

**ORDINANCE NO. 098-001**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIAL USE PERMIT FOR A RESTAURANT, ON APPLICATION FROM CONSTANTIN'S DELICATESSEN AND BAKERY, LOCATED AT 15404 MIDWAY ROAD; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. The Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, be amended, by amending the zoning map of the Town of Addison, Texas, so as to grant a Special Use Permit for a restaurant. Said Special Use Permit shall be granted subject to the special conditions on the following described property, to-wit:

Being a 2,015 square foot lease space at 15404 Midway Road, in the Addison Airport Industrial District Addition, Block C, Lot 9 and the South 40' of Lot 9A.

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

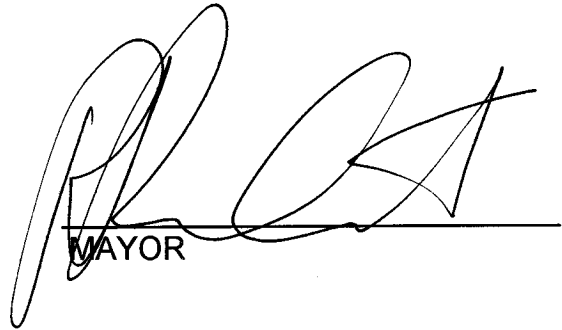
1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan and floor plan, which are attached hereto and made a part hereof for all purposes.
2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 2,015 square feet.
3. The site's street frontage on both Midway Road and Wiley Post Road shall be landscaped in accordance with the requirements of the city's landscaping ordinance. A landscaping plan shall be submitted for approval prior to the issuance of a building permit for the delicatessen.
4. The dumpster on the site shall be moved to a point where it is not visible from public right-of-way and screened on all sides.
5. The trash and debris behind the building shall be cleaned up before issuance of a Certificate of Occupancy.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 13<sup>th</sup> day of January, 1998.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO. 1314-SUP

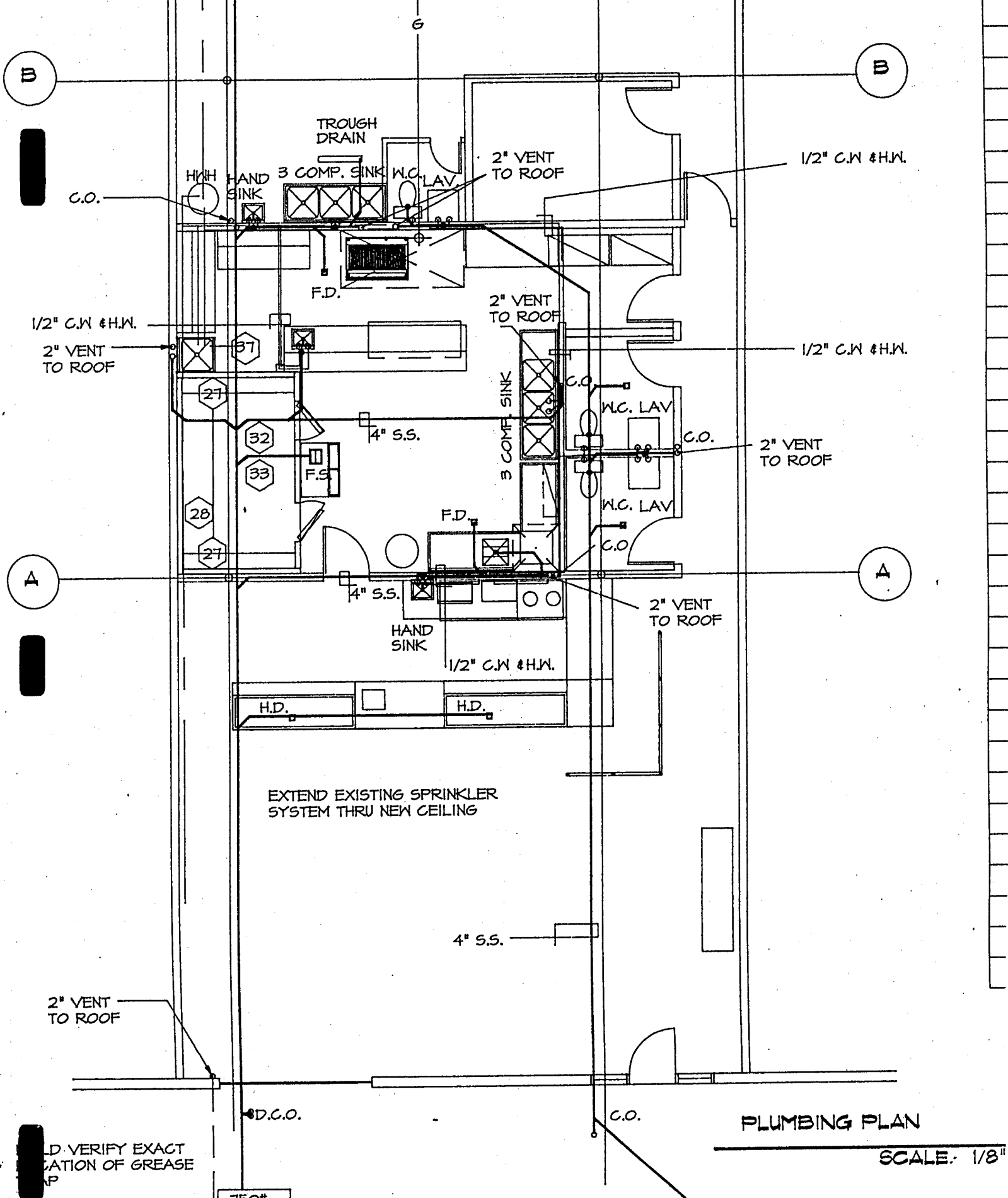
APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 1/10/98





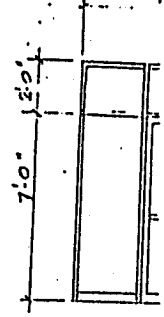
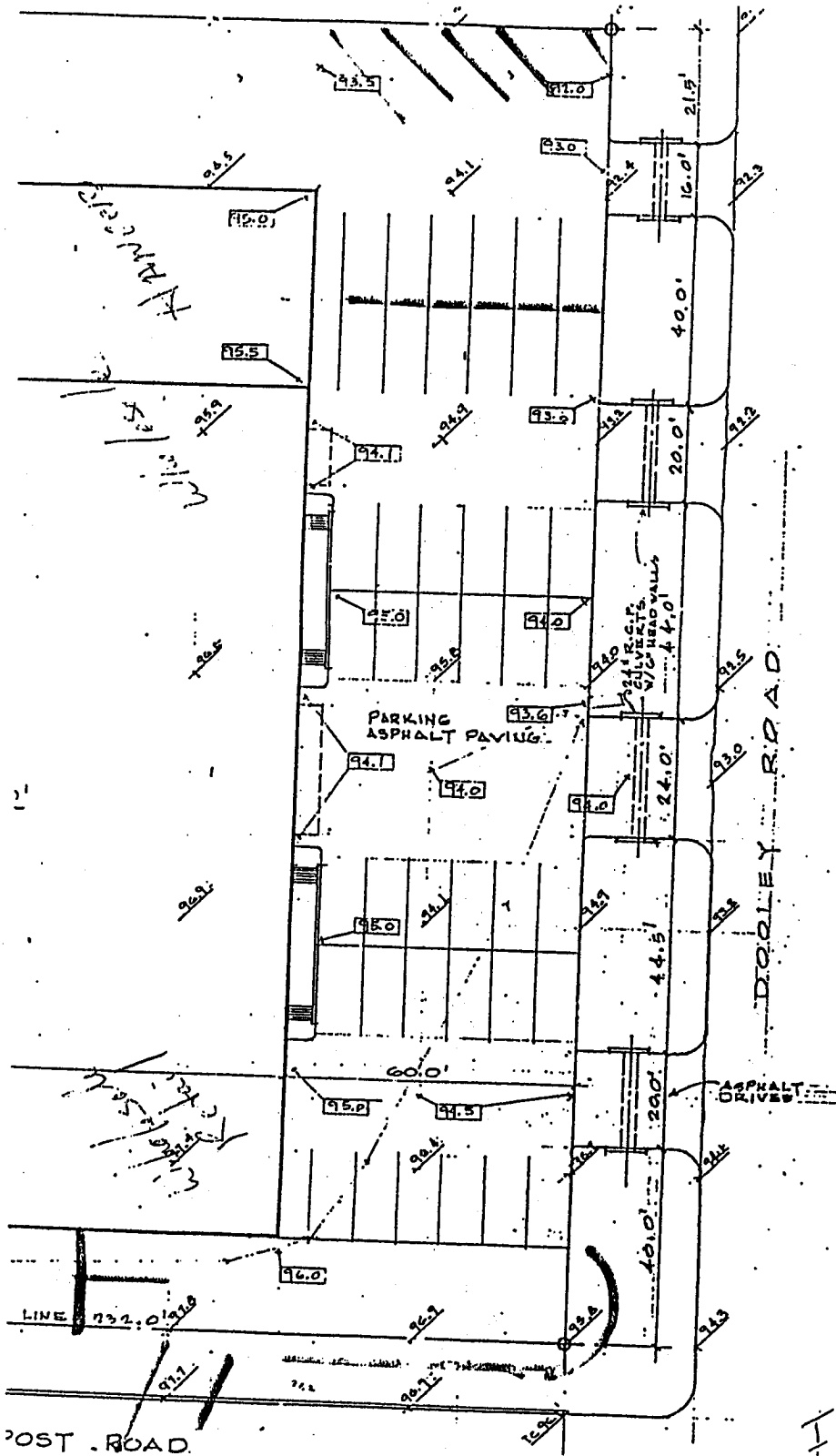
EXTEND EXISTING SPRINKLER SYSTEM THRU NEW CEILING

PLUMBING PLAN

SCALE: 1/8"

PLEASE VERIFY EXACT LOCATION OF GREASE TRAP

750# GREASE TRAP



1 3/4" x 4" ALUM.  
1/4" POL. P.C.  
DOOR 3'-0"

④ DOOR  
DOOR

54 spaces  
+ 6 employees  
IF needed south  
HANGER #1 space  
One month  
10

OFFICE OF THE CITY SECRETARY

SCALE 1" = 20'

NOTE:  
LAND AREA ORDINANCE NO. 098-001  
BUILDING AREA 28,350 S.F.  
HANGER AREA 6,480 S.F.  
PARKING FOR 10 CARS

