

TOWN OF ADDISON, TEXAS

ORDINANCE NO. 007-018

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING SPECIAL USE ORDINANCE NO. 099-002 BY AMENDING THE SITE PLAN TO PROVIDE FOR A MASTER PLAN FOR THE SCHOOL, ON APPLICATION WITH TRINITY CHRISTIAN ACADEMY, LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF ADDISON ROAD AND SOJOURN DRIVE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A REPEAL CLAUSE; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, condition, and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Ordinance No. 099-002 passed by the City Council on the 9th day of February, 1999, is hereby amended by amending Section 2 to read as follows:

SECTION 2. The site shall be developed in accordance with the revised master plan for the site, which shall incorporate the building located at 4350 Sojourn Drive. Prior to the issuance of a Certificate of Occupancy for the building located at 4350 Sojourn Drive, a crosswalk shall be installed that includes the following items:

- 260 feet of sidewalk, 5.5 feet wide, installed from the west property line of Trinity Christian Academy across the Addison Place site to the easternmost driveway at the Addison Place neighborhood.
- A 10-foot wide crosswalk, marked with high conspicuity reflective markings in a ladder configuration consisting of 24" solid stripe, 24" gap, 24" solid stripe.
- An S1-1 crosswalk warning sign with a W16-7pR plaque, placed at least 2 feet off the curb immediately adjacent to the crosswalk.
- Crosswalk to be located at Location B, as shown on the traffic analysis provided by the applicant.

The landscaping on the site shall be renovated in accordance with the approved plan on file before the issuance of a Certification of Occupancy.

SECTION 2. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.


SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

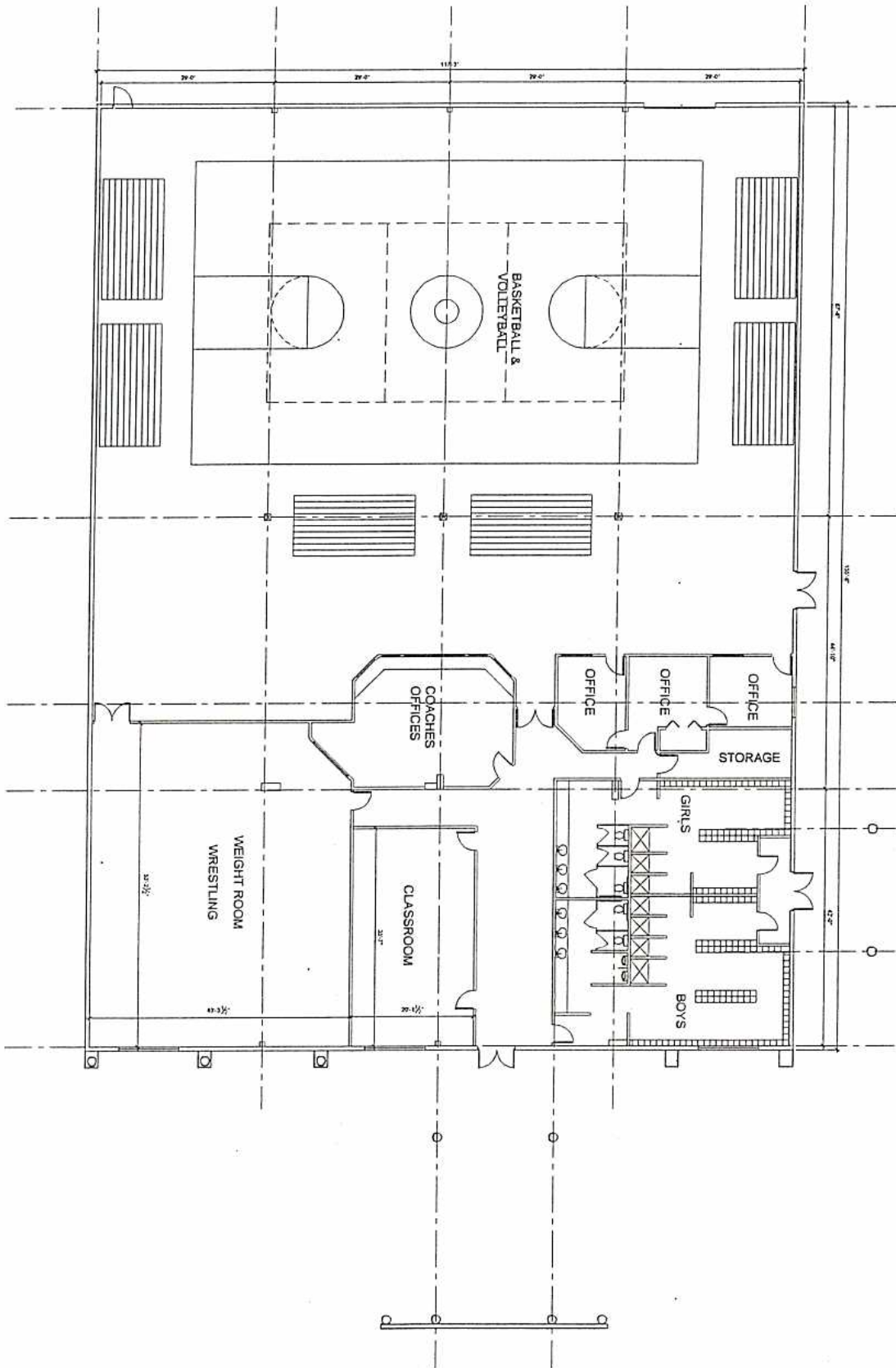
**DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,
TEXAS**, on this the 10th day of July 2007.


MAYOR

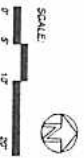
ATTEST:


CITY SECRETARY
CASE NO.: 1540-SUP

**PUBLISHED
8/30/2007**



PRELIMINARY FLOOR PLAN



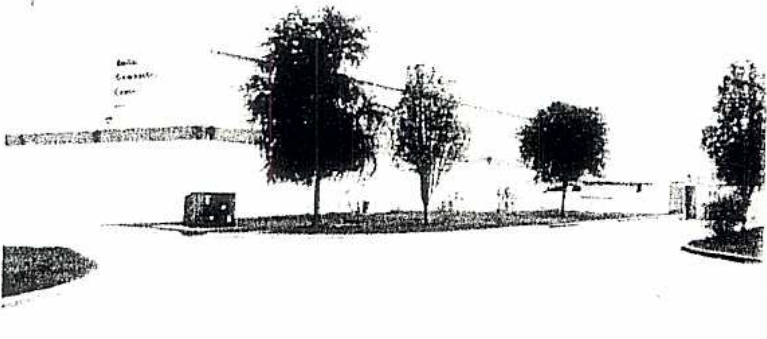
ATHLETIC FACILITY
TRINITY CHRISTIAN ACADEMY
 SOJOURN DRIVE
 ADDISON, TEXAS

ORDINANCE NO.

1/100 SCALE
 DATE: 10/20/07
 DRAWN: J. L. BROWN
 CHECKED: J. L. BROWN

WEST & ASSOCIATES
 ARCHITECTS
 CONSULTING ENGINEERS

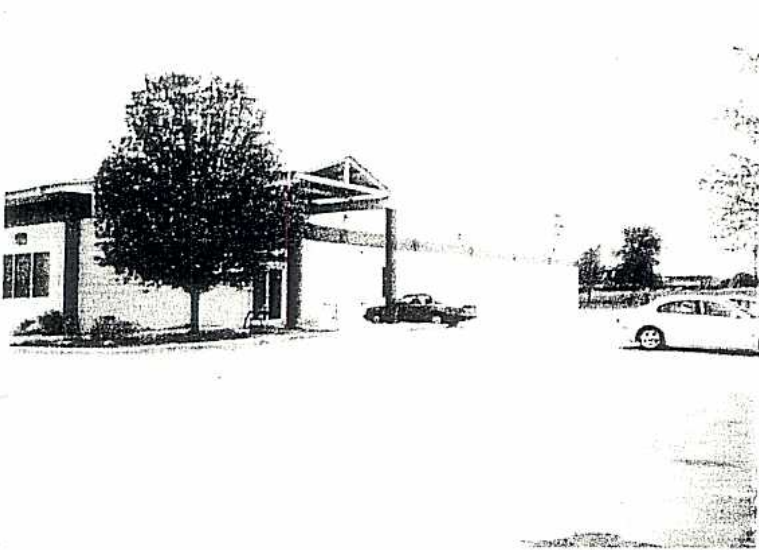
A-1



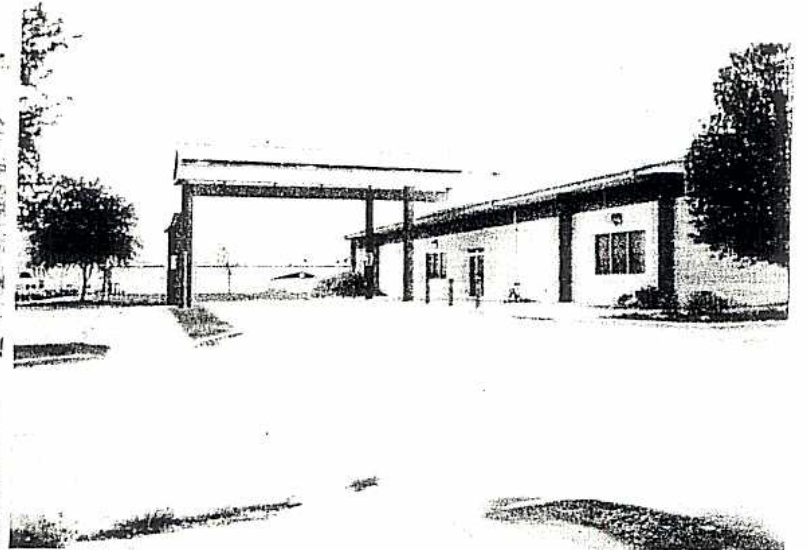
7. Northwest corner, looking southeast.



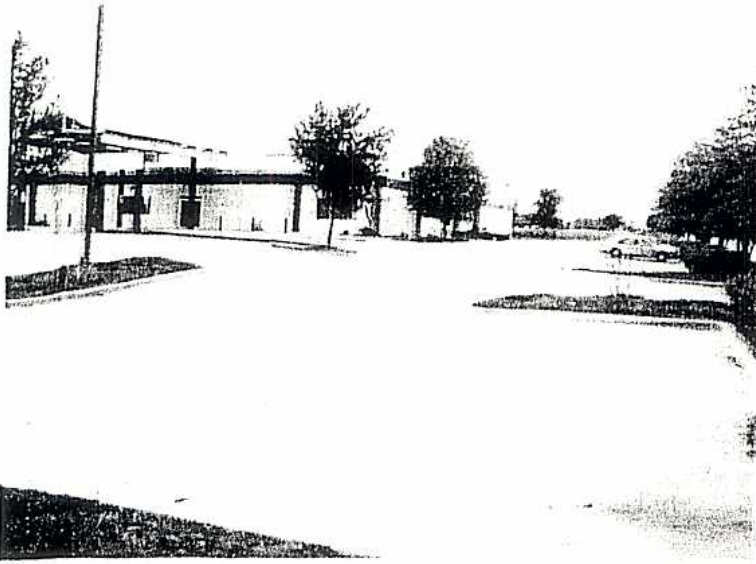
8. Northwest corner, looking east.



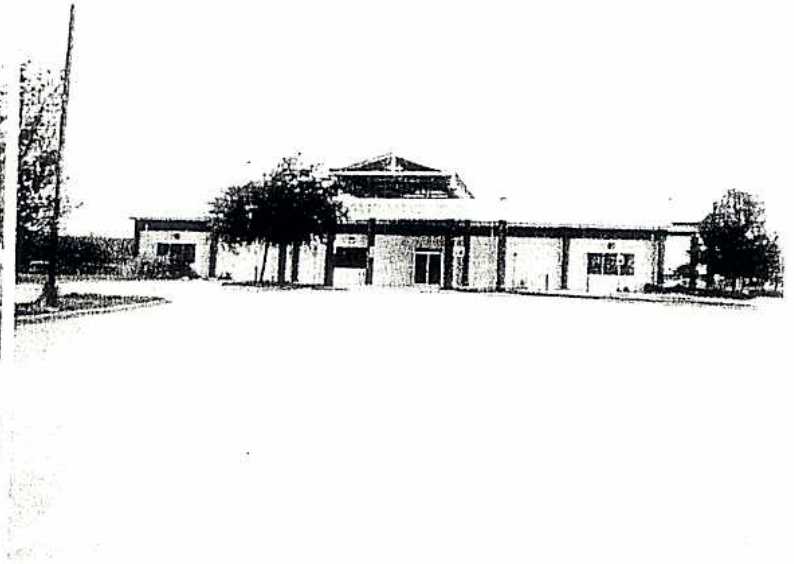
9. Northeast corner, looking west.



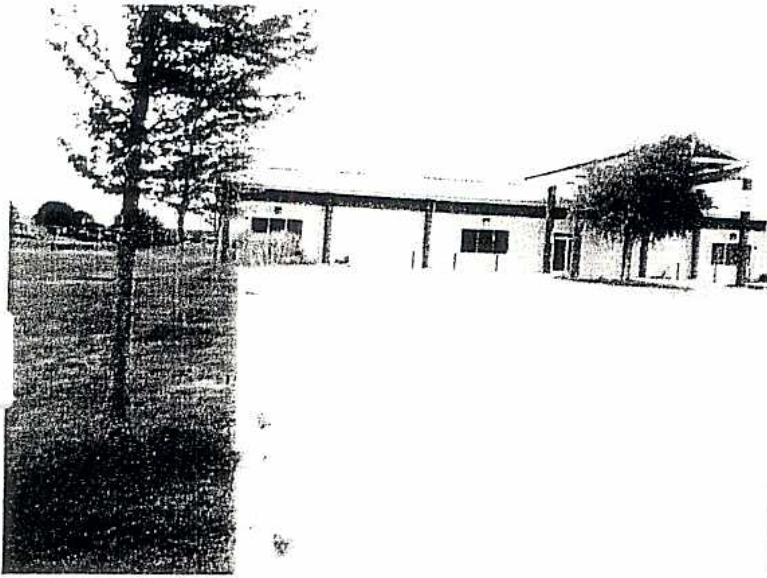
10. Northeast corner, looking south.



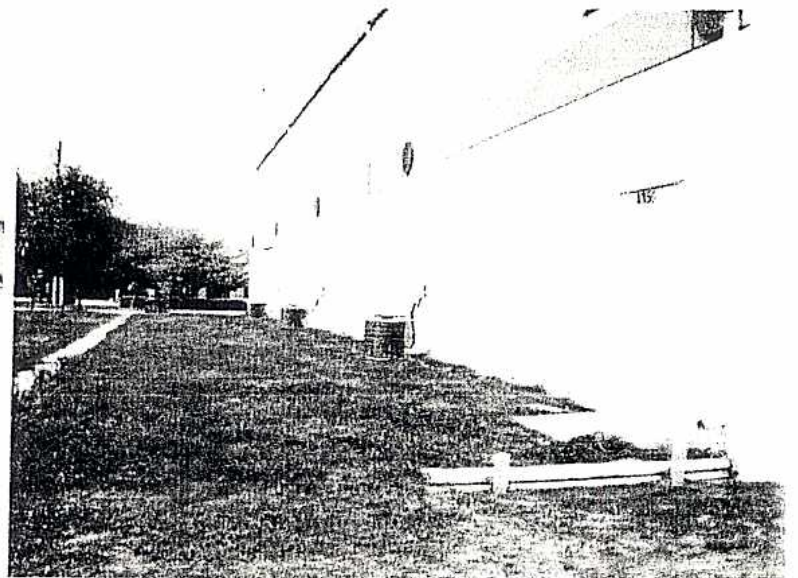
1. Parking area, looking west along north side.



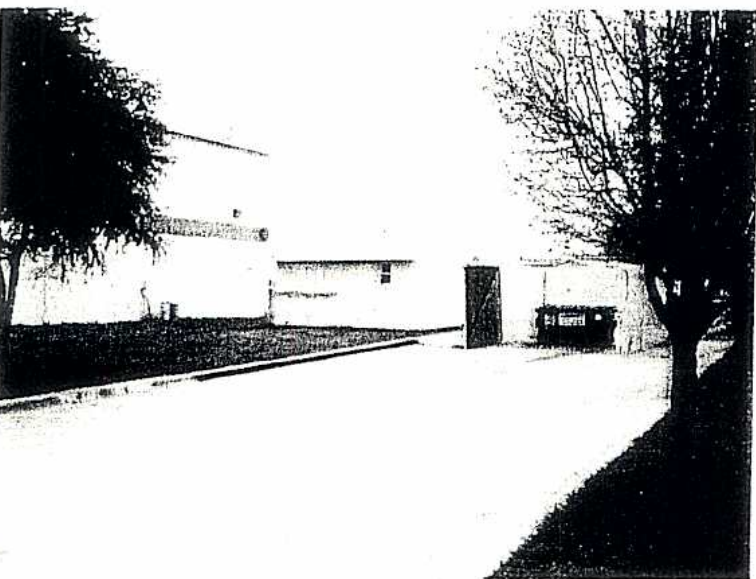
2. Main porte-cochere and parking, looking west.



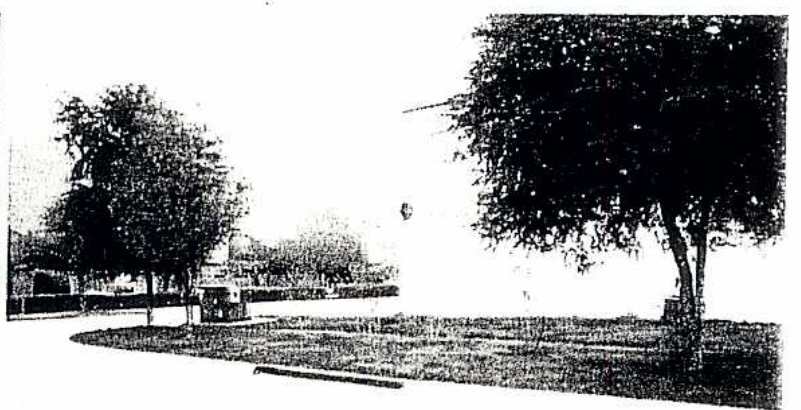
3. Main porte-cochere and parking, looking west.



4. Building wall along south property line.



5. Trash facility and utility building on west side, looking south.



6. Northwest corner, looking north towards Sojourn.