

ORDINANCE NO. 097-036

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING SPECIAL USE ORDINANCE NO. 086-052 BY AMENDING THE FLOOR PLAN TO ADD AN OUTSIDE PATIO OF 750 SQUARE FEET TO A RESTAURANT, ON APPLICATION WITH T.G.I. FRIDAY'S RESTAURANT, LOCATED AT 5100 BELT LINE ROAD, SUITE 900; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A NO SEVERABILITY CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS:

SECTION 1. That Ordinance No. 086-052 passed by the City Council on the 10th day of June, 1986, is hereby amended by amending Section 2, Paragraph 2, to read as follows:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, landscape plan, and the elevation drawings showing four exterior walls which are attached hereto and made a part hereof for all purposes. The landscaping of such property will be maintained in such condition as approved prior to the certificate of occupancy.
2. That the special use permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan and encompassing a total area not to exceed 9,476 square feet.
3. All permitted signs must be shown on elevation drawings.
4. Where the sale or serving of food is permitted, dancing is hereby prohibited.
5. All trees in the new patio area shall be protected with raised concrete tree wells. The applicant shall submit a plan showing the tree wells to the staff prior to the issuance of a building permit.

SECTION 2. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 3. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and

the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 4. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 9th day of September, 1997.


MAYOR

ATTEST:


CITY SECRETARY

CASE NO. 1303-SUP

APPROVED AS TO FORM:

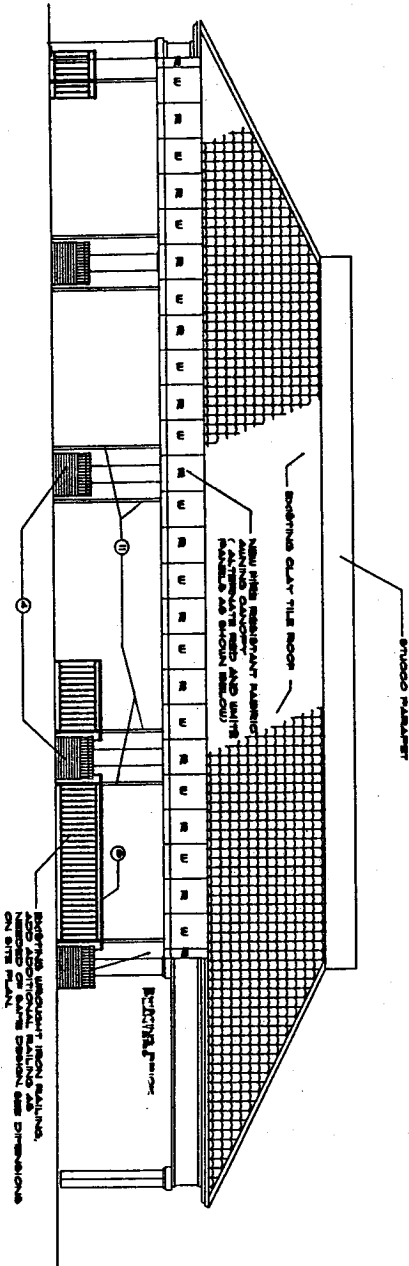

DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 3/13/98
OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-036

Published
3/13/78

NORTH ELEVATION
SCALE 1/4" = 1'-0"



OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-036

SHEET NO.
A-2
B-5

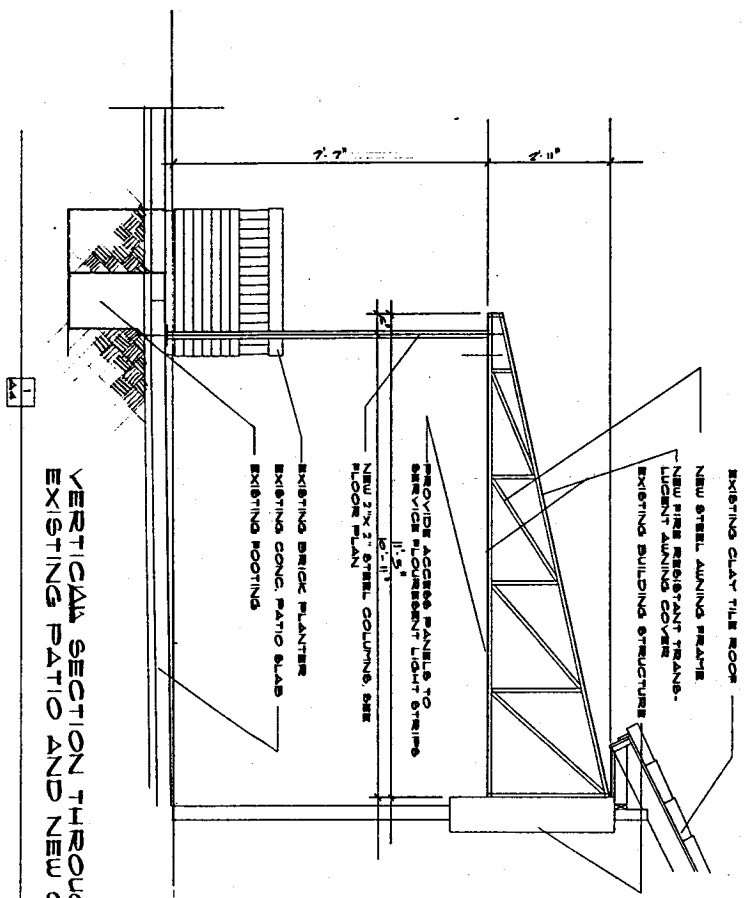


KNOBLOCK ASSOCIATES
ARCHITECTS WEST
3519 WEST WOODRY BOULEVARD DART MOUTH, TEXAS 75107

CANOPY AND PATIO ADDITION TO
T.G.I. FRIDAY'S STORE NO. 64
5100 BELTUNE ROAD
ADDISON, TEXAS



PROJECT NUMBER
5100-27
DATE
8/1/87
REVISIONS



VERTICAL SECTION THROUGH
EXISTING PATIO AND NEW CANOPY

SCALE: 3/4" = 1'-0"

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-036

SHEET NO.
A-3
OF 3

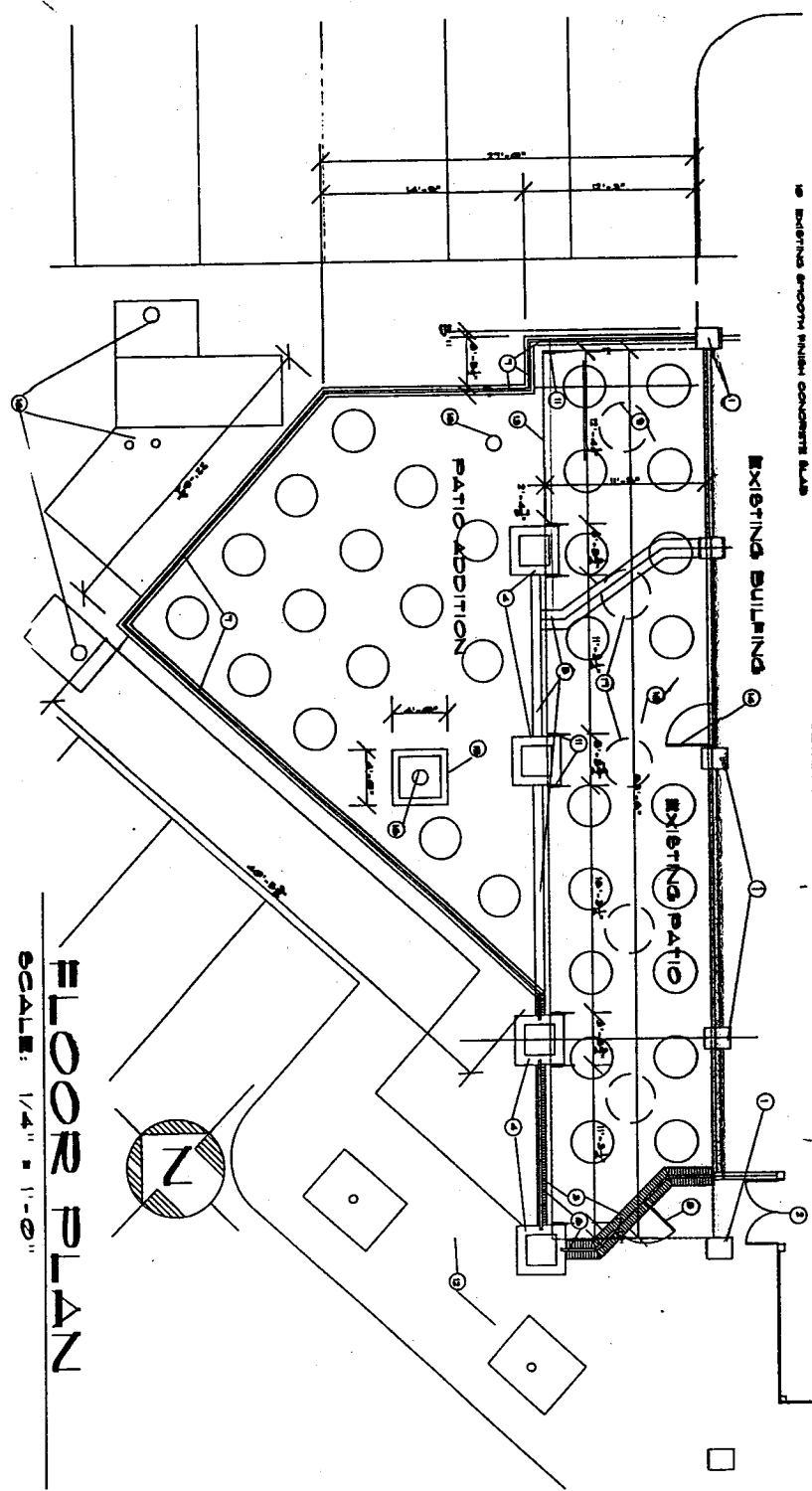


**KNOBLOCK ASSOCIATES
ARCHITECTS WEST**
3518 WEST HICKORY BOULEVARD FORT WORTH, TEXAS 76107

**CANOPY AND PATIO ADDITION TO
T.G.I. FRIDAY'S STORE NO. 64**
5100 BELTLINE ROAD ADDISON, TEXAS



PROJECT NUMBER
5100 BELTLINE
NO. 64



PLAN LEGEND

1. Existing unreinforced concrete building columns
2. Existing interior doors
3. Existing exterior doors
4. Existing exterior stairs
5. Existing exterior planters
6. Existing exterior columns and masonry with 4" concrete slab
7. Existing exterior concrete stairs
8. New masonry to match existing
9. Existing 3'-0" wide in building space
10. New 4" reinforced concrete slab on exterior fill
11. Existing smooth finish concrete slab
12. New 2'-0" x 1'-0" concrete utility column
13. New 2'-0" x 1'-0" concrete utility column with 4" concrete slab
14. Existing door
15. Existing wall
16. New raised concrete planter
17. Existing 1'-0" dia. low masonry column
18. Existing 1'-0" dia. low masonry column
19. Existing 1'-0" dia. low masonry column
20. Existing 1'-0" dia. low masonry column
21. Existing 1'-0" dia. low masonry column
22. Existing 1'-0" dia. low masonry column
23. Existing 1'-0" dia. low masonry column
24. Existing 1'-0" dia. low masonry column
25. Existing 1'-0" dia. low masonry column
26. Existing 1'-0" dia. low masonry column
27. Existing 1'-0" dia. low masonry column
28. Existing 1'-0" dia. low masonry column
29. Existing 1'-0" dia. low masonry column
30. Existing 1'-0" dia. low masonry column
31. Existing 1'-0" dia. low masonry column
32. Existing 1'-0" dia. low masonry column
33. Existing 1'-0" dia. low masonry column
34. Existing 1'-0" dia. low masonry column
35. Existing 1'-0" dia. low masonry column
36. Existing 1'-0" dia. low masonry column
37. Existing 1'-0" dia. low masonry column
38. Existing 1'-0" dia. low masonry column
39. Existing 1'-0" dia. low masonry column
40. Existing 1'-0" dia. low masonry column
41. Existing 1'-0" dia. low masonry column
42. Existing 1'-0" dia. low masonry column
43. Existing 1'-0" dia. low masonry column
44. Existing 1'-0" dia. low masonry column
45. Existing 1'-0" dia. low masonry column
46. Existing 1'-0" dia. low masonry column
47. Existing 1'-0" dia. low masonry column
48. Existing 1'-0" dia. low masonry column
49. Existing 1'-0" dia. low masonry column
50. Existing 1'-0" dia. low masonry column

FLOOR PLAN
SCALE: 1/4" = 1'-0"

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-036

NO. 5
1-1
IN 1/16"

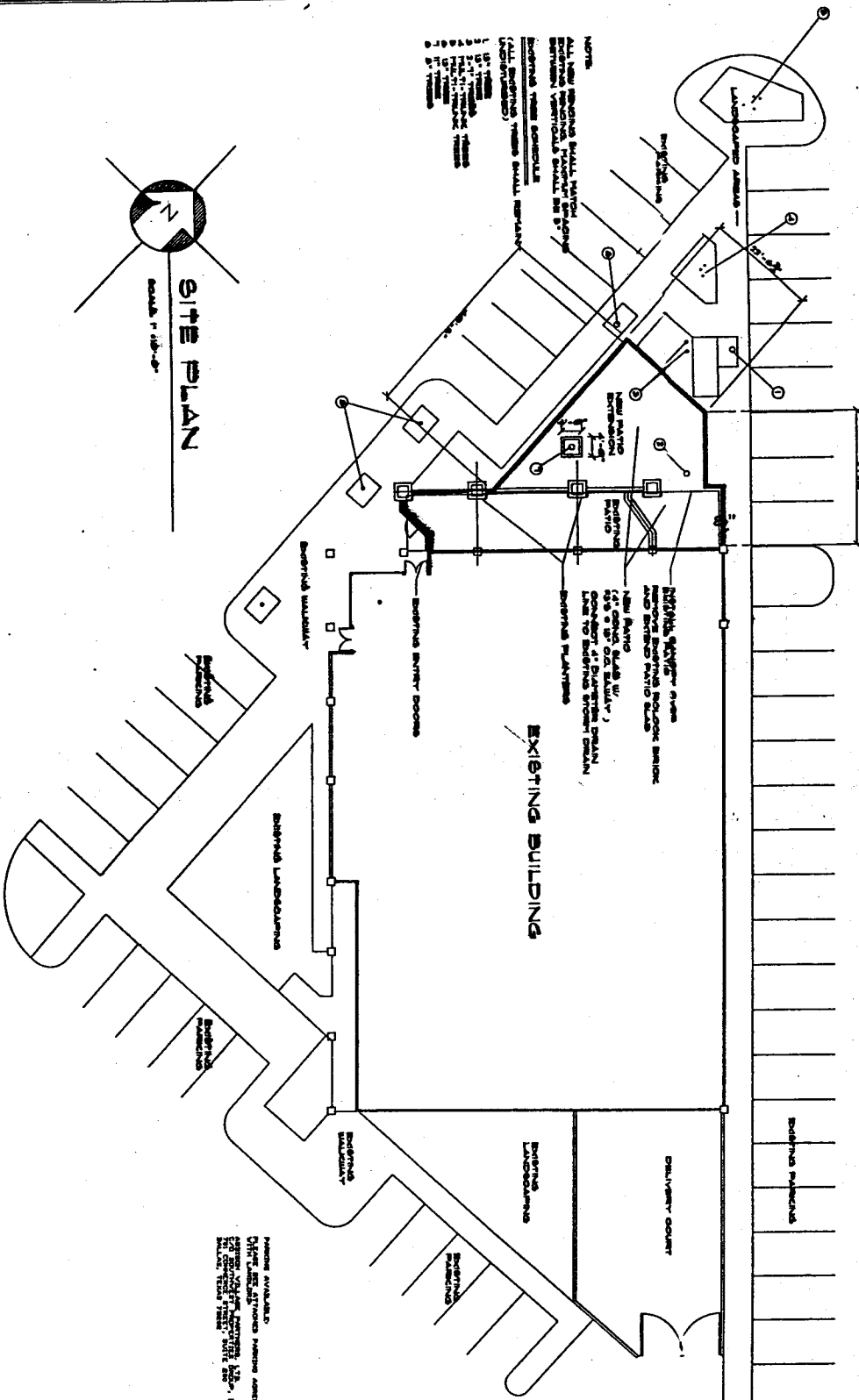


KNOBLOCK ASSOCIATES ARCHITECTS WEST
3515 WEST WICKERY BOWLING FORT WORTH, TEXAS 76107

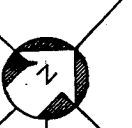
CANOPY AND PATIO ADDITION TO T.G.I. FRIDAY'S STORE NO. 64
5100 BELTLINE ROAD ADDISON, TEXAS



PROJECT NO. 097-036
DATE 11/17/07
DRAWN BY [Signature]



NOTE:
 ALL NEW EXISTING SHALL WITHIN
 EXISTING FOOTPRINT SHALL BE 3"
 EXISTING WITHIN EXISTING
 (ALL EXISTING) SHALL REMAIN
 1. 3" MIN
 2. 3" MIN
 3. 3" MIN
 4. 3" MIN
 5. 3" MIN
 6. 3" MIN
 7. 3" MIN



SITE PLAN
 SCALE: 1/8" = 1'-0"

EXISTING BUILDING

DELIVERY COURT
 REMOVE EXISTING SIDEWALK
 AND EXISTING PATIO SLAB
 NEW PATIO
 (4" CONC. SLAB W/
 1" REBAR) TO BE
 CONCRETE AT EXISTING
 LINE TO EXISTING STREET
 EXISTING PLUMBING

PARKING AVAILABLE
 ON THE EAST SIDE OF THE
 EXISTING BUILDING
 AT THE INTERSECTION
 OF BELTUNE ROAD AND
 STATE HWY 281

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-036

SHEET NO.
 SP-1
 OF 1



**Knoblock Associates
 Architects West**
 2115 WEST VICKERY BUILDING FORT WORTH, TEXAS 76107

**CANOPY AND PATIO ADDITION TO
 T.G.I. FRIDAY'S STORE NO. 64**
 5100 BELTUNE ROAD
 ADDISON, TEXAS



PROJECT NO.
 DATE
 BY
 CHECKED BY