

**ORDINANCE NO. 005-034**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, APPROVING A FINAL DEVELOPMENT PLAN FOR A 141-UNIT TOWNHOUSE/CONDOMINIUM DEVELOPMENT ON A TRACT OF LAND ZONED UC URBAN CENTER DISTRICT, RESIDENTIAL SUB-DISTRICT, AND GENERALLY DESCRIBED AS AN APPROXIMATELY 8.919 ACRE TRACT LOCATED WITHIN THE CITY NORTH OF GOODMAN AVENUE, WEST OF QUORUM DRIVE, SOUTH OF AIRPORT PARKWAY AND WEST OF ADDISON ROAD, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE, PROVIDING FOR APPROVAL OF WAIVERS TO THE UC (URBAN CENTER) DESIGN STANDARDS, PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A SAVINGS CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, pursuant to Ordinance No. 095-032 (the "UC Zoning Amendment") of the Town of Addison, Texas (the "City"), certain land described in the UC Zoning Amendment (the "Entire Property") was zoned UC Urban Center District according to the UC Urban Center District Regulations set forth in the City's Comprehensive Zoning Ordinance (the "Comprehensive Zoning Ordinance"), the same being Appendix A - Zoning of the City's Code of Ordinances; and

WHEREAS, simultaneously with the approval of the UC Zoning Amendment and in accordance with the Comprehensive Zoning Ordinance, a concept plan ("Concept Plan" or "Plan") governing the residential sub-district (the "Residential Sub-district") of the Entire Property was approved and incorporated within the UC Zoning Ordinance; and

WHEREAS, the Concept Plan governing the Residential Sub-district was amended by Ordinance No. 000-037; and subsequently amended by Ordinances 003-040 and 005-001; and

WHEREAS, the real property described herein and which is the subject of this Ordinance (the "Property") is located entirely within the Residential Sub-district; and

WHEREAS, application was made to the Planning and Zoning Commission of the City to approval a preliminary development plan on application from Fairfield Residential; and

WHEREAS, all the legal requirements, conditions and prerequisites having been complied with, including the receipt of a final report from the Planning and Zoning Commission, the case came on as a public hearing before the City Council; and

WHEREAS, after due deliberations and consideration of the final report of the Planning and Zoning Commission and other information and materials, the City Council of the Town of Addison, Texas does find that the approval of this preliminary development plan is in the best interest of the Town and its citizens and of the public health and welfare; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the preliminary development plan is hereby approved for a tract identified as the Addison Fairfield Residential Plan, a tract described as follows:

Being all of Tract 1, a 1.83 acre tract of land situated in the G.W. FISHER SURVEY ABSTRACT No. 482, Dallas County, Texas, and being all of Tract 1 as described in instrument to TEXOK PROPERTIES, L.P., as recorded in Volume 2002240, Page 3529 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with Huitt-Zollars cap at the intersection of the westerly right-of-way line of Quorum Drive (80 foot right-of-way) as recorded in Volume 82093, Page 1073 of the Deed Records of Dallas County, Texas, and the northerly right-of-way line of Goodman Avenue (61 foot right-of-way) as established by the Final Plat of Addison Circle Phase I, an addition to the Town of Addison, Texas as recorded in Volume 97101, Page 5801, and re-filed in Volume 97189, Page 1039, Deed Records, Dallas County, Texas;

THENCE North 89 degrees 04 minutes 47 seconds West along the platted northerly right-of-way line of said Goodman Avenue, and continuing along the platted northerly right-of-way line of Goodman Avenue (61 foot right-of-way) as shown on the final plat of Addison Circle Phase III, an addition to the Town of Addison, Texas as recorded in Volume 97189, Page 1039, Deed Records, Dallas County, Texas;

THENCE North 00 degrees 55 minutes 13 seconds East along the easterly right-of-way line of said Artist Way a distance of 196.73 feet to a 5/8-inch iron rod set with Huitt-Zollars cap at the northeast corner of Artist Way;

THENCE departing the easterly right-of-way line of said Artist Way, North 89 degrees 04 minutes 47 seconds West along the northerly right-of-way line of Artist

Way a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars cap at the northwest corner of Artist Way;

THENCE departing the northerly right-of-way line of said Artist Way, South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of said Artist Way a distance of 84.73 feet to a 5/8 inch iron rod found with RPLS 1855 cap at the northeast corner of Lot 1, Block B, Addison Circle Phase III;

THENCE departing the westerly right-of-way line of said Artist Way, North 89 degrees 04 minutes 47 seconds West along the northerly line of said Lot 1, Block B, a distance of 164.45 feet to a 5/8, inch iron rod found with Huitt-Zollars cap for a corner on the west line of said Tract 1;

THENCE departing the northerly line of said Lot 1, Block B, North 00 degrees 12 minutes 25 seconds East along the west line of said Tract 1, a distance of 376.59 feet to a PK Nail set at the northwest corner of said Tract 1;

THENCE South 89 degrees 05 minutes 45 seconds East along the northerly line of said Tract 1 a distance of 860.14 feet to a 1/2 inch iron rod found for a corner on the westerly right-of-way line of said Quorum Drive;

THENCE departing the northerly line of said Tract 1, South 00 degrees 55 minutes 13 seconds West along the westerly right-of-way line of said Quorum Drive a distance of 488.80 feet to the POINT OF BEGINNING and containing 8.919 acres of land, more or less.

SECTION 2. That the above-described property shall be developed in accordance with the preliminary development plans; attached hereto and a part hereof for all purposes.

SECTION 3. That the following waivers to the design standards of the Urban Center district shall be approved for this proposed development:

*Waiver 1 – Maximum Lot Coverage of 85% for Multifamily Use and Maximum Lot Coverage 85% for Townhouse/Condominium. Waiver is approved.*

*Waiver 2 - Patios may not be constructed within the required setback zones. This limitation however, does not apply to sidewalk cafes. Waiver is approved.*

*Waiver 3 – At least 90 percent of the exterior cladding of all exterior walls fronting or visible from public streets (including above grade parking structures) shall be brick construction. Waiver is approved.*

SECTION 4. That the approval of the final development plan is subject to the following special conditions:

-The applicant will be required to follow the UC district standards for landscaping, with the exception of the tree fencing shown on the tree pit plans.

-A fire hydrant shall be installed on the northeast corner of the intersection of Goodman Avenue and the proposed mews street.

-Information on the submittal seems to indicate this building will meet the criteria of a high-rise building. As such, it will be subject to the provisions of Section 403 of the Building Code.

-Engineering plans and specifications for construction of on-site and off-site improvements, including water, sanitary sewer, drainage, paving and landscaping must be approved by the Town prior to initiation of construction.

-Proposed water main must be looped around residential street to connect with system in Artist Way as second phase of development occurs.

-The façade for the west side shall be revised to eliminate the five large openings into the garage on the north and south sides of the stairs.

SECTION 5. That any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1-7, of the Code of Ordinances for the Town of Addison, Texas.

SECTION 6. That the provisions of this Ordinance are severable, and should any paragraph, sentence, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this Ordinance as a whole.

SECTION 7. That the above and foregoing premises to this Ordinance are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 8. That all ordinances of the City in conflict with the provisions of this Ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 9. That this Ordinance shall take effect from and after its date of passage and publication as required by law.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS,  
on this the 9<sup>th</sup> day of August, 2005

\_\_\_\_\_  
MAYOR



ATTEST:

\_\_\_\_\_  
CITY SECRETARY



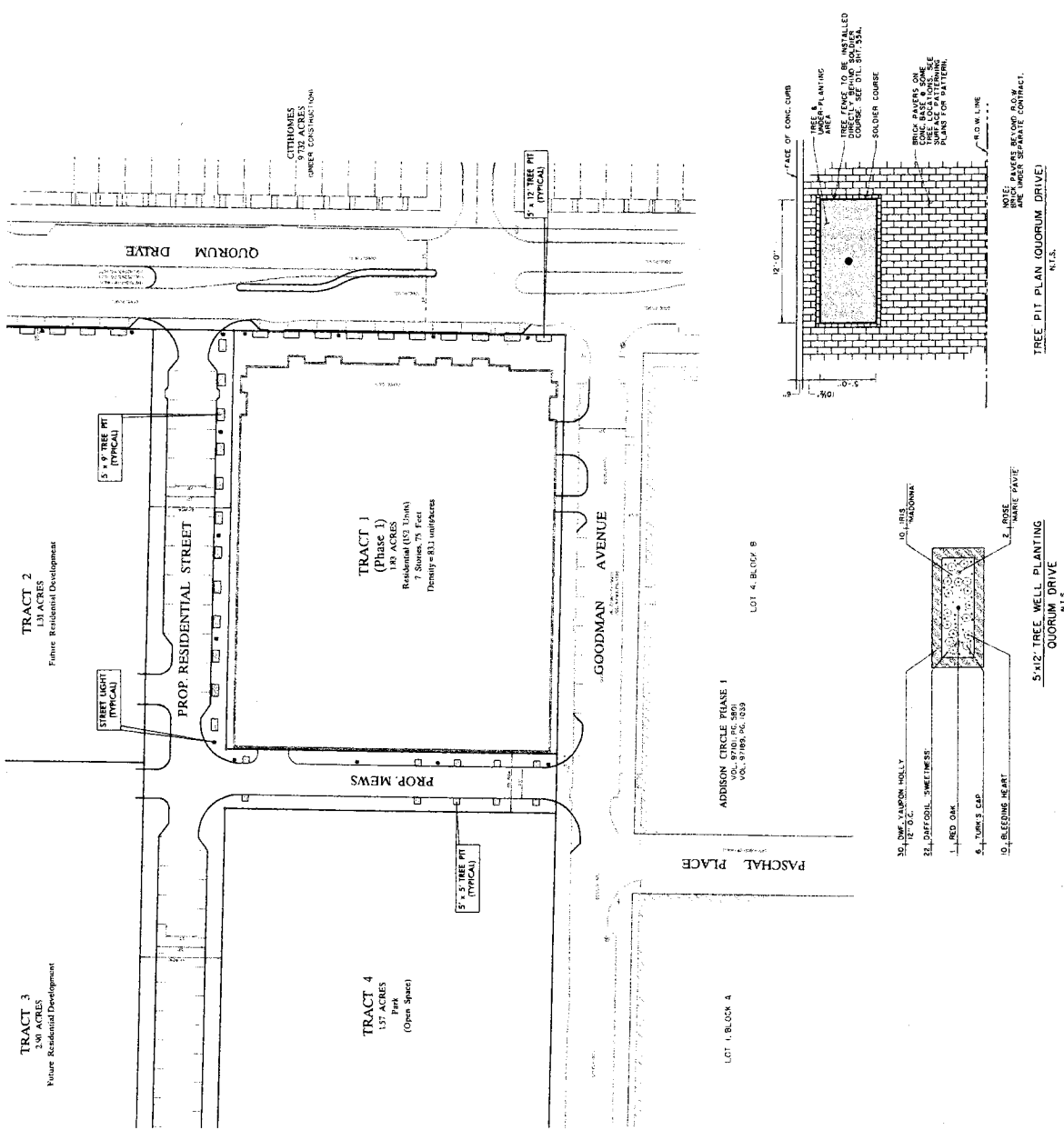
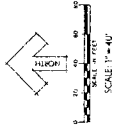
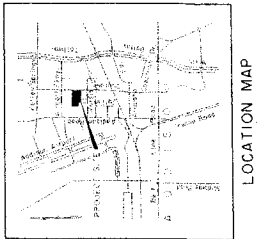
CASE NO. 1498-Z/Fairfield Residential

APPROVED AS TO FORM:

\_\_\_\_\_  
DIRECTOR OF DEVELOPMENT SERVICES



PUBLISHED ON: 10-13-05



FINAL DEVELOPMENT PLAN  
TRACT 1 (ONLY)  
(CONCEPTUAL LANDSCAPE PLAN)  
OF  
**ADDISON FAIRFIELD RESIDENTIAL**  
AN ADDITION TO THE TOWN  
OF ADDISON, TEXAS

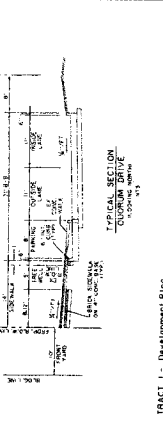
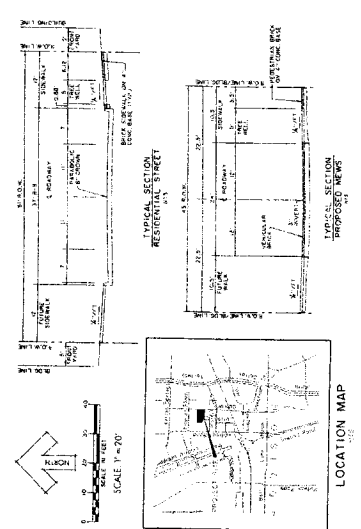
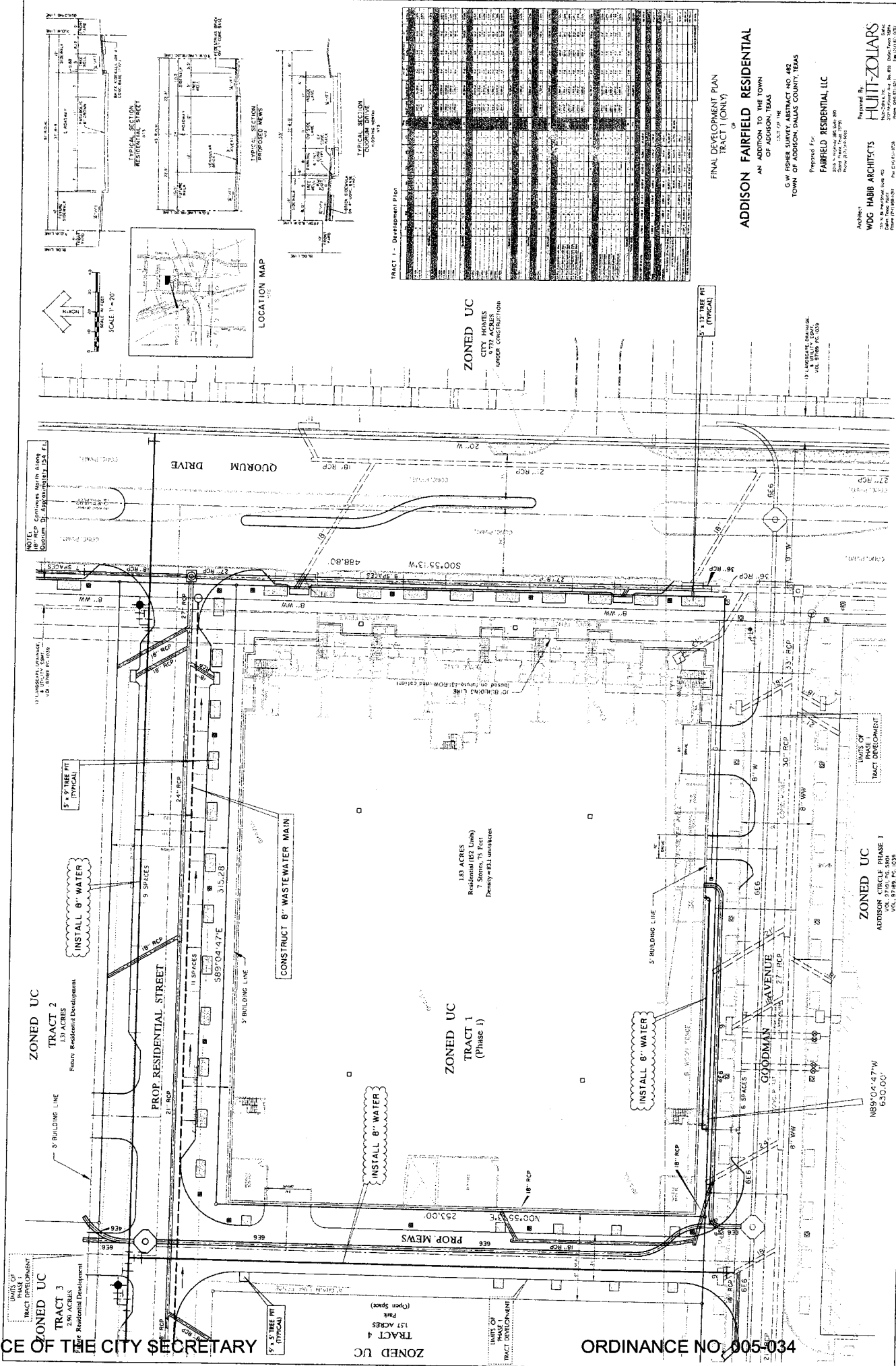
OUT OF THE  
G.W. PERRY SURVEY ABSTRACT NO. 482  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Prepared For:  
**FAIRFIELD RESIDENTIAL, LLC**  
2901 W. UNIVERSITY AVENUE, SUITE 100  
ADDISON, TEXAS 75001  
PHONE 972.655.1234  
WWW.FAIRFIELDRESIDENTIAL.COM

Project No. 01-1406-05  
June 20, 2005

Architect:  
**WOG-HABIB ARCHITECTS**  
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Prepared by:  
**HUITZ-ZOLARS**  
2901 W. UNIVERSITY AVENUE, SUITE 100  
ADDISON, TEXAS 75001  
PHONE 972.655.1234  
WWW.HUITZ-ZOLARS.COM



TRACT 1 - Development Plan

Lot #	Area (sq. ft)	Area (Acres)	Area (sq. ft)	Area (Acres)	Area (sq. ft)	Area (Acres)
1	10,000	0.23	10,000	0.23	10,000	0.23
2	10,000	0.23	10,000	0.23	10,000	0.23
3	10,000	0.23	10,000	0.23	10,000	0.23
4	10,000	0.23	10,000	0.23	10,000	0.23
5	10,000	0.23	10,000	0.23	10,000	0.23
6	10,000	0.23	10,000	0.23	10,000	0.23
7	10,000	0.23	10,000	0.23	10,000	0.23
8	10,000	0.23	10,000	0.23	10,000	0.23
9	10,000	0.23	10,000	0.23	10,000	0.23
10	10,000	0.23	10,000	0.23	10,000	0.23
11	10,000	0.23	10,000	0.23	10,000	0.23
12	10,000	0.23	10,000	0.23	10,000	0.23
13	10,000	0.23	10,000	0.23	10,000	0.23
14	10,000	0.23	10,000	0.23	10,000	0.23
15	10,000	0.23	10,000	0.23	10,000	0.23
16	10,000	0.23	10,000	0.23	10,000	0.23
17	10,000	0.23	10,000	0.23	10,000	0.23
18	10,000	0.23	10,000	0.23	10,000	0.23
19	10,000	0.23	10,000	0.23	10,000	0.23
20	10,000	0.23	10,000	0.23	10,000	0.23
21	10,000	0.23	10,000	0.23	10,000	0.23
22	10,000	0.23	10,000	0.23	10,000	0.23
23	10,000	0.23	10,000	0.23	10,000	0.23
24	10,000	0.23	10,000	0.23	10,000	0.23
25	10,000	0.23	10,000	0.23	10,000	0.23
26	10,000	0.23	10,000	0.23	10,000	0.23
27	10,000	0.23	10,000	0.23	10,000	0.23
28	10,000	0.23	10,000	0.23	10,000	0.23
29	10,000	0.23	10,000	0.23	10,000	0.23
30	10,000	0.23	10,000	0.23	10,000	0.23

FINAL DEVELOPMENT PLAN  
TRACT 1 (ONLY)  
ADDISON FAIRFIELD RESIDENTIAL  
AN ADDITION TO THE TOWN  
OF ADDISON, TEXAS  
G.W. FISHER SURVEY ABSTRACT NO. 482  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Prepared For  
FAIRFIELD RESIDENTIAL, LLC  
2201 Maple Park Lane, Suite 100  
Dallas, TX 75244  
Phone: 972.357.4444

Prepared By  
WOG HABIB ARCHITECTS  
1314 N. McKinney, Suite 402  
Dallas, TX 75201  
Phone: 972.389.3311

Reviewed By  
HUITT-ZOLIARS  
1511 N. McKinney, Suite 402  
Dallas, TX 75201  
Phone: 972.389.3311

Project No. 07-3497-05  
June 20, 2005

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.  
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ADDISON DEVELOPMENT ORDINANCES AND THE STATE OF TEXAS PLANNING AND CONSTRUCTION ACTS.  
3. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ADDISON AND THE STATE OF TEXAS BEFORE COMMENCING CONSTRUCTION.  
4. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL UTILITIES SHOWN ON THIS PLAN.  
6. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL PAVEMENT AND CURBS SHOWN ON THIS PLAN.  
7. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL LIGHTING FIXTURES SHOWN ON THIS PLAN.  
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL FENCE LINES SHOWN ON THIS PLAN.  
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TREE PLANTINGS SHOWN ON THIS PLAN.  
10. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL SIGNAGE SHOWN ON THIS PLAN.

INSTALL 8" WATER

INSTALL 8" WATER

INSTALL 8" WATER

CONSTRUCT 8" WASTEWATER MAIN

1.80 ACRES  
Residential (R21 Units)  
7 Stories, 7% Foot  
Density = 83.1 units/acre

ZONED UC  
ADDISON CIRCLE PHASE I  
VTL: 8188 PG. 034

ZONED UC  
TRACT 2  
1.17 ACRES  
Future Residential Development

ZONED UC  
TRACT 1  
(Phase I)

ZONED UC  
TRACT 3  
2.50 ACRES  
Future Residential Development

ZONED UC  
TRACT 4  
1.17 ACRES  
Future Residential Development  
(Open Space)

ZONED UC  
TRACT 1  
1.17 ACRES  
Future Residential Development

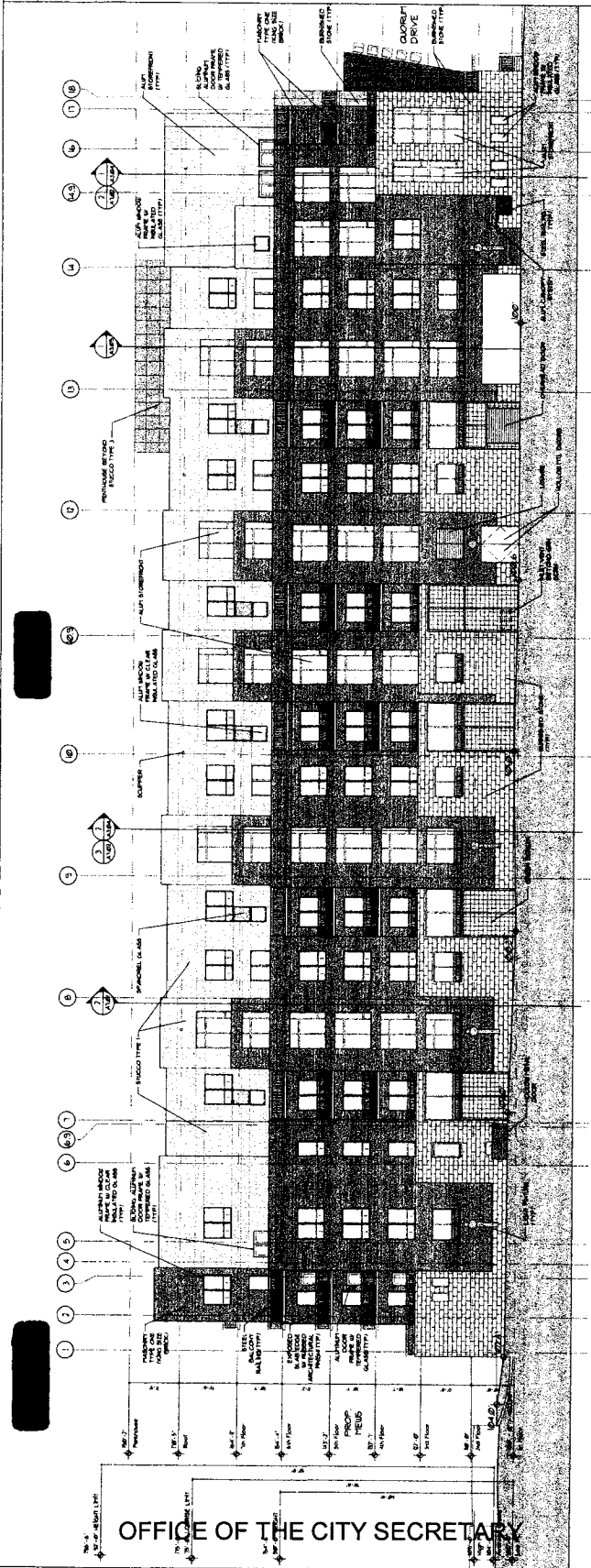
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 Addison Residential

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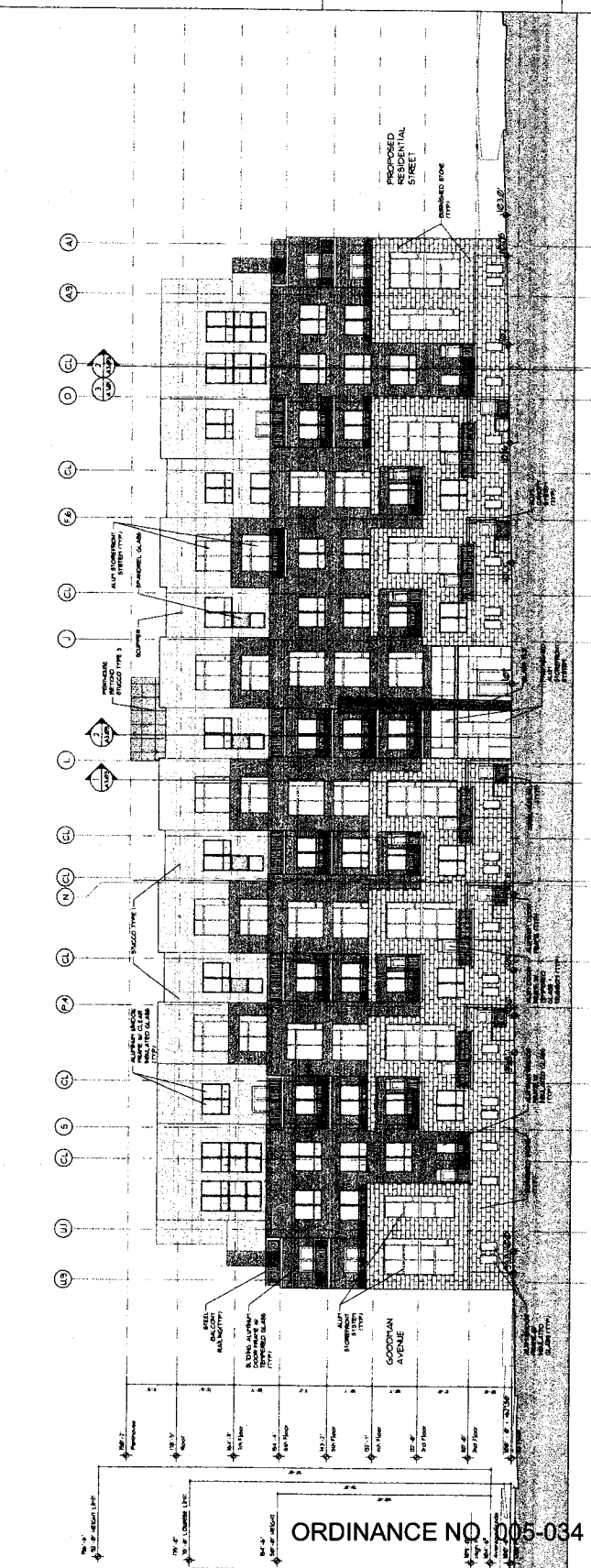
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 Addison Residential



South Elevation



East Elevation

[Symbol]	ALUMINUM WINDOW WITH GLASS DOORWAY
[Symbol]	BRICKWORK
[Symbol]	ALUMINUM WINDOW
[Symbol]	GREEN SCREEN
[Symbol]	BRICKWORK GLASS
[Symbol]	BRICKWORK TYPE 1
[Symbol]	BRICKWORK TYPE 2
[Symbol]	BRICKWORK TYPE 3
[Symbol]	METAL

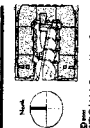
Legend

SHEET 4 OF 6

A3.01

Scale: 1/8" = 1'-0"

South & East Elevations



"Not for regulatory approval, permitting or construction"

FAIRFIELD SYSTEMS, INC.  
 15777  
 Addison Residential

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ORDINANCE NO. 005-034



WPC Architects Inc.  
 1000 Lakeside Drive, Suite 200  
 Dallas, TX 75201  
 Tel: 214.593.3371  
 Fax: 214.593.3372  
 e-mail: info@wpcarchitects.com

Structural Engineer:  
 R. L. Cooney, Inc.  
 5408 LBJ Freeway  
 Dallas, TX 75240  
 Tel: 214.299.2000  
 Fax: 214.299.0304  
 e-mail: info@rlcooney.com

Architectural Electrical & Plumbing  
 Blair Consulting  
 1000 Lakeside Drive, Suite 200  
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 Tel: 214.593.3371  
 Fax: 214.593.3372  
 e-mail: info@blairconsulting.com

**15777**  
 Addison Residential

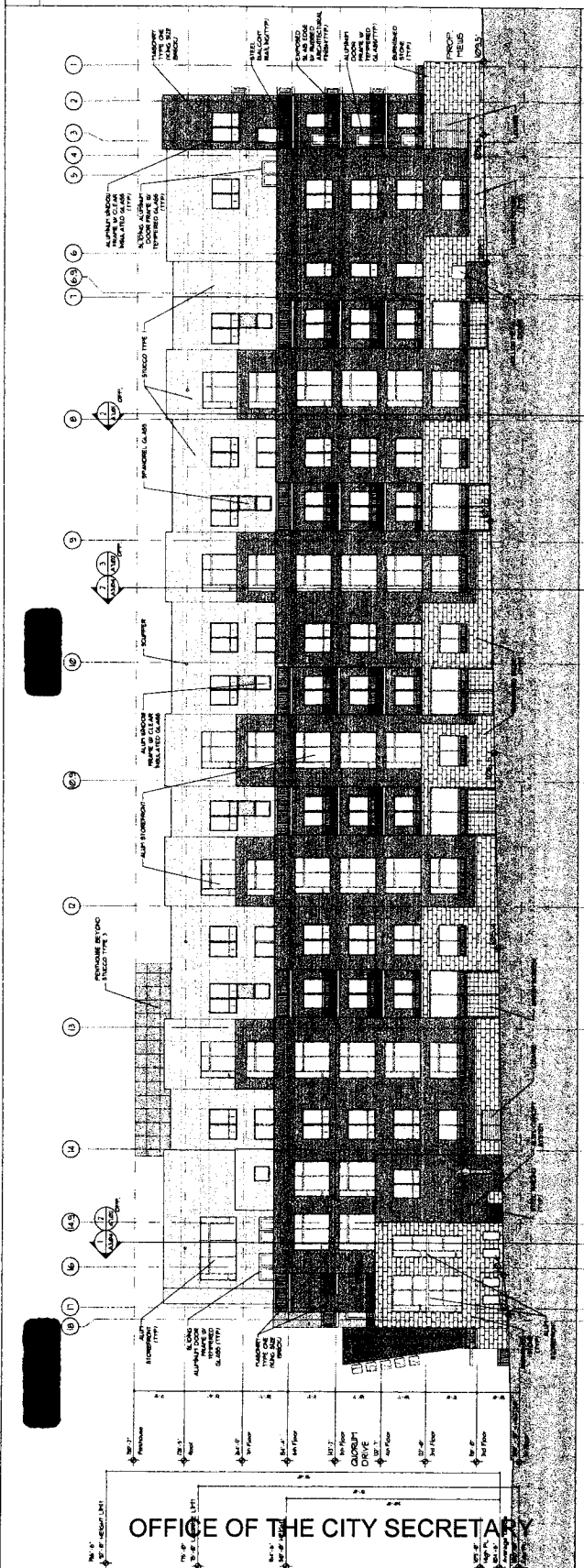
P.A.R.T.I.C.L.E.  
 1000 Lakeside Drive, Suite 200  
 Dallas, Texas 75201  
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 e-mail: info@particle.com

"Not for regulatory approval, permitting, or construction"

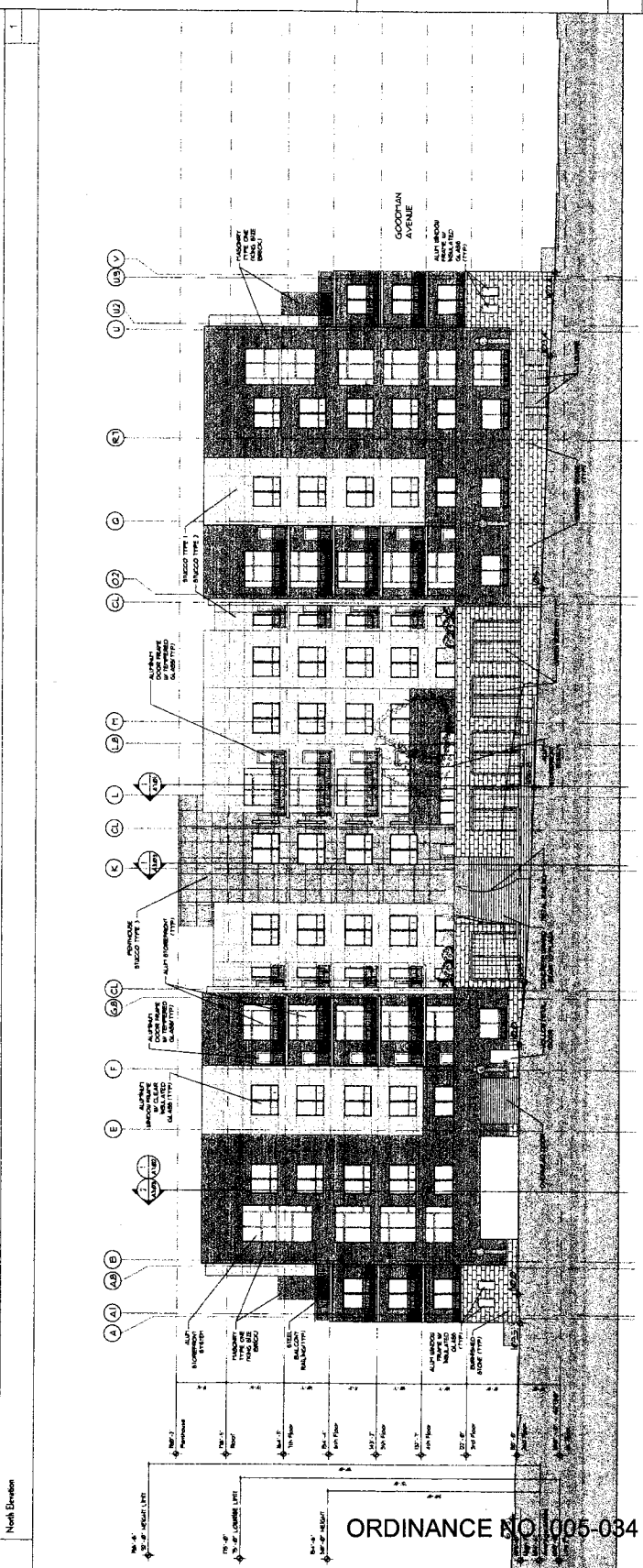
North & West Elevations  
 SHEET 5 OF 6

A3.02

Notes



North Elevation



West Elevation

Legend

[Pattern]	NEW CAST BRICK
[Pattern]	EXISTING CAST BRICK
[Pattern]	GLASS TILE
[Pattern]	GREEN SCREEN
[Pattern]	BRICK COURSE
[Pattern]	BRICKED TYPE 1
[Pattern]	BRICKED TYPE 2
[Pattern]	BRICKED TYPE 3
[Pattern]	RETAILED

OFFICE OF THE CITY SECRETARY

ORDINANCE NO. 005-034

WDS USA Architectural, Inc.  
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 Fort Worth, Texas 76102  
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 Email: wdsusa@wdsusa.com

Richard E. Williams, P.E.  
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 Consulting Engineers  
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 Tel: 214.758.8334  
 Fax: 214.758.8335  
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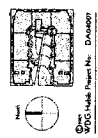
Robert C. Williams, L.P.  
 Robert C. Williams, Inc.  
 Engineers, Inc.  
 Suite 100, 100 B  
 Dallas, Texas 75201  
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 Fax: 214.758.8335  
 Email: rwilliams@flwilliams.com

**15777**  
**BOURUM**

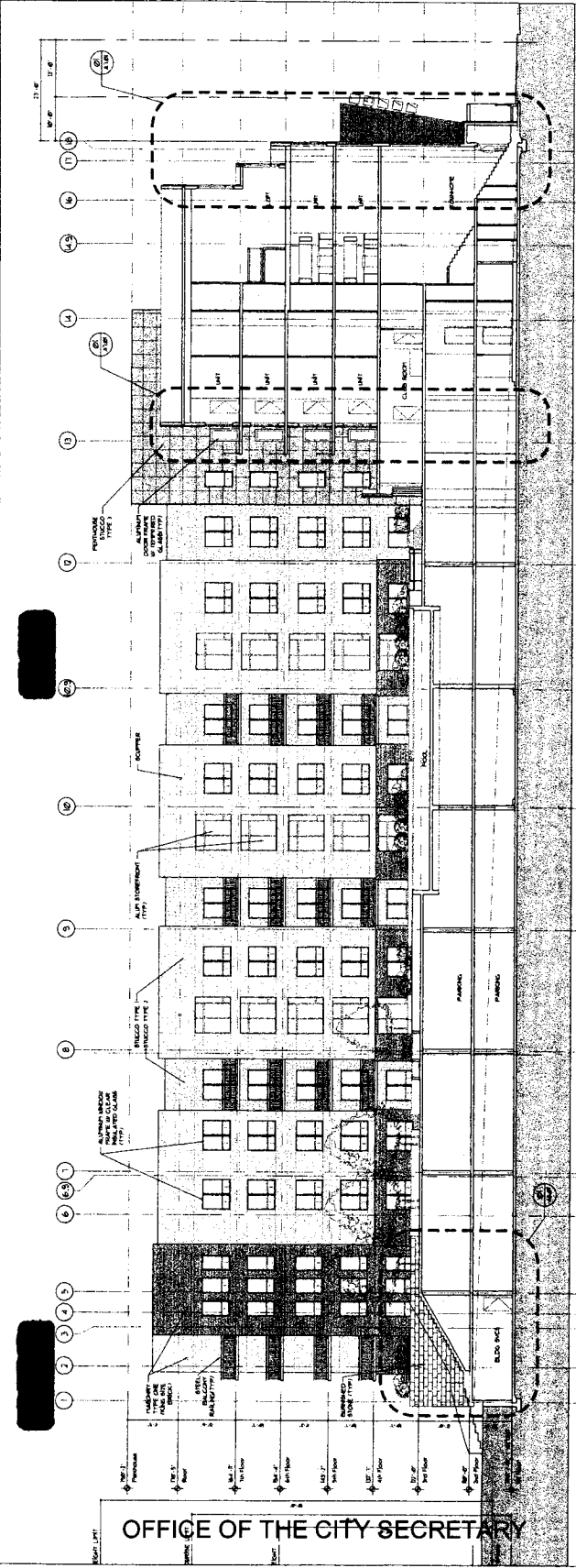
**Adrienne Residential**

15777 B. Drive, Suite 100, Fort Worth, Texas 76102  
 Phone: 817.335.2222  
 Fax: 817.335.2223  
 Email: wdsusa@wdsusa.com

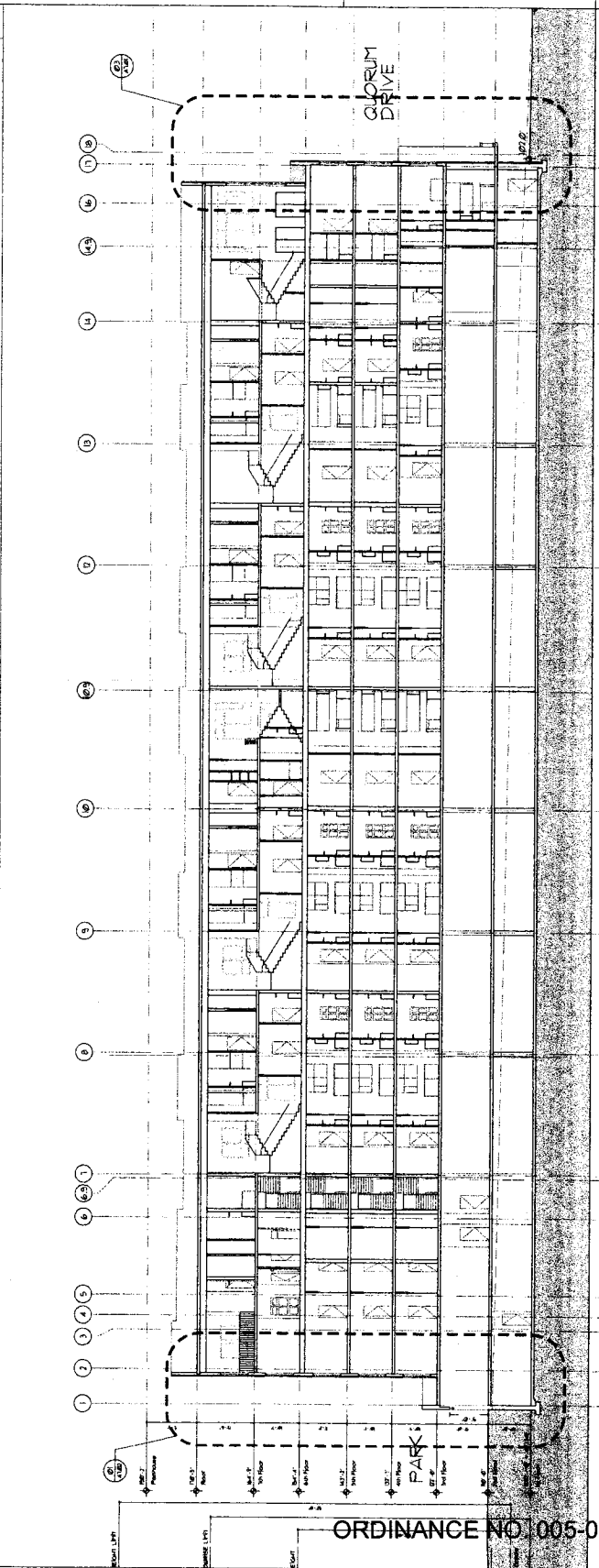
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Scale: 3/8" = 1'-0"  
 SHEET 6 OF 6  
**A3.03**



South Courtyard Elevation / Section



Building Section - East/West - North Area

Legend

[Pattern]	WOOD BRICK
[Pattern]	ALUMINUM WINDOW WITH TINTED GLASS
[Pattern]	BRICK
[Pattern]	GREEN SCREEN
[Pattern]	BRICK TYPE 1
[Pattern]	BRICK TYPE 2
[Pattern]	BRICK TYPE 3
[Pattern]	METAL

Legend

Building Section - East/West - North Area

ORDINANCE NO. 005-034

ADISON RESIDENTIAL  
1577 QUORUM DRIVE  
ADDISON, TEXAS

FINAL DEVELOPMENT PLAN  
LANDSCAPE LAYOUT

Learning  
Design Group  
P.O. Box 123831  
Fort Worth, Texas 76112  
972.273.8855



appr. by: \_\_\_\_\_  
drawn by: \_\_\_\_\_  
date: 06-27-05



- LANDSCAPE NOTES**
1. TYPICAL STREET SHADE TREE SHALL BE MIN. 100 GALUCH CONTAINER GROWN TREE FROM FOLLOWINGS:  
SHAWANO OAK  
BURR OAK  
LACINAE ELM
  2. TYPICAL NEWS SHADE TREE SHALL BE MIN. 100 GALLON CONTAINER GROWN TREE FROM FOLLOWING:  
BURL CHERRY  
BURNING BUSH  
CORNUS  
DOGWOOD  
FRAXINUS  
GLEDITSIA  
LIRIODENDRON  
MAGNOLIA  
NYCTAGINUS  
PICEA  
QUERCUS  
SALIX  
SPYRACUS  
VIBURNUM  
VITIS
  3. TYPICAL 9' x 5' STREET SHADE BED PLANTS SHALL BE PERENNIAL SHRUB PERENNIAL WITH PERENNIAL ACCENT. BOTH FROM FOLLOWING:  
2" BURNING BUSH  
2" CORNUS  
2" DOGWOOD  
2" FRAXINUS  
2" GLEDITSIA  
2" LIRIODENDRON  
2" MAGNOLIA  
2" NYCTAGINUS  
2" PICEA  
2" QUERCUS  
2" SALIX  
2" SPYRACUS  
2" VIBURNUM  
2" VITIS
  4. TYPICAL NEWS SHADE BED PLANTS SHALL BE LOW PLANTS FROM FOLLOWING:  
DWARF BURFORD HOLLY  
DWARF HORNED HOLLY  
DWARF LAUREL OAK  
DWARF SPYRACUS  
DWARF VIBURNUM  
DWARF VITIS
  5. TYPICAL BUILDING LANDSCAPE SHALL BE MIX OF VERTICAL PLANTS FROM FOLLOWING:  
VINES, ORNAMENTAL TREES, AND EVERGREEN GROUNDCOVERS FROM THE FOLLOWING:  
SKYROCKET JASMINE (15 GAL)  
LITTLE OENOTHERA (15 GAL)  
SARAWAH HOLLY (10 GAL)  
ACACIA VITIS  
VIRGINIA CREEPER  
ENGLISH IVY
  6. TYPICAL GARAGE SCREENING SPRINGS SHALL BE MIN. 15 GAL ON MATERIAL FROM FOLLOWING:  
DWARF BURFORD HOLLY  
DWARF HORNED HOLLY  
DWARF LAUREL OAK  
DWARF SPYRACUS  
DWARF VIBURNUM  
DWARF VITIS
  7. ALL STREET TREES AND LANDSCAPE BEDS SHALL BE WATERED THROUGH IRRIGATION SYSTEM. COMPLETE WITH CONTROLLER. TREE BRUSH-APPROXIMATE.

