

ORDINANCE NO. 099-025

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM PLANNED DEVELOPMENT, ORDINANCE 085-073 TO A REVISED PLANNED DEVELOPMENT DISTRICT, ON APPLICATION FROM JACKSON-SHAW COMPANY, LOCATED ON 7.76 ACRES AT THE SOUTHEAST CORNER OF WESTGROVE DRIVE AND EXCEL PARKWAY, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR APPROVAL OF DEVELOPMENT PLANS, PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEAL CLAUSE; AND DECLARING AN EMERGENCY.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the Town of Addison, Texas, be, and the same is hereby amended by amending the zoning map of the Town of Addison, Texas, so as to give the hereinafter described property the zoning district classification, to-wit: Planned Development. Said property being in the Town of Addison, Texas, and being described as follows:

BEING a 7.776 acre tract of land situated in the William Lomax Survey, Abstract No. 792, Town of Addison, Dallas County, Texas and being a portion of that called 31.3625 acre tract of land labeled as Tract II described in deed to FM Properties Operating Company, recorded in Volume 92115, page 4018 of the deed records of Dallas County, Texas, (DRDCT) also being all of Lot 3 and a portion of Lot 4, Lot 21 and Lot 2, Block "A" of Carroll Estates, an addition to the County of Dallas recorded in Volume 10, Page 473 of the map records of Dallas County, Texas: said 7.776 acre tract of land being more particularly described as follows:

BEGINNING at a cut "X" in concrete found for the point of intersection of the East right-of-way line of Westgrove Drive (a 60-foot right-of-way) with South right-of-way line of Excel Parkway (FKA Bent Tree Plaza Parkway, an 80-foot right-of-way) and being the Northwest corner of said 31.3625 acre tract of land, from which a cut "X" in concrete found for the point of intersection of said East right-of-way line with the North right-of-way line of said Excel Parkway, bears North 00 degrees 02 minutes 26 seconds West, a distance of 79.95 feet.

THENCE South 89 degrees 59 minutes 00 seconds East along said South right-of-way line, same being the North line of said 31.3625 acre tract of land, a distance of 724.64 feet to a 1/2 inch iron rod set for the Southwest corner of said Lot 1, Block "A" and being in the South line of said 31.3635 acre tract of land and being in the North line of that called 1.3431 acre tract of land labeled as Tract 14 described in deed to Sunbelt Development Company, Limited recorded in Volume 83240, page 5601, DRDCT.

THENCE North 89 degrees 59 minutes 00 seconds West along the South line of said 31.3625 acre tract of land, passing at a distance of 466.56 feet the Northwest corner of that called 4.2339 acre tract of land labeled as Tract 15 described in deed to Sunbelt Development Company, Limited. Recorded in volume 83240, page 5601, DRDCT, same being the Northeast corner of tract IV, Block "B" of Sunbelt Business Park tract VI, an addition to the town of Addison described by plat recorded in Volume 80092, page 808, DRDCT, from which a 1/2 inch iron rod found bears North 00 degrees 01 minutes 00 seconds East, a distance of 0.3 feet, continuing along the common line of said 31.3625 acre tract of land and said tract VI in all for a total distance of 724.18 feet to a 1/2 inch iron rod found for the Southwest corner of said 31.3625 acre tract of land same being

the Northwest corner of said tract I and being the aforementioned East right-of-way line of Westgrove Drive, from which a 3/4 inch iron rod found bears South 70 degrees 05 minutes 25 seconds East, a distance of 4.71 feet.

THENCE North 00 degrees 02 minutes 26 seconds West, along the West line of said 31.3625 acre tract of land and said East right-of-way line, a distance of 467.55 feet to the POINT OF BEGINNING AND CONTAINING a computed area of 338.699 square feet or 7.776 acres of land.

SECTION 2. The following regulations shall govern the development of all land within this Planned Development District:

1. USE REGULATIONS

All buildings and uses permitted in Article IX, C-1 (Commercial-1) district as set forth by the Addison Zoning Ordinance NO. 66, and all distribution and warehouse uses related to light assembly of paper goods, computer products, or similar materials. The allowed uses specifically exclude the manufacture of goods and materials. For the purposes of this ordinance, light assembly shall be defined as the process and procedures for the assimilation, packaging, and distribution of finished goods and materials.

2. HEIGHT REGULATIONS

No building or structure shall exceed three (3) standard stories in height unless additional height is set back from the street lines one (1') foot for each two (2') feet of height above each six story limit. The Federal Aviation Administration F.A.A further limits height of structures. No permit shall be issued for any building that violates FAA height limits.

3. AREA REGULATIONS

1. Front Yard

(A) The minimum required front yard is twenty-five (25) feet, such distance shall be measured from the property line.

2. Side Yard

(A) Except as provided below, there is no minimum required side yard.

(B) On a corner lot, a minimum required side yard of twenty-five (25) feet must be provided on the side street, such distance shall be measured from the property line.

3. Rear Yard

(A) There is no minimum required rear yard.

4. PARKING REGULATIONS

Off-street parking shall be provided for the appropriate building use classification as defined in articles IX, IX-A, X, XI and XI-a of the Addison Zoning Ordinance No. 66.

5. TYPE OF CONSTRUCTION

At least eighty (80) per cent of the exterior walls of all structures shall be of masonry materials. For the purposes of this ordinance, masonry shall be defined as: brick, stone, E.I.F.S., colored, textured concrete, glass tile, glass block , or plate glass.

6. OUTSIDE SALES OR COMMERCIAL PROMOTIONS

Any outside sales and/or commercial promotions shall be prohibited.

7. LOADING AND UNLOADING FACILITIES

1. All loading facilities shall be screened in accordance with the provisions of Article XVIII- Landscaping Regulations, Section 7b.

8. OUTSIDE STORAGE

Except for the equipment or materials stored on a construction site and used for a temporary construction project, the long term outside storage of equipment, buildings or other materials, goods and products is prohibited.

9. MECHANICAL EQUIPMENT

All mechanical equipment must be constructed located and screened so as to not interfere with the peace, comfort and repose of the occupants of any adjoining building or residence and not be visible from any public street.

10. REFUSE CONTAINERS

All refuse and refuse containers must be screened from all public rights-of-way. Refuse containers must be placed on a designed, reinforced concrete pad and approach. Screening walls must be of an aesthetic material.

11. LANDSCAPING

All landscaping in this district shall be governed by the standards set forth in Article XII-A, Landscaping Regulations.

SECTION 3. As provided in Planned Development District Article of the Comprehensive Zoning Ordinance, said property shall be improved in accordance with the development plans which are attached hereto and made a part hereof for all purposes.

SECTION 4. The following special conditions are placed on the above-described property:

-Based on the area of impervious surface proposed for this site, the applicant/developer will be required to provide a master drainage plan, grading plan, and drainage area map. As part of the drainage plan, on-site detention storage for storm water runoff will be required. All storm drainage facilities in the Town of Addison shall be designed for the case of ultimate watershed development based on a 100-year frequency design storm.

-Non-exclusive ingress/egress easements must be provided to adjacent properties. Minimum spacing for 2-way driveways along Westgrove Drive is 150 feet and therefore may require joint access with adjacent property.

-The site must be platted prior to the issuance of a building permit. At the time of platting, additional right-of-way will be required along Westgrove Drive for future widening project (4 feet).

-This property is located within the 70 to 75 ldn noise contours. In accordance with the adopted airport master plan, an aviation easement is required.

-Prior to any development, the applicant must submit plans to the FAA for review/approval to determine compliance with Addison's height hazard zoning.

-Prior to acquiring a building permit the applicant/developer must provide verification from a certified acoustical expert that structure, outside to inside, meets sound attenuation of 30 dB.

-A five-foot wide sidewalk is required along all street frontages.

SECTION 5. All paved areas, permanent drives, streets and drainage structure shall be constructed in accordance with standard Town of Addison specifications adopted for such purpose

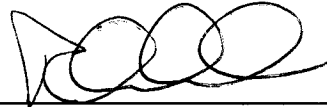
SECTION 6. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 7. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 8. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 9. The importance of this ordinance creates an emergency and an imperative public necessity and the ordinance shall take effect and be in force from and after its adoption.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 10th of August, 1999.



MAYOR

ATTEST:



CITY SECRETARY

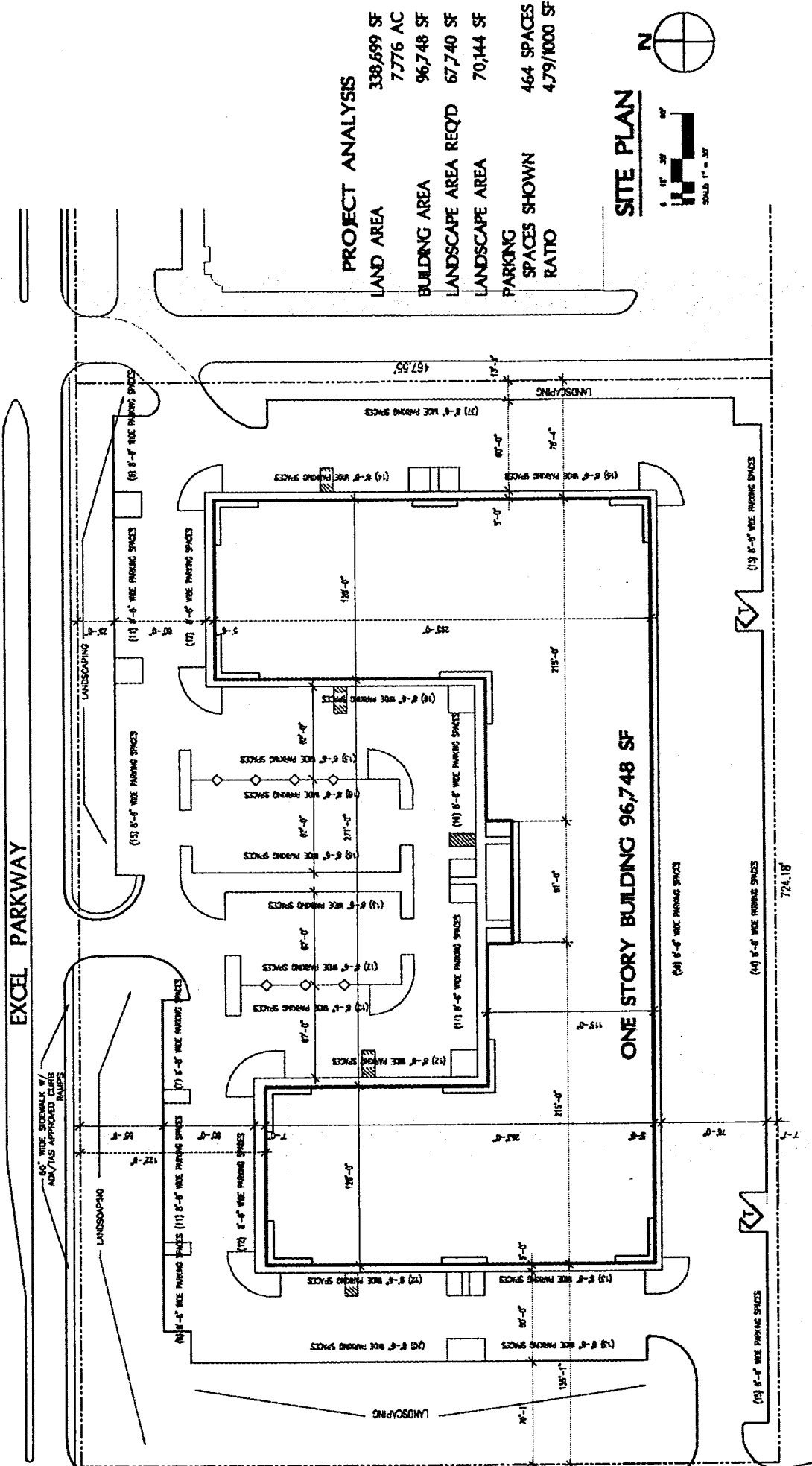
CASE NO. 1347-Z

APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 10/22/99



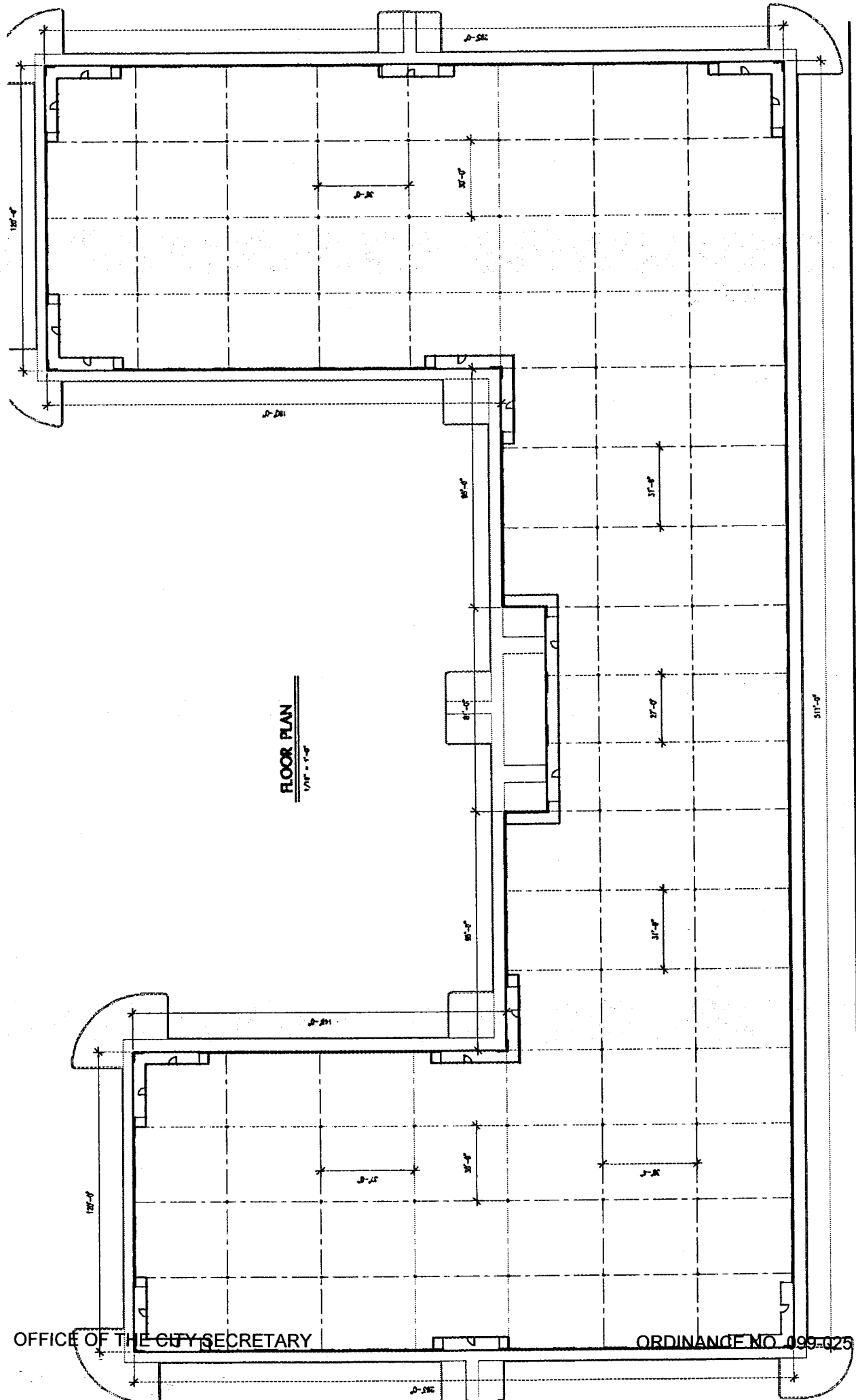
PROJECT ANALYSIS

LAND AREA	338,699 SF
BUILDING AREA	7,776 AC
LANDSCAPE AREA REQ'D	96,748 SF
LANDSCAPE AREA	67,740 SF
PARKING SPACES SHOWN	70,144 SF
RATIO	464 SPACES
	4.79/1000 SF



JACKSON SHAW COMPANY

EXCEL PARKWAY TECH CENTER



FLOOR PLAN
1/4" = 1'-0"

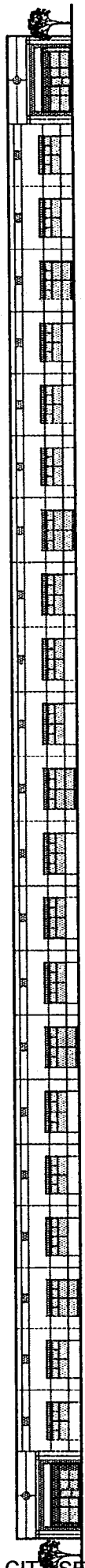
OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 099-025

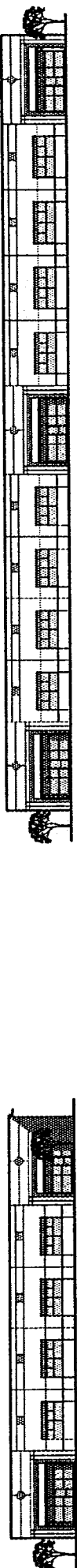
JACKSON • SHAW COMPANY

EXCEL PARKWAY TECH CENTER

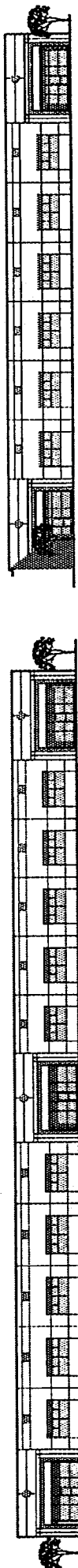
Dallas TEXAS ARCHITECTS • PLANNERS • INTERIORS
 Address: DALLAS, TEXAS (214) 458 - 9999 9 9 0 5
 Texas 26 MAY 1999



SOUTH ELEVATION
1/4" = 1'-0"



WEST (WESTGROVE) ELEVATION
1/4" = 1'-0"



WEST COURTYARD ELEVATION
1/4" = 1'-0"



NORTH (EXCEL PARKWAY) ELEVATION
1/4" = 1'-0"

JACKSON · SHAW COMPANY

Texas

Dallas
WSI ARCHITECTS ARCHITECTS PLANNERS INTERIORS

Address,

DALLAS, TEXAS

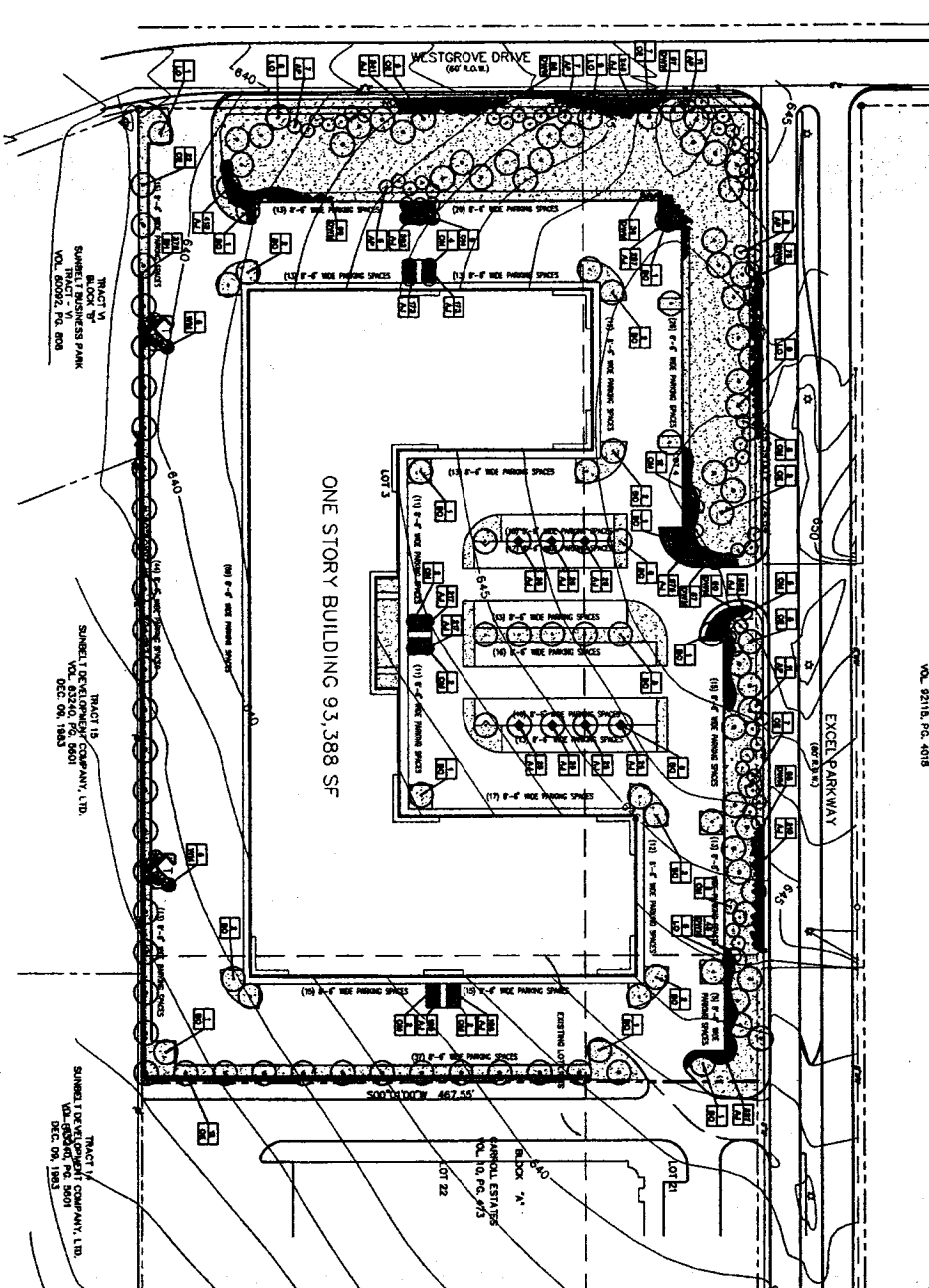
C(14) 458 - 9999

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Texas

EXCEL PARKWAY TECH CENTER

26 MAY 1999



TRACT 1
 PLANNING OPERATING CO.
 VOL. 23118, PG. 4018

PLANT LIST

SYMBOL	PLANT NAME	QTY.	SIZE	REMARKS
1	Plant Name	10	6" x 6"	Plant Name
2	Plant Name	10	6" x 6"	Plant Name
3	Plant Name	10	6" x 6"	Plant Name
4	Plant Name	10	6" x 6"	Plant Name
5	Plant Name	10	6" x 6"	Plant Name
6	Plant Name	10	6" x 6"	Plant Name
7	Plant Name	10	6" x 6"	Plant Name
8	Plant Name	10	6" x 6"	Plant Name
9	Plant Name	10	6" x 6"	Plant Name
10	Plant Name	10	6" x 6"	Plant Name
11	Plant Name	10	6" x 6"	Plant Name
12	Plant Name	10	6" x 6"	Plant Name
13	Plant Name	10	6" x 6"	Plant Name
14	Plant Name	10	6" x 6"	Plant Name
15	Plant Name	10	6" x 6"	Plant Name
16	Plant Name	10	6" x 6"	Plant Name
17	Plant Name	10	6" x 6"	Plant Name
18	Plant Name	10	6" x 6"	Plant Name
19	Plant Name	10	6" x 6"	Plant Name
20	Plant Name	10	6" x 6"	Plant Name

LANDSCAPE PLAN

1. The landscape plan shall be prepared by a landscape architect registered in the State of Texas and shall be submitted to the City of Addison for review and approval.

2. The landscape plan shall include a detailed site plan showing the location and quantity of all plants, trees, and shrubs to be installed.

3. The landscape plan shall include a list of all plants, trees, and shrubs to be installed, including their scientific names, common names, and quantities.

4. The landscape plan shall include a schedule of maintenance for all plants, trees, and shrubs to be installed.

5. The landscape plan shall include a plan for the installation and maintenance of all irrigation systems.