

ORDINANCE NO. 098- 010

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, APPROVING DEVELOPMENT PLANS, REQUIRED UNDER PLANNED DEVELOPMENT ORDINANCE 625, FOR A SITE OF 1.87 ACRES LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF MIDWAY ROAD AND PROTON DRIVE; ON APPLICATION FROM ENGLISHMAN'S ANTIQUES; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the development plans for a site located in a Planned Development district, approved through Ordinance 625, and located on 1.87 acres at the northwest corner of the intersection of Midway Road and Proton Drive, are found to be in compliance with the regulations contained in Ordinance 625, and are hereby approved.

SECTION 2. That the development plans are approved subject to the following special conditions:

-The loading door on the east façade of the building shall be recessed into the building and covered with solid doors equal to the height of the loading door.

-The 16, 40inch caliper trees, which are shown to be planted over an existing storm drain, shall be relocated to another point on the site.

The entrance on the Midway Road side of the site shall be re-designed to avoid congestion on Midway Road.

-The drive in the front (east side) of the building shall be designated as a fire lane and must conform to existing specifications.

-All mechanical equipment on the building shall be screened by either an architecturally-compatible screen or parapet wall.

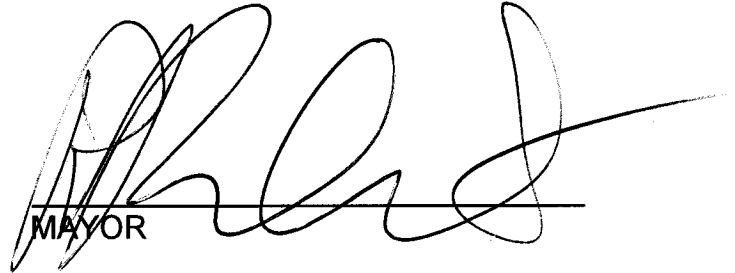
SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 6. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 10th day of March, 1998.



MAYOR

ATTEST:



CITY SECRETARY

CASE NO.: 1319-Z

APPROVED AS TO FORM:

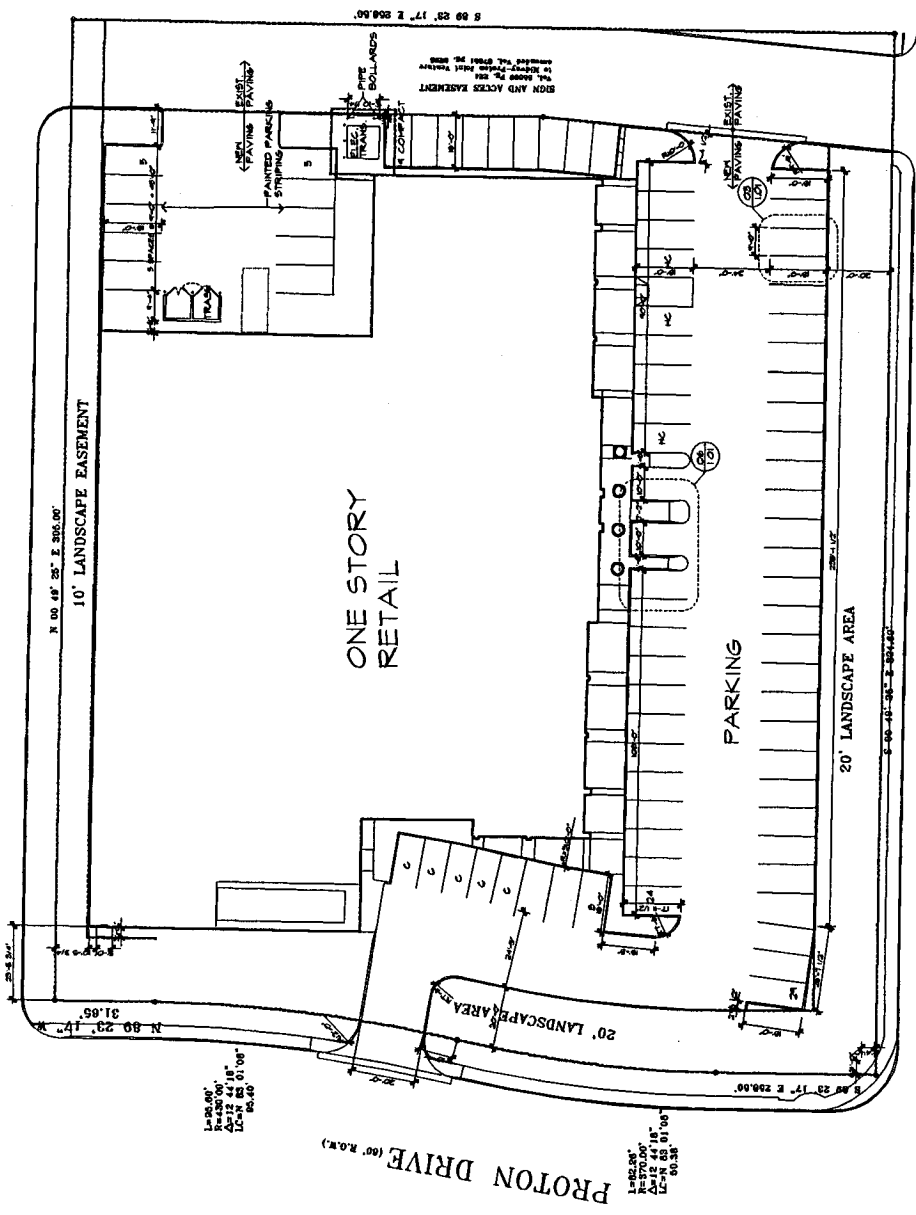


DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 10/2/98

ENGLISHMAN'S ANTIQUES
 Midway at Proton
 Addison, Texas

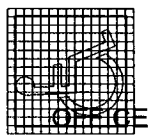
WM. CHASE CORKER
 Architecture & Interiors, Inc.
 8447 Santa Clara Drive, Dallas, Texas 75218 (214) 321-0121



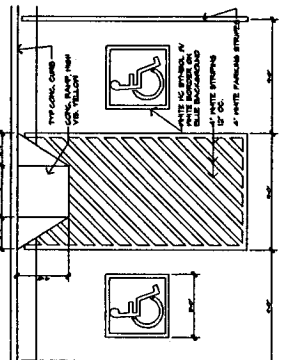
MIDWAY ROAD (100' R.O.W.)

01 SITE PLAN
 SCALE 1/8" = 1'-0"

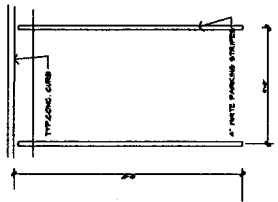
SITE AREA	81,527 SF, 1.872 ACRES
BLDG AREA	30,109 SF (RETAIL 11,909 SF, WAREHOUSE 17,600 SF, 600 SF OFFICE)
PARKING RATIO	RETAIL 1:200 WAREHOUSE 1:1000 OFFICE 1:300
PARKING REQUIRED	79 CARS
PARKING PROVIDED	79 CARS (3 HANDICAP)



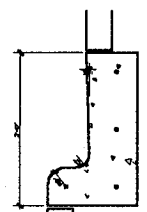
02 H.C. LOGO
 SCALE 1/4" = 1'-0"



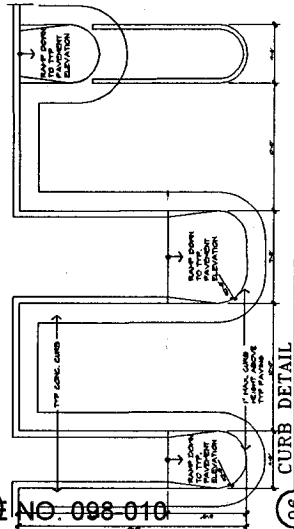
03 H.C. PARKING SPACE
 SCALE 1/4" = 1'-0"



04 TYPICAL PARKING SPACE
 SCALE 1/4" = 1'-0"



05 TYPICAL CURB
 SCALE 1/4" = 1'-0"



06 CURB DETAIL
 SCALE 1/4" = 1'-0"

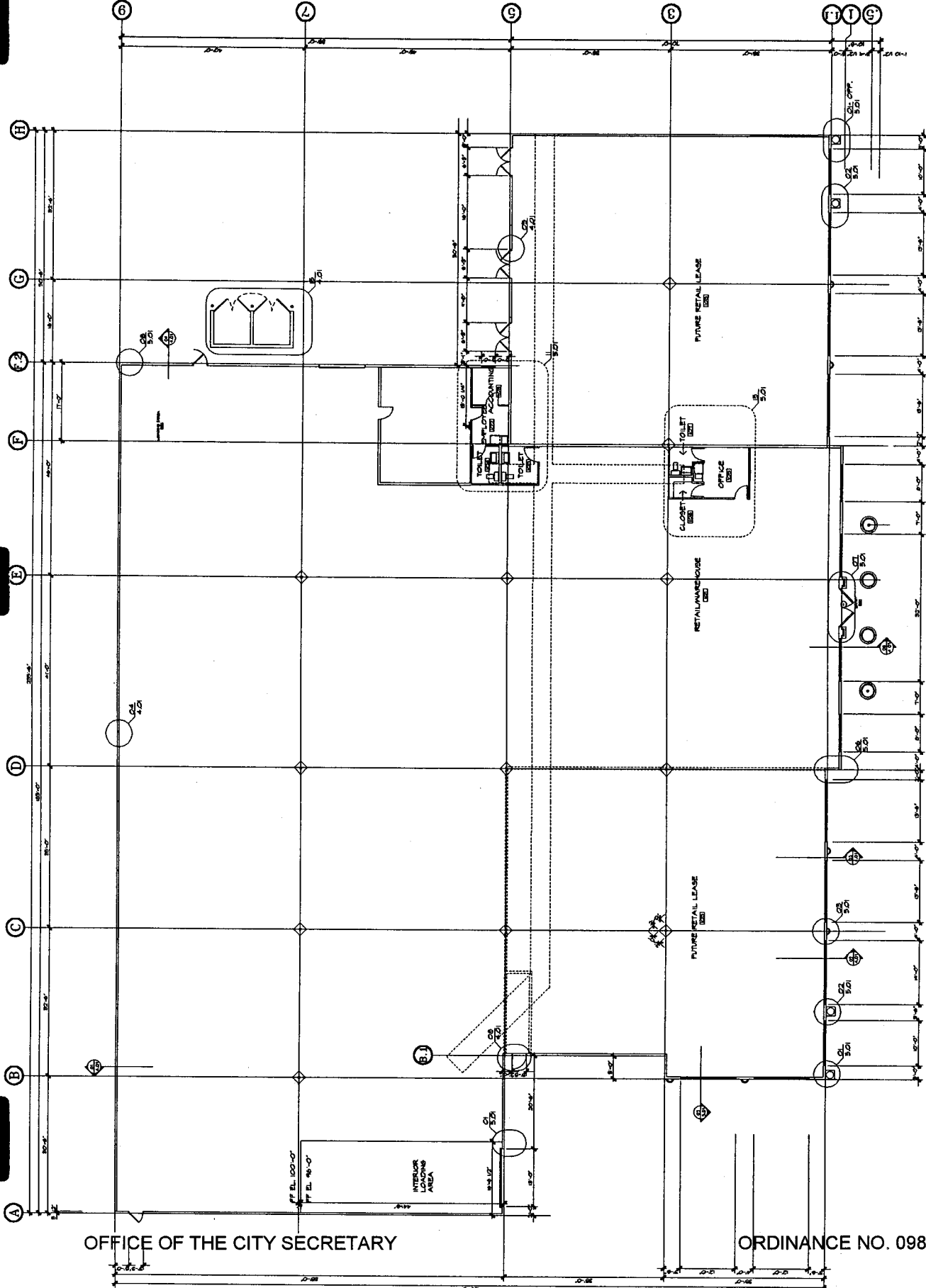


W.M. CHASE CORKER
Architecture & Interiors, Inc.
 8447 Santa Clara Drive, Dallas, Texas 75218 (214)321-6121

Date: JAN. 28, 98
 Plan Release
 Revision:
 Comments:

ENGLISHMAN'S ANTIQUES
 Midway at Proton
 Addison, Texas

Sheet Number:
201
 FLOOR PLAN



OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 098-010

FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 10



W.M. CHASE CORCKER
Architecture & Interiors, Inc.
 8447 Santa Clara Drive, Dallas, Texas 75218 (214) 921-8121

Date: JAN. 28, 98
 Plot Release
 Revision:
 O'Connell

ENGLISHMAN'S ANTIQUES
 Midway at Proton
 Addison, Texas

Sheet Number:
 6.01
 EXISTING ELEVATION

