, 51 seconds East, 120.82 feet, to a cut "+" in concrete found at the end of said curve;

South 89 degrees, 58 minutes, 42 seconds East, a distance of 89.72 feet to a cut "+" in concrete found; said point being in the wets line of the Addison Plaza II Addition, an addition to the Town of Addison, Texas according to the plat recorded in Volume 79069, Page 1424 of the Deed Records of Dallas County, Texas;

THENCE, South 00 degrees, 01 minutes, 18 seconds West, along said west line, a distance of 294.43 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found at the southwest corner of said Addison Plaza II; said point being in the north line of the Pecan Square Condominiums Addition, an addition to the Town of Addison, Texas according to the plat recorded in Volume 82165, Page 1772 of the Deed Records of Dallas County, Texas;

THENCE, North 89 degrees, 25 minutes, 00 seconds West along the said north line of the said Pecan Square Condominiums Addition, a distance of 279.56 feet

to a 1/2-inch iron rod with "Pacheco Koch" cap found for corner; said point being the southeast corner of Lot 2R, Block 1, of the Replat of the Belt Line Center Addition, an addition to the Town of Addison, Texas according to the plat recorded in Volume 97060, Page 3189 of the Deed Records of Dallas County, Texas;

THENCE, North 00 degrees, 41 minutes, 06 seconds East, along the east line of said Lot 2R and passing at a distance of 350.88 feet the northeast corner of said Lot 2R, in all a distance of 362.88 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found for corner; said point being in the south line of Lot 3 of the said Belt Line Centre;

THENCE, South 89 degrees, 25 minutes, 00 seconds East, along a south line of said Lot 3, a distance of 86.71 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found at the beginning of a non-tangent curve to the right whose center bears North 81 degrees, 34 minutes, 46 seconds East, a distance of 100.00 feet from said point; said point also being in the west line of said Access Easement;

THENCE, along the west line of the said Access Easement the following four courses and distances;

Northerly, along said curve to the right through a central angle of 09 degrees, 00 minutes, 14 seconds, an arc distance of 15.71 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found at the end of said curve;

North 00 degrees, 35 minutes, 00 seconds East, a distance of 105.30 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found;

North 04 degrees, 33 minutes, 34 seconds West, a distance of 100.40 feet to a 1/2-inch iron rod with "Pacheco Koch" cap set at an angle point;

North 00 degrees, 35 minutes, 00 seconds East, a distance of 69.50 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found at the beginning of a curve to the left whose center bears North 89 degrees, 25 minutes, 00 seconds West, a distance of 30.00 feet from said point;

Northerly, along said curve to the left, through a central angle of 38 degrees, 04 minutes, 23 seconds, an arc distance of 19.94 feet, on a chord bearing and distance of North 12 degrees, 20 minutes, 04 seconds West, 31.30 feet, to a cut "+" in concrete found in the said south right-of-way line of Belt Line Road.

THENCE, South 89 degrees, 25 minutes, 00 seconds East, along said south right-of-way line, a distance of 31.00 feet to the POINT OF BEGINNING;

CONTAINING 96,354 square feet or 2.212 acres of land, more or less.

SECTION 2. That the special use permit is granted to the specific development plans proposed, and the above-described property shall be developed in accordance with the plans attached hereto and a part hereof for all purposes.

SECTION 3. That the special use permit for the hotel, the special use permit for the restaurant, and the special use permit for the sale of alcoholic beverages for on-premises consumption shall be granted subject to the following special conditions:

-The dumpster enclosure shall be constructed out of the same brick as the building and shall be large enough to hold all dumpsters and recycling containers on the site.

-All mechanical equipment shall be screened by either a parapet wall or screening device. The screening device shall be architecturally compatible with the building, and the Building Official shall make the determination as to what is "architecturally compatible."

-The applicant shall submit an exterior lighting plan to the staff for approval prior to the issuance of a building permit.

-The site plan shall be corrected to reflect Pecan Square's ownership of a five-foot strip of property between the north side of the Sam's wall and this applicant's property line.

-A designated smoking area for employees shall not be allowed on the south end of the building.

-The location of the grease trap for the restaurant shall be approved by the staff prior to installation.

-The Special Use Permit granted herein shall be limited to a restaurant and the sale of alcoholic beverages for on-premises consumption only and to that particular area designated on the final site plan as encompassing a total area not to exceed 2,760 square feet.

-No signs advertising sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison, Texas.

-That the sale of alcoholic beverages under this special use permit shall be permitted in restaurants. Restaurants are hereby defined as establishments which receive at least sixty percent (60%) of their gross revenues from the sale of food.

-Said establishment shall make available to the city or its agents, during reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of the above paragraph are being met.

-Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of alcoholic beverages.

-That if the property for which the special use permit is granted and is not used for the purposes for which said permit was granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.

-That if a license or permit to sell alcoholic beverages on property covered by this special use permit is revoked, terminated or canceled by proper authorities, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.

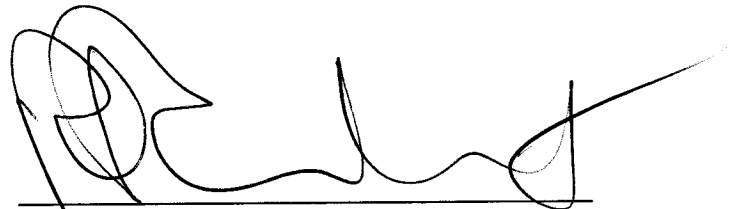
- The establishment shall not use "Bar", "Tavern" or any equivalent term in any exterior signs.

SECTION 4. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 12th day of August, 1997.


MAYOR

ATTEST:


CITY SECRETARY

CASE NO. 1304-SUP

APPROVED AS TO FORM:


DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 11/16/98
OFFICE OF THE CITY SECRETARY

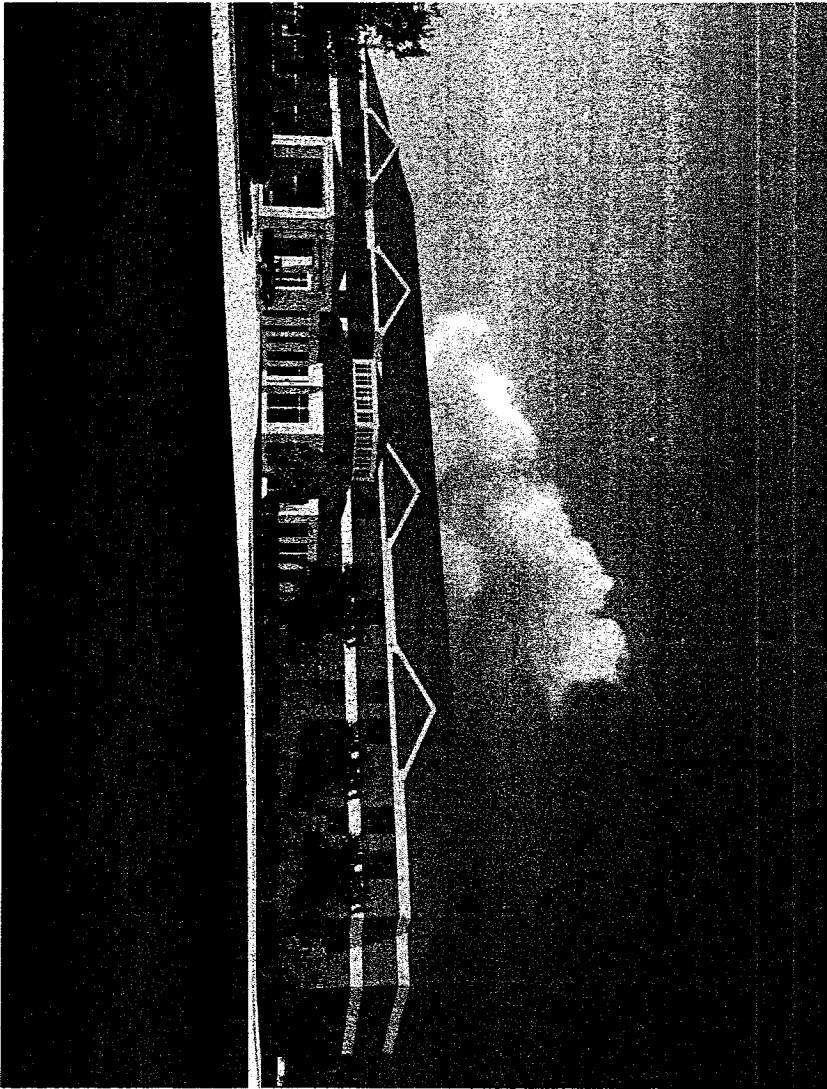
ORDINANCE NO. 097-030

Published
1/16/98

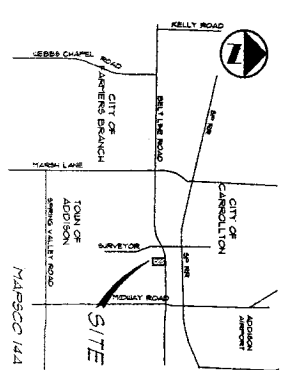


HILTON GARDEN INN

ADDISON, TEXAS



VICINITY MAP



CODE COMPLIANCE DATA

APPLICABLE BUILDING CODE: 2006 INTERNATIONAL BUILDING CODE
 OCCUPANCY CLASSIFICATION: HOTEL
 COMMENTARY TYPE: TYPE V, 1103.5

LIFE SAFETY DATA
 PERMITTED BY: CITY OF ADDISON
 FILED: 6/27/97

INDEX OF DRAWINGS

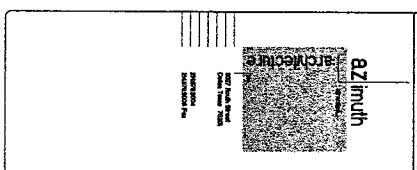
NO.	DATE	DESCRIPTION
01	06/27/97	ADD - COVER
02	06/27/97	01 - LANSING FLOOR PLAN
03	06/27/97	02 - SECOND FLOOR PLAN
04	06/27/97	03 - TYPICAL ROOM FLOOR PLAN - TYPICAL
05	06/27/97	04 - EXTERIOR ELEVATIONS
06	06/27/97	05 - EXTERIOR ELEVATIONS

SPECIAL USE PERMIT SUBMITTAL
 DATE: JUNE 27, 1997

Submit NO. A00

HILTON GARDEN INN
 ADDISON, TEXAS

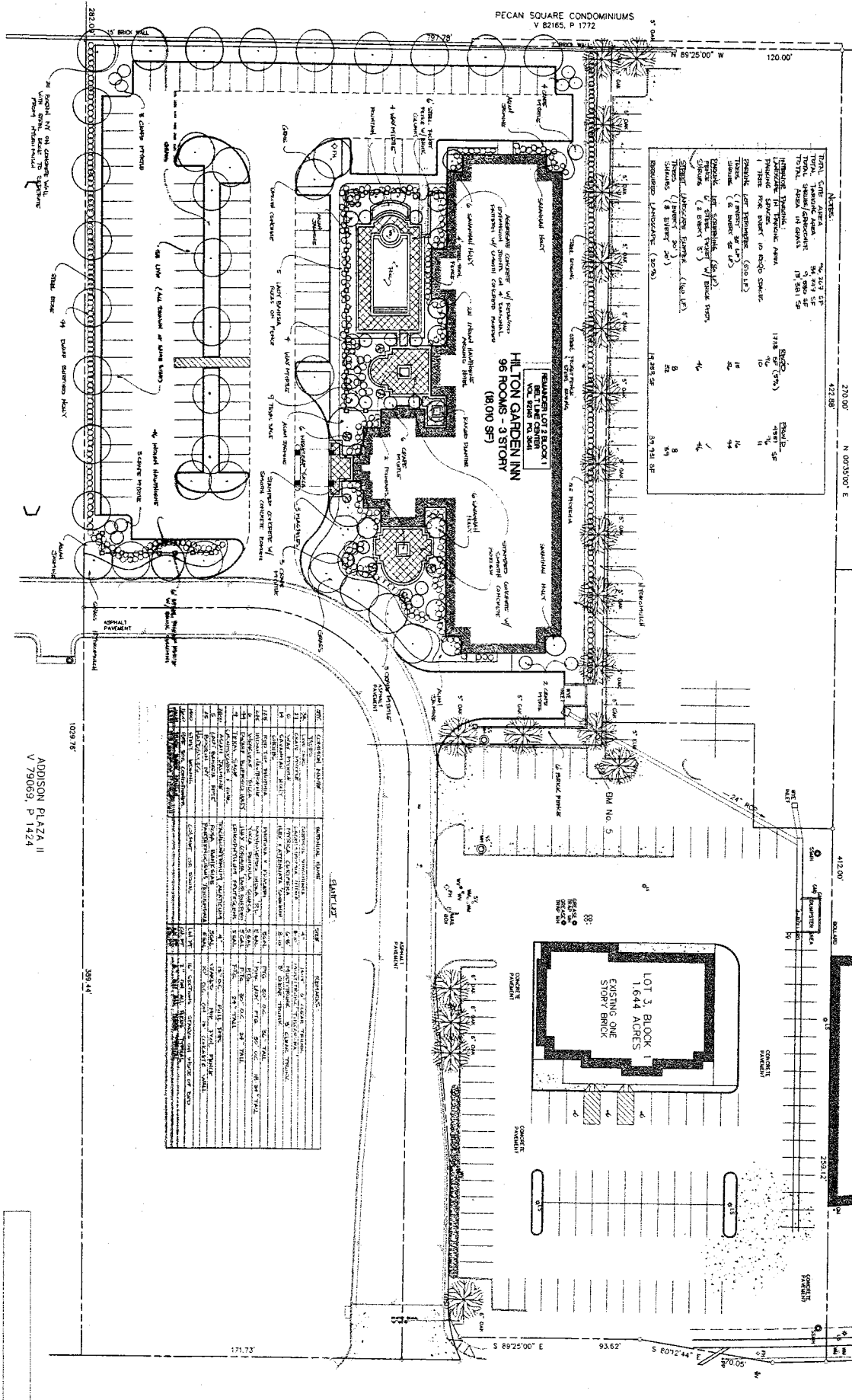
OWNER:
 G. JAY SHINN LTD.
 5300 KELLER SPRINGS
 SUITE 1030
 DALLAS, TEXAS 75248
 972.315.6123



LENTZ FURNITURE CO
(VOL. 83036, PGS. 1371)

MERCADO ALABEZ ADDITION
V 88172, P 1066

PLANT	QUANTITY	REMARKS
1" BIRCH	10	PLANTING IN TRAVEL AREA
2" BIRCH	10	PLANTING IN TRAVEL AREA
3" BIRCH	10	PLANTING IN TRAVEL AREA
4" BIRCH	10	PLANTING IN TRAVEL AREA
5" BIRCH	10	PLANTING IN TRAVEL AREA
6" BIRCH	10	PLANTING IN TRAVEL AREA
7" BIRCH	10	PLANTING IN TRAVEL AREA
8" BIRCH	10	PLANTING IN TRAVEL AREA
9" BIRCH	10	PLANTING IN TRAVEL AREA
10" BIRCH	10	PLANTING IN TRAVEL AREA



01 LANDSCAPE PLAN

NO.	SYMBOL	DESCRIPTION
1	(Symbol)	1" BIRCH
2	(Symbol)	2" BIRCH
3	(Symbol)	3" BIRCH
4	(Symbol)	4" BIRCH
5	(Symbol)	5" BIRCH
6	(Symbol)	6" BIRCH
7	(Symbol)	7" BIRCH
8	(Symbol)	8" BIRCH
9	(Symbol)	9" BIRCH
10	(Symbol)	10" BIRCH

ADDISON PLAZA II
V 79069, P 1424

SHEET TITLE
LANDSCAPE PLAN
SCALE 1" = 20'

NO. L11

HILTON GARDEN INN
OWNER:
C. JAY SHINN LTD.
5200 KELLER SPRINGS
SUITE 1030
DALLAS, TEXAS 75248
972.315.6123

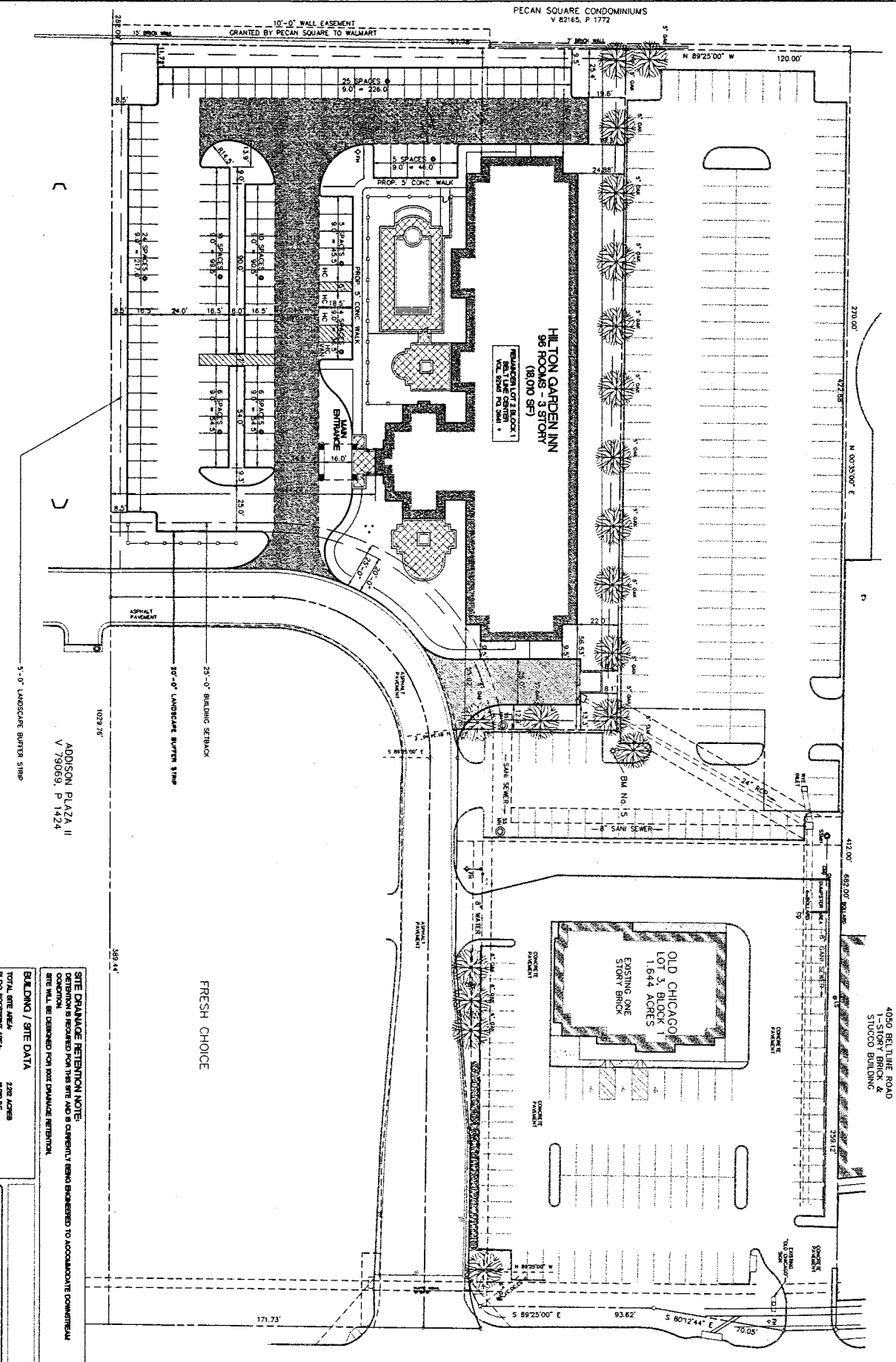
SPECIAL USE PERMIT SUBMITTAL
6/27/97

82 Inlith
1401 North Loop West
Suite 1000
Dallas, Texas 75246
(214) 822-2346

Contractor
Held Title Return
Note: Remove All
Stumps, Stumps
(214) 822-2346

DATE: JUNE 27, 1997
DRAWN BY: [Name]
REVISIONS:

01 SITE PLAN



LEVITZ FURNITURE CO.
(VOL. 83056, PG. 1571)

1.678 ACRES
MERCADO ALAN Z. ANTONIO
VOL. 88172, PG. 1066

4050 BELTLINE ROAD
1-STORY BRICK &
STUCCO BUILDING

ADDITION PLAZA, II
V. 79069, P. 1424

SITE DRAINAGE RETENTION NOTE
CONDITIONS RECORDED FOR THIS SITE AND IS CURRENTLY BEING ENGINEERED TO ACCOMMODATE COMMERCIAL SITE WILL BE DEMONSTRATED FOR BEST DRAINAGE RETENTION.

BUILDING / SITE DATA

TOTAL SITE AREA	229 ACRES
BLDG. FOOTPRINT AREA	8400 SF
TOTAL CLIENT UNITS	98 ROOMS
TOTAL PARKING SPACES	98 INCL. 4 HC SPACES

SHEET TITLE
SITE PLAN

SCALE: 1" = 20'

NORTH

Sheet NO. **A1.1**

HILTON GARDEN INN
ADDISON, TEXAS

OWNER:
C. JAY SHINN LTD.
5200 KELLER SPRINGS
SUITE 1030
DALLAS, TEXAS 75248
972.315.6123

DATE: 07/09

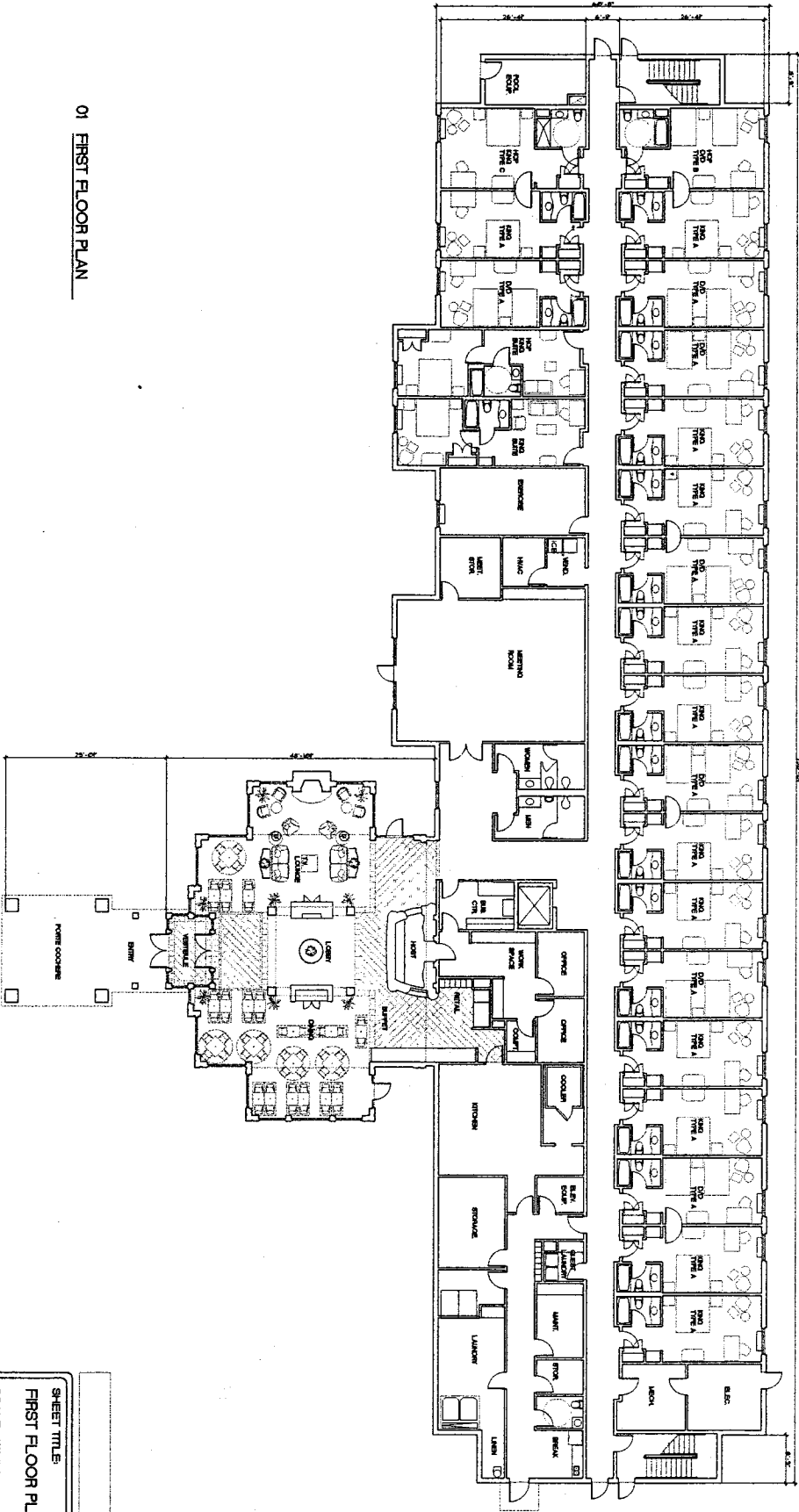
DRAWN BY: JANE ZI, 10/07

REVISIONS:

SPECIAL USE PERMIT SUBMITTAL
6/27/97



01 FIRST FLOOR PLAN



QUESTROOMS	FLOOR LEVEL			
	1st	2nd	3rd	TOTAL
KIND				
TYPE A	0	0	0	0
TYPE B ACCESSIBLE	0	1	1	2
TYPE C ACCESSIBLE / ADJACENT	1	1	1	3
DOUBLE / DOUBLE				
TYPE A	1	0	0	1
TYPE B ACCESSIBLE	1	1	1	3
KIND SUITE				
TYPE A	1	4	4	9
TYPE B ACCESSIBLE	1	1	1	3
TOTAL KIND	4	6	6	16
TOTAL DOUBLE / DOUBLES	3	3	3	9
TOTAL KING SUITES	1	1	1	3
TOTAL QUESTROOMS	6	8	8	22
AREA SUMMARY				
LOBBY LEVEL				8,800 S.F.
SECOND LEVEL				10,000 S.F.
THIRD LEVEL				15,000 S.F.
TOTAL				43,800 S.F.

SHEET TITLE
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

DATE: JUNE 27, 2007
DRAWN BY: [Name]
REVISIONS:

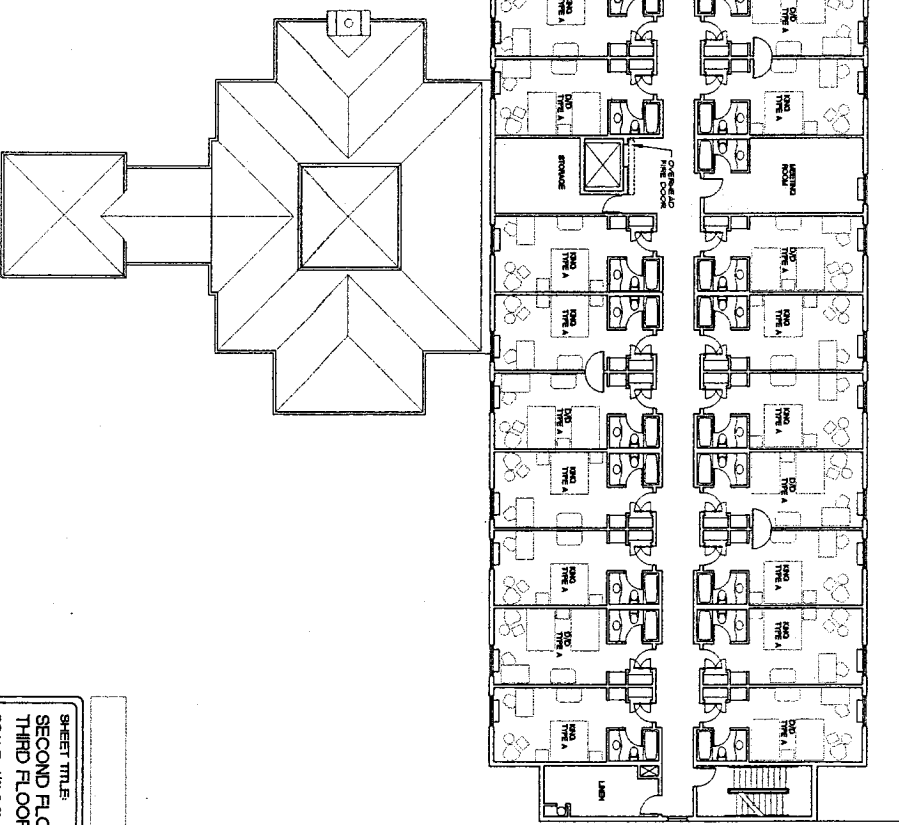
HILTON GARDEN INN
ADDISON, TEXAS
OWNER:
G. JAY SHINN LTD.
5200 KELLER SPRINGS
SUITE 1030
DALLAS, TEXAS 75248
972.315.6123

SPECIAL USE
PERMIT
SUBMITTAL
6/27/07



82 in/uh
[Small text and logo details]

01 SECOND / THIRD FLOOR PLAN - TYPICAL



SHEET TITLE:
SECOND FLOOR PLAN
THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



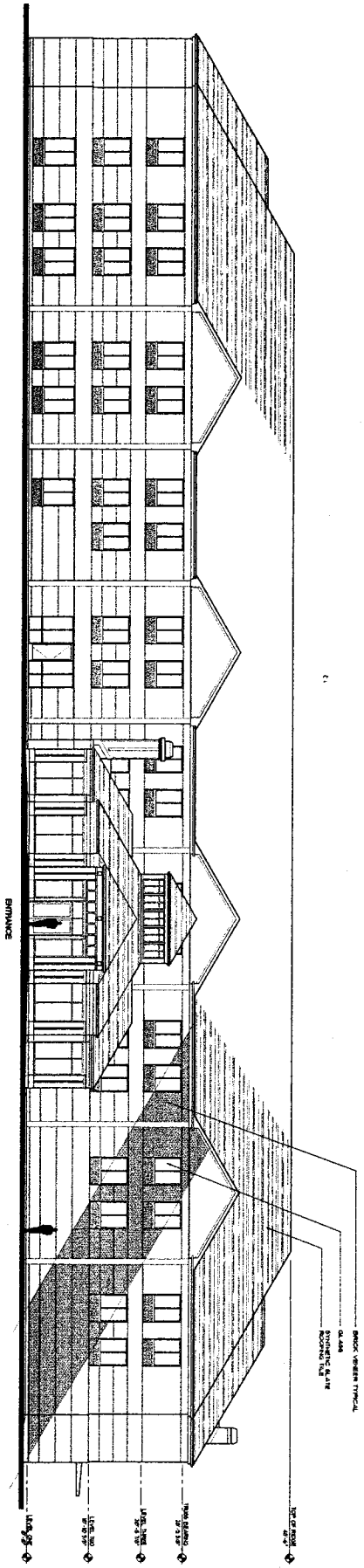
A2.2

HILTON GARDEN INN
 300 ROOM
 OWNER:
 C. JAY SHINN LTD.
 5200 KELLER SPRINGS
 SUITE 1030
 DALLAS, TEXAS 75248
 972.315.6123

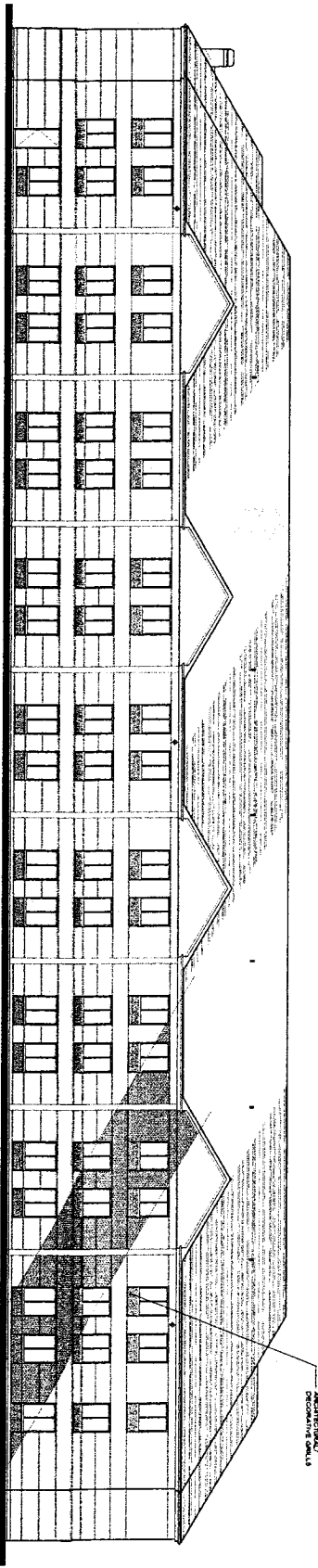
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 DRAWN BY: [Name]
 CHECKED BY: [Name]
 REVISIONS:

SPECIAL USE PERMIT SUBMITTAL
 6/27/97

azimuth
 300 ROOM
 6/27/97
 SUBMITTAL



02 EAST ELEVATION



01 WEST ELEVATION

SHEET TITLE:
EXTERIOR ELEVATIONS
SCALE: 1/8"=1'-0"

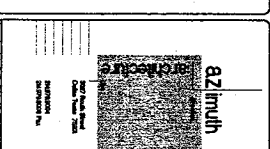
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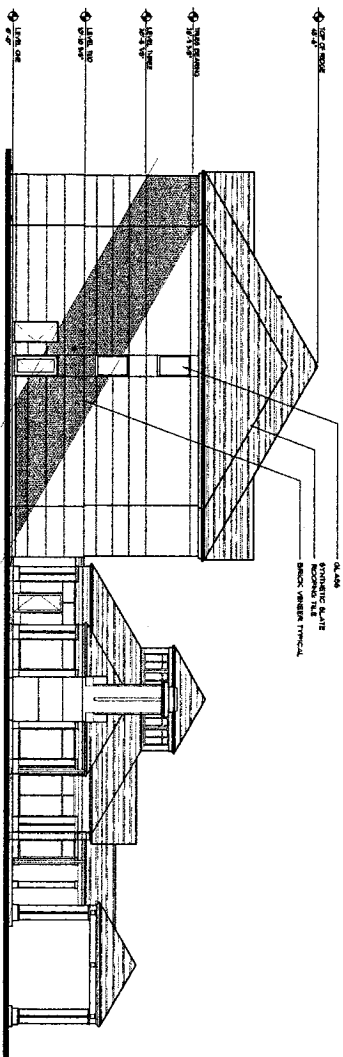
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DRAWN BY: [Name]
REVISIONS:

HILTON GARDEN INN
ADDISON, TEXAS
OWNER:
G. JAY SHINN LTD.
5200 KELLER SPRINGS
SUITE 1030
DALLAS, TEXAS 75248
972.315.6123

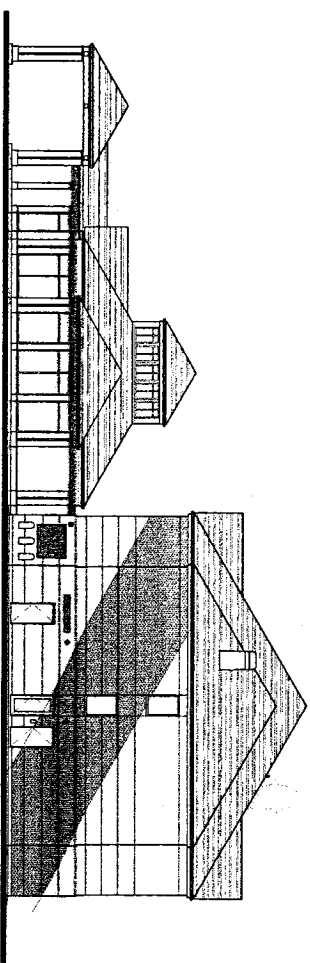
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6/27/97

CONSULTANT:
[Faint text]





02 SOUTH ELEVATION



01 NORTH ELEVATION

SHEET TITLE:
EXTERIOR ELEVATIONS
SCALE: 1/8"=1'-0"

Sheet No. A3.2

JOB NUMBER: 9709
DATE: JUNE 27, 1997
DRAWN BY: [blank]
REVISIONS: [blank]

HILTON GARDEN INN
ADDISON, TEXAS
OWNER:
C. JAY SHINN LTD.
5200 KELLER SPRINGS
SUITE #030
DALLAS, TEXAS 75248
972.395.6123

SPECIAL USE
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SUBMITTAL
6/27/97

CONSULTANT:
[blank]

2025 Release Under
E.O. 14176
Authority NND 645004
Date of Review 06/27/2025

azimith
ARCHITECTS
2025 Release Under
E.O. 14176
Authority NND 645004
Date of Review 06/27/2025