

ORDINANCE NO. 005-015

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIAL USE PERMIT FOR A RESTAURANT AND A SPECIAL USE PERMIT FOR THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISES CONSUMPTION ONLY, ON APPLICATION FROM ON THE BORDER MEXICAN GRILL AND CANTINA, LOCATED AT A TRACT OF 1.76 ACRES ON THE NORTH SIDE OF BELT LINE ROAD, APPROXIMATELY 300 FEET EAST OF THE INTERSECTION OF BELT LINE ROAD AND ADDISON ROAD, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR NO SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. The Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, be amended, by amending the zoning map of the Town

of Addison, Texas, so as to grant a special use permit for a restaurant and a special use permit for the sale of alcoholic beverages for on-premises consumption only to On the Border Mexican Grill and Cantina. Said special use permits shall be granted subject to the special conditions on the following described property, to-wit:

Being all of Lot 1A, Block A, a 1.76 acre lot, of the Final Plat of BELTWAY-QUORUM ADDITION, an addition to the Town of Addison, Dallas County, Texas, as thereof recorded in Volume 2004014, Page 00009 of the Deed Records of Dallas County, Texas, and being more particularly described by metes and bounds as follows (bearing system based on the said Final Plat of BELTWAY-QUORUM ADDITION):

BEGINNING at an "X" cut in concrete found in the northerly right-of-way line of Belt Line Road (100-foot wide public right-of-way) for the most southerly southeast corner of Lot 1, Block A of the beforementioned BELTWAY-QUORUM ADDITION, same being the southwesterly corner of Lot 2, Block A of BELTWAY-CENTRE ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 2003101, Page 00021 of the Deed Records of Dallas County, Texas;

THENCE with the northerly right-of-way line of Belt Line Road and the southerly line of Lot 1, Block A, the following courses and distances to wit:

--North 89°57'28" West, a distance of 15.16 feet to an "X" cut in concrete set for corner;

--South 45°02'23" West, a distance of 14.14 feet to a 5/8-inch iron rod with a plastic "KHA" cap set for corner;

--North 89°57'28" West, a distance of 155.90 feet to a point for the most southerly southwest corner of Lot 1, Block A, from which a 3/4-inch iron rod found bears South 33°57' East, a distance of 0.30 feet, said corner being the southeast corner of a tract of land described in deed to Mark A. Albert, recorded in Volume 97002, Page 3045 of the Deed Records of Dallas County, Texas;

THENCE leaving the northerly right-of-way line of Belt Line Road, with the east line of the Albert tract, North 00°02'30" East, a distance of 200.14 feet a 5/8-inch iron rod found for the northeast corner of the Albert tract;

THENCE with the north line of the Albert tract, North 89°57'30" West, a distance of 187.99 feet to a 1/2-inch iron rod found in the easterly right-of-way line of Addison Road (variable width public right-of-way);

THENCE with the easterly right-of-way line of Addison Road, North 00°17'00" East, a distance of 307.80 feet to a 1/2-inch iron rod found for the southwest corner of Lot 1 of ADDISON ROAD-QUORUM ADDITION, an addition the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 93041, Page 2824 of the Deed Records of Dallas County, Texas;

THENCE leaving the easterly right-of-way line of Addison Road, with the south line of Lot 1 of ADDISON ROAD-QUORUM ADDITION, South 89°43'00" East, a distance of 271.46 feet to a 1/2 inch iron rod found for the southeast corner of said Lot 1;

THENCE with the westerly line of Lot 1, Block A of BELTWAY-QUORUM ADDITION, North 00°17'00" East, a distance of 238.29 feet to a 1/2-inch iron rod found for corner in the easterly line of Lot 1, Block A of MAINSTAY SUITES OF ADDISON ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the revised plat thereof recorded in Volume 98237, Page 37 of the Plat Records of Dallas County, Texas same being the southwest corner of Lot 1, Block A of SUMMERFIELD/ARAPAHO/ADDISON ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 95119, page 4232 of the Deed Records of Dallas County, Texas;

THENCE with the common line of Lot 1, Block A of BELTWAY-QUORUM ADDITION and Lot 1, Block A of SUMMERFIELD/ARAPHO/ADDISON ADDITION, South 89°43'00" East, a distance of 346.07 feet to a 5/8-inch iron rod with plastic "KHA" cap set for the most northeasterly corner of Lot 1, Block A and the most westerly northwest corner of Lot 2, Block A, both of BELTWAY-QUORUM ADDITION;

THENCE leaving the southerly line of Lot 1, Block A of SUMMERFIELD/ARAPAHO/ADDISON ADDITION, with the common line of said Lots 1 and 2, Block A of BELTWAY-QUORUM ADDITION, the following courses and distances to wit:

--South 00°11'24" East, a distance of 132.40 feet to a 5/8-inch iron rod with plastic "KHA" cap set for corner;
--Due East, a distance of 8.66 feet to a 5/8-inch iron rod with plastic "KHA" cap set for corner;
--South 00°17'34" East, a distance of 230.61 feet to a 5/8-inch iron rod with plastic "KHA" cap set for the most southerly common corner of said Lots 1 and 2, Block A of BELTWAY-QUORUM ADDITION, and being in the northerly line of Lot 2, Block A of BELTWAY-CENTRE ADDITION;

THENCE with the common line of Lots 1 and 2, Block A of BELTWAY-CENTRE ADDITION, the following courses and distances to wit:

--Due West, a distance of 218.19 feet to an "X" cut in concrete set for corner;
--South 00°14'17" East, a distance of 242.61 feet to an "X" cut in concrete found for corner and being the beginning of a tangent curve to the right.
--Southwesterly with said curve to the right, through a central angle of 37°45'26", having a radius of 115.00 feet, a chord bearing and distance of South 18°38'23" West, 74.42 feet, an arc distance of 75.78 feet to an "X" cut in concrete found for corner and the beginning of a reverse curve to the left;
--Southwesterly with said curve to the left, through a central angle of 35°27'53", having a radius of 100.00 feet, a chord bearing and distance of South 19°47'07" West, 60.90 feet, an arc distance of 61.90 feet to the POINT OF BEGINNING and containing 6.407 acres (279.069 square feet) of land, more or less.

SECTION 2. That the Special Use Permits are granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, floor plan, landscape plan, and the elevation drawings showing four exterior walls, which are attached hereto and made a part hereof for all purposes.
2. That the Special Use Permit granted herein shall be limited to a restaurant and the sale of alcoholic beverages for on-premises consumption only and to that particular area designated on the final site plan as encompassing a total area not to exceed 8,923 square feet.


3. No signs advertising sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison, Texas.
4. That the sale of alcoholic beverages under this special use permit shall be permitted in restaurants. Restaurants are hereby defined as establishments which receive at least sixty percent (60%) of their gross revenues from the sale of food.
5. Said establishment shall make available to the city or its agents, during reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of Paragraph 4 are being met.
6. Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of alcoholic beverages.
7. That if the property for which the special use permit is granted and is not used for the purposes for which said permit was granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.
8. That if a license or permit to sell alcoholic beverages on property covered by this special use permit is revoked, terminated or cancelled by proper authorities, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.
9. The establishment shall not use the term "bar", "tavern", or any other terms or graphic depictions that relate to the sale of alcoholic beverages in any exterior signs. However, the restaurant shall be allowed to use the term "cantina" in exterior signs.
10. All engineering plans and specifications must be approved prior to the issuance of a building permit.
11. The proposed east-west ingress/egress design must be coordinated directly with proposed engineering design of Addison Road.
12. All cementitious siding shown on the proposed elevations for On the Border be replaced with either stone or brick, with the drawings for the revised elevations subject to the approval of the Director of Development Services.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 12th day of April, 2005.



MAYOR

ATTEST:



CITY SECRETARY

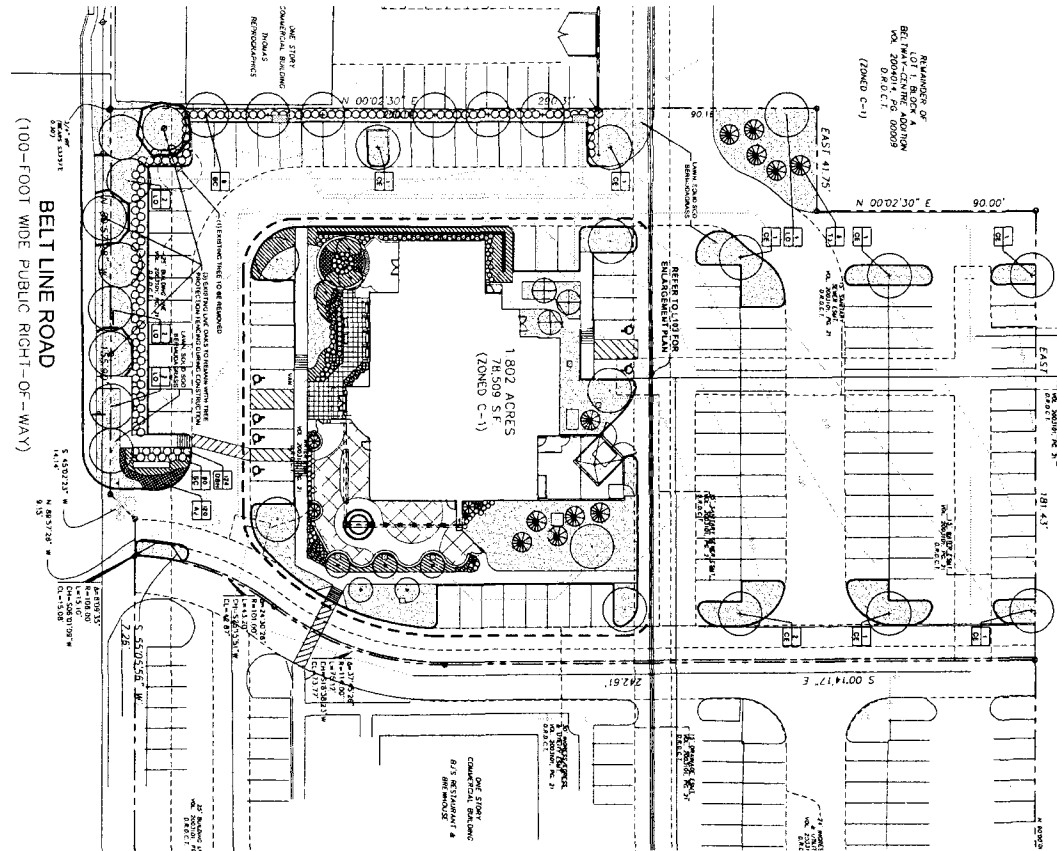
CASE NO. 1488-SUP/On the Border

APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 6/17/05



REMANDED OF
LOT 1, BLOCK A
RD. #2004014.75, 00309
(ZONED C-1)

1.802 ACRES
78,509 S.F.
(ZONED C-1)

100-FOOT WIDE PUBLIC RIGHT-OF-WAY
BELT LINE ROAD

PLANT LIST

SYMBOL	PLANT NAME	COMMON NAME	HT.	WID.	REMARKS
⊖	Plant Name	Common Name	Height	Width	Remarks
⊖	Plant Name	Common Name	Height	Width	Remarks
⊖	Plant Name	Common Name	Height	Width	Remarks

BRUNER INTERNATIONAL SPECIFICATIONS

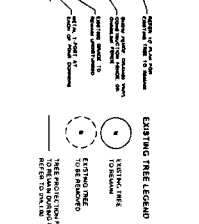
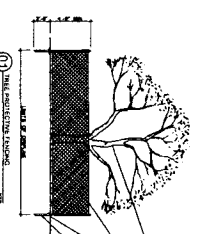
1. The Contractor shall submit a list of all plants to be used in the project, including the scientific name, common name, height, width, and any special requirements.
2. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
3. The Contractor shall ensure that all plants are of the correct species and quality.
4. The Contractor shall ensure that all plants are properly planted and maintained.
5. The Contractor shall ensure that all plants are protected during construction.

EXISTING TREE NOTES

1. Existing trees to be preserved shall be protected by the Contractor during all construction activities.
2. The Contractor shall obtain a tree preservation plan from the City of Addison.
3. The Contractor shall ensure that all existing trees are properly maintained and protected.
4. The Contractor shall ensure that all existing trees are properly planted and maintained.
5. The Contractor shall ensure that all existing trees are protected during construction.

LANDSCAPE NOTES

1. The Contractor shall ensure that all plants are properly planted and maintained.
2. The Contractor shall ensure that all plants are protected during construction.
3. The Contractor shall ensure that all plants are of the correct species and quality.
4. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
5. The Contractor shall submit a list of all plants to be used in the project.



EXISTING TREE LEGEND

Symbol: (Tree symbol) Description: 10" DBH Tree

Symbol: (Tree symbol) Description: 12" DBH Tree

Symbol: (Tree symbol) Description: 14" DBH Tree

Symbol: (Tree symbol) Description: 16" DBH Tree

Symbol: (Tree symbol) Description: 18" DBH Tree

Symbol: (Tree symbol) Description: 20" DBH Tree

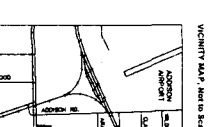
Symbol: (Tree symbol) Description: 22" DBH Tree

Symbol: (Tree symbol) Description: 24" DBH Tree

Symbol: (Tree symbol) Description: 26" DBH Tree

Symbol: (Tree symbol) Description: 28" DBH Tree

Symbol: (Tree symbol) Description: 30" DBH Tree



SOIL NOTES

1. The Contractor shall ensure that all soil is properly tested and analyzed.
2. The Contractor shall ensure that all soil is properly maintained and protected.
3. The Contractor shall ensure that all soil is of the correct type and quality.
4. The Contractor shall obtain all necessary permits and approvals for the use of any soil.
5. The Contractor shall submit a list of all soil to be used in the project.

GENERAL NOTES

1. The Contractor shall ensure that all plants are properly planted and maintained.
2. The Contractor shall ensure that all plants are protected during construction.
3. The Contractor shall ensure that all plants are of the correct species and quality.
4. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
5. The Contractor shall submit a list of all plants to be used in the project.

GENERAL NOTES

1. The Contractor shall ensure that all plants are properly planted and maintained.
2. The Contractor shall ensure that all plants are protected during construction.
3. The Contractor shall ensure that all plants are of the correct species and quality.
4. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
5. The Contractor shall submit a list of all plants to be used in the project.

MAINTENANCE NOTES

1. The Contractor shall ensure that all plants are properly maintained and protected.
2. The Contractor shall ensure that all plants are of the correct type and quality.
3. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
4. The Contractor shall submit a list of all plants to be used in the project.

MAINTENANCE NOTES

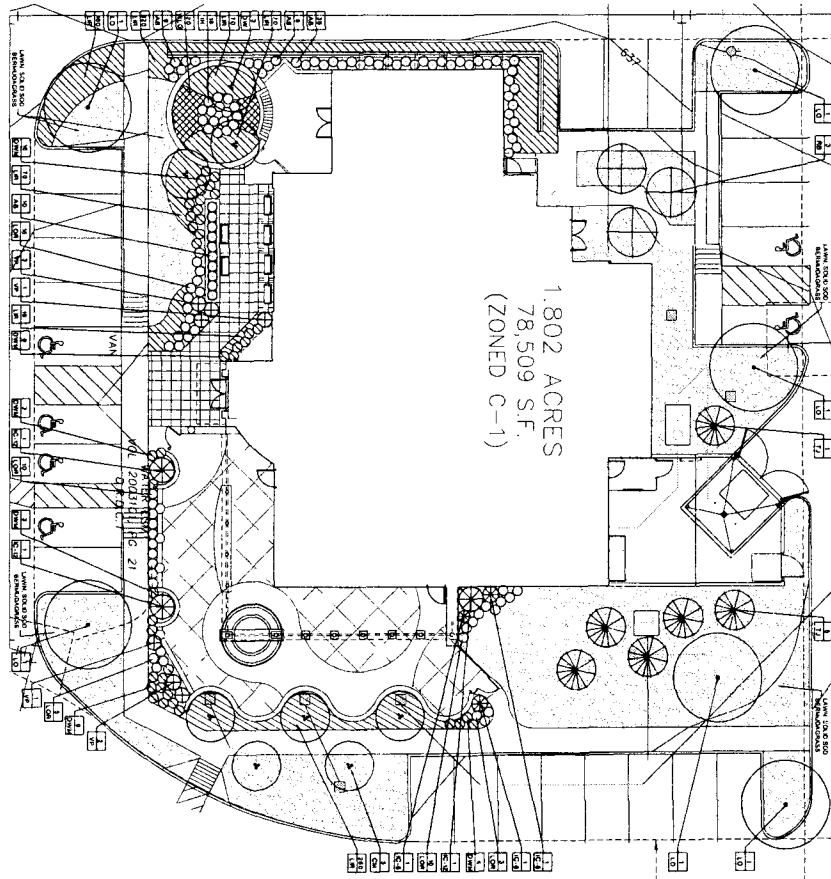
1. The Contractor shall ensure that all plants are properly maintained and protected.
2. The Contractor shall ensure that all plants are of the correct type and quality.
3. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
4. The Contractor shall submit a list of all plants to be used in the project.

GENERAL NOTES

1. The Contractor shall ensure that all plants are properly planted and maintained.
2. The Contractor shall ensure that all plants are protected during construction.
3. The Contractor shall ensure that all plants are of the correct species and quality.
4. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
5. The Contractor shall submit a list of all plants to be used in the project.

GENERAL NOTES

1. The Contractor shall ensure that all plants are properly planted and maintained.
2. The Contractor shall ensure that all plants are protected during construction.
3. The Contractor shall ensure that all plants are of the correct species and quality.
4. The Contractor shall obtain all necessary permits and approvals for the use of any plants.
5. The Contractor shall submit a list of all plants to be used in the project.



PLANT LEGEND

NO.	SYMBOL	PLANT TYPE
1	[Symbol]	Palm Tree
2	[Symbol]	Shrub
3	[Symbol]	Small Tree
4	[Symbol]	Large Tree
5	[Symbol]	Groundcover
6	[Symbol]	Grass
7	[Symbol]	Water Feature
8	[Symbol]	Walkway
9	[Symbol]	Driveway
10	[Symbol]	Parking Space
11	[Symbol]	Van
12	[Symbol]	Bus
13	[Symbol]	Light Pole
14	[Symbol]	Sign
15	[Symbol]	Gate
16	[Symbol]	Water Feature
17	[Symbol]	Grass
18	[Symbol]	Grass
19	[Symbol]	Grass
20	[Symbol]	Grass
21	[Symbol]	Grass
22	[Symbol]	Grass
23	[Symbol]	Grass
24	[Symbol]	Grass
25	[Symbol]	Grass
26	[Symbol]	Grass
27	[Symbol]	Grass
28	[Symbol]	Grass
29	[Symbol]	Grass
30	[Symbol]	Grass
31	[Symbol]	Grass
32	[Symbol]	Grass
33	[Symbol]	Grass
34	[Symbol]	Grass
35	[Symbol]	Grass
36	[Symbol]	Grass
37	[Symbol]	Grass
38	[Symbol]	Grass
39	[Symbol]	Grass
40	[Symbol]	Grass
41	[Symbol]	Grass
42	[Symbol]	Grass
43	[Symbol]	Grass
44	[Symbol]	Grass
45	[Symbol]	Grass
46	[Symbol]	Grass
47	[Symbol]	Grass
48	[Symbol]	Grass
49	[Symbol]	Grass
50	[Symbol]	Grass
51	[Symbol]	Grass
52	[Symbol]	Grass
53	[Symbol]	Grass
54	[Symbol]	Grass
55	[Symbol]	Grass
56	[Symbol]	Grass
57	[Symbol]	Grass
58	[Symbol]	Grass
59	[Symbol]	Grass
60	[Symbol]	Grass
61	[Symbol]	Grass
62	[Symbol]	Grass
63	[Symbol]	Grass
64	[Symbol]	Grass
65	[Symbol]	Grass
66	[Symbol]	Grass
67	[Symbol]	Grass
68	[Symbol]	Grass
69	[Symbol]	Grass
70	[Symbol]	Grass
71	[Symbol]	Grass
72	[Symbol]	Grass
73	[Symbol]	Grass
74	[Symbol]	Grass
75	[Symbol]	Grass
76	[Symbol]	Grass
77	[Symbol]	Grass
78	[Symbol]	Grass
79	[Symbol]	Grass
80	[Symbol]	Grass
81	[Symbol]	Grass
82	[Symbol]	Grass
83	[Symbol]	Grass
84	[Symbol]	Grass
85	[Symbol]	Grass
86	[Symbol]	Grass
87	[Symbol]	Grass
88	[Symbol]	Grass
89	[Symbol]	Grass
90	[Symbol]	Grass
91	[Symbol]	Grass
92	[Symbol]	Grass
93	[Symbol]	Grass
94	[Symbol]	Grass
95	[Symbol]	Grass
96	[Symbol]	Grass
97	[Symbol]	Grass
98	[Symbol]	Grass
99	[Symbol]	Grass
100	[Symbol]	Grass
101	[Symbol]	Grass
102	[Symbol]	Grass
103	[Symbol]	Grass
104	[Symbol]	Grass
105	[Symbol]	Grass
106	[Symbol]	Grass
107	[Symbol]	Grass
108	[Symbol]	Grass
109	[Symbol]	Grass
110	[Symbol]	Grass
111	[Symbol]	Grass
112	[Symbol]	Grass
113	[Symbol]	Grass
114	[Symbol]	Grass
115	[Symbol]	Grass
116	[Symbol]	Grass
117	[Symbol]	Grass
118	[Symbol]	Grass
119	[Symbol]	Grass
120	[Symbol]	Grass
121	[Symbol]	Grass
122	[Symbol]	Grass
123	[Symbol]	Grass
124	[Symbol]	Grass
125	[Symbol]	Grass
126	[Symbol]	Grass
127	[Symbol]	Grass
128	[Symbol]	Grass
129	[Symbol]	Grass
130	[Symbol]	Grass
131	[Symbol]	Grass
132	[Symbol]	Grass
133	[Symbol]	Grass
134	[Symbol]	Grass
135	[Symbol]	Grass
136	[Symbol]	Grass
137	[Symbol]	Grass
138	[Symbol]	Grass
139	[Symbol]	Grass
140	[Symbol]	Grass
141	[Symbol]	Grass
142	[Symbol]	Grass
143	[Symbol]	Grass
144	[Symbol]	Grass
145	[Symbol]	Grass
146	[Symbol]	Grass
147	[Symbol]	Grass
148	[Symbol]	Grass
149	[Symbol]	Grass
150	[Symbol]	Grass
151	[Symbol]	Grass
152	[Symbol]	Grass
153	[Symbol]	Grass
154	[Symbol]	Grass
155	[Symbol]	Grass
156	[Symbol]	Grass
157	[Symbol]	Grass
158	[Symbol]	Grass
159	[Symbol]	Grass
160	[Symbol]	Grass

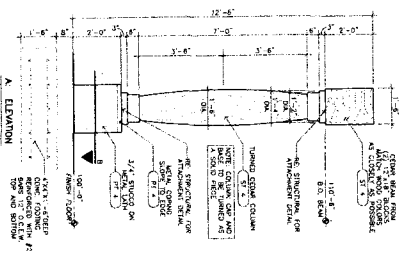
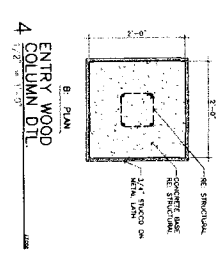
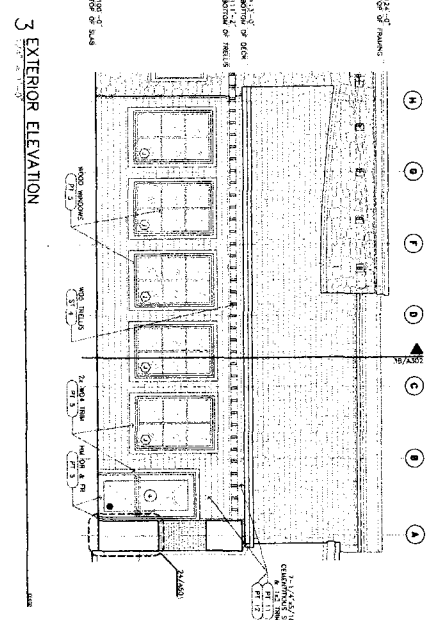
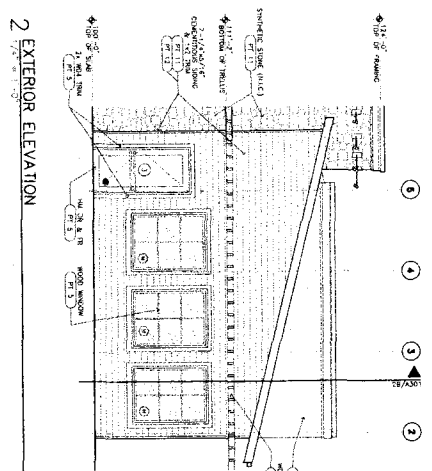
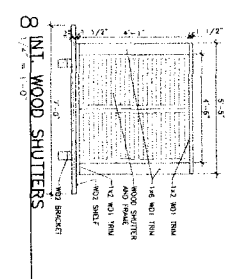
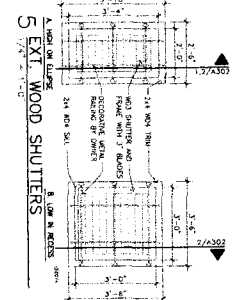
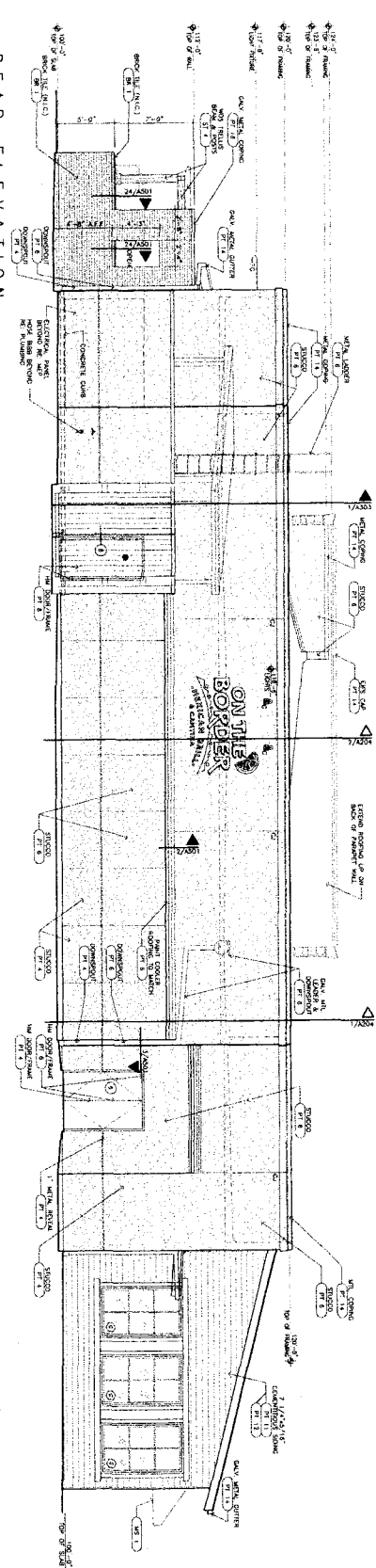
LANDSCAPE ENLARGEMENT PLAN
1" = 10'

SMTI
SMTI Inc.
1111 West Loop South
Suite 100
Dallas, TX 75241
Phone: (214) 343-7777
Fax: (214) 343-7778
www.smti.com
04/11/20



ON THE BORDER
MEXICAN GRILL & CANTINA
OTB RELOCATION
ADDRESS
8411 W. LOOP ROAD
ADDISON, TEXAS

MP
MARTINE & ASSOCIATES, INC.
1111 West Loop South
Suite 100
Dallas, TX 75241
Phone: (214) 343-7777
Fax: (214) 343-7778
www.mp-associates.com



FINISH SCHEDULE

NO.	DESCRIPTION	FINISH
1	CEILING	Acoustic tile, 12" x 12", 1/2" thick, with 1/4" recessed grid.
2	WALLS	1/2" gypsum board, 5/8" thick, with vinyl wall covering.
3	FLOORS	3/4" plywood subfloor, 1/2" thick, with 1/2" x 3/4" x 1/2" tile, 1/4" thick, with 1/8" grout.
4	DOORS	1 1/2" thick, 1/2" x 1 1/2" x 1 1/2" core, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" face, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" edge, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" top, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" bottom.
5	WINDOWS	1 1/2" thick, 1/2" x 1 1/2" x 1 1/2" core, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" face, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" edge, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" top, with 1/2" thick, 1/2" x 1 1/2" x 1 1/2" bottom.

A202

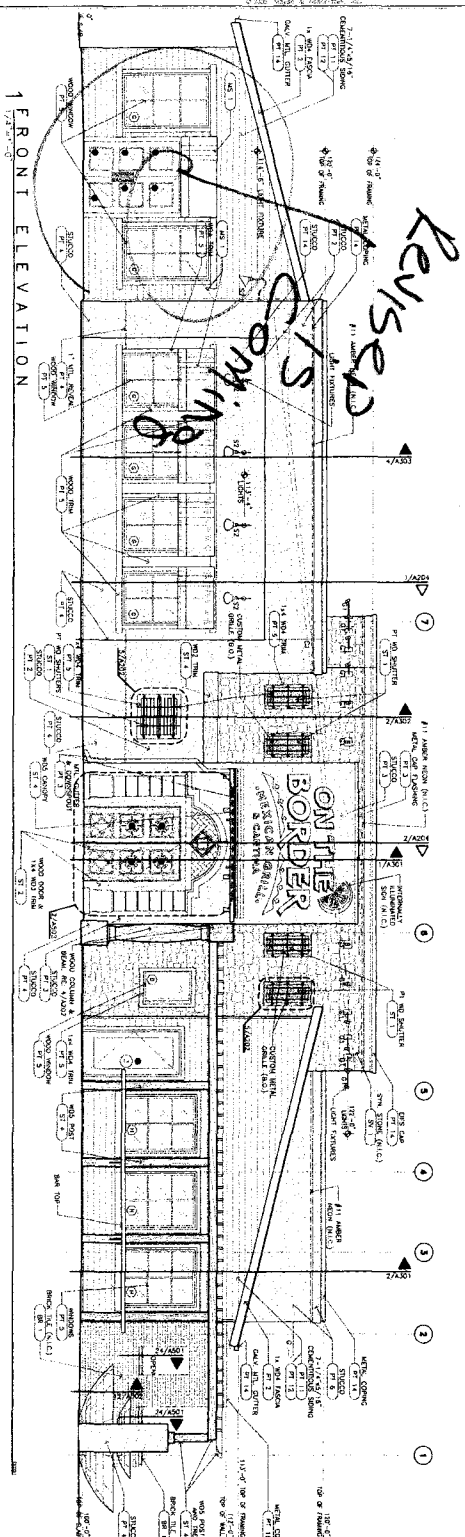
OFFICE OF THE CITY SECRETARY
 OTB RELOCATION
 ADDISON
 BELT LINE ROAD
 ADDISON, TEXAS

PROTOTYPE 9.3

ORDINANCE NO. 006-470

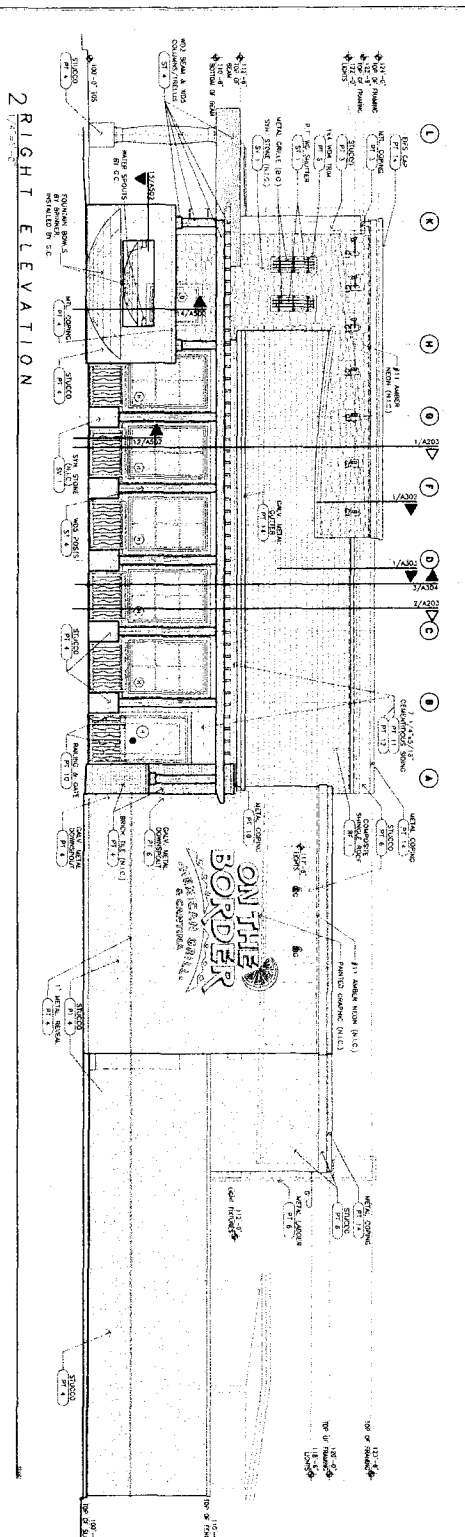


MAYER & ASSOCIATES, INC.



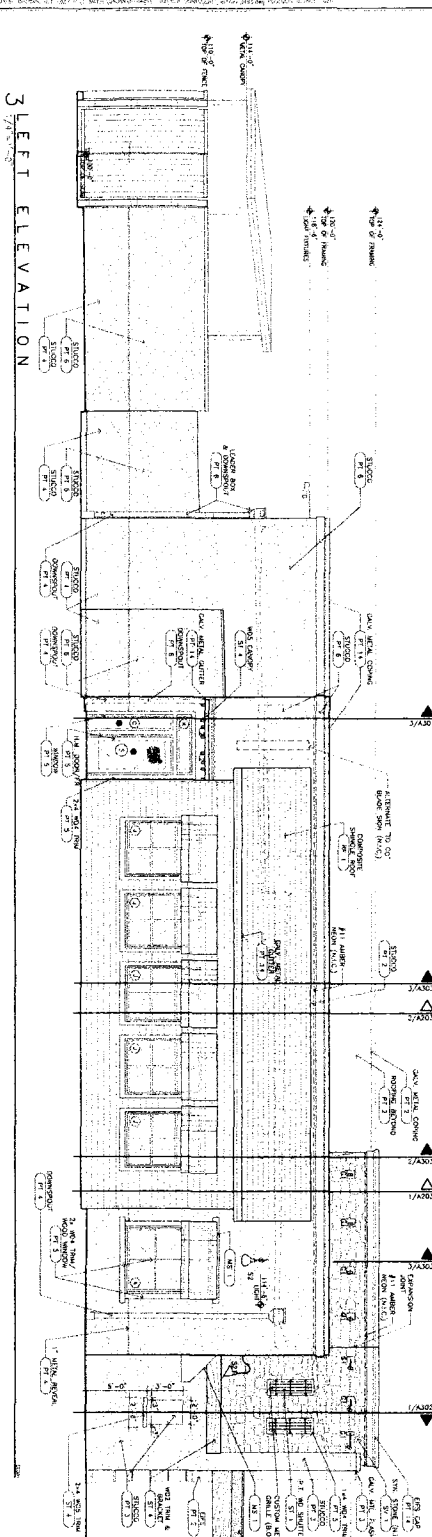
FINISH SCHEDULE

NO.	DESCRIPTION	FINISH
1	INTERIOR WALLS	PLASTER & PAINT
2	INTERIOR CEILING	PLASTER & PAINT
3	INTERIOR FLOORS	CONCRETE
4	EXTERIOR WALLS	BRICK
5	EXTERIOR CEILING	BRICK
6	EXTERIOR FLOORS	CONCRETE
7	ROOFING	ASPH/FLT
8	MECHANICAL	AS PER SPEC
9	ELECTRICAL	AS PER SPEC
10	PAINTING	AS PER SPEC
11	GLASS	AS PER SPEC
12	IRONWORK	AS PER SPEC
13	WOODWORK	AS PER SPEC
14	MECHANICAL	AS PER SPEC
15	ELECTRICAL	AS PER SPEC
16	PAINTING	AS PER SPEC
17	GLASS	AS PER SPEC
18	IRONWORK	AS PER SPEC
19	WOODWORK	AS PER SPEC
20	MECHANICAL	AS PER SPEC
21	ELECTRICAL	AS PER SPEC
22	PAINTING	AS PER SPEC
23	GLASS	AS PER SPEC
24	IRONWORK	AS PER SPEC
25	WOODWORK	AS PER SPEC



GENERAL NOTES

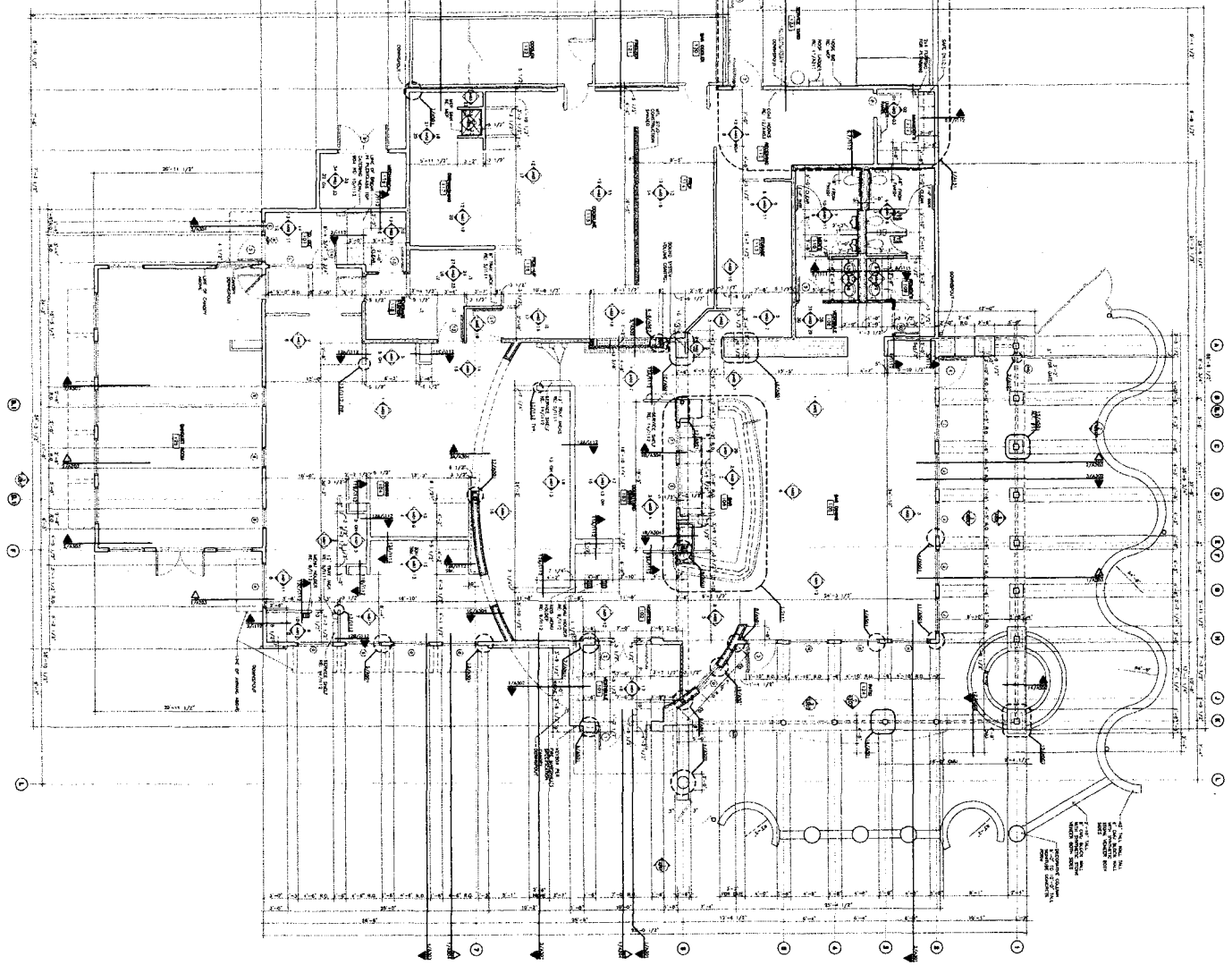
1. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
2. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
3. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
4. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
5. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
6. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
7. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
8. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
9. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
10. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
11. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
12. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
13. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
14. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
15. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
16. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
17. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
18. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
19. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
20. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
21. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
22. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
23. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
24. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
25. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.



GENERAL NOTES

1. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
2. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
3. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
4. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
5. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
6. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
7. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
8. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
9. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
10. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
11. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
12. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
13. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
14. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
15. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
16. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
17. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
18. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
19. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
20. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
21. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
22. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
23. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
24. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
25. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.

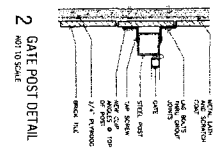
1 FLOOR PLAN
Scale: 1/8" = 1'-0"

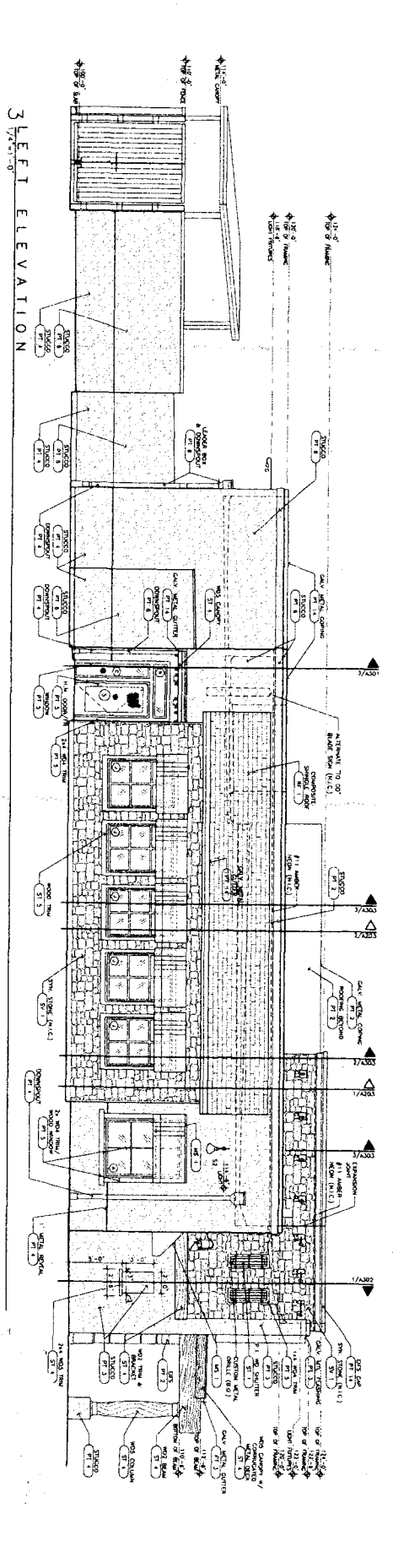
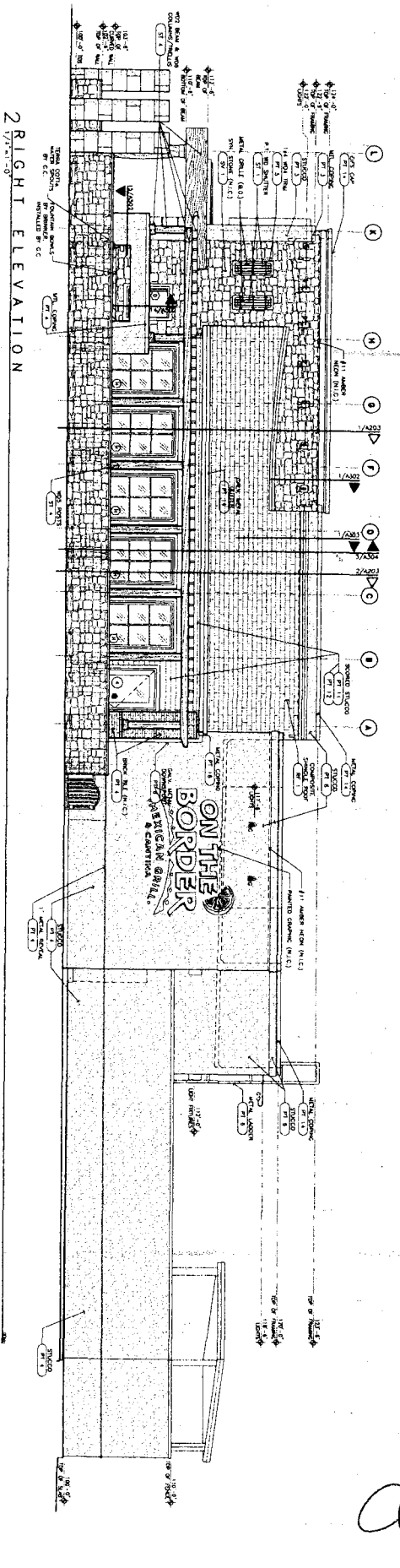
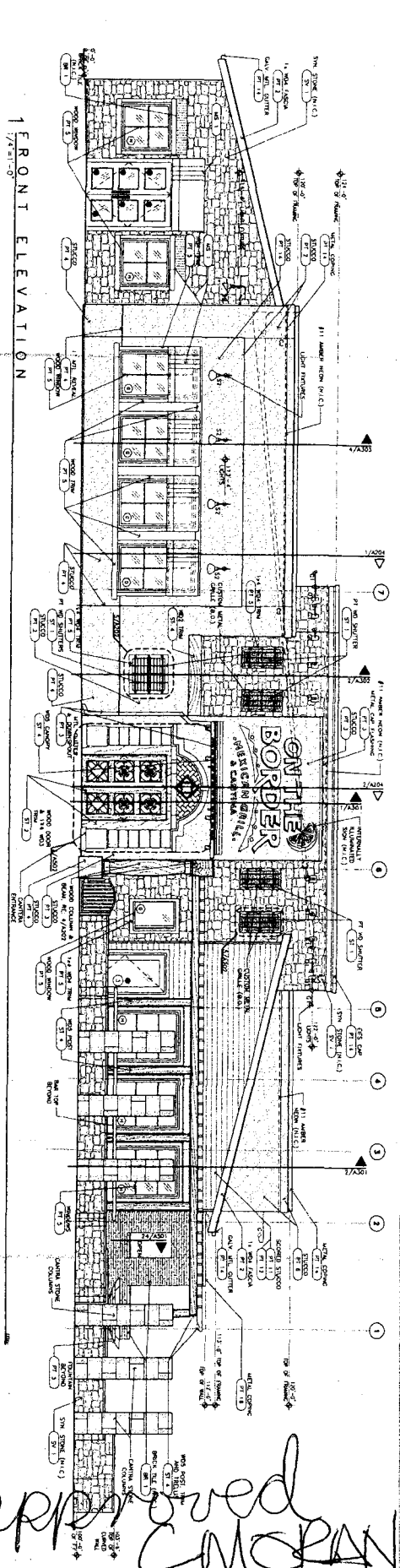


- FLOOR PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 3. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

WALL TYPE LEGEND

---	CONCRETE WALL
---	CONCRETE WALL WITH INTERIOR FINISH
---	CONCRETE WALL WITH EXTERIOR FINISH
---	CONCRETE WALL WITH INTERIOR AND EXTERIOR FINISH
---	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR CLADDING
---	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR CLADDING AND FINISH
---	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR CLADDING AND FINISH AND INTERIOR CLADDING
---	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR CLADDING AND FINISH AND INTERIOR CLADDING AND FINISH
---	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR CLADDING AND FINISH AND INTERIOR CLADDING AND FINISH AND INTERIOR CLADDING AND FINISH
---	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR CLADDING AND FINISH AND INTERIOR CLADDING AND FINISH AND INTERIOR CLADDING AND FINISH AND INTERIOR CLADDING AND FINISH





Approved
 [Signature]

ORDINANCE NO. 005-015

OFFICE OF THE CITY SECRETARY

PROTOTYPE 9.3



A201

DATE: 01/29/05
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: 11/1/05 BELT LINE RD
 11/1/05 SIDE VIEW RIG
 11/1/05 SIDE VIEW RIG
 11/1/05 SIDE VIEW RIG

MANEY & ASSOCIATES
 ARCHITECTS
 1100 WEST 19TH STREET
 HOUSTON, TEXAS 77002
 TEL: 713-865-1100
 FAX: 713-865-1101
 WWW.MANEYARCHITECTS.COM