

**ORDINANCE NO. 097-044**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIAL USE PERMIT FOR A RESTAURANT, ON APPLICATION FROM MC DONALD'S RESTAURANTS, LOCATED ON 56,916 SQUARE FEET AT THE NORTHWEST CORNER OF BELT LINE ROAD AND BUSINESS AVENUE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. The Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, be amended, by amending the zoning map of the Town of Addison, Texas, so as to grant a Special Use Permit for a restaurant subject to the special conditions on the following described property, to wit:

WHEREAS, Beltway Development Co., Inc., is the owner of a tract of land situated in the T.L. Chenoweth Survey, Abstract No. 273, Dallas, County, Texas, and being part of Block 2 of Belt Line-Marsh Business Park, an addition to the city of Addison as recorded in Volume 79252, Page 0210, Deed Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8" iron rod found for corner being the most southerly point on a corner clip situated at the intersection of the north line of Belt Line Road (a 60' R.O.W.);

THENCE N 89 degrees 54 minutes 31 seconds West, along the north line of Belt Line Road, a distance of 205.00 feet to a 5/8" iron rod set for corner and being the southeast corner of CHICK-FIL-A ADDITION, an addition to the City of Addison recorded in Volume 94249, Page 03638;

THENCE N 00 degrees 05 minutes 31 seconds East, leaving said north line and along the east line of said Chick-Fil-A addition, a distance of 265.00 feet to a 5/8" iron rod set for corner;

THENCE S 89 degrees 54 minutes 31 seconds East, leaving said east line, a distance of 214.93 feet to a 5/8" iron rod found for corner in the west right-of-way line of Business Avenue (60-foot R.O.W.);

THENCE S 00 degrees 04 minutes 38 seconds West along the west line of said Business Avenue, a distance of 255.00 feet to a 5/8" iron rod found for the most northerly point on the aforementioned corner clip;

THENCE S 45 degrees 05 minutes 03 seconds West, along said corner clip, a distance of 14.14 feet to the POINT OF BEGINNING and containing 56,916 square feet or 1.3066 acres of land.

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

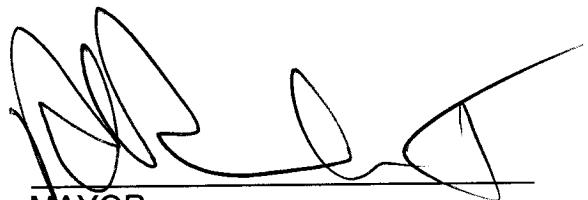
1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, landscaping plan, floor plan, and the elevation drawings showing the exterior walls, which are attached hereto and made a part hereof for all purposes.
2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 5,423 square feet.
3. The use of gaming devices, such as billiards (pool) tables, pinball machines, marble tables, and other coin operated amusement machines, other than machines for music are hereby prohibited.
4. The dumpster enclosure shall be constructed out of the same brick as the restaurant and should be large enough to hold all containers for trash and recycling.
5. All mechanical equipment shall be screened from view by a parapet wall.
6. The glass for the building shall be charcoal tinted in order to reduce the ability to see into the facility from the street. The glass shall be approved by the staff prior to its installation.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 23rd day of September, 1997.

  
MAYOR

ATTEST:

  
CITY SECRETARY

CASE NO. 1305-SUP

APPROVED AS TO FORM:

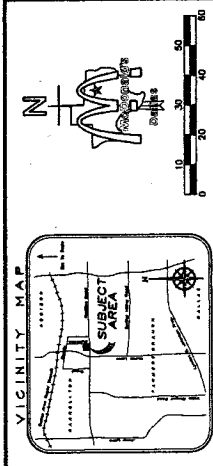
  
DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 11/16/98  
OFFICE OF THE CITY SECRETARY ORDINANCE NO. 097-044

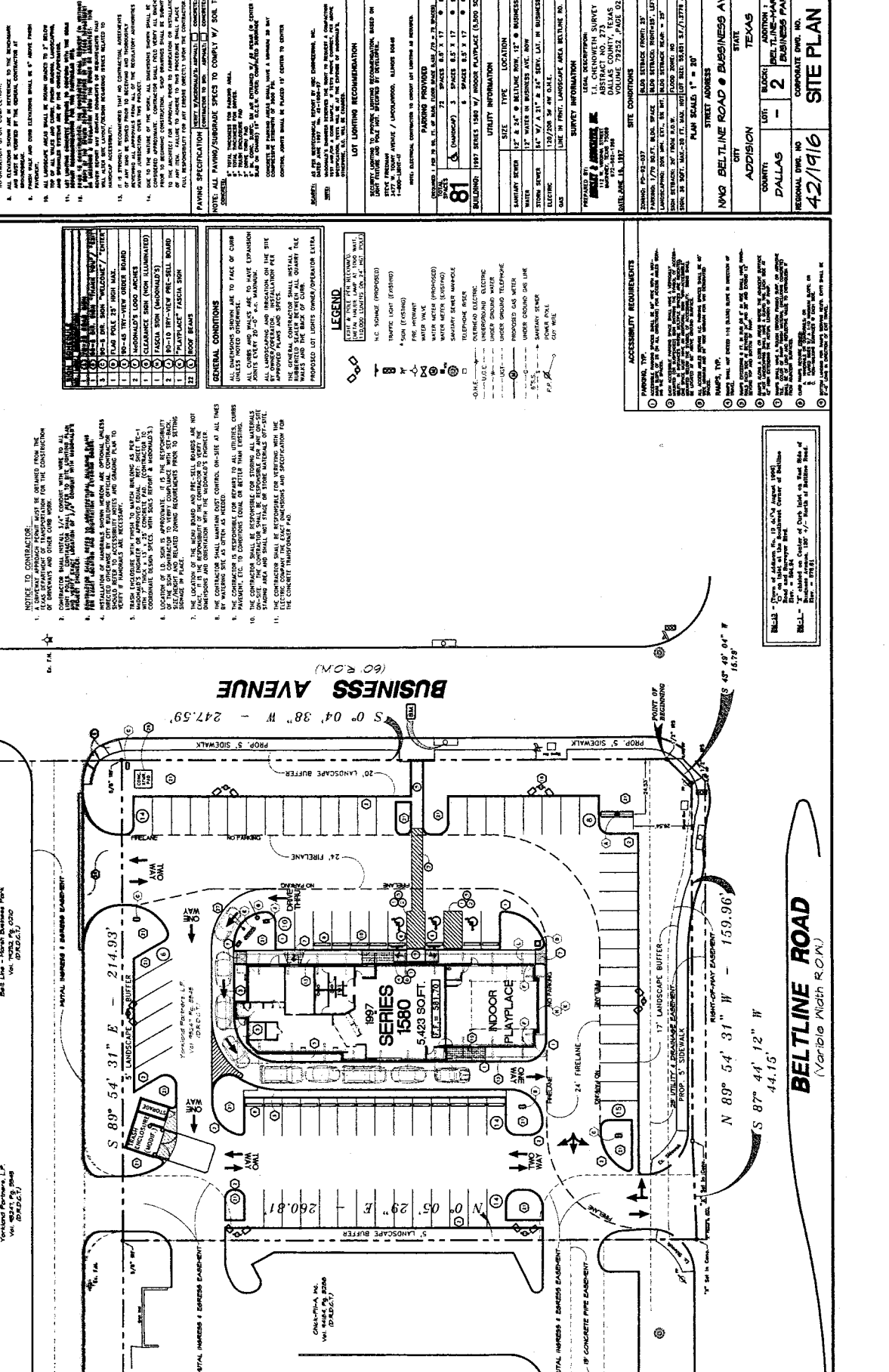
Published  
1/16/98



MARK	SHEET	MARK	DESCRIPTION
1	1	1	15" VERTICAL CURB (10' x 10' PERIMETER)
2	2	2	18" CURB AND GUTTER (10' x 10' PERIMETER OF SITE)
3	3	3	CONCRETE
4	4	4	CONC. WALK TO HAVE BROWN FINISH AND SEALANT
5	5	5	PAVING SYMBOLS
6	6	6	4" PVC ROOF DRAIN FROM O.S. TO OUT FLOW AT CURB
7	7	7	LOT LIGHTING PRELIMINARY, REFLUG LITG. RECOMMENDATIONS
8	8	8	CONC. REFUG. RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.
9	9	9	PROPOSED CONCRETE INWELTOP
10	10	10	IRRIGATION WATER METER
11	11	11	DOMESTIC WATER METER
12	12	12	FILE FINISH OVER CONC. WALK



MARK	SHEET	MARK	DESCRIPTION
1	1	1	LANDSCAPE SYMBOLS, SURVEY ELEV. 2' BELOW TOP OF CURB
2	2	2	FRENCH DRAIN
3	3	3	NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.
4	4	4	TRANSFORMER PAD PER ELECTRIC COMPANY
5	5	5	PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
6	6	6	IRRIGATION WATER METER
7	7	7	DOMESTIC WATER METER



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**NOTICE TO CONTRACTOR:**

- A CONTRACT APPROVAL FORM MUST BE OBTAINED FROM THE CITY OF DALLAS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF DRIVEWAYS AND OTHER CURB WORK.
- CONTRACTOR SHALL INSTALL 1/4" CURB WITH A 1:12 SLOPE TO ALL CURBS AND GUTTERS TO BE INSTALLED ON THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A 4" PVC ROOF DRAIN FROM THE ROOF TO THE CURB WITH A 1:12 SLOPE TO THE CURB.
- INSTALLATION OF DRIVEWAYS SHALL BE PERFORMED AS PER THE APPROVED PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE A TRANSFORMER PAD PER THE ELECTRICAL COMPANY'S REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
- CONTRACTOR SHALL PROVIDE IRRIGATION AND DOMESTIC WATER METERS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL PROVIDE A FILE FINISH OVER THE CONCRETE WALKS.

**GENERAL NOTES:**

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR FOR ALL CURB, DRIVEWAYS, AND OTHER CURB WORK.
- CONTRACTOR SHALL PROVIDE A 4" PVC ROOF DRAIN FROM THE ROOF TO THE CURB WITH A 1:12 SLOPE TO THE CURB.
- CONTRACTOR SHALL PROVIDE A TRANSFORMER PAD PER THE ELECTRICAL COMPANY'S REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
- CONTRACTOR SHALL PROVIDE IRRIGATION AND DOMESTIC WATER METERS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL PROVIDE A FILE FINISH OVER THE CONCRETE WALKS.

**GENERAL CONDITIONS:**

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS AND THE ELECTRICAL COMPANY.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR FOR ALL CURB, DRIVEWAYS, AND OTHER CURB WORK.
- CONTRACTOR SHALL PROVIDE A 4" PVC ROOF DRAIN FROM THE ROOF TO THE CURB WITH A 1:12 SLOPE TO THE CURB.
- CONTRACTOR SHALL PROVIDE A TRANSFORMER PAD PER THE ELECTRICAL COMPANY'S REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
- CONTRACTOR SHALL PROVIDE IRRIGATION AND DOMESTIC WATER METERS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL PROVIDE A FILE FINISH OVER THE CONCRETE WALKS.

**LEGEND:**

- 15" VERTICAL CURB (10' x 10' PERIMETER)
- 18" CURB AND GUTTER (10' x 10' PERIMETER OF SITE)
- CONCRETE
- CONC. WALK TO HAVE BROWN FINISH AND SEALANT
- PAVING SYMBOLS
- 4" PVC ROOF DRAIN FROM O.S. TO OUT FLOW AT CURB
- LOT LIGHTING PRELIMINARY, REFLUG LITG. RECOMMENDATIONS
- CONC. REFUG. RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.
- PROPOSED CONCRETE INWELTOP
- IRRIGATION WATER METER
- DOMESTIC WATER METER
- FILE FINISH OVER CONC. WALK

**ACCESSIBILITY REQUIREMENTS:**

- CONTRACTOR SHALL PROVIDE A 4" PVC ROOF DRAIN FROM THE ROOF TO THE CURB WITH A 1:12 SLOPE TO THE CURB.
- CONTRACTOR SHALL PROVIDE A TRANSFORMER PAD PER THE ELECTRICAL COMPANY'S REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
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- CONTRACTOR SHALL PROVIDE A FILE FINISH OVER THE CONCRETE WALKS.

**GENERAL NOTES:**

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- CONTRACTOR SHALL PROVIDE A FILE FINISH OVER THE CONCRETE WALKS.

**PAVING SPECIFICATIONS:**

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR FOR ALL CURB, DRIVEWAYS, AND OTHER CURB WORK.
- CONTRACTOR SHALL PROVIDE A 4" PVC ROOF DRAIN FROM THE ROOF TO THE CURB WITH A 1:12 SLOPE TO THE CURB.
- CONTRACTOR SHALL PROVIDE A TRANSFORMER PAD PER THE ELECTRICAL COMPANY'S REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
- CONTRACTOR SHALL PROVIDE IRRIGATION AND DOMESTIC WATER METERS AS SHOWN ON THE PLANS.
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**LOT LIGHTING RECOMMENDATION:**

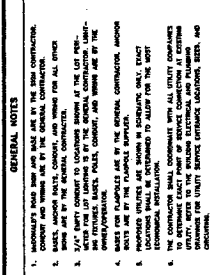
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**UTILITY INFORMATION:**

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- CONTRACTOR SHALL PROVIDE A FILE FINISH OVER THE CONCRETE WALKS.

**PLANNING AND SPECIFICATIONS TO COMPLY WITH SOIL TEST:**

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR FOR ALL CURB, DRIVEWAYS, AND OTHER CURB WORK.
- CONTRACTOR SHALL PROVIDE A 4" PVC ROOF DRAIN FROM THE ROOF TO THE CURB WITH A 1:12 SLOPE TO THE CURB.
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 DALLAS, TEXAS 75243

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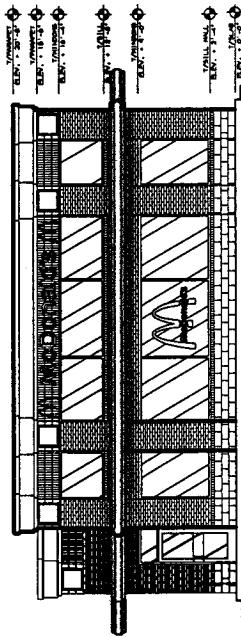
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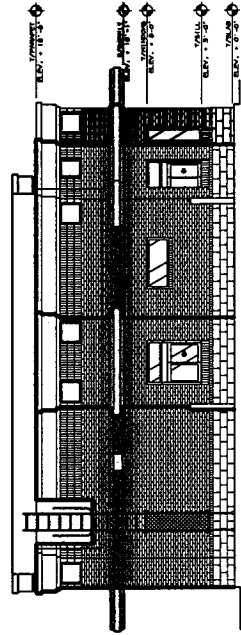




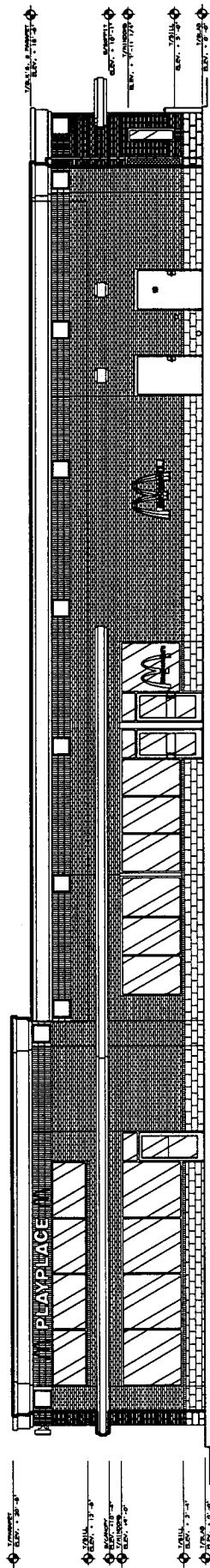




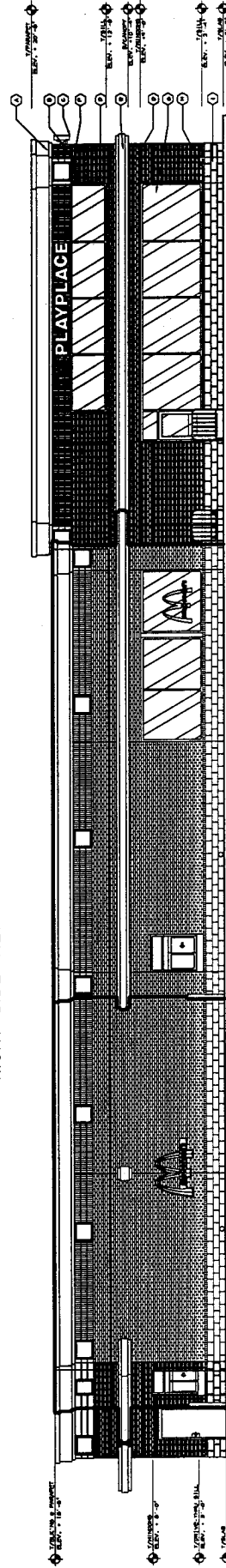
SOUTH ELEVATION  
FRONT VIEW



NORTH ELEVATION  
REAR VIEW



EAST ELEVATION  
RIGHT SIDE VIEW

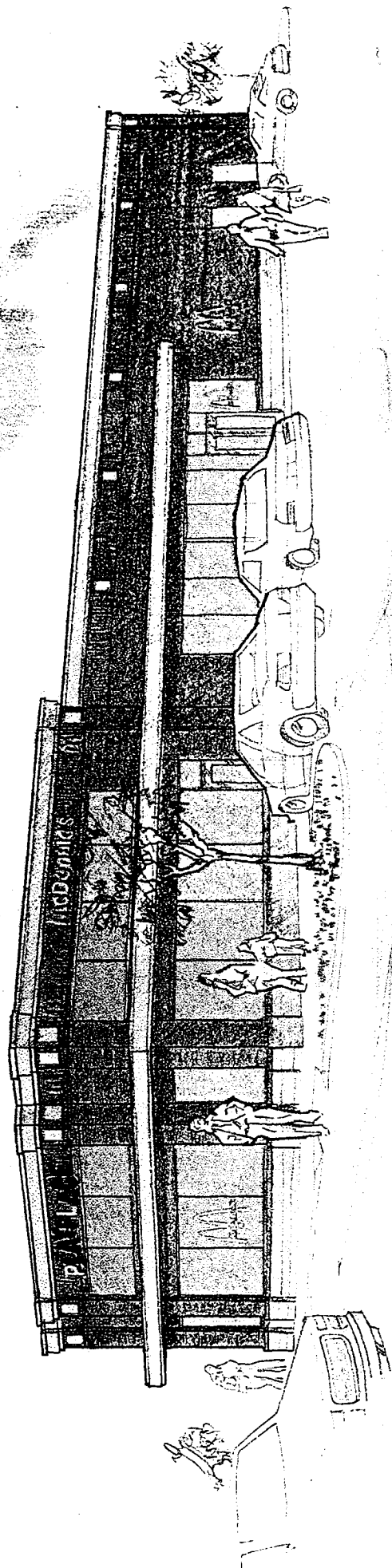


WEST ELEVATION  
LEFT SIDE VIEW

- ① EXTERIOR INSULATION FINISH SYSTEM - 2" EPS  
"CONCRETE" FINISH
- ② FIELD WALLS - 8" CORE BRICK BLDG #201  
"ROYAL BIRDCOLE" (FINISHING BOARD)
- ③ ROOF CANOPY - COLOR TO MATCH GUTTING COLOR
- ④ UNGLAZED GLASS IN ANODIZED  
ALUMINUM FRAMES (PK BRONZE FINISH)
- ⑤ CASTLE BRICK - (MCKINLEY  
PRODUCTS) (FINISHING BOARD)
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- ⑦ MCDONALD'S SIGNAGE - OF OTHERS  
UNDER SEPARATE PERMIT
- ⑧ ROOF CANOPY - COLOR TO MATCH GUTTING COLOR
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BELTLINE ROAD AT BUSINESS AVE.  
 ADDISON, TEXAS



Prepared By:  
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 972-484-5977

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