

**ORDINANCE NO. 097- 031**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, PROVIDING FOR THE APPROVAL OF REVISED DEVELOPMENT PLANS FOR A SITE LOCATED IN A PLANNED DEVELOPMENT DISTRICT APPROVED THROUGH ORDINANCE 626; ON APPLICATION FROM HUNT PROPERTIES; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That development plans are hereby approved for a retail center to be located on .85 acres southeast corner of Belt Line Road and Marsh Lane, and such site shall be developed in accordance with the plans attached hereto and a part hereof for all purposes.

SECTION 2. That the development plans are approved subject to the following special conditions:

-The dumpster enclosure shall be constructed out of the same brick as the building and shall be large enough to hold all dumpsters and recycling containers on the site.

-All mechanical equipment shall be screened by either a parapet wall or screening device. The screening device shall be architecturally compatible with the building, and the Building Official shall make the determination as to what is "architecturally compatible."

-The applicant shall submit a revised landscaping plan, which provides for a landscaping buffer against Belt Line Road of at least twenty feet (20') in width, and provides for larger caliper inch sizes for all trees to be planted on the site.

-The drive to the east and north sides of the proposed building must be designated as a fire land and conform to Fire Department specifications for such.

SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 6. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 12<sup>th</sup> day of August, 1997.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO: 1302-Z

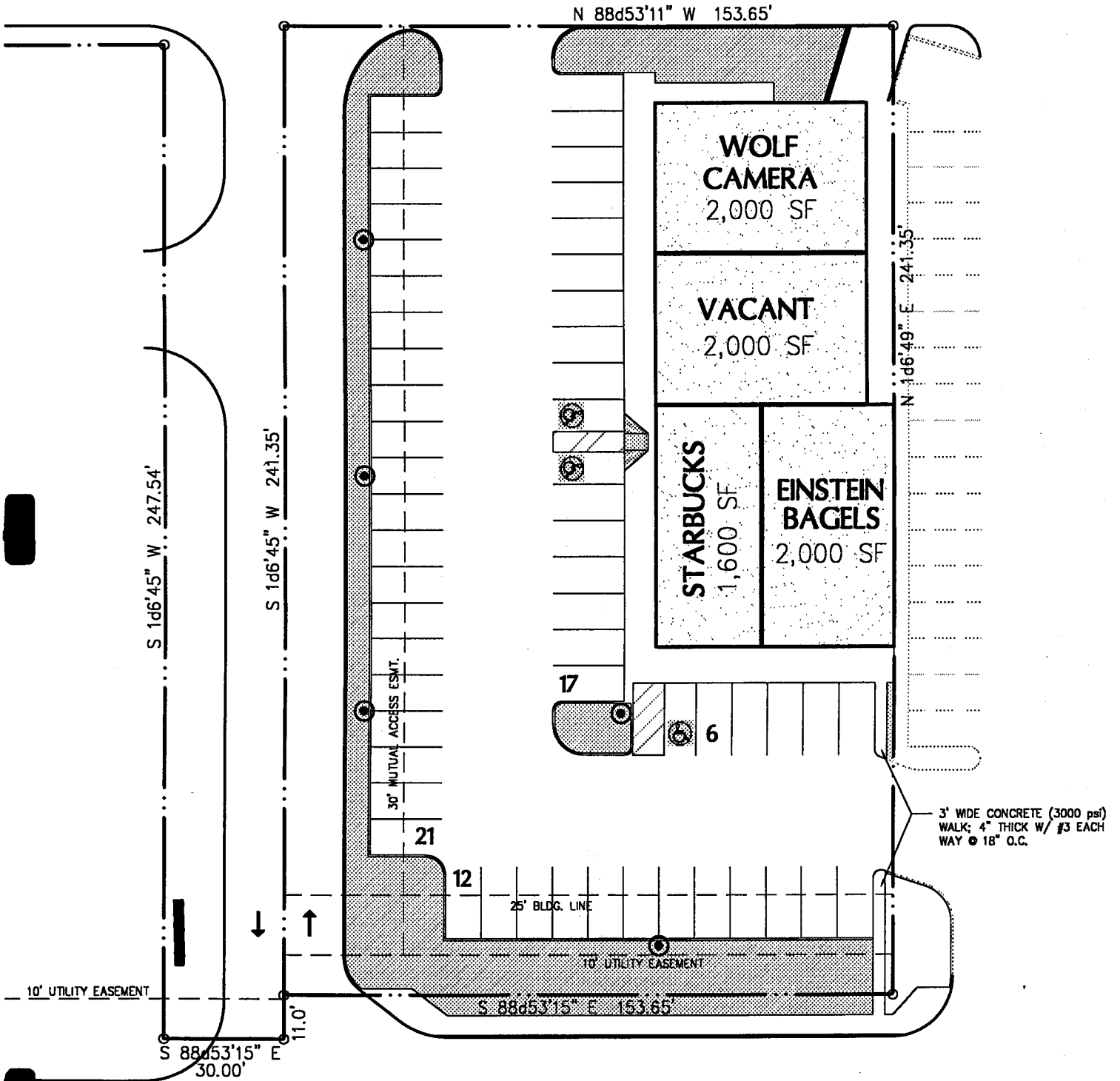


DIRECTOR OF DEVELOPMENT SERVICES

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5/22/98



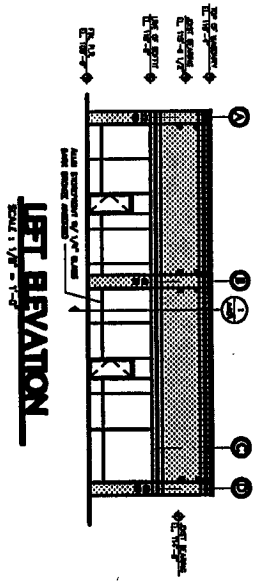
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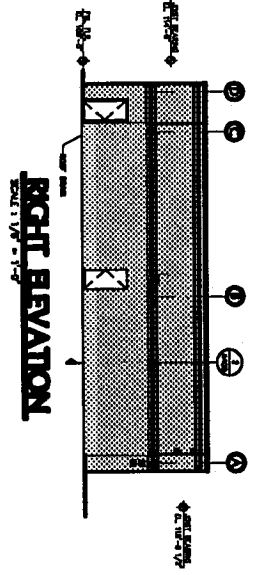
# BELTLINE ROAD



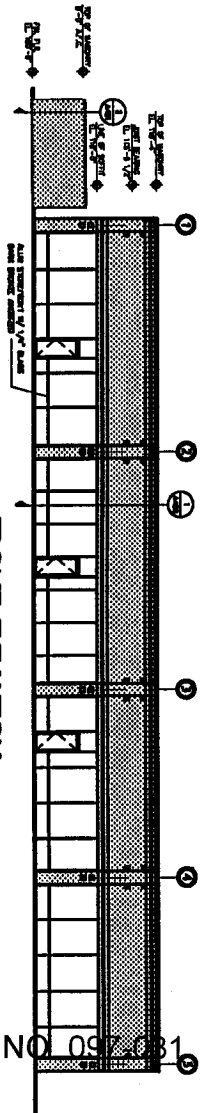




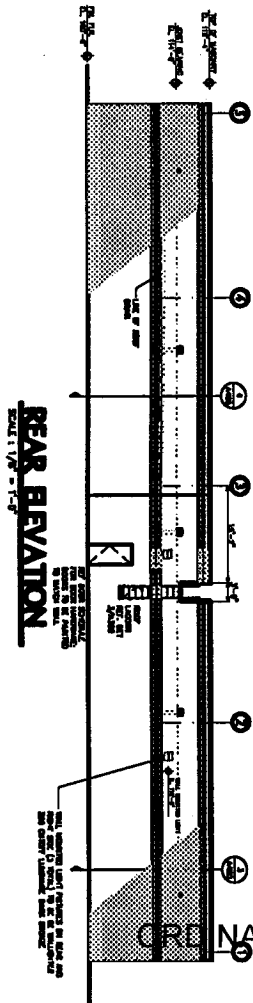
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



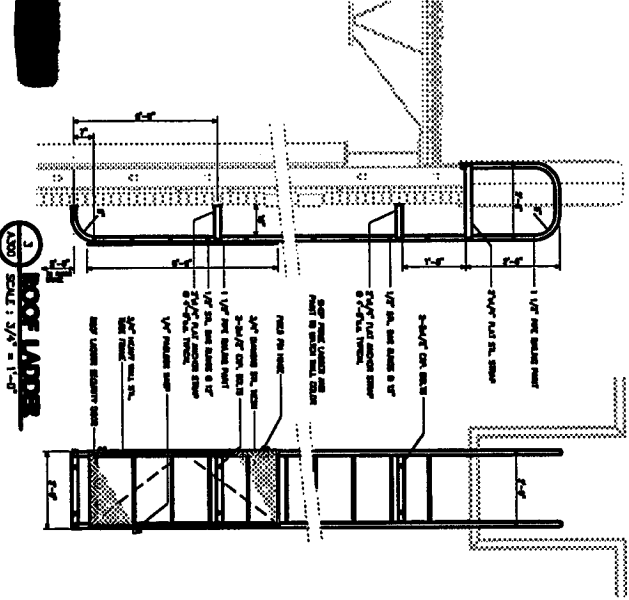
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



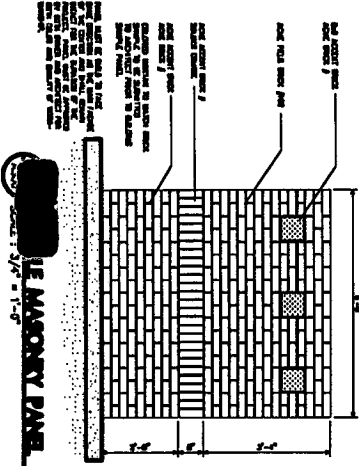
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



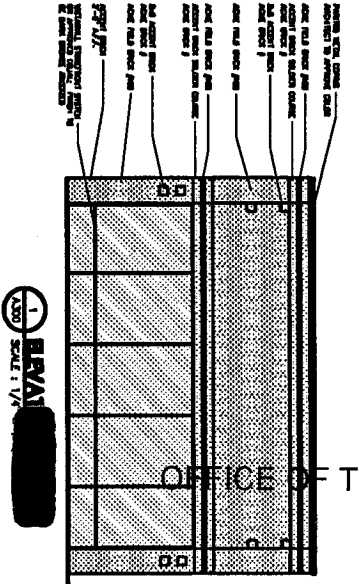
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 ROOF LADDER**  
SCALE: 3/8" = 1'-0"



**1 BRICK MASONRY PANEL**  
SCALE: 3/8" = 1'-0"

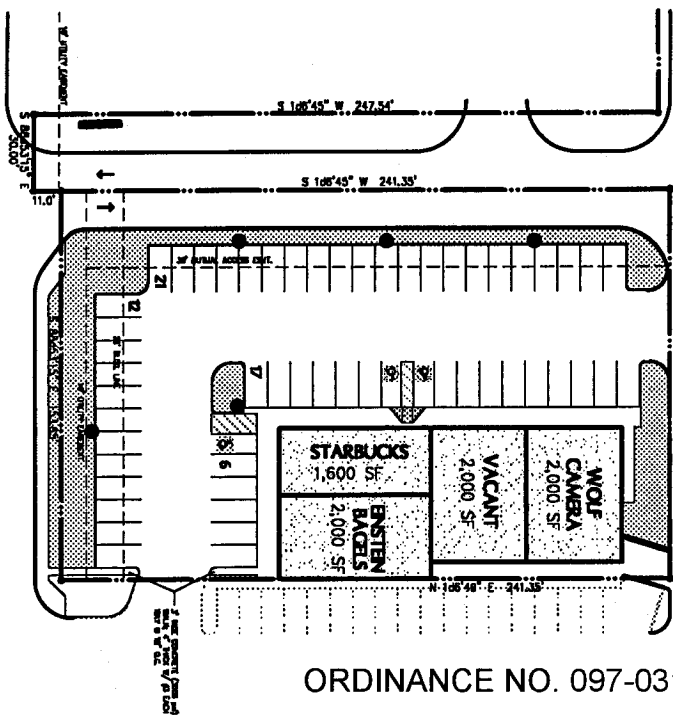
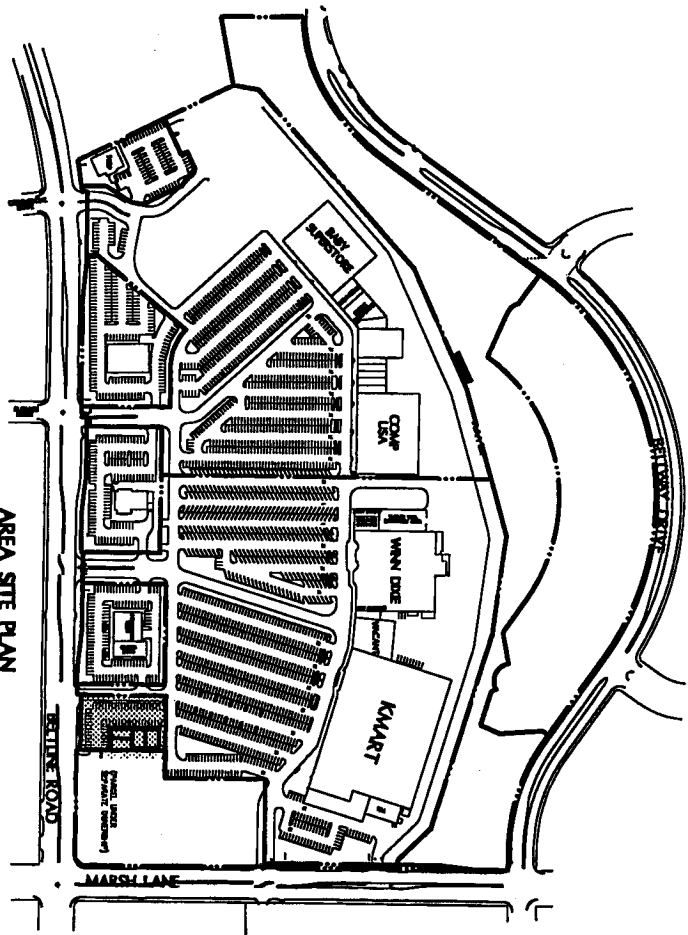


**1 WINDOW ELEVATION**  
SCALE: 1/4" = 1'-0"

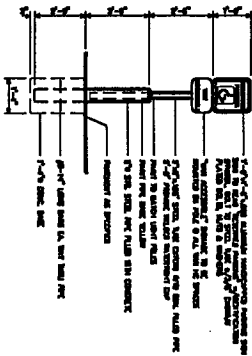
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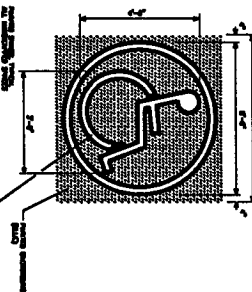




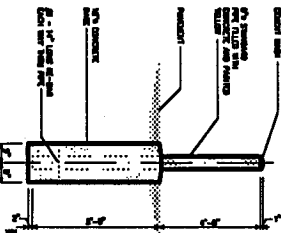
1 HC SIGN DETAIL  
SCALE: 1/2" = 1'-0"



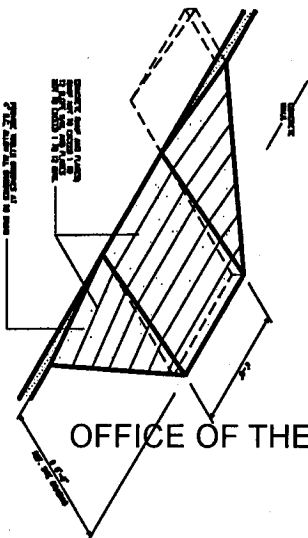
3 HC SYMBOL  
SCALE: 1/2" = 1'-0"



2 BOLLARD DETAIL  
SCALE: 1/2" = 1'-0"



1 HANDICAP RAMP DETAIL  
SCALE: 1/2" = 1'-0"



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**SITEPLAN**  
SCALE: 1" = 20'

**BELTLINE ROAD**

