

ORDINANCE NO. 097-055

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, SO AS TO GRANT A SPECIAL USE PERMIT FOR AN INSTALLATION OF A PUBLIC UTILITY, A BUS TRANSIT CENTER, ON APPLICATION WITH DALLAS AREA RAPID TRANSIT, LOCATED ON 5.147 ACRES AT THE NORTHWEST CORNER OF THE NEW ARAPAHO ROAD AND QUORUM DRIVE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit to an installation of a public utility, a bus transit center. Said zoning amendment shall

be noted on the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

BEING a tract of land situated in the G.W. Fisher Survey, Abstract No. 482, Town of Addison, Dallas County, Texas and being a portion of several tracts of land conveyed to DALLAS AREA RAPID TRANSIT by deeds recorded in Volume 96099, Page 5197; Volume 96169, page 4485; and being more particularly described by metes and bounds as follows:

BEGINNING at a ½ inch iron rod with "Huitt-Zollars" cap found for the northeast corner of the tract of land described in said deed recorded in Volume 96099, page 5197 of the Deed Records of Dallas County, Texas, said point also being the intersection of the existing southeasterly right-of-way line of the Dallas Area Rapid Transit District Acquisition Corporation (DaART 100 foot ROW) tract and the west right-of-way line of Arapaho Road (Proposed);

THENCE, along said west right-of-way line of Quorum Drive, South 00 degrees 11/10' East, a distance of 167.33 feet to a ½ inch iron rod with "Huitt-Zollars" cap found for corner in the northerly right-of-way line of Arapaho Road (Proposed);

THENCE, along said northerly right-of-way line, South 36 degrees 13'55" West, a distance of 24.14 feet to a ½ inch iron rod with "Huitt-Zollars" cap found for the beginning of a non-tangent curve to the left having a radius of 942.00 feet and a 95.95 foot chord, bearing South 69 degrees 16'23" West;

THENCE, southwesterly along said northerly right-of-way line and said curve a distance of 95.99 feet through a central angle of 05 degrees 50'18" to a ½ inch iron rod with yellow plastic cap stamped WLA survey set for the point of tangency of said curve;

THENCE, continuing along said northerly right-of-way line, South 66 degrees 21' 13" West, a distance of 459.84 feet to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for the beginning of a tangent curve to the left having a radius of 862.00 feet and a 163.94 foot chord, bearing South 60 degrees 53'48" West;

THENCE, southwesterly along said northerly right-of-way line and said curve a distance of 164.19 feet through a central angle of 10 degrees 54'49" to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for the beginning of a reverse curve to the right having a radius of 778.00 feet and being subtended by a 190.72 foot chord bearing South 62 degrees 28'50" West;

THENCE, southwesterly along said northerly right-of-way line and said curve a distance of 164.19 feet through a central angle of 10 degrees 54'49" to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for the beginning of a reverse curve to the right having a radius of 778.00 feet and being subtended by a 190.72 foot chord bearing South 62 degrees 28'50" West;

THENCE, southwesterly along said northerly right-of-way line and said curve a distance of 191.20 feet through a central angle of 14 degrees 04'52" to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for the beginning of a compound curve to the right having a radius of 240.00 feet and being subtended by a 66.51 foot chord bearing South 77 degrees 29'09" West;

THENCE, southwesterly along said northerly right-of-way line and said curve a distance of 66.73 feet through a central angle of 15 degrees 55' 46" to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for the beginning of a reverse curve to the left having a radius of 260.00 feet and being subtended by a 37.44 foot chord bearing South 81 degrees 19'18" West;

THENCE, southwesterly along said proposed northerly right-of-way line and said curve a distance of 117.10 feet through a central angle of 08 degrees 44'13" to a "X" cut in concrete found for corner;

THENCE, continuing along said proposed right-of-way line, North 46 degrees 30'50" West, a distance of 27.38 feet to a "X" cut in concrete found for corner in the east right-of-way line of Addison Road (60 foot ROW);

THENCE, along said east right-of-way line, North 00 degrees 17'51" East, a distance of 84.69 feet to a ½ inch iron rod with "Huitt-Zollars" cap found for corner in the southwesterly line of the tract of land described in said deed recorded in Volume 96169, page 4485 of the Deed Records of Dallas County, Texas;

THENCE, along said southerly line, South 66 degrees 25'52" West, a distance of 32.66 feet to a PK nail in asphalt pavement found for the southwest corner of said tract;

THENCE, along the west line of said tract, North 00 degrees 17'48" East, a distance of 38.25 feet to a PK nail in asphalt pavement found for the northwest corner of said tract and a point in the southerly line of said DART – 100 foot wide ROW;

THENCE, North 23 degrees 34'10" West, a distance of 30.00 feet to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for corner;

THENCE, parallel with said southerly line of said DART – 100 foot wide ROW, North 66 degrees 25'50" East, a distance of 925.79 feet to a ½ inch iron rod with yellow plastic cap stamped WLA Survey set for corner in said west right-of-way line of Quorum Street;


THENCE, leaving said proposed north right-of-way line and along said west right-of-way line of Quorum Street, South 00 degrees 11'10" East, a distance of 32.69 feet to the POINT OF BEGINNING of the herein described tract and containing 5.147 acres (224,220 square feet) of land, more or less.

SECTION 2. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 9th day of December , 1997.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO. 1292-SUP

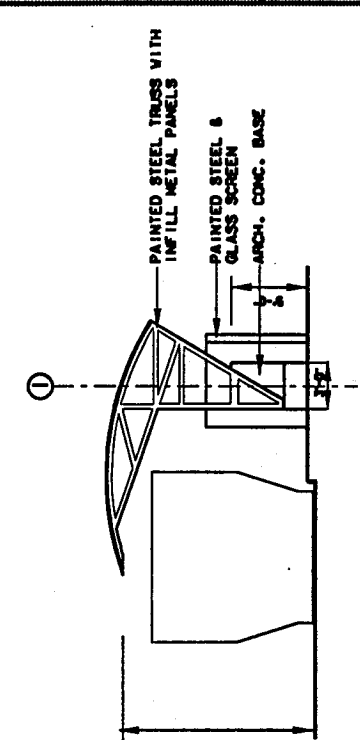
APPROVED AS TO FORM:



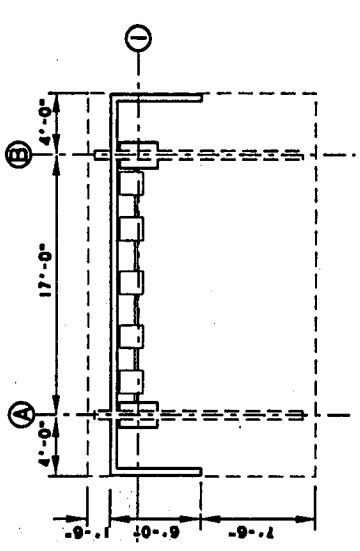
DIRECTOR OF DEVELOPMENT SERVICES

Published
5/8/98

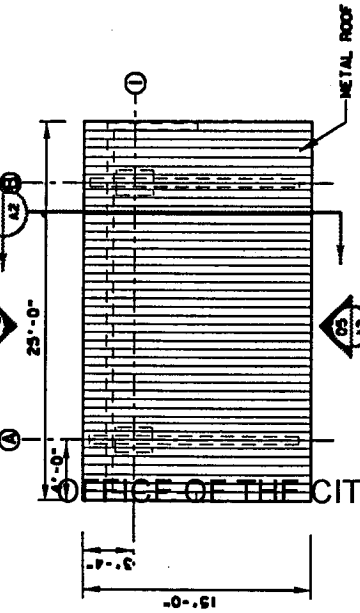




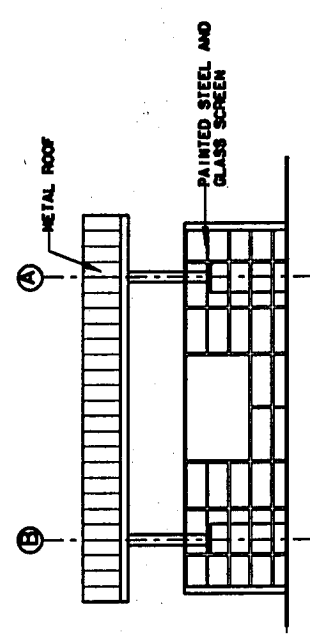
03 CANOPY SECTION
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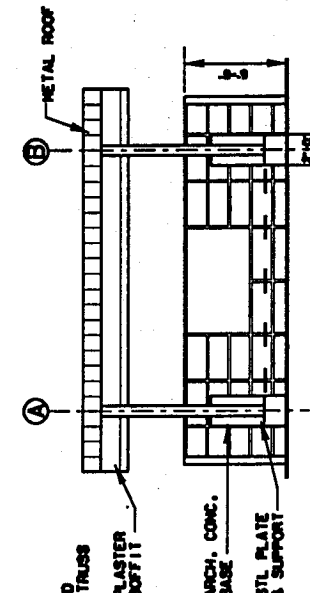
02 CANOPY PLAN
SCALE: 1/4"=1'-0"



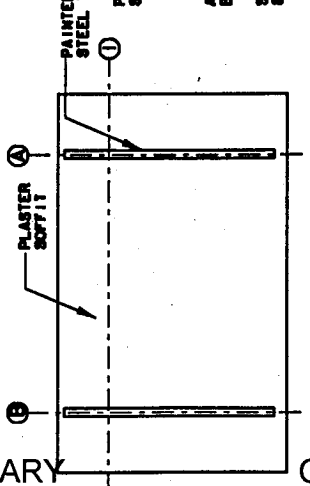
01 CANOPY ROOF PLAN
SCALE: 1/4"=1'-0"



06 CANOPY BACK ELEV.
SCALE: 1/4"=1'-0"



05 CANOPY FRONT ELEV.
SCALE: 1/4"=1'-0"



04 CANOPY RCP
SCALE: 1/4"=1'-0"

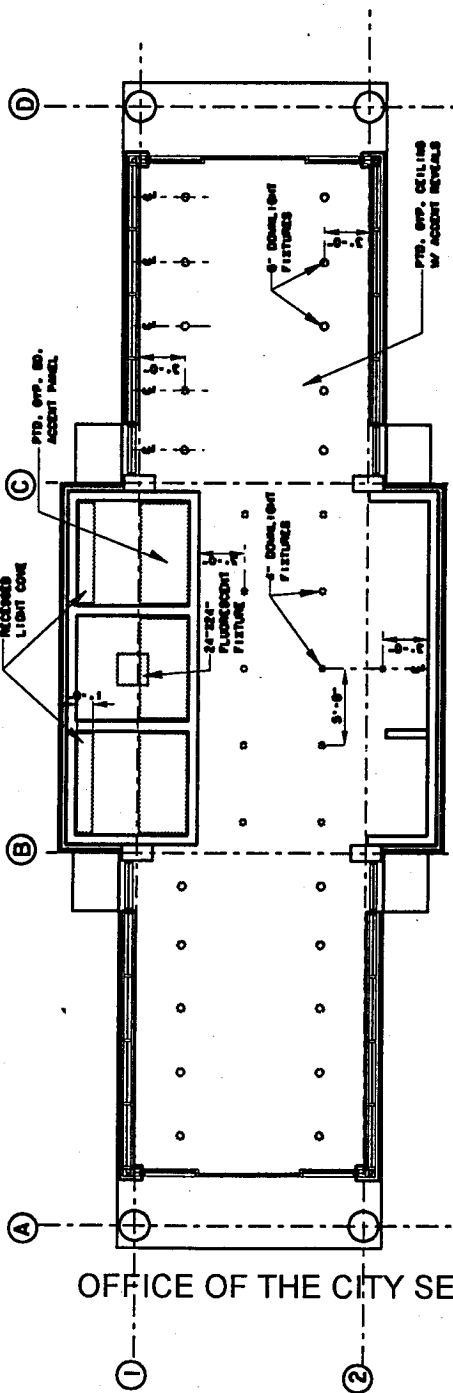
302 IN-PROGRESS DESIGN
PROJECT SHEET No. 35

	DART PROJECT	EMART	LOCKWOOD, ANDREWS & NEWMAN, INC. <small>ARCHITECTS & ENGINEERS</small>				
DATE	BY	CHECKED	APPROVED	SCALE	SHEET NO.	TOTAL SHEETS	PROJECT NO.

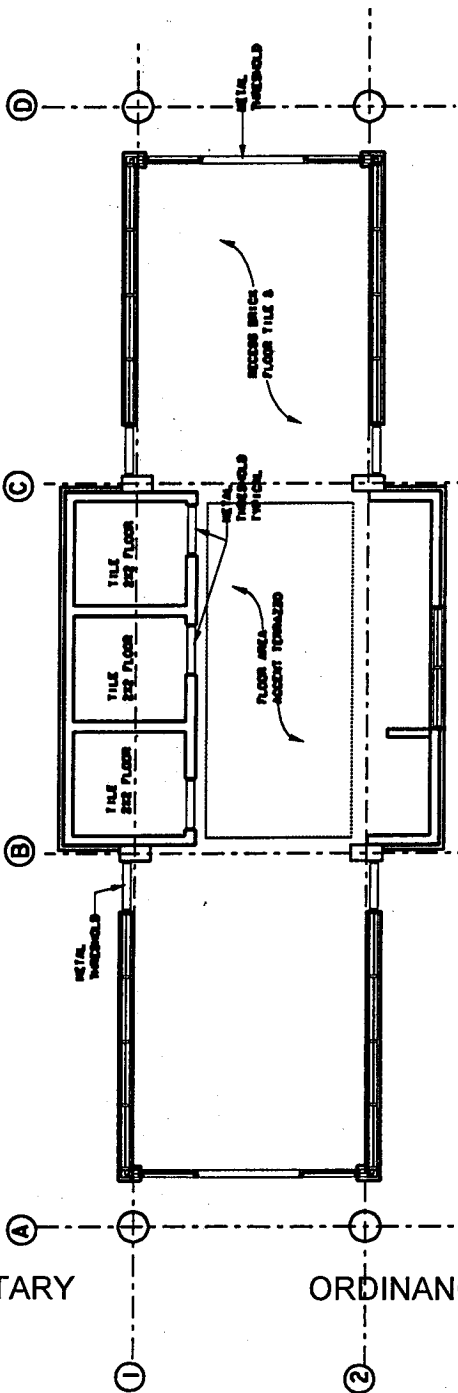
CANOPY PLAN & ELEVATIONS W/ DETAILS

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-055



01 ENCLOSURE RCP
SCALE: 1/4"=1'-0"



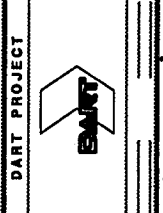
02 ENCLOSURE FLOOR PATTERN PLAN
SCALE: 1/4"=1'-0"

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-055

308 IN-PROGRESS DESIGN
CONTRACT SHEET No. 30

NO.	DATE	DESCRIPTION
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2	10/15/00	ISSUED FOR PERMITS
3	10/15/00	ISSUED FOR PERMITS
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9	10/15/00	ISSUED FOR PERMITS
10	10/15/00	ISSUED FOR PERMITS



WMA
WINDY LANE & ASSOCIATES, INC.
ARCHITECTS & INTERIORS
1000 WINDY LANE, SUITE 100
DARTMOUTH, MASSACHUSETTS 01928
TEL: 508/548-1111
FAX: 508/548-1112

LAN
Lockwood, Andrews & Newnam, Inc.
ARCHITECTS
1000 WINDY LANE, SUITE 100
DARTMOUTH, MASSACHUSETTS 01928
TEL: 508/548-1111
FAX: 508/548-1112

NO.	DATE	DESCRIPTION
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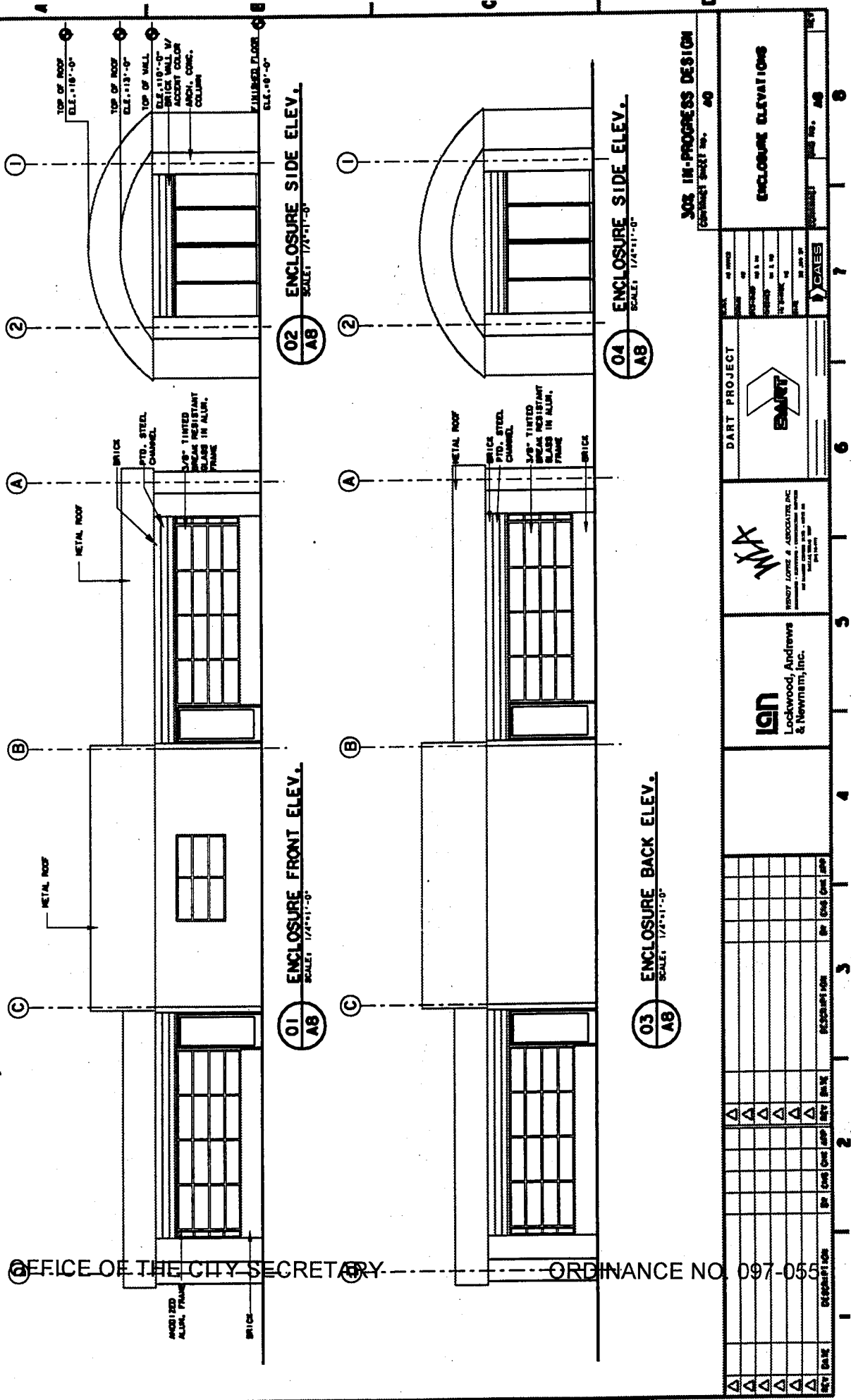
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10	10/15/00	ISSUED FOR PERMITS



OFFICE OF THE CITY SECRETARY ----- ORDINANCE NO. 097-055



JOS. IN-PROGRESS DESIGN
 CONTRACT SHEET NO. 40

DART PROJECT

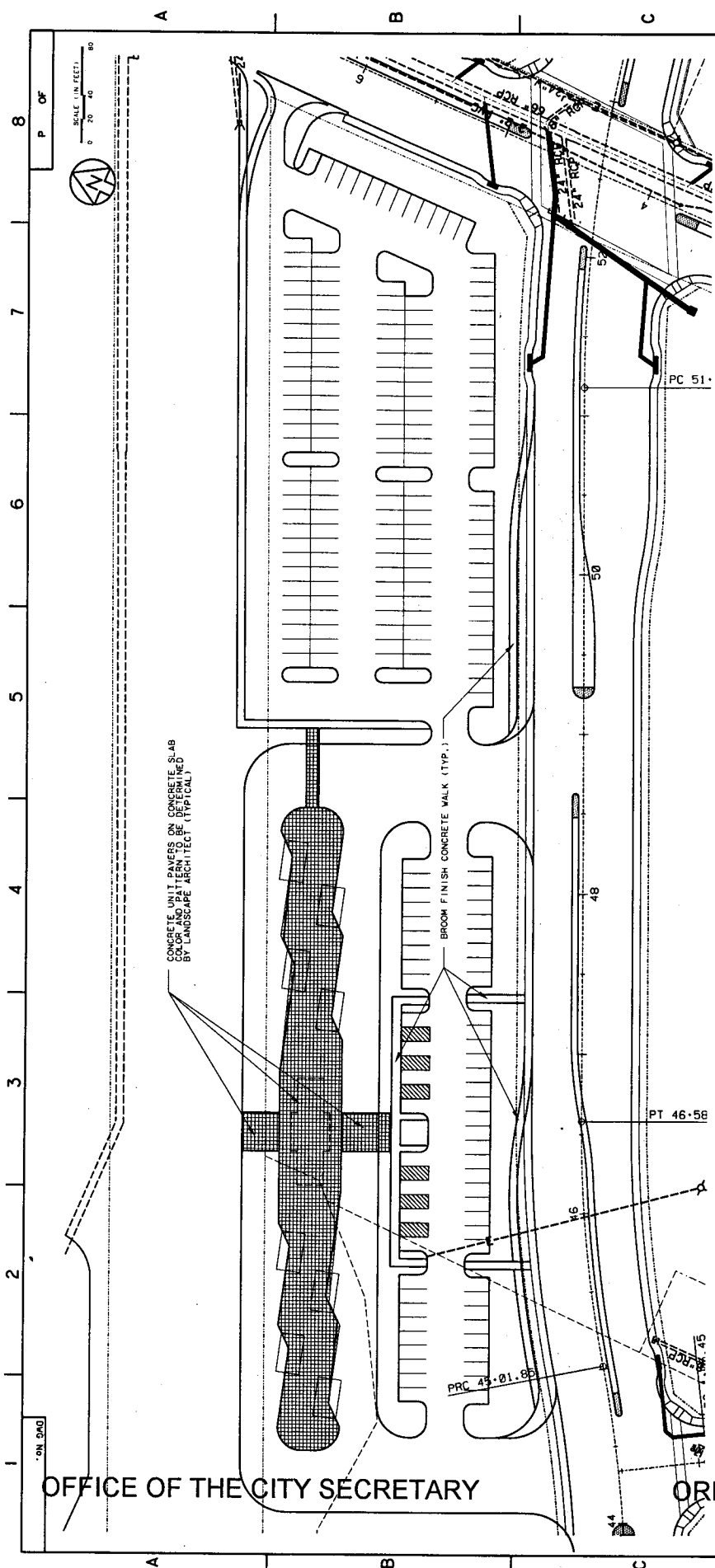
WY

WINDY LOYDE & ASSOCIATES, INC.
 ARCHITECTS & INTERIORS
 1000 W. 10th St., Suite 200
 Tulsa, Oklahoma 74103
 Phone: (918) 438-1111

IGN
 Lockwood, Andrews
 & Newnam, Inc.

NO.	DATE	DESCRIPTION	BY	CHK	APP	DATE	BY	CHK	APP
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ENCLOSURE ELEVATIONS



1 2 3 4 5 6 7 8 P OF

SCALE (IN FEET)
0 20 40 80

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-055

NOT AN APPROVED DRAWING
80% IN PROGRESS SUBMITTAL
CONTRACT SHEET No. OF XX

ADDISON
BUS TRANSIT CENTER

DART PROJECT
DART

the swo group

PRELIMINARY
BUILT FOR THE CITY OF ADDISON
DATE: 08-28-97
APPROVED

DATE: 08-28-97
APPROVED

REV	DATE	DESCRIPTION	BY	CHK	APP	REV	DATE	DESCRIPTION	BY	CHK	APP
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DATE: 31-JAN-97

CONTRACT No. 0-300099

REV A

CONTRACT No. 0-300099

REV A

CONTRACT No. 0-300099

REV A

CONTRACT No. 0-300099

REV A

CONTRACT No. 0-300099

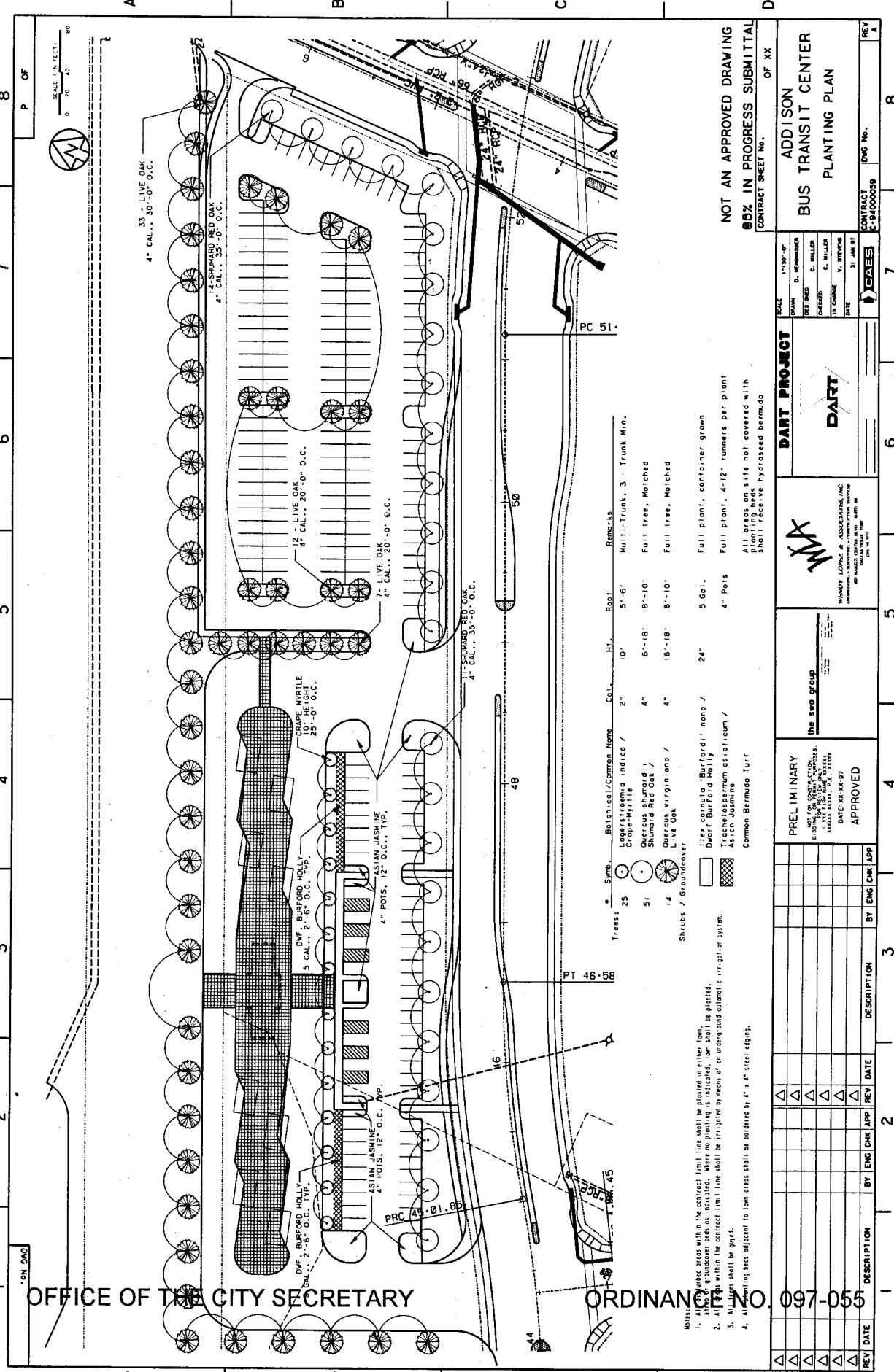
REV A

CONTRACT No. 0-300099

REV A

CONTRACT No. 0-300099

REV A



OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 097-055

NOT AN APPROVED DRAWING
 80% IN PROGRESS SUBMITTAL
 CONTRACT SHEET No. OF XX

REV	DATE	DESCRIPTION	BY	ENG	CHK	APP
1						
2						
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4						
5						
6						
7						
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DART PROJECT
DART
 HANLEY GROUP ASSOCIATES, INC.
 100 MARKET STREET, SUITE 200
 SAN FRANCISCO, CA 94102
 DATE: 12/15/97

PRELIMINARY
 APPROVED

ADDISON
 BUS TRANSIT CENTER
 PLANTING PLAN

CONTRACT NO. C-9400009
 31 JAN 98
 DATE

Tree No.	Symbol	Botanical/Common Name	Cell	HT.	Root	Remarks
25	○	Lagerstrœmia indica / Grape-Myrtle	2"	10'	5'-6'	Multi-Trunk, 3 - Trunk Wtd.
51	○	Sarcococca confusa / Shrub Red Oak	4"	16'-18'	8'-10'	Full tree, Matched
14	○	Quercus virginiana / Live Oak	4"	16'-18'	8'-10'	Full tree, Matched
Shrubs / Groundcover						
	□	Lysichiton cuneatus / Dwarf Burford Holly		24"	5 Gal.	Full plant, container grown
	□	Asplenium platyneuron / Common Bermuda Turf			4" Pots	Full plant, 4-12" runners per plant

All areas on site not covered with planting beds shall receive hydroseeded bermuda.

Notes:
 1. All planting areas within the contract limit shall be planted as either lawn or shrub/groundcover beds as indicated. Where no planting is indicated, lawn shall be planted.
 2. All trees within the contract limit shall be irrigated by means of an underground automatic irrigation system.
 3. All trees shall be gored.
 4. All planting beds adjacent to lawn areas shall be bordered by 4" x 4" sister edging.