

**ORDINANCE NO. 098 - 008**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, APPROVING REVISED DEVELOPMENT PLANS, PREVIOUSLY APPROVED UNDER PLANNED DEVELOPMENT ORDINANCE NO. 085-037 AS AMENDED BY ORDINANCE 093-057, FOR A SITE LOCATED ON 1.76 ACRES ON THE SOUTH SIDE OF SOJOURN DRIVE, BETWEEN WESTGROVE AND ADDISON ROAD, ON APPLICATION FROM DALLAS GYMNASTICS CENTER; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the development plans for a site located in a Planned Development district, approved through Ordinance 085-037, as amended through Ordinance 093-057, and located on 1.76 acres on the south side of Sojourn Drive

between Westgrove Drive and Addison Road, are found to be in compliance with the regulations contained in Ordinance 460, and are hereby approved.

SECTION 2. That the development plans are approved subject to the following special conditions:

-The site plan shall be revised to indicate shared entrances at both the east and west property lines. Non-exclusive ingress-egress easements shall be provided to adjacent properties.

-All mechanical equipment on the building shall be screened by either an architecturally-compatible screen or parapet wall.

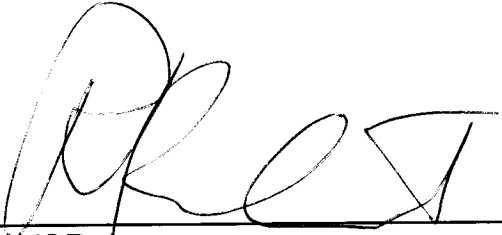
SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 6. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 10th day of March, 1998.

  
MAYOR

ATTEST:

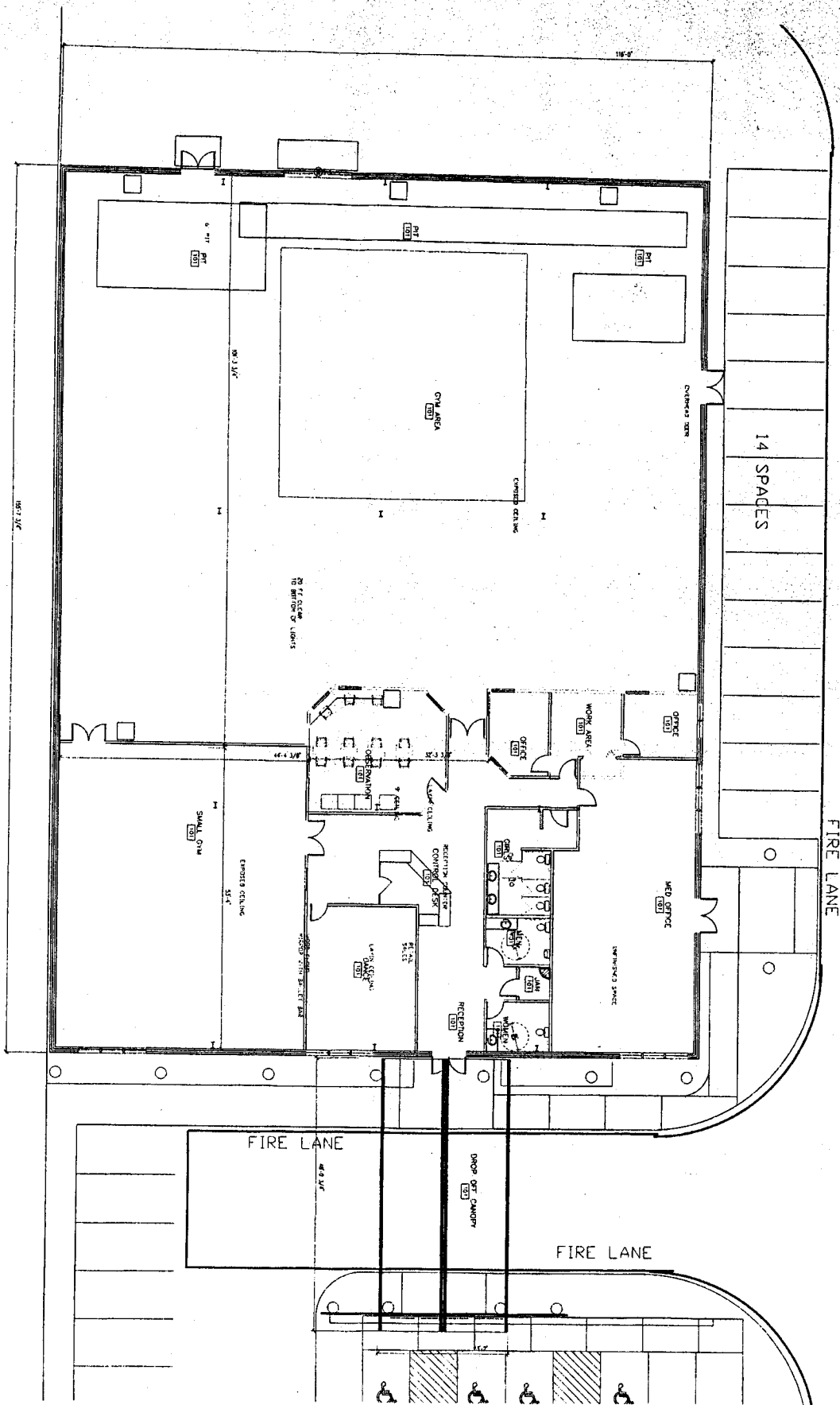
  
CITY SECRETARY

CASE NO.: 1321-Z

APPROVED AS TO FORM:

  
DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 10/02/98



1/8" = 1'-0"  
**Floor Plan**

**OFFICE OF THE CITY SECRETARY**

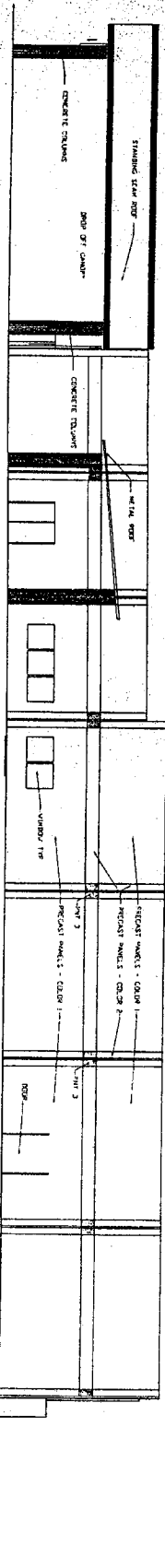
**Dallas Gymnastics Center**  
 SOJOURN DRIVE  
 ADDISON, TEXAS

SEAL OF ARCHITECTS AND ENGINEERS

**LARSEN • DYE • ABLON**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 114 W. Irving Blvd. Irving, Texas 75060  
 972/251-1330 METRO O/R/W Fax 972/251-7199

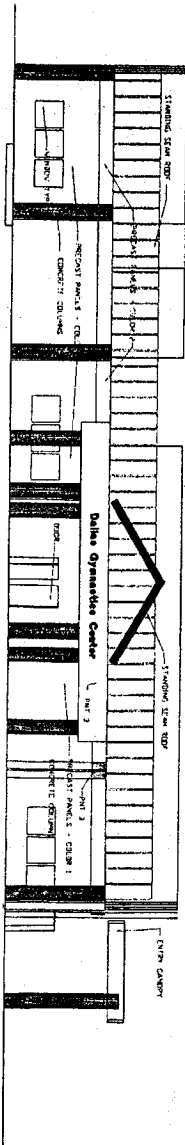
**ORDINANCE NO. 098-008**





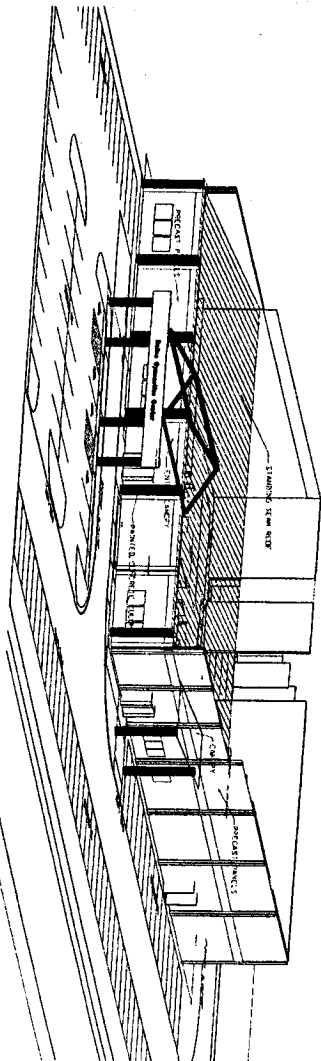
**North Elevation**

1/8" = 1'-0"



**East Elevation**

1/8" = 1'-0"

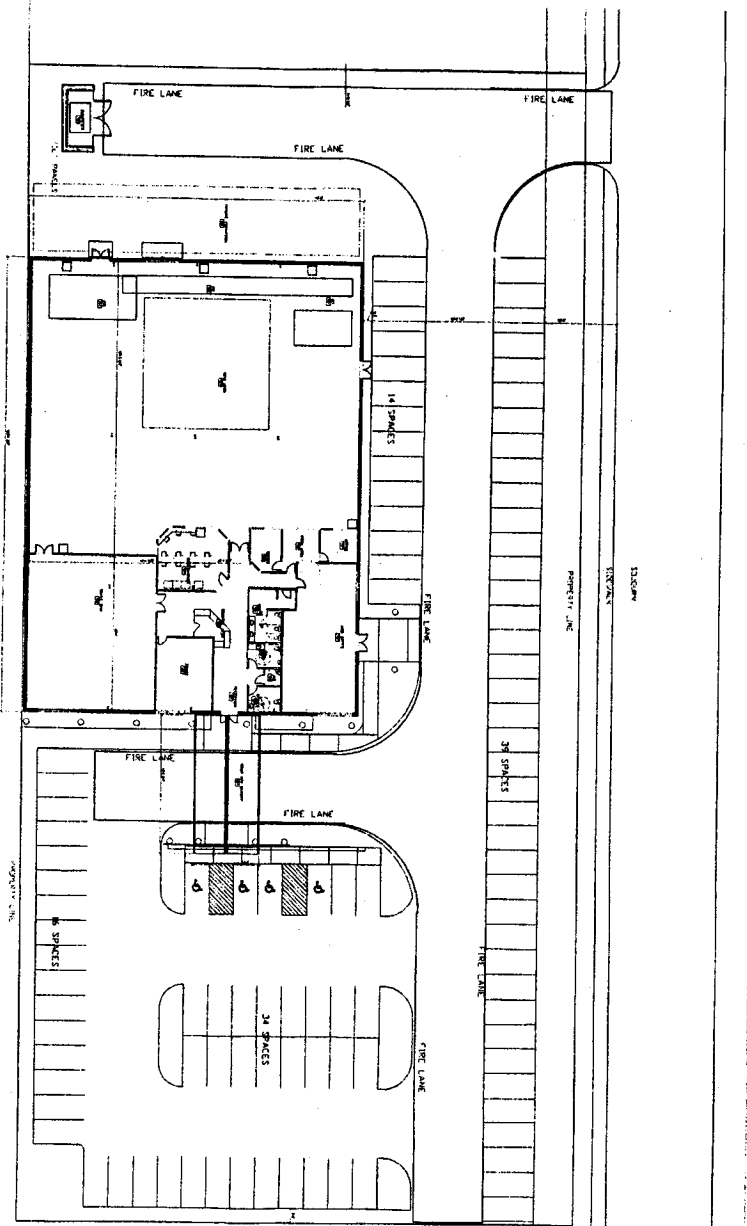


**Isometric Layout**

1/8" = 1'-0"







**Site Plan**

1. SHEET FIRE AND  
 2. SHEET PARKING  
 3. SHEET MECHANICAL  
 4. SHEET ELECTRICAL  
 5. SHEET LANDSCAPE

26-7

**OFFICE OF THE CITY SECRETARY**

**Dallas Gymnastics Center**

50 JOURN DRIVE  
 ADDISON, TEXAS

**DL LARSEN • DYE • ABLON**  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 118 W. Irving Blvd. Irving, Texas 75060  
 972/251-1550 METRO C/F/W Fax 972/254-2188

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