

**ORDINANCE NO. 000- 028**

**AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, SO AS TO GRANT A SPECIAL USE PERMIT FOR THE SALE OF GASOLINE AND A CONVENIENCE STORE, ON APPLICATION WITH RACETRAC PETROLEUM, LOCATED AT 3801 REALTY ROAD; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE.**

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit for the sale of gasoline/convenience store, said zoning amendment shall be noted on

the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

BEING a tract of land situated in the City of Addison, Dallas County, Texas and being a portion of Block 1, Belt Line/Marsh Business Park as recorded in Volume 81060, Page 170 of the Deed Records of Dallas County, Texas, said tract also being a portion of a parcel of land deeded to A. Lee Pfluger Children's Trust as recorded in Volume 95134, Page 2868, said tract of land being described by metes and bounds as follows:

BEGINNING at a set cotton spindle at the southwest corner of Pfluger Addition as recorded in Volume 94176, Page 1650 of said Deed Records, said set cotton spindle being on the East right-of-way line of Marsh Lane, a 100 foot right-of-way:

THENCE SOUTH 77 degrees 47 minutes 59 seconds EAST, departing The east right-of-way line of said Marsh Lane and along the South Line of said Pfluger Addition, a distance of 222.67 feet to a set 5/8 inch capped iron rod ("BHB INC"), said set 5/8 inch capped iron rod ("BHB INC"), being on the North line of a 12 foot right-of-way dedication to the Town of Addison as recorded in Volume 94138, Page 4334 of said Deed Records, from said set 5/8 inch capped iron rod ("BHB INC"), a found 1/2 inch iron rod at the southeast corner of said A. Lee Pfluger Children's Trust parcel, bears SOUTH 77 degrees 47 minutes 59 seconds EAST, a distance of 233.27 feet;

THENCE SOUTH 12 degrees 12 minutes 01 seconds WEST, departing the South line of said Pfluger Addition, a distance of 222.67 feet to a set 5/8 inch capped iron rod ("BHB INC"), said set 5/8 inch capped iron rod ("BHB INC"), being on the North line of a 12 foot right-of-way dedication to the Town of Addison as recorded in Volume 94138, Page 4334 of said Deed Records, from said set 5/8 inch capped iron rod ("BHB INC"), a found 1/2 inch iron rod at the southeast corner of said A/ Lee Pfluger Children's Trust parcel, bears SOUTH 77 degrees 47 minutes 59 seconds EAST, a distance of 233.27 feet;

THENCE NORTH 77 degrees 47 minutes 59 seconds WEST, along the North line of said 12 foot right-of-way dedication, a distance of 22.40 feet to a point at the beginning of a curve, concave southerly, having a radius of 542.00 feet, a delta angle of 08 degrees 06 minutes 35 seconds, a chord bearing of NORTH 81 degrees 51 minutes 17 seconds WEST, and a chord distance of 76.65 feet, from said point a found 3/8 inch iron rod bears SOUTH 20 degrees 27 minutes 49 seconds WEST, a distance of 0.19 feet;

- THENCE Westerly along said curve, and along the North line of said 12 foot Right-of-way dedication, an arc length of 76.72 feet to a set 5/8 inch capped iron rod ("BHB INC") at the beginning of a reverse curve, concave northerly, having a radius 458.00 feet, a delta angle of 08 degrees 06 minutes 35 seconds, a chord bearing of NORTH 81 degrees 51 minutes 16 seconds WEST, and a chord distance of 64.77 feet;
- THENCE Westerly, along said reverse curve, and along the North line of Said 12-foot right-of-way dedication, an arc length of 64.83 feet to a set 5/8-inch capped iron rod ("BHB INC");
- THENCE NORTH 77 degrees 47 minutes 59 seconds WEST, along the North Line of said 12-foot right-of-way dedication, a distance of 119.61 feet to a set 5/8-inch capped iron rod ("BHB INC");
- THENCE NORTH 22 degrees 57 minutes 16 seconds WEST, along the North Line of said 12 foot right-of-way dedication, a distance of 14.15 feet to a set 5/8 inch capped iron rod ("BHB INC") on the East right-of-way line of said Marsh Lane, said set 5/8 inch capped iron rod ("BHB INC") also being at the beginning of a curve, concave westerly, having a radius of 1323.24 feet, a delta angle of 09 degrees 53 minutes 35 seconds, a chord bearing of NORTH 26 degrees 31 minutes 25 seconds EAST, and a chord distance of 228.20 feet;
- THENCE Northerly, along said curve and along the East right-of-way line of said Marsh Lane, an arc length of 228.48 feet to the POINT OF BEGINNING, containing 59,773 square feet or 1.372 acres, more or less.

SECTION 2. That the Special Use Permit is approved subject to the following special conditions:

-The applicant shall work with the staff on a mutually agreeable lighting plan for the site.

-Based on the area of impervious surface proposed for this site, the applicant/developer will be required to provide a master drainage plan, grading plan and drainage area map. As part of the drainage plan, on-site detention storage for storm water runoff will be required. All storm drainage facilities in the Town of Addison shall be designed for the case of ultimate watershed development based on a 100-year frequency design storm.

-An additional right-of-way corner clip dedication shall be required at the northeast corner of Realty Road and Marsh Lane to accommodate the Arapaho Road extension.

-A five-foot sidewalk is required along the back of the outside curb for the entire frontage of the project site.

-A deceleration lane is required on the Marsh Lane entrance to the project site. The deceleration shall be constructed by the developer as part of the construction of the service station.

-A detailed landscaping plan shall be submitted for approval prior to the issuance of a building permit.

SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall be remain in full force and effect.

SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, section 1.10, General Penalty for Violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

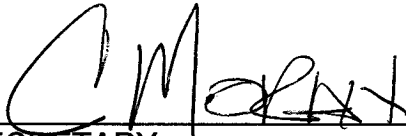
SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 27<sup>th</sup> day of June 2000.



\_\_\_\_\_  
MAYOR

ATTEST:



\_\_\_\_\_  
CITY SECRETARY

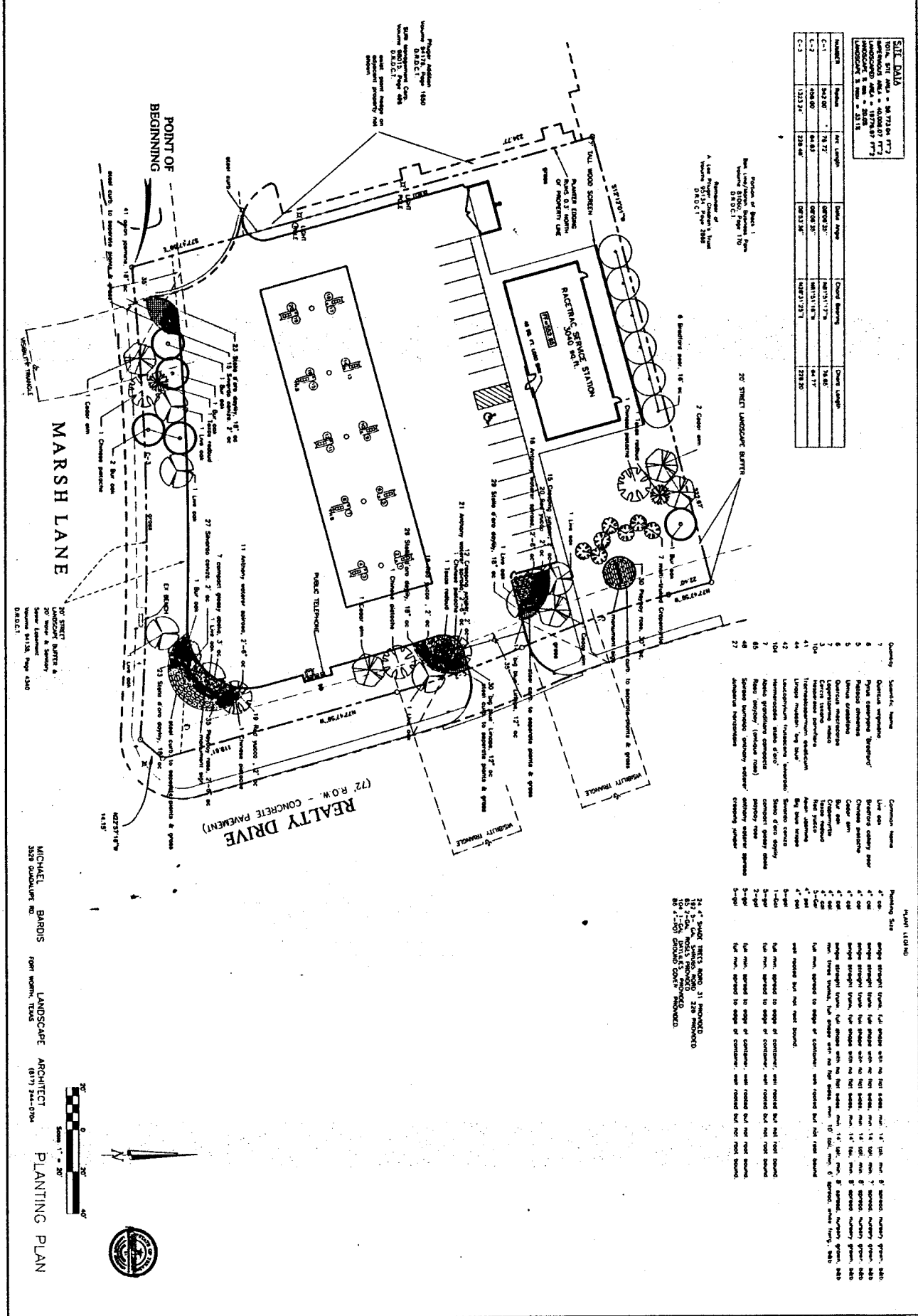
CASE NO.: 1371-SUP

APPROVED AS TO FORM:



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DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 9/15/00

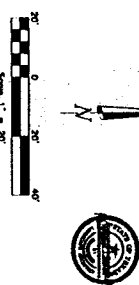


**SITE DATA**

Lot Area - 38,715 sq. ft.	Lot Length - 174.77'	Lot Width - 220.48'
Setback - 10.00'	Setback - 10.00'	Setback - 10.00'
Area - 10,000 sq. ft.	Area - 10,000 sq. ft.	Area - 10,000 sq. ft.
Area - 10,000 sq. ft.	Area - 10,000 sq. ft.	Area - 10,000 sq. ft.
Area - 10,000 sq. ft.	Area - 10,000 sq. ft.	Area - 10,000 sq. ft.

Quantity	Symbol	Name
7	1	Prunella americana
6	2	Prunella americana
5	3	Prunella americana
4	4	Prunella americana
3	5	Prunella americana
2	6	Prunella americana
1	7	Prunella americana
1	8	Prunella americana
1	9	Prunella americana
1	10	Prunella americana
1	11	Prunella americana
1	12	Prunella americana
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1	23	Prunella americana
1	24	Prunella americana
1	25	Prunella americana
1	26	Prunella americana
1	27	Prunella americana

MICHAEL BARDIS  
 LANDSCAPE ARCHITECT  
 1871 2nd St. S.W.  
 ADDISON, TEXAS 75001

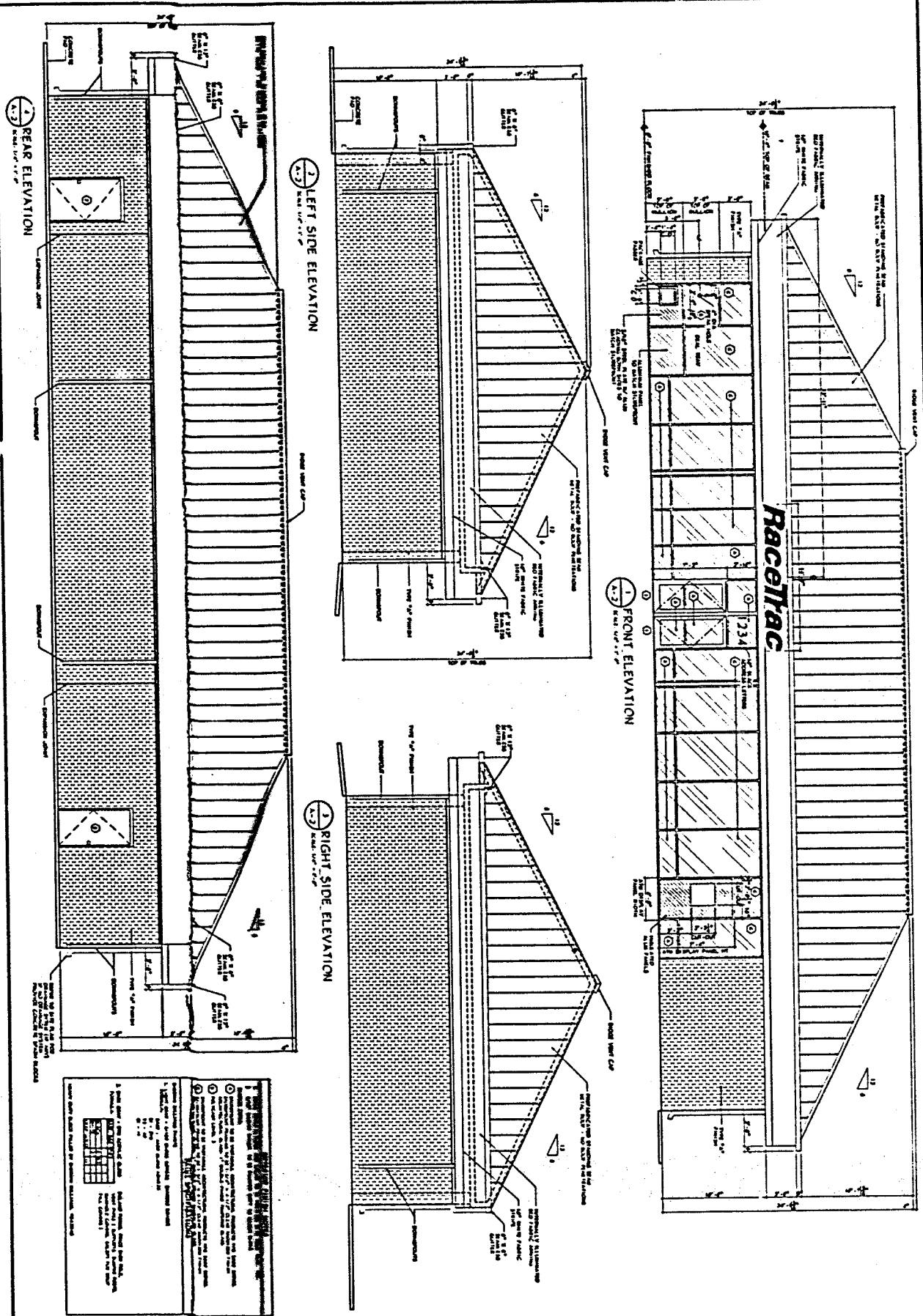


**OFFICE OF THE CITY SECRETARY**  
**SITELAYOUT & PAVING PLAN**  
**RaceTrac Service Station #646**  
 Marsh Ln. & Realty Dr.  
 Addison, Texas

NO.	DESIGNED	DRAWN	CHECKED	DATE
1	DAH	DAH	FB	06/06/00

**RaceTrac Petroleum, Inc.**  
**ORDINANCE NO. 000-028**  
**Baird, Homplon & Brown, Inc.**  
 Engineering & Surveying





A-1  
 5  
 EXTERIOR ELEVATIONS  
 RACETRAC SERVICE STATION  
 CITY OF THE CITY  
 SCALE: 1/8" = 1'-0"  
 DATE: 7/14/70  
 DRAWN BY: S.M.

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 SECRETARY  
 SUWHA, GEORGIA 30082  
 (870) 431-7600

**Racetrac**  
 Every Race We Enter  
 We Win. Because we  
 are always there with  
 the quality of our fuel  
 and the service of our  
 attendants. We are  
 there to help you  
 win. We are a  
 winner.

▲	Approved Project Status	DATE: 5/14/70
▲	Approved Building Plans and Building Code	DATE: 6/17/70
▲	Approved Building Permit	DATE: 6/17/70
▲	Approved Building Permit - 1st Floor	DATE: 6/17/70
▲	Approved Building Permit - 2nd Floor	DATE: 6/17/70
▲	Approved Building Permit - 3rd Floor	DATE: 6/17/70
▲	Approved Building Permit - 4th Floor	DATE: 6/17/70
▲	Approved Building Permit - 5th Floor	DATE: 6/17/70
▲	Approved Building Permit - 6th Floor	DATE: 6/17/70
▲	Approved Building Permit - 7th Floor	DATE: 6/17/70
▲	Approved Building Permit - 8th Floor	DATE: 6/17/70
▲	Approved Building Permit - 9th Floor	DATE: 6/17/70
▲	Approved Building Permit - 10th Floor	DATE: 6/17/70
▲	Approved Building Permit - 11th Floor	DATE: 6/17/70
▲	Approved Building Permit - 12th Floor	DATE: 6/17/70
▲	Approved Building Permit - 13th Floor	DATE: 6/17/70
▲	Approved Building Permit - 14th Floor	DATE: 6/17/70
▲	Approved Building Permit - 15th Floor	DATE: 6/17/70
▲	Approved Building Permit - 16th Floor	DATE: 6/17/70
▲	Approved Building Permit - 17th Floor	DATE: 6/17/70
▲	Approved Building Permit - 18th Floor	DATE: 6/17/70
▲	Approved Building Permit - 19th Floor	DATE: 6/17/70
▲	Approved Building Permit - 20th Floor	DATE: 6/17/70

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9-15-00