

ORDINANCE NO. 007-008

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE SPECIAL USE ORDINANCE NO. 083-008, AS HERETOFORE AMENDED, SO AS TO PROVIDE FOR AN AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR A RESTAURANT AND AN AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR THE SALE OF ALCOHOL FOR ON-PREMISES CONSUMPTION ONLY, ON APPLICATION FROM LOGAN'S, LOCATED AT 5290 BELT LINE ROAD, SUITE 150; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A NO SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF
ADDISON, TEXAS:

SECTION 1. That Ordinance No. 796, passed by the Addison City Council on the 26th day of May, 1982, (and amended by Ordinance No. 083-008, passed by the Addison City Council on the 22nd day of February, 1983) is hereby amended by amending Section 2 to read as follows:

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the site plan, revised floor plan, and the elevation drawings showing four exterior walls, which are attached hereto and made a part hereof for all purposes.
2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 7,323 square feet.
3. No signs advertising the sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison Texas. No terms such as "bar", "tavern" or any terms or graphic depictions that relate to the sale of alcoholic beverages shall be used on any signs visible from the exterior of the premises.
4. That the sale of alcoholic beverages under this special use permit shall be permitted in restaurants. Restaurants are hereby defined as establishments that receive at least sixty percent (60%) or their gross revenues from the sale of food.
5. Said establishment shall make available to the city or its agents, during Reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of Paragraph 4 are being met.
6. Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of alcoholic beverages.
7. That if the property for which the special use permit is granted is not used For the purposes for which said permit was granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings to be held for the purposed of considering a change of zoning.
8. That if a license or permit to sell alcoholic beverages on property covered By this special use permit is revoked, terminated, or canceled by proper authorities, the City Council may authorize hearings to be held for the purpose for considering a change of zoning.
9. The establishment shall not use the terms or graphic depictions that denote alcoholic beverages in exterior signs.
10. All mechanical equipment on the new building shall be completely screened from view. The screening material shall be

architecturally compatible to the building, and the Building Official shall make the determination of "architecturally compatible."

11. The applicant should be aware that he will be required to comply with all requirements of the building and fire codes.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS, on this the 13th day of March, 2007.


MAYOR

ATTEST:


CITY SECRETARY

CASE NO. 1535-SUP/LOGAN'S

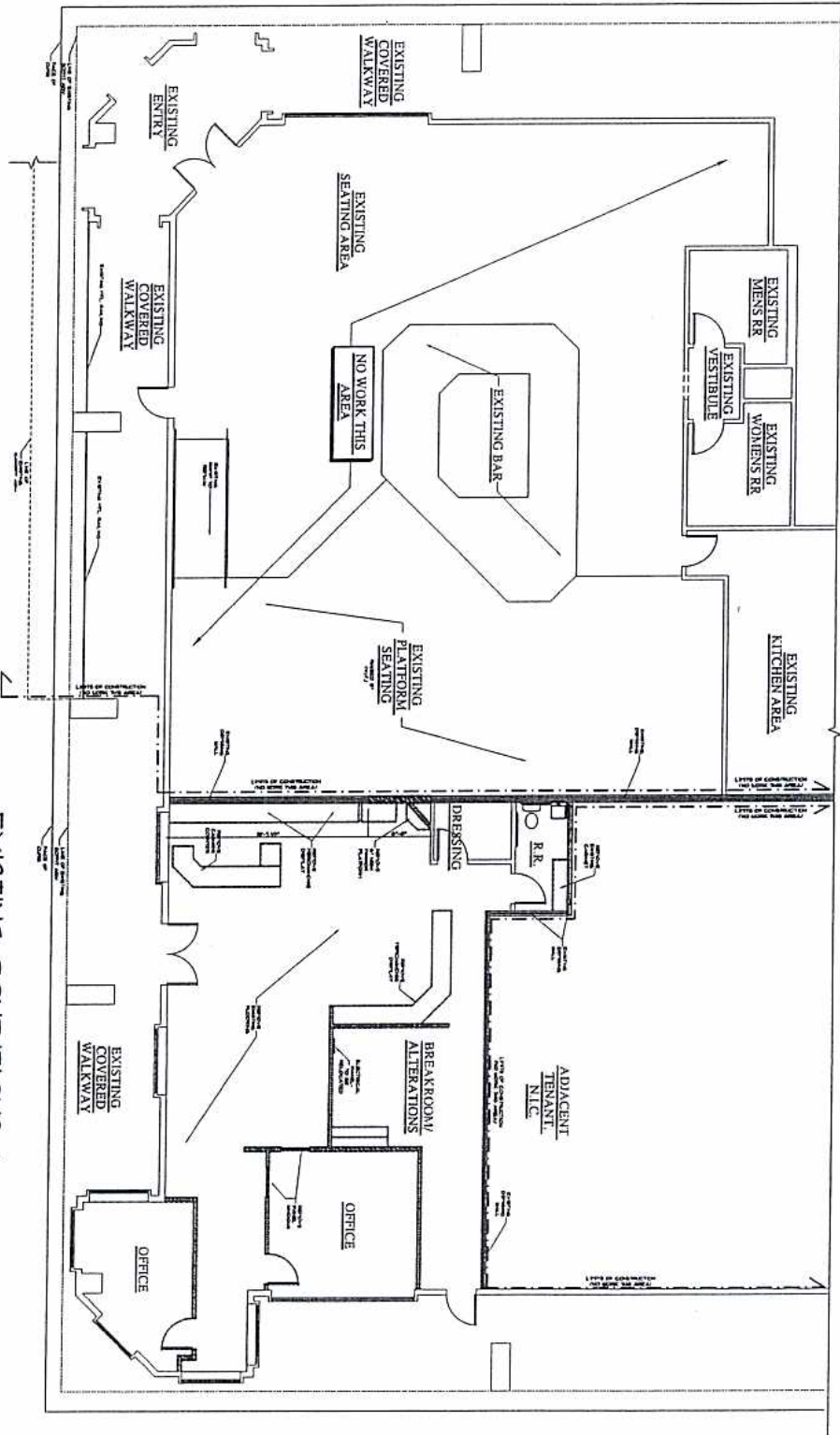
APPROVED AS TO FORM:

C. MORAN

DIRECTOR OF DEVELOPMENT SERVICES

PUBLISHED ON: 4/6/2007

**EXISTING CONDITIONS &
DEMOLITION PLAN**
SCALE: 3/8" = 1'-0"



DEMO PLAN NOTES

- REMOVE ALL AFFECTED ELECTRICAL PER DEMOLITION PER IBC AND CEILING REMOVE ALL NON-REMOVING LUMEN FIXTURES. REMOVE ALL NON-REMOVING LIGHT FIXTURES. REMOVE ALL AFFECTED MECHANICAL PER IBC. REMOVE ALL NON-REMOVING MECHANICAL PER IBC. REMOVE ALL AFFECTED MECHANICAL PER IBC. REMOVE ALL AFFECTED MECHANICAL PER IBC.
- REMOVE ALL AFFECTED MECHANICAL PER IBC AND CEILING REMOVE ALL NON-REMOVING LUMEN FIXTURES. REMOVE ALL NON-REMOVING LIGHT FIXTURES. REMOVE ALL AFFECTED MECHANICAL PER IBC. REMOVE ALL AFFECTED MECHANICAL PER IBC.
- REMOVE ALL AFFECTED MECHANICAL PER IBC AND CEILING REMOVE ALL NON-REMOVING LUMEN FIXTURES. REMOVE ALL NON-REMOVING LIGHT FIXTURES. REMOVE ALL AFFECTED MECHANICAL PER IBC. REMOVE ALL AFFECTED MECHANICAL PER IBC.
- REMOVE ALL AFFECTED MECHANICAL PER IBC AND CEILING REMOVE ALL NON-REMOVING LUMEN FIXTURES. REMOVE ALL NON-REMOVING LIGHT FIXTURES. REMOVE ALL AFFECTED MECHANICAL PER IBC. REMOVE ALL AFFECTED MECHANICAL PER IBC.

LEGEND

- | | | | |
|---------------------------|-------------------|---------------------------|---------------------------|
| (Symbol: Circle with 'X') | REMOVE CALL-OUT | (Symbol: Circle with 'X') | STRUCTURAL CORE |
| (Symbol: Square with 'X') | ROOM NUMBER | (Symbol: Circle with 'X') | WALL SECTION |
| (Symbol: Circle with 'X') | UNDOOR TYPE | (Symbol: Circle with 'X') | DETAIL CALL-OUT |
| (Symbol: Circle with 'X') | REMOVE FLOOR | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE MECHANICAL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |
| (Symbol: Circle with 'X') | REMOVE WALL | (Symbol: Circle with 'X') | (Symbol: Circle with 'X') |

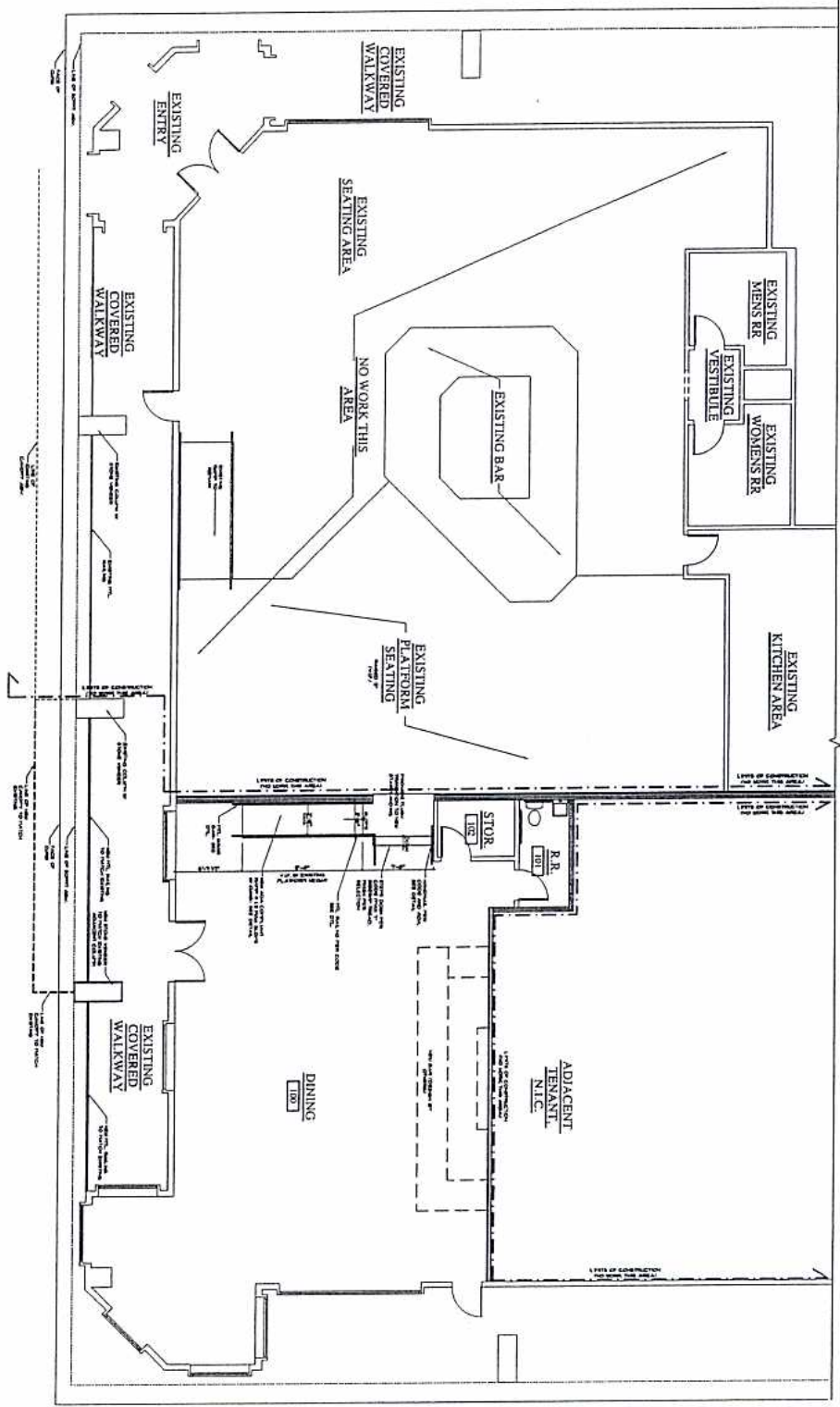
APPROVED FOR REGISTRATION
 APPROVED FOR PERMITTING
 APPROVED FOR CONSTRUCTION

LOGAN'S GRILL
 PRESTONWOOD PLAZA, SUITE 151
 5290 BELTLINE ROAD
 ADDISON, TEXAS

CORNERSTONE GROUP ARCHITECTS
 7020 Bee Caves Rd., Suite 200 | Aledo, Texas 76746 | (817) 239-0007 | FAX: (817) 239-0008 | www.cgastudio.com

DEMOLITION PLAN
 ORDINANCE 007-008

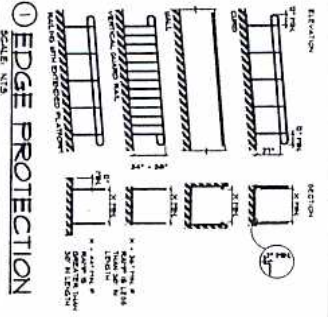
LOGAN'S GRILL
 PRESTONWOOD PLAZA, SUITE 151
 5290 BELTLINE ROAD
 ADDISON, TEXAS



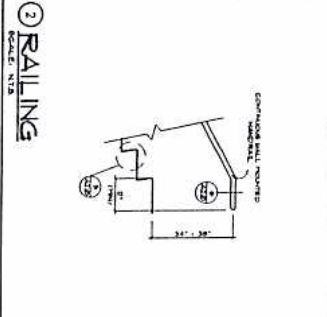
FLOOR PLAN
SCALE 3/8" = 1'-0"

GENERAL PLAN NOTES:

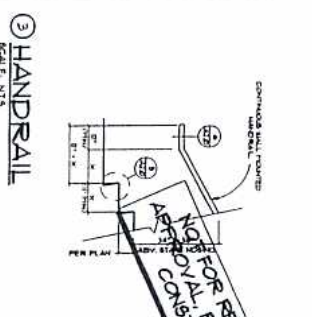
- 1. PROVIDE FIRE ALARMS, APPROVED FIRE EXTINGUISHERS IN 500-SQ-FOOT CABINETS AS REQUIRED BY CODE.
- 2. PROVIDE SMOKE IN SMOKE SULLS FOR CABINETS AND SMOKE DAMPERS AS NECESSARY. SEE PLANS FOR LOCATIONS.
- 3. ALL DIMS TO BE VERIFIED IN FIELD.



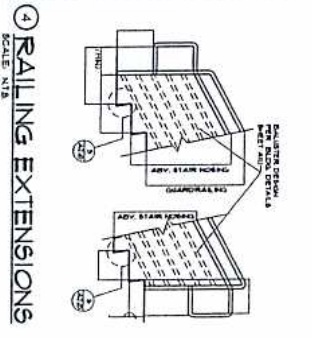
EDGE PROTECTION
SCALE: NTS



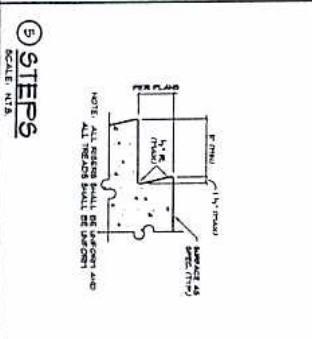
RAILING
SCALE: NTS



HANDRAIL
SCALE: NTS



RAILING EXTENSIONS
SCALE: NTS



STEPS
SCALE: NTS



INT. GRAB BAR
SCALE: NTS

LOGAN'S GRILL
PRESTONWOOD PLAZA, SUITE 151
MELTLINE ROAD
ADDISON, TEXAS

LOGAN'S GRILL
PRESTONWOOD PLAZA, SUITE 151
MELTLINE ROAD
ADDISON, TEXAS

CORNERSTONE GROUP ARCHITECTS
7000 Lee Caves Rd., Suite 200 Austin, Texas 78746 (512)229-6007 FAX (512)229-0008 www.csgazustm.com

FLOOR PLAN
ORDINANCE 007-008

OFFICE OF THE CITY SECRETARY
A220
LOGAN'S GRILL
PRESTONWOOD PLAZA, SUITE 151
MELTLINE ROAD
ADDISON, TEXAS



LOGAN'S GRILL EXTERIOR REMODEL