

ORDINANCE NO. 000- 029

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIAL USE PERMIT FOR A RESTAURANT, ON APPLICATION FROM ATLANTA BREAD COMPANY, LOCATED AT 3711 BELT LINE ROAD, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR NO SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. The Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, be amended, by amending the zoning map of the Town of Addison, Texas, so as to grant a special use permit for a restaurant to the Atlanta Bread Company. Said special use permits shall be granted subject to the special conditions on the following described property, to-wit:

BEING a 4,300 square-foot lease space in a shell building addressed at 3711 Belt Line Road, located on Lots 3 and 4 of a plat named Marsh-Belt Line Shopping Center, and described as follows:

COMMENCING at a 5/8" iron rod found for corner being the most southerly point on a corner clip situated at the intersection of the north line of Belt Line Road (a 100' R.O.W.) and the west line of Business Avenue (a 60' R.O.W.);

THENCE N89 degrees 54'31" West, along the north line of Belt Line Road, a distance of 407.00 feet to an "x" cut found for the POINT OF BEGINNING and being the southwest corner of CHICK-FIL-A ADDITION, an addition to the City of Addison recorded in Volume 94249, Page 03638;

THENCE continuing along the north line of said Belt Line Road the following:

N 89 degrees 54'31" West, a distance of 233.05 feet to a 1/2" iron rod found for corner;

N 89 degrees 52'23" West, a distance of 119.98 feet to a 1/2" iron rod found for corner;

N 89 degrees 49'34" West, a distance of 150.76 feet to a 5/8" iron rod set for corner;

N 85 degrees 56'04" West, a distance of 67.19 feet to a 5/8" iron rod set for corner;

N 89 degrees 49'34" West, a distance of 230.84 feet to a 5/8" iron rod set For corner at the southeast corner of a corner clip at the intersection.

THENCE N 46 degrees 06'57" West, departing said north line of Belt Line Road And along said corner clip, a distanct of 22.32 feet to a 5/8" iron rod set for corner in the said east line of Marsh Lane;

THENCE along the east line of said Marsh Lane the following;

N 00 degrees 07'01 West, a distance of 130.02 feet to an iron rod found for corner;

N 89 degrees 49'34" West, a distance of 3.94 feet to an iron rod found for corner;

N 00 degrees 06'34" West, a distance of 50.25 feet to an iron rod found for corner being the point of curvature to the right having a central angle of 14

degrees 48'56", a radius of 1223.24, a tangent of 159.04 feet and a chord that bears N 07 degrees 17'58" East, 315.42;

Along said curve a distance of 316.31 feet to an "x" found for corner;

THENCE S 89 degrees 55'22" East, departing the east line of said Marsh Lane a distance of 1199.66 feet to an "x" found for corner, said "x" being in the west line of said Business Avenue;

THENCE S 00 degrees 04'38" West, along the west line of said Business Avenue a distance of 249.23 feet to a 5/8" iron rod found for corner;

THENCE N 89 degrees 54'31" West, departing the west line of said Business Avenue, a distance of 416.93 feet to an "x" cut found for corner being the northwest corner of said CHICK-FIL-A ADDITION;

THENCE S 00 degrees 05'29" West, along the west line of said CHICK-FIL-A ADITIION, a distance of 265.00 feet to the POINT OF BEGINNING and containing 520,289 square feet or 11.9441 acres of land.

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the floor plan, and the elevation drawings that are attached hereto and made a part hereof for all purposes.
2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 4,200 square feet.
3. The restaurant must provide a grease trap, or access to a grease trap, in a size approved by the staff.
4. The use of the term "bar," "tavern," or any equivalent term or graphic depiction that relates to the sale of alcoholic beverages is prohibited.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 27th day of June, 2000.



MAYOR

ATTEST:



CITY SECRETARY

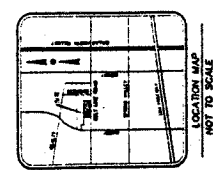
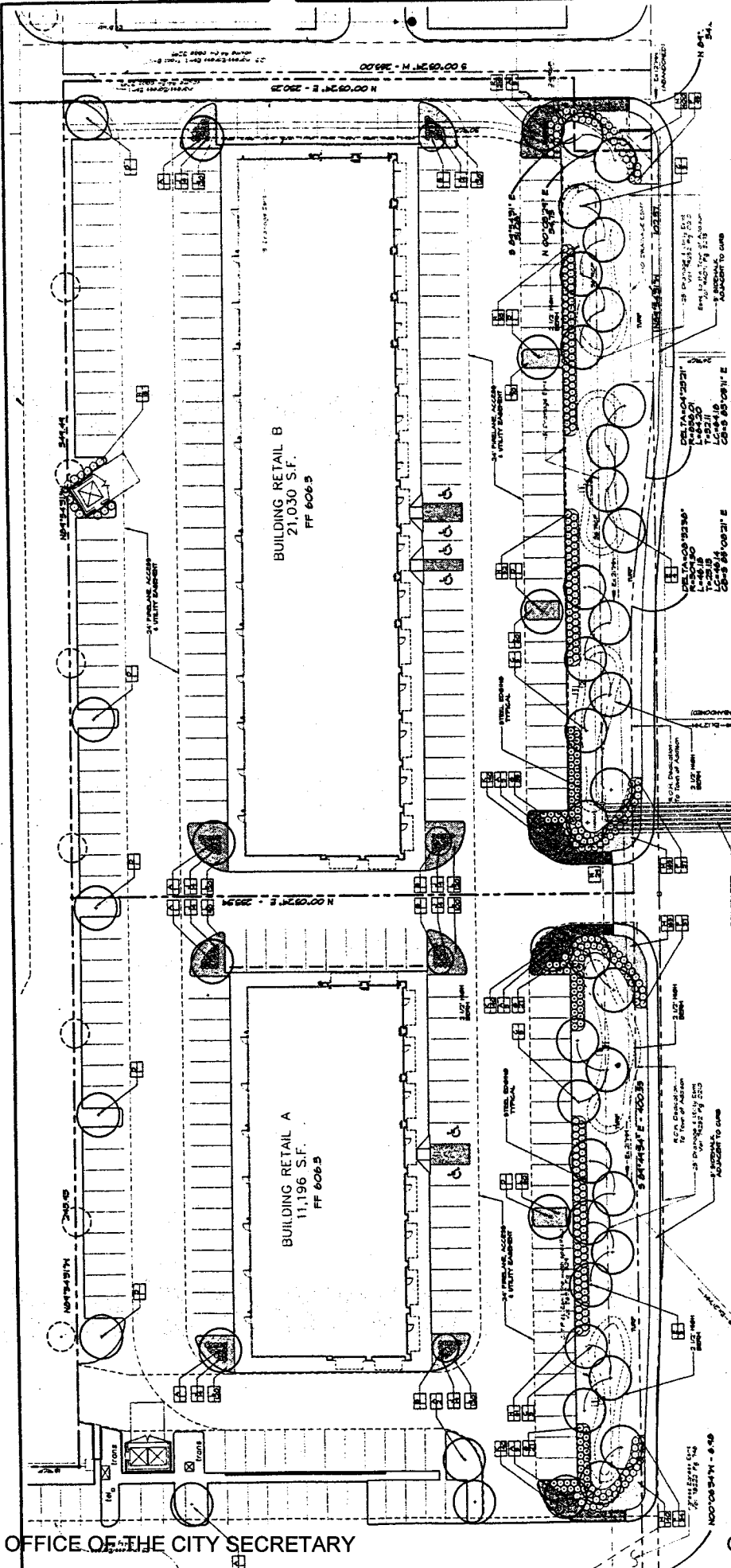
CASE NO. 1372-SUP

APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 9/8/00



LANDSCAPE REQUIREMENTS

Landscaped Area - 20,000 S.F. (20%) minimum
Street Buffer - 10' (10%) minimum
Planting Schedule - 10% per 10 parking spaces
Total Planting Area - 20,000 S.F. (20%) minimum
Planting Density - 1 Planting Space per 100 S.F. minimum

Street Buffer: 10' (10%) minimum
Planting Schedule: 10% per 10 parking spaces
Total Planting Area: 20,000 S.F. (20%) minimum
Planting Density: 1 Planting Space per 100 S.F. minimum

SYMBOL	COMMON/BOTANICAL NAME	SIZE
A	ADAM JASMINE	4' - 6'
B	BLE BLUE JASMINE	4' - 6'
C	CAMPYRHEAE AD - NOTED	4' - 6'
D	COPE HAVILLA	4' - 6'
E	DWARF BURROLD HOLLY	4' - 6'
F	DWARF HAW HAVILLA	4' - 6'
G	INDIAN HAZEL	4' - 6'
H	DWARF TAMON HOLLY	4' - 6'
I	DWARF TAMON HOLLY	4' - 6'
J	DWARF TAMON HOLLY	4' - 6'
K	DWARF TAMON HOLLY	4' - 6'
L	DWARF TAMON HOLLY	4' - 6'
M	DWARF TAMON HOLLY	4' - 6'
N	DWARF TAMON HOLLY	4' - 6'
O	DWARF TAMON HOLLY	4' - 6'
P	DWARF TAMON HOLLY	4' - 6'
Q	DWARF TAMON HOLLY	4' - 6'
R	DWARF TAMON HOLLY	4' - 6'
S	DWARF TAMON HOLLY	4' - 6'
T	DWARF TAMON HOLLY	4' - 6'
U	DWARF TAMON HOLLY	4' - 6'
V	DWARF TAMON HOLLY	4' - 6'
W	DWARF TAMON HOLLY	4' - 6'
X	DWARF TAMON HOLLY	4' - 6'
Y	DWARF TAMON HOLLY	4' - 6'
Z	DWARF TAMON HOLLY	4' - 6'

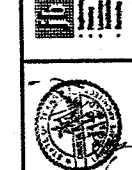
NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

LANDSCAPE PLAN

BELTWAY RETAIL

CITY OF ADDISON, DALLAS COUNTY, TEXAS

Jones & Boyd, Inc.
 1800 Dallas Parkway, Suite 240
 Dallas, Texas 75248
 Tel: 972-348-7878
 Fax: 972-348-8114



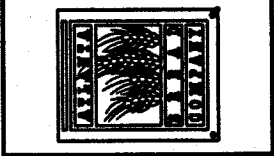
PROJECT NO. BC403
 SHEET NO. 11 of 4

1" = 30'

PROJECT NO. BC403
 SHEET NO. 11 of 4



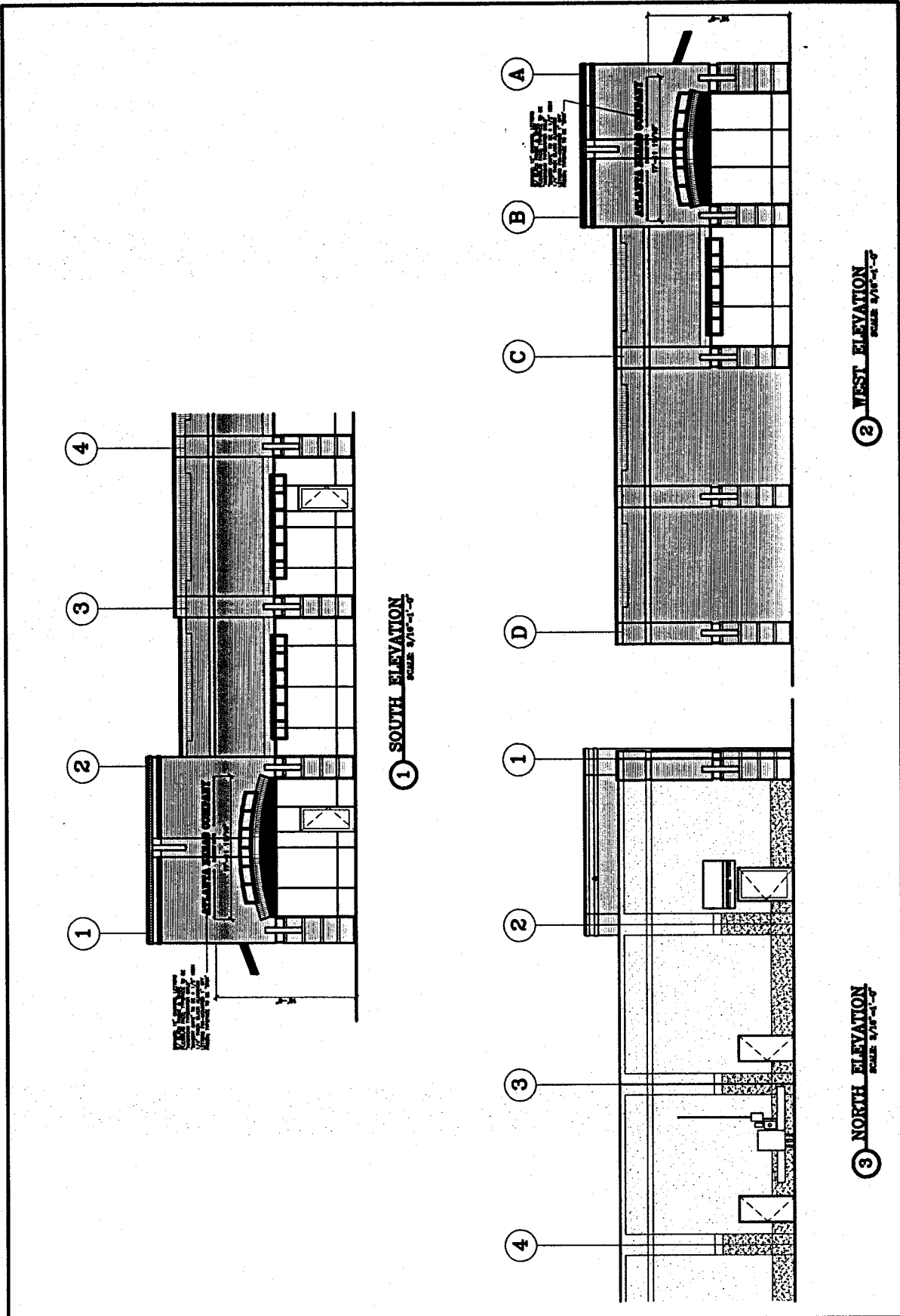
PRSM ARCHITECTS & ENGINEERS
 1400 WEST 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.PRSMARCHITECTS.COM



NO.	DATE	BY	CHKD.

PROJECT NO. 000-029
 CLIENT: CITY OF DENVER
 ARCHITECT: PRSM ARCHITECTS & ENGINEERS
 ADDRESS: 1400 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202

DATE: 06/12/09
 DRAWN: J. B. BROWN
 CHECKED: J. B. BROWN
 SCALE: AS SHOWN
 SHEET: 029-01



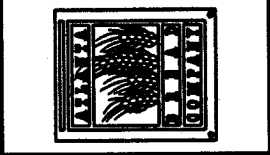
② WEST ELEVATION
 SCALE: 3/16"=1'-0"

① SOUTH ELEVATION
 SCALE: 3/16"=1'-0"

③ NORTH ELEVATION
 SCALE: 3/16"=1'-0"



PRSM
 1000 ...
 ...



DATE	NO.	REV.

PROJECT: ...
 ARCHITECT: ...
 ...

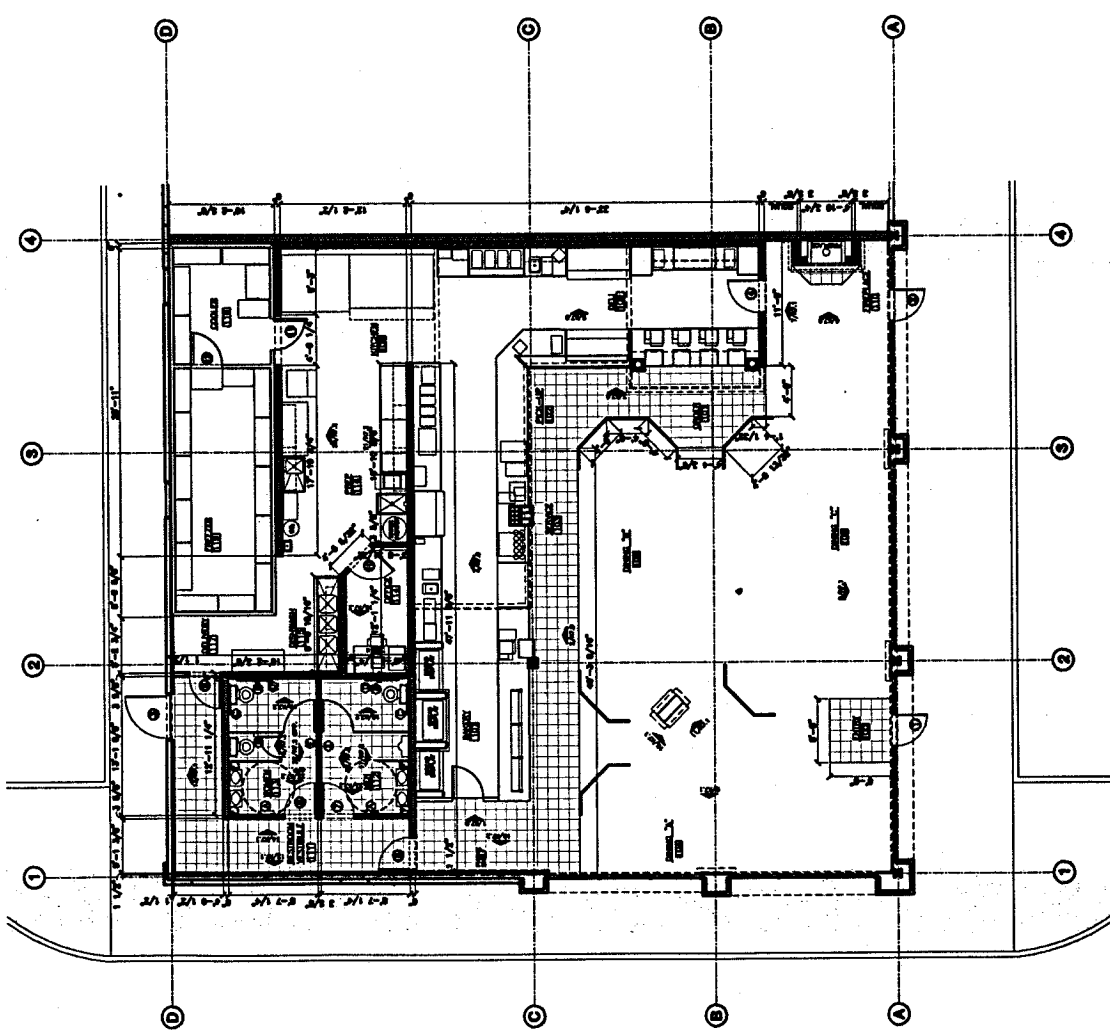
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SCALE: A1.0
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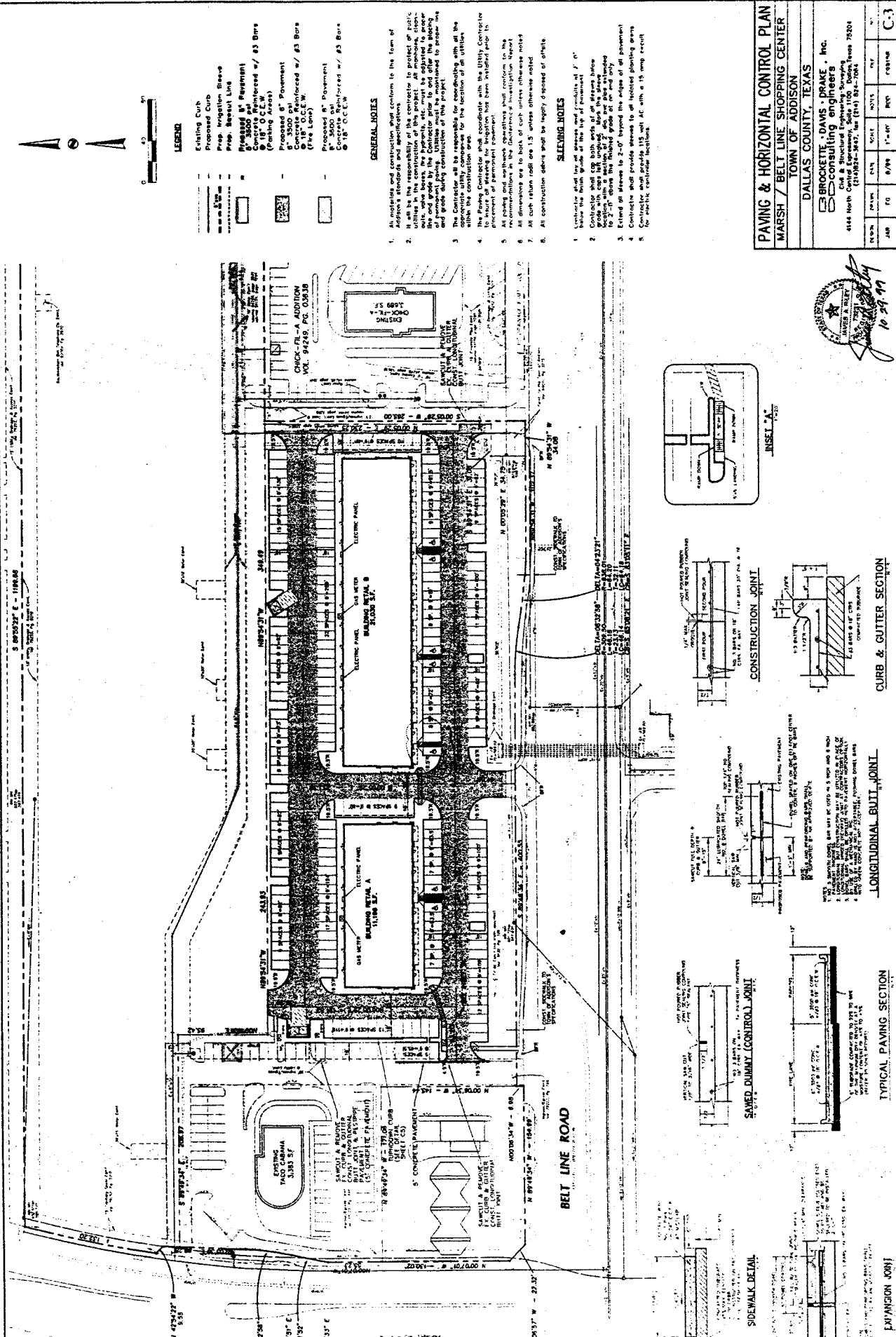
WALL TYPE LEGEND

---	CONCRETE WALL
---	CMU WALL
---	BRICK WALL
---	GLASS WALL
---	...

NOTE: ...
 ...



1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"



LEGEND

- Existing Curb
- Proposed Curb
- Prop. Irrigation Basin
- Prop. Sewer Line
- Proposed 8" Reinforced Concrete Reinforced w/ #3 Bars (Curing 7 days)
- Proposed 8" C.C.P. Pavement
- Proposed 8" C.C.P. Reinforced w/ #3 Bars (7 Day Cure)
- Proposed 8" Pavement
- Proposed 8" C.C.P. Reinforced w/ #3 Bars
- Proposed 8" C.C.P. Reinforced w/ #3 Bars

GENERAL NOTES

1. All materials and construction shall conform to the terms of Addison's standards and specifications.
2. It shall be the responsibility of the contractor to protect all public utilities. The contractor shall be responsible for the location of all utilities. All existing utilities shall be marked and protected. All new utilities shall be installed prior to the start of construction.
3. The Contractor shall be responsible for coordinating with all the utility companies for the location of all utilities.
4. The existing ground surface shall be maintained as much as possible. All existing structures shall remain in place unless otherwise noted.
5. All existing structures shall remain in place unless otherwise noted.
6. All dimensions are to back of curb unless otherwise noted.
7. All curb return radii are 15' unless otherwise noted.
8. All construction details shall be subject to approval of the City Engineer.

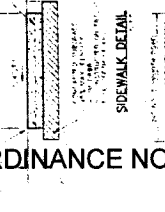
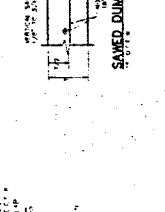
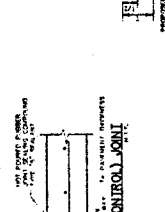
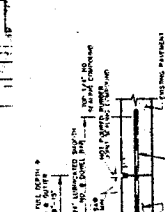
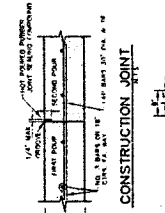
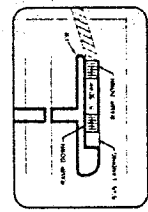
SLEEPING HOLES

1. Sleeping holes shall be installed at the top of manholes 7' or more in diameter.
2. Contractor shall cap both ends of all manholes below grade with concrete slabs. The slabs shall be 4" thick and extend to 2'-0" above the finished grade of the road and only.
3. Extend on manholes to 2'-0" beyond the edge of an pavement.
4. Contractor shall provide manholes to all existing manholes areas for manhole manhole locations.

PAVING & HORIZONTAL CONTROL PLAN
MARSH / BELT LINE SHOPPING CENTER
 TOWN OF ADDISON
 DALLAS COUNTY, TEXAS

BROCKETTE, DAVIS & DRAKE, Inc.
 Consulting Engineers
 4144 North Central Expressway, Suite 1100, Dallas, Texas 75204
 (214) 822-3847, Fax (214) 824-7064

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CURB & GUTTER SECTION

LONGITUDINAL BUTT JOINT

TYPICAL PAVING SECTION

EXPANSION JOINT

SIDE WALK DETAIL

Published
9-8-00