

**ORDINANCE NO. 097-037**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, BY AMENDING ORDINANCE 096-057, SECTION 1 TO PROVIDE FOR REVISED ALLOWED USES, AND SECTION 3 TO PROVIDE FOR REVISED SPECIAL CONDITIONS; ON APPLICATION FROM VIGOR PROPERTIES; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Ordinance No. 096-057, passed by the City Council on the 11<sup>th</sup> day of November, 1996, is hereby amended by amending Section 1 to read as follows:

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas be, and the same is hereby amended by amending the zoning map of the Town of Addison Texas, so as to give the hereinafter described property the zoning district classification, to-wit: PD, Planned Development, with the following use allowed on the property : Office. Said property being in the Town of Addison, Texas, and being described as follows:

BEING a part of BENT TREE VALLEY, an addition to the City of Addison, as filed in Volume 81191, Page 1909, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a point formed by the intersecting of the South right-of-way line of WESTGROVE DRIVE and the West right-of-way line of LEDGEMONT LANE; thence along the West right-of-way line of LEDGEMONT LANE SOUTH 42 degrees 00'34" WEST, a distance of 580.43 feet to the point of beginning of a circular curve to the left whose central angle is 42 degrees 18'35", whose radius is 280.00 feet to the point of tangency; thence SOUTH 0 degrees 18'01" EAST, a distance of 982.52 feet to the point of curvature of a circular curve to the right a distance of 5.15 feet to the point of tangency; thence departing the West right-of-way line of LEDGEMONT LANE SOUTH 89 degrees 47'00" WEST, a distance of 352.19 feet to a corner to the Point of Beginning;

THENCE, SOUTH 89 degrees 47'00" WEST, a distance of 386.08 feet to a corner in the East line of ADDISON ROAD:

THENCE, along the East line of ADDISON ROAD NORTH 00 degrees 13'00" WEST, a distance of 527.71 feet to a point for a corner;

THENCE, departing the East line of ADDISON ROAD NORTH 89 degrees 47'00" EAST, a distance of 386.08 feet to a point for a corner;

THENCE, SOUTH, 00 degrees 13'00" EAST, a distance of 527.71 feet to the Place of Beginning and containing 4.677 acres of land.

SECTION 2. That Ordinance no. 096-057, passed by the City Council on the 11<sup>th</sup> day of November, 1996, is hereby amended by amending Section 3 to read as follows:

SECTION 3. The following special conditions are placed on the above-described property:

- A detailed landscaping plan shall be submitted and shall be approved prior to the issuance of a building permit that provides for a buffer consisting of six-inch caliper Live Oak trees planted at a spacing of 20 feet on-center.
- The north driveway shall be moved to the property line and the owner shall provide a nonexclusive ingress-egress easement to serve this development and the adjacent property.
- Utility and drainage easements shall be provided along the north property line.

-On-site storm-water detention shall be provided.

-The site shall be platted prior to the issuance of a building permit.

-A lighting plan for the site shall be submitted to the staff for approval prior to the issuance of a building permit.

-Any damage done to the wall between this property and the adjacent Valley of Bent Tree property to the east shall be repaired by the applicant.

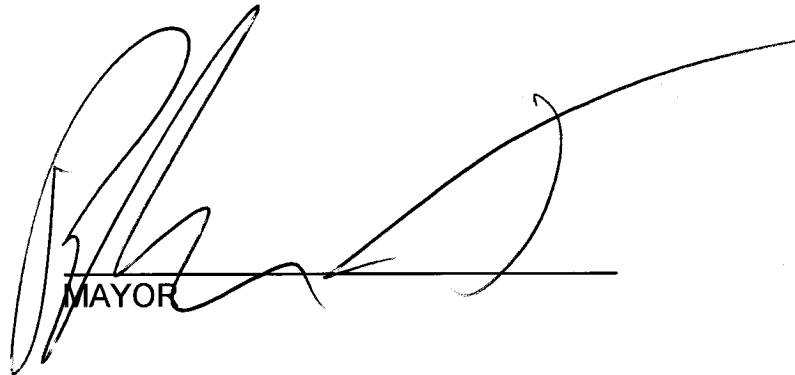
SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 6. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 9<sup>th</sup> day of September, 1997.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO: 1306-Z

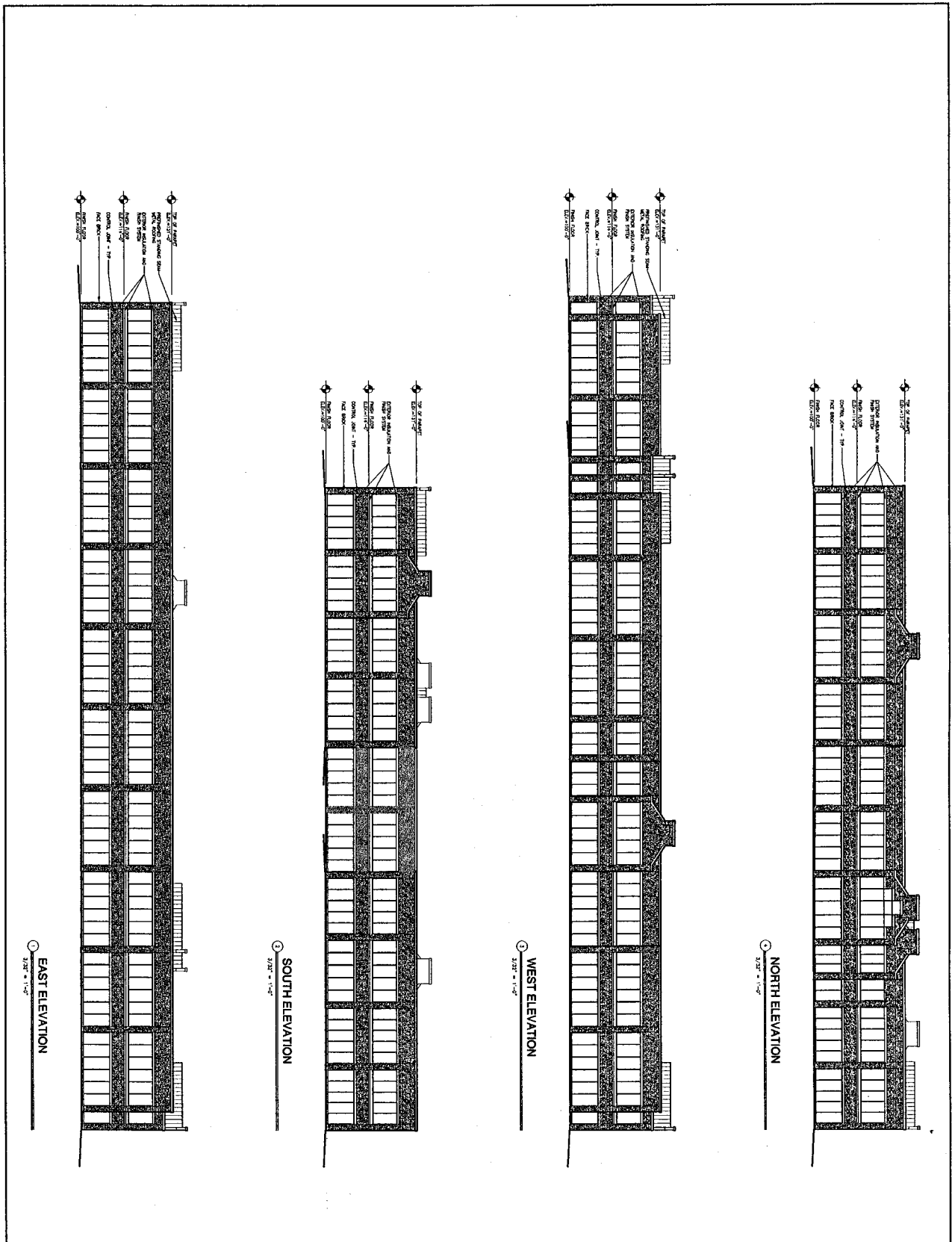
APPROVED AS TO FORM:



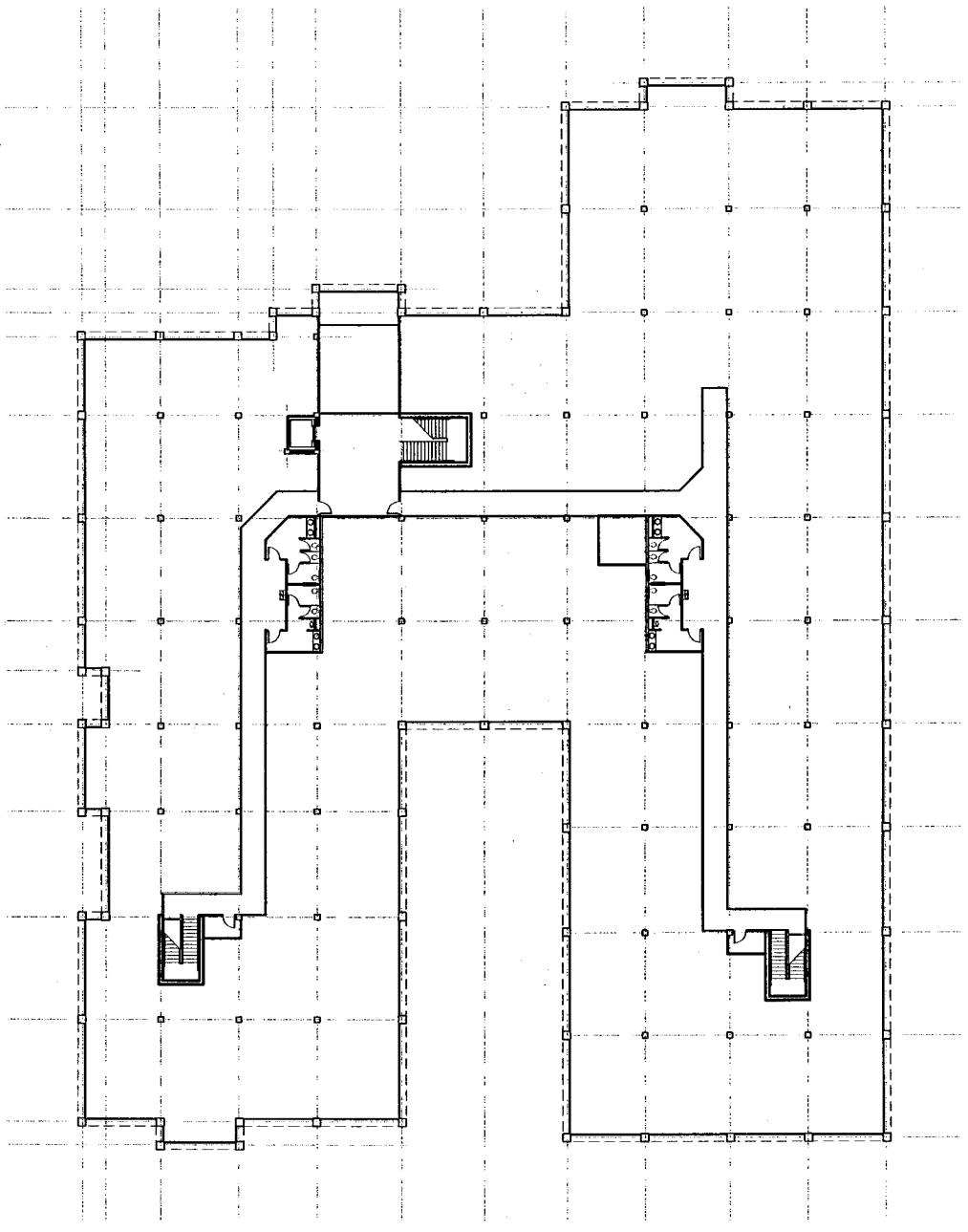
DIRECTOR OF DEVELOPMENT SERVICES


PUBLISHED: 5/22/98

Published  
5/22/98




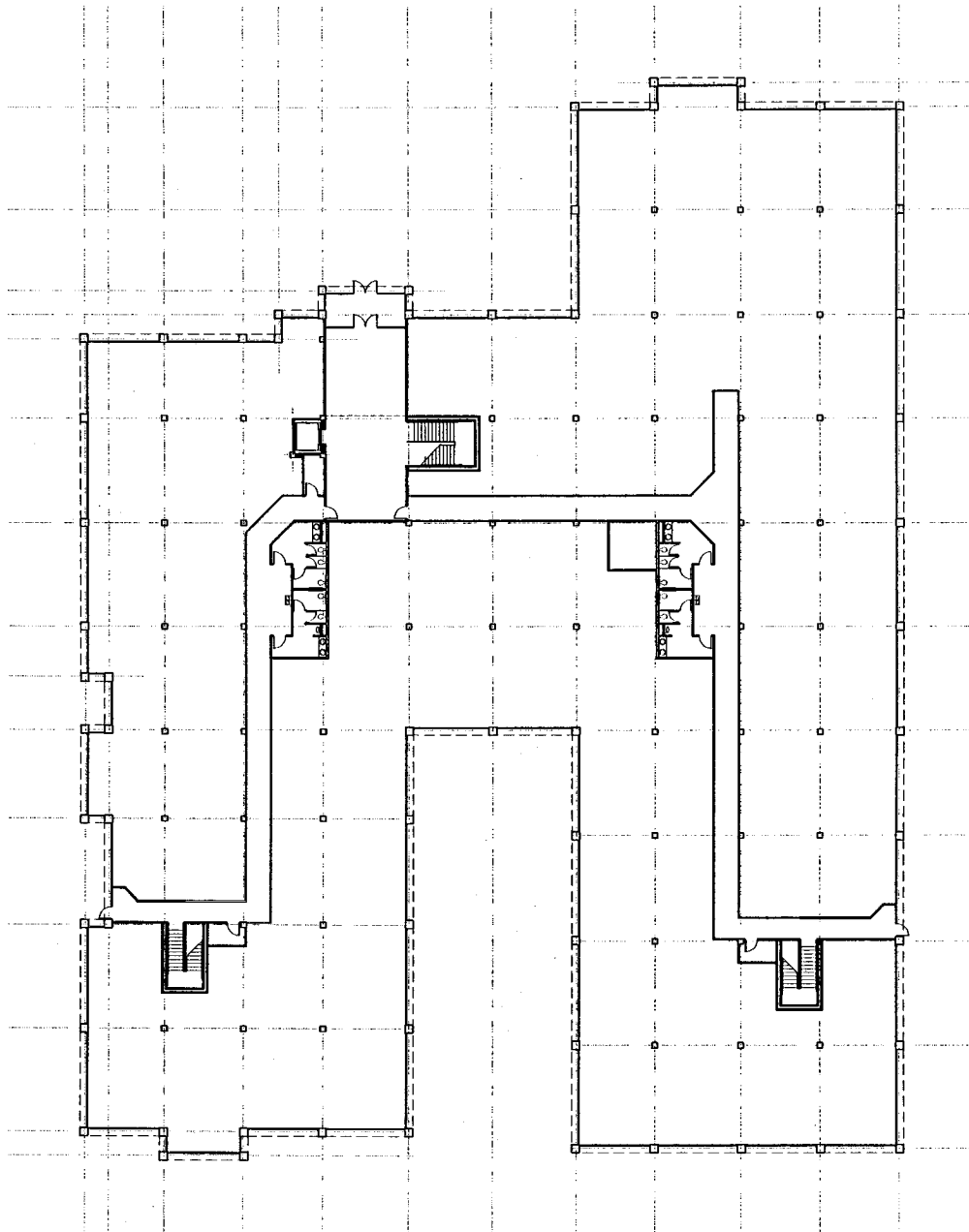
**B** 16300 ADDISON ROAD OFFICE PARK  
 ADDICK, TEXAS  
 75009  
 ARCHITECTS  
 3800 CARROLL STREET, SUITE 200  
 DALLAS, TEXAS 75206  
 PHONE 754-1111  
 FAX 754-1112  
 WWW.BBVA.COM




  
 SECOND FLOOR PLAN

16300 ADDISON ROAD OFFICE PARK  
 ADDISON, TEXAS  
 FOR PERMITS  
 BOYTER ARCHITECTS  
 1500 CARROLL DRIVE, SUITE 100  
 DALLAS, TEXAS 75201  
 DATE: 10/11/00 BY: BJS/MS





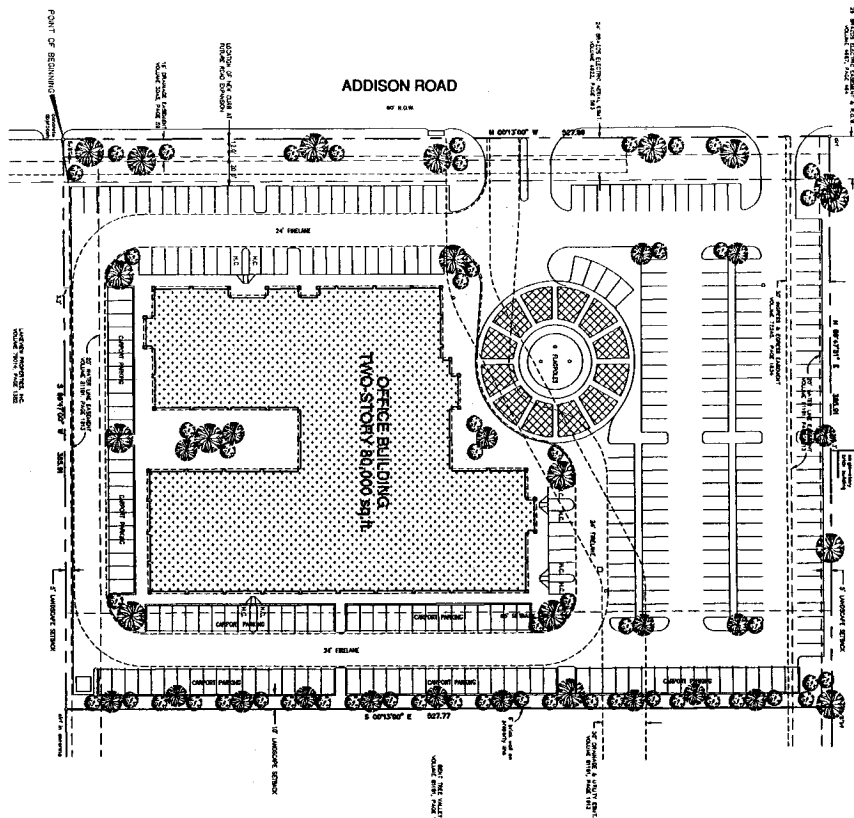

  
 FIRST FLOOR PLAN

**2** **A** **B**

16300 ADDISON ROAD OFFICE PARK  
 ADDISON, TEXAS  
 950 9710  
 BOYTER-ARCHITECTS  
 1800 CARROLL STREET, SUITE 200  
 DALLAS, TEXAS 75201  
 (214) 350-1200  
 FAX: (214) 350-1200







**SITE PLAN**



**PROJECT TABULATIONS**

LAND AREA	4.4781 ACRES
BUILDING AREA	82,000 SQ. FT.
FIRST FLOOR	41,000 SQ. FT.
SECOND FLOOR	41,000 SQ. FT.
TOTAL AREA	82,000 SQ. FT.
STANDARD PARKING COEFFICIENT (CALCULATED)	119 SPACES
STANDARD PARKING COEFFICIENT (CALCULATED)	111 SPACES
TOTAL PARKING	208 SPACES
COVERAGE	208 SPACES
PROPOSED LOT COVERAGE	216
FLOOR AREA RATIO	18.5
PROPOSED PARK	1.11

**16300 ADDISON ROAD OFFICE PARK**  
 ADDISON, TEXAS  
 75010

**BOYTER-ARCHITECTS**  
 1100 CALLE STREET, SUITE 200  
 DALLAS TEXAS 75204  
 972-350-1000  
 DATE: 12/11/08