

**TOWN OF ADDISON, TEXAS
ORDINANCE NO. 009-024**

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, APPROVING A FINAL DEVELOPMENT PLAN FOR A RESIDENTIAL PROJECT OF APPROXIMATELY 90 CONDOMINIUM UNITS AND 42 TOWNHOME UNITS, AS REQUIRED BY THE "UC" DISTRICT ORDINANCE, RESIDENTIAL SUB-DISTRICT, ON APPLICATION FROM RYLAND HOMES, LOCATED ON ONE TRACT OF 3.98 ACRES AT THE SOUTHEAST CORNER OF AIRPORT PARKWAY AND QUORUM DRIVE, AND BEING MORE PARTICULARLY DESCRIBED IN THE BODY OF THIS ORDINANCE; PROVIDING FOR APPROVAL OF WAIVERS TO DESIGN STANDARDS, PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,

SECTION 1. That the Addison City Council does hereby approved a final development plan for the hereinafter described property, said property being located

within the UC – Urban Center zoning district, Residential subdistrict, said property being in the Town of Addison, Texas, and being described as follows:

BEING a tract of land situated in the G.W. Fisher Survey, Abstract No. 482 in the City of Addison, Dallas County, Texas, said tract also being part of the L.L.Jacobs Tract as shown by Deed in Volume 2131 at Page 422-424, Deed Records of Dallas County, Texas, and also part of a tract of land conveyed to Chaney and Hope, Inc. as shown by Deed in Volume 78194 at Page 1741, Deed Records of Dallas County, Texas, and being all of the tract of land conveyed to Quorum East Joint Venture as shown by Deed in Volume 93022 at page 5219, Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a point of intersection of the East line of Addison Road (a 60 foot right-of-way) with the South line of Airport Parkway (formerly Harris Road) (a 55 foot right-of-way);

THENCE South 89 degrees 37 minutes 15 seconds East, a distance of 1266.62 feet along the said South line of Airport Parkway to the POINT OF BEGINNING;

THENCE South 89 degrees 37 minutes 15 seconds East, along the said South line of Airport Parkway a distance of 474.60 feet to a 1/2 inch iron rod found for corner and being the Northwest corner of Dallas North Parkway Addition as shown in Volume 85021, Page 16867, of the Plat Records of Dallas County, Texas,

THENCE South 44 degrees 56 minutes 29 seconds East, along the west line of Spectrum Drive a distance of 14.22 feet to a 1/2 inch iron rod found for corner;

Thence South 00 degrees 15 minutes 44 seconds East, along the common line of said Dallas North Parkway Addition a distance of 344.68 feet to a 1/2-inch iron rod found for corner in the North line of a tract of land conveyed to OPUBCO Resources as recorded in the Volume 78070, Page 3638 of the Deed Records of Dallas County, Texas, said iron rod also being the Southwest corner of said Dallas North Parkway Addition;

THENCE North 89 degrees 36 minutes 38 seconds West, along said North line of said OPUBCO Resources a distance of 480.85 feet to a 1/2 inch iron rod found for corner in the East line of Quorum Drive (a 90 foot right-of-way);

THENCE North 44 degrees 37 minutes 10 seconds West, along the said East line of Quorum Drive a distance of 14.99 feet to a 1/2 inch iron rod found for corner;

THENCE North 00 degrees 21 minutes 32 seconds East along the said East line of Quorum Drive a distance of 340.88 feet to a 1/2 inch iron rod found for corner;

THENCE North 45 degrees 35 minutes 09 seconds East, along the said East line of Quorum Drive a distance of 4.23 feet to the PLACE OF BEGINNING and CONTAINING 3.98 acres of land.

SECTION 2, As provided in the "UC" Urban Center, Residential Subdistrict, – Article of the Comprehensive Zoning Ordinance, said property shall be developed in accordance with the final development plans, which are attached hereto and made a part hereof for all purposes.

SECTION 3. As provided in the "UC" Urban Center, Residential Subdistrict, Article of the Comprehensive Zoning Ordinance, the property shall be developed in accordance with the final development plans, with the following waivers to design standards:

APPROVED WAIVERS FOR RYLAND TOWNHOMES

Waiver of design standards in order to allow lot widths to be 22 feet as opposed to the 25 feet required by the ordinance

Waiver to design standards in order to allow depths of 45 feet as opposed to the 55 feet required by the ordinance.

Waiver to design standards in order to allow lot coverage of 100% of the lot as opposed to the 65% of the lot required by the ordinance

Waiver to design standards in order to allow a minimum three-foot setback against the Category C, (Residential) Streets (Calloway), as opposed to the five-foot setback required by the ordinance, and a waiver to design standards in order to allow a seven-foot setback against the Category D (Quorum, Spectrum, Airport Parkway) streets, as opposed to the ten-foot setback required by the ordinance.

Waiver to design standards in order to use composition shingles as a roofing material.

APPROVED WAIVERS FOR SAVANNAH HOMES CONDOMINIUMS

Waiver to the design standard for minimum width and minimum depth for a lot.

Waiver to design standards in order to allow a minimum seven-foot setback against a Category D street (Spectrum Drive), as opposed to the ten-foot setback required by the ordinance.

Wavier to design standards in order to allow for not less than 70 percent of the exterior cladding of all exterior walls fronting or visible from public streets (including above grade parking structures) be brick or stone construction.

SECTION 4. As provided in the "UC" Urban Center Article of the Comprehensive Zoning Ordinance, the property shall be developed in accordance with the final development plans, subject to the following special conditions:

CONDITIONS FOR APPROVAL:

- All townhomes on the site shall contain the following design elements:
 - divided light windows
 - overhangs and gables
 - 30% of the front and sides of each building shall be stone façade. Alley sides of buildings are not required to include stone in the façade.
 - all units within a building shall be composed of the same brick. However, not all buildings have to use the same brick.
 - front yard enclosures are to be provided on buildings facing Quorum Drive, Spectrum Drive, and Calloway Drive
 - all fencing, stair rails, and balcony railings shall be metal. No wood fencing or railings will be allowed.
 - all air conditioning units shall be screened with a sight-barring material which shall be approved by the staff.
 - GAF "Grand Slate" composition shingles, with lifetime warranty, shall be used on all roofs.
 - All roof vents, plumbing stacks, and mechanical vents shall be installed on the back side of the roof ridge line to the fullest extent possible.
 - Units in Block C, units 1-8, (as shown on the approved final plat for Meridian Square) shall be constructed using noise mitigation methods so that outside noise levels, measured within the habitable space of the dwelling unit, do not exceed 45 DNL. A certified acoustical engineer shall approve the construction plans for units 1-8 to assure they will provide a 45 DNL noise level, and a certified acoustical engineer shall inspect the units, once they are constructed, and verify that the required noise level has been attained. The applicant shall bear all costs for hiring the certified acoustical engineer.

- The tree wells on all public streets shall be designed to match the Fairfield Development tree wells, which include a concrete curb edge separating the pavers from the planting bed.

- Where possible, plantings (shrubs or vines) shall be added in the alleys to soften the appearance from the streets.

- The dead-end alleys shall have appropriate signage.

-A 5-foot sidewalk easement shall be added along the Spectrum Drive frontage.

-Any encroachments into the public right-of-way shall comply with Chapter 32 of the 2006 IBC must be approved by the Public Works Department.

-The townhomes shall comply with the requirements of the 2006 IRC, unless a unity agreement is executed.

Fire hydrants shall be placed at 300-foot intervals along streets and fire lanes serving the property.

-All air conditioning units on the condominiums shall be screened from view on all sides with a solid material,

-Plans shall be revised to include a wing-wall or gateway element at all alley entrances to help screen views into the alleys.

-All paving and drainage design and construction must meet city standards.

-A final site plan must be approved by the Fire Department before issuance of a building permit.

-Detailed streetscape plans shall be submitted for review and approval for lighting, paving, irrigation, site furniture, and planting prior to the issuance of a building permit.

-The on-going open space maintenance shall be the owners/homeowners association's responsibility, which includes the maintenance of the living screen area along Airport Parkway.

SECTION 5. All paved areas, permanent drives, streets and drainage structure shall be constructed in accordance with standard Town of Addison specifications adopted for such purpose

SECTION 6. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 7. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

SECTION 8. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 11th day of August, 2009.


MAYOR-Joe Chow

ATTEST:

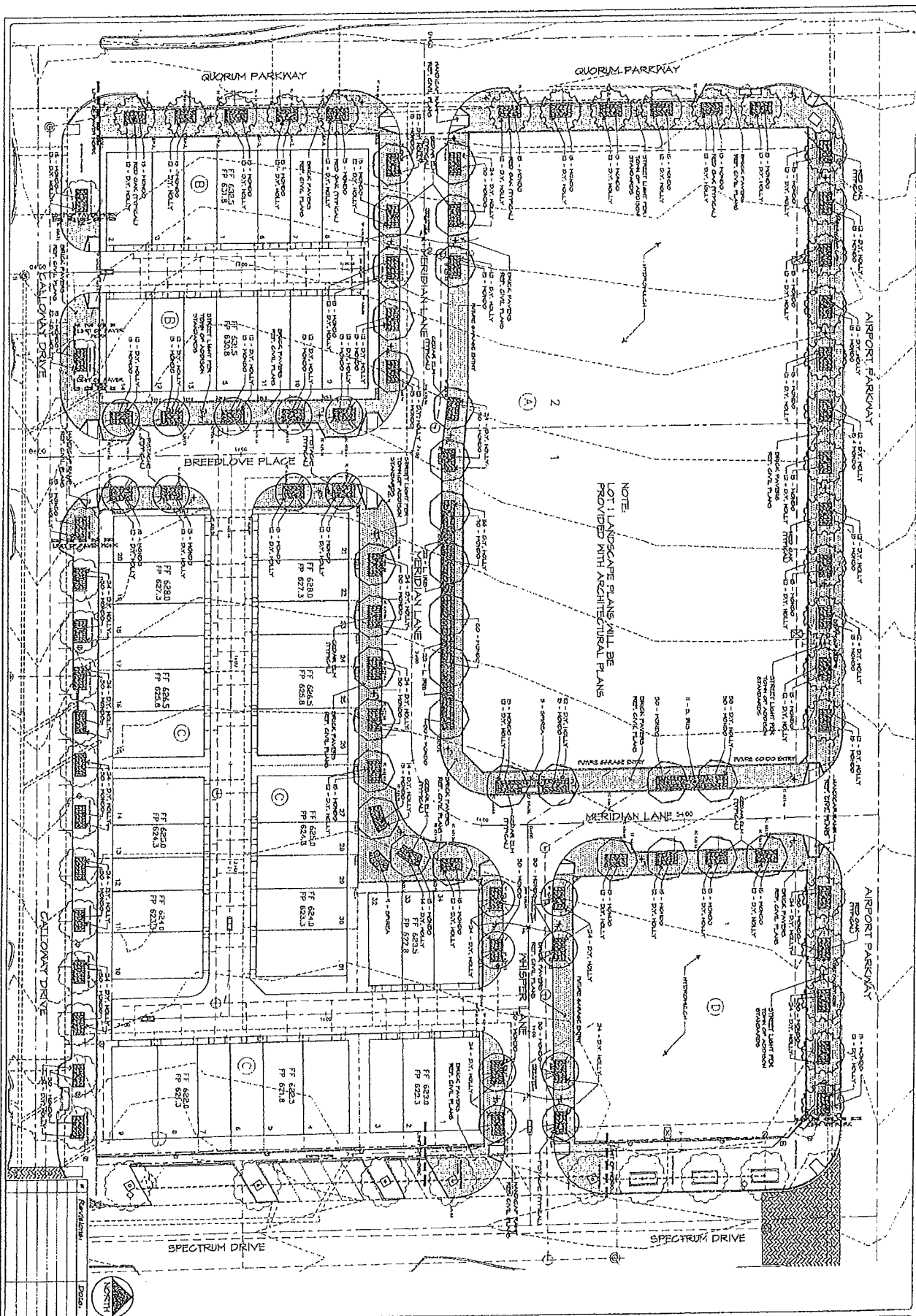

CITY SECRETARY-Lea Dunn

CASE NO. : 1581-Z/Meridian Square

APPROVED AS TO FORM:


DIRECTOR OF DEVELOPMENT SERVICES-
Carmen Moran

PUBLISHED ON: 1/10/2010



Sheet Title: Landscape Plan of 14 Sheets Sheet Number: 11	Project Title: Meridian Square R.O.W. Improvements Addison, Texas	Date: 08/25/2009 Scale: 1" = 20'-0" Drawing No.: 2009-11 Project No.: 150-2009		Grubbs Design Group Landscape Architecture - Construction Management
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All townhomes on the site shall contain the following design elements:

- *divided light windows
- *overhangs and gables
- *30% of the front and sides of each building shall be stone facade. Alley sides of buildings are not required to include stone in the facade.
- *the hand-plank elements shown on the fronts of the units shall be limited to the areas shown.
- *all units within a building shall be composed of the same brick. However, not all buildings have to use the same brick.

*front yard enclosures are to be provided on buildings facing Quorum Drive, Spectrum Drive, and Calloway Drive.

*all fencing, stair rails, and balcony railings shall be metal. No wood fencing or railings will be allowed.

*all air conditioning units shall be screened with a sight-barring material which shall be approved by the staff.

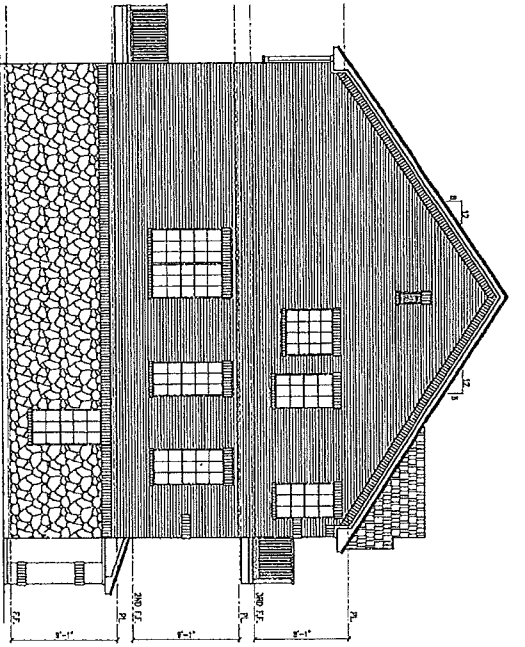
*GAF "Grand Slate" composition shingles, with lifetime warranty, shall be used on all roofs.

*All roof vents, plumbing stacks, and mechanical vents shall be installed on the back side of the roof ridge line to the fullest extent possible.

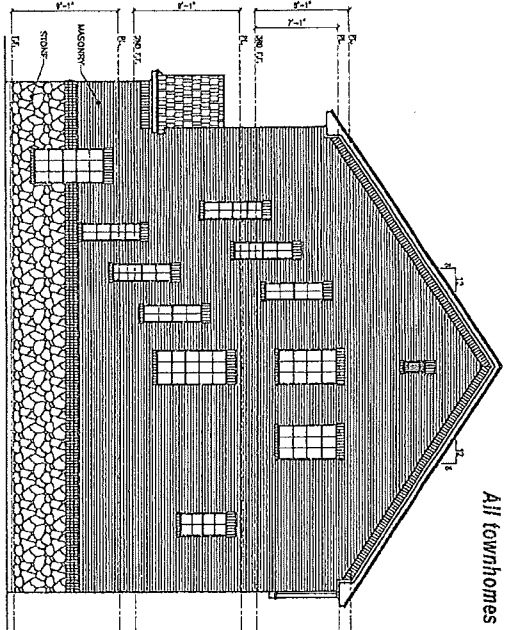
*Units in Block C, units 1-8, (as shown on the approved final plat for Meridian Square) shall be constructed using noise mitigation methods so that outside noise levels, measured within the habitable space of the dwelling unit, do not exceed 45 dNL. A certified acoustical engineer shall approve the construction plans for units 1-8 to assure they will provide a 45 dNL noise level, and a certified acoustical engineer shall inspect the units, once they are constructed, and verify that the required noise level has been attained. The applicant shall bear all costs for hiring the certified acoustical engineer.

*Where possible, plantings (shrubs or vines) shall be added in the alleys to soften the appearance from the streets.

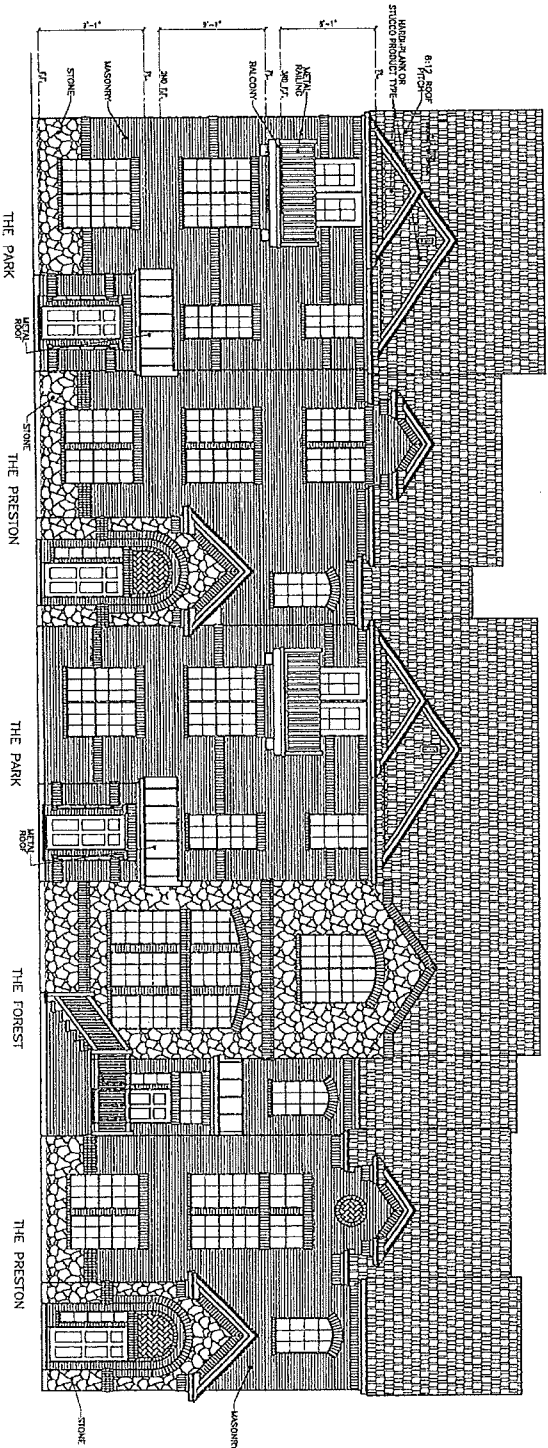
*Any encroachments into the public right-of-way shall comply with Chapter 32 of the 2006 IBC must be approved Public Works Department.



MERIDIAN SQUARE
END UNIT

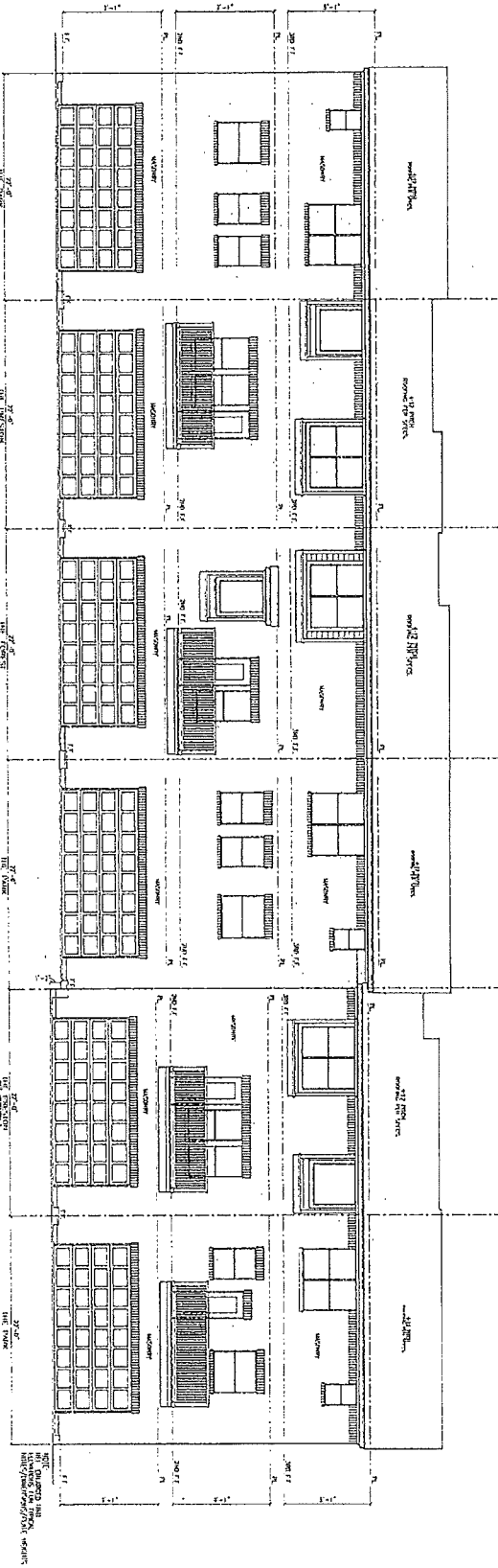


MERIDIAN SQUARE
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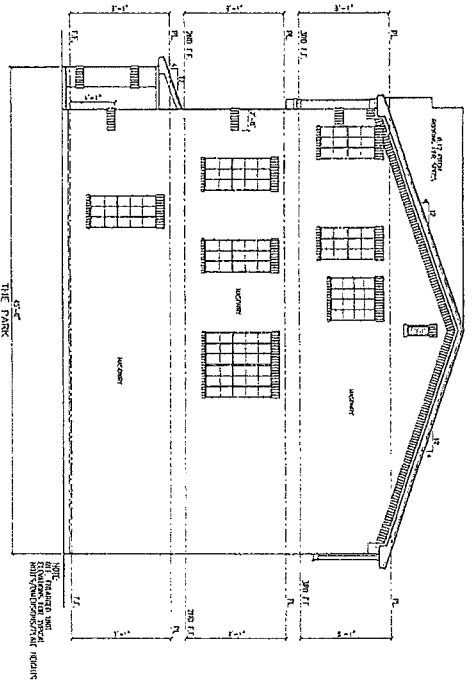


MERIDIAN SQUARE

3 REAR ELEVATION (BUILDING 5)

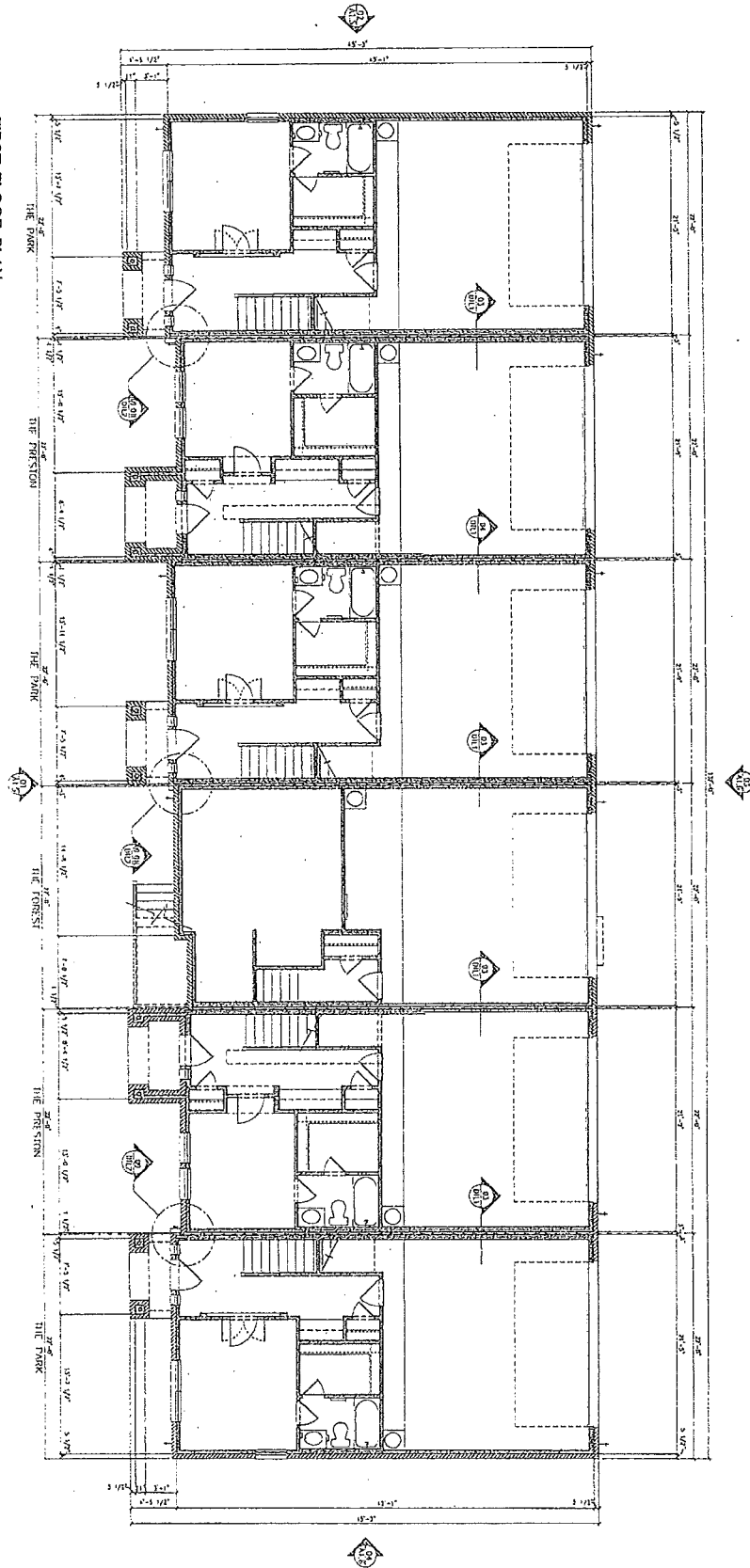


4 RIGHT ELEVATION (BUILDING 5)

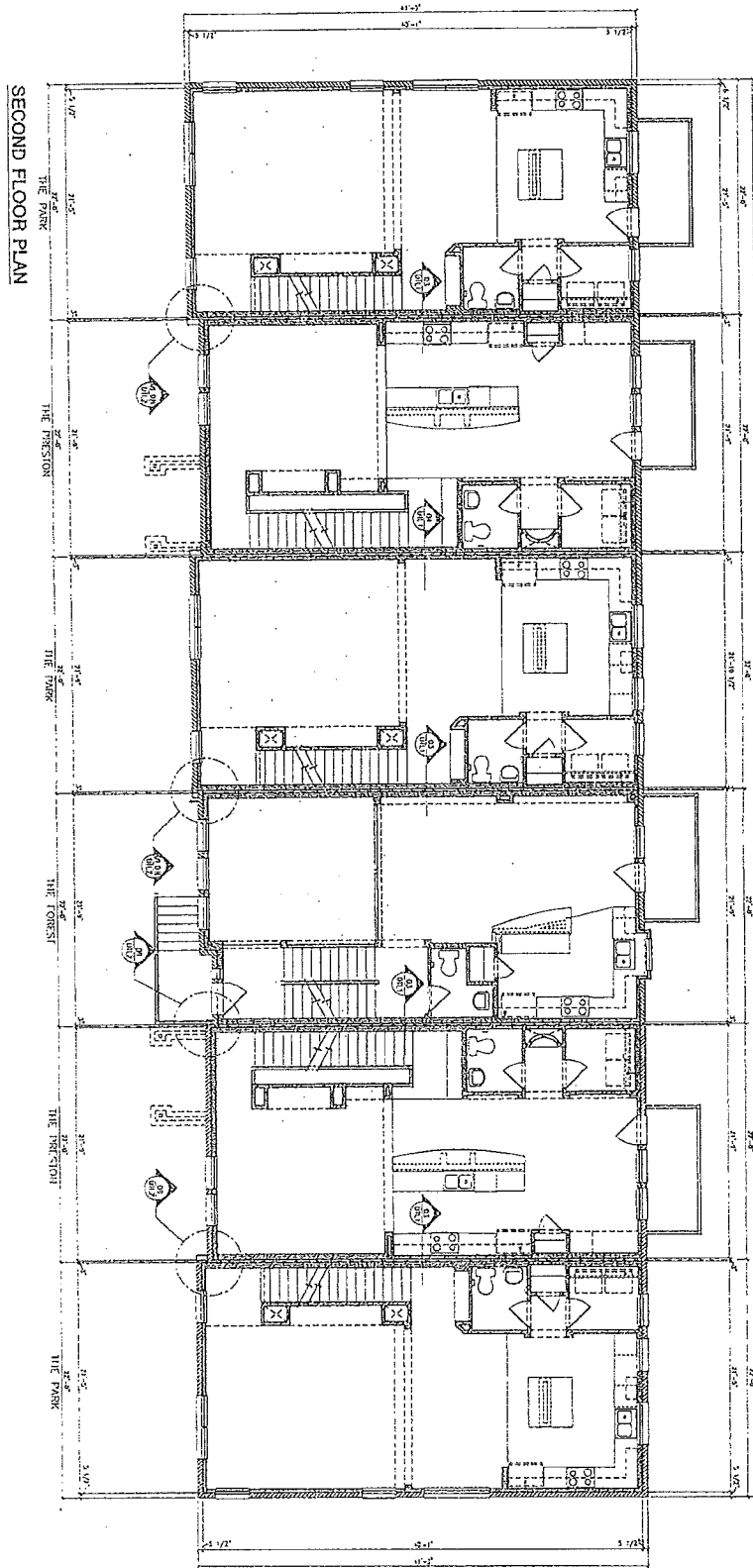


<p>SHEET A1.6 of</p>	<p>EXTERIOR ELEVATIONS SCALE: 3/32" = 1'-0"</p>	<p>PARKVIEW BUILDING 5</p>	<p>RYLAND HOMES</p>
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FIRST FLOOR PLAN

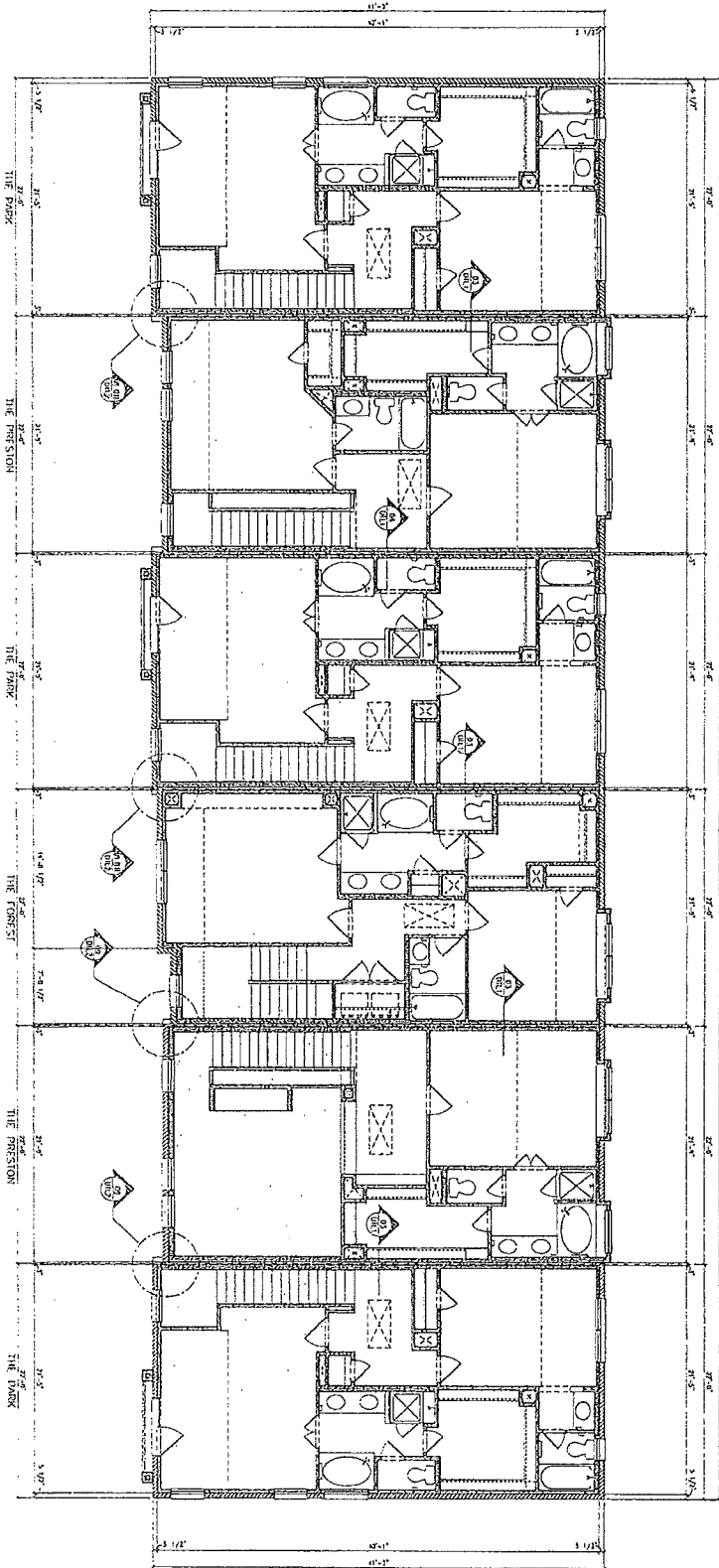


SHEET OF A11	1st FLOOR BUILDING PLAN SCALE: 3/32" = 1'-0"	PARKVIEW BUILDING 5	RYLAND HOMES
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SHEET A12 of	2ND FLOOR BUILDING PLAN SCALE: 1/32" = 1'-0"	PARKVIEW BUILDING 5	RYLAND HOMES®
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THIRD FLOOR PLAN



SHEET
A13
OF

3RD FLOOR BUILDING PLAN
SCALE: 3/32" = 1'-0"

PARKVIEW
BUILDING 5

RYLAND
HOMES®

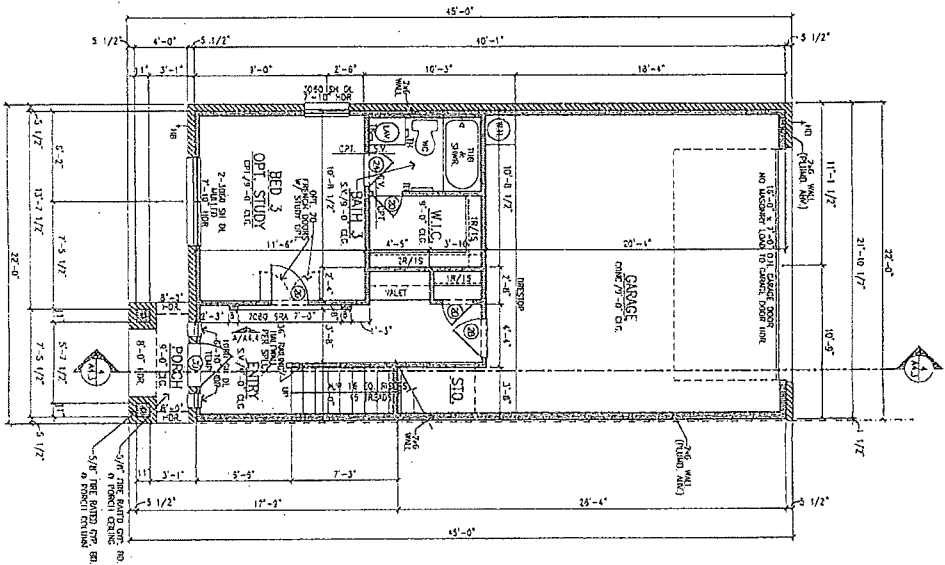
RYLAND HOMES reserves the right to change plans, specifications, and prices without notice.

RYLAND
HOMES

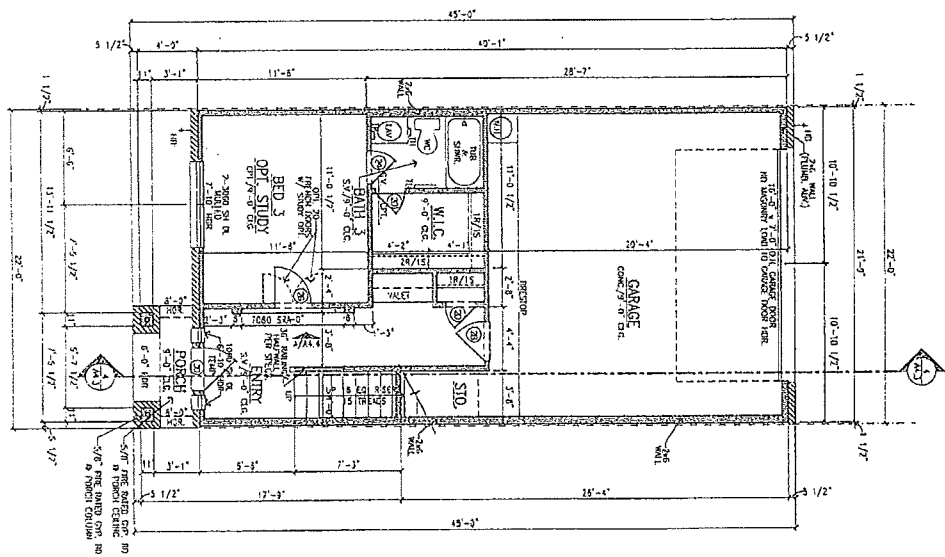
PARKVIEW
PARK UNIT PLANS

UNIT PLANS
SCALE: 1/4" = 1'-0"

SHEET
A4.0
OF

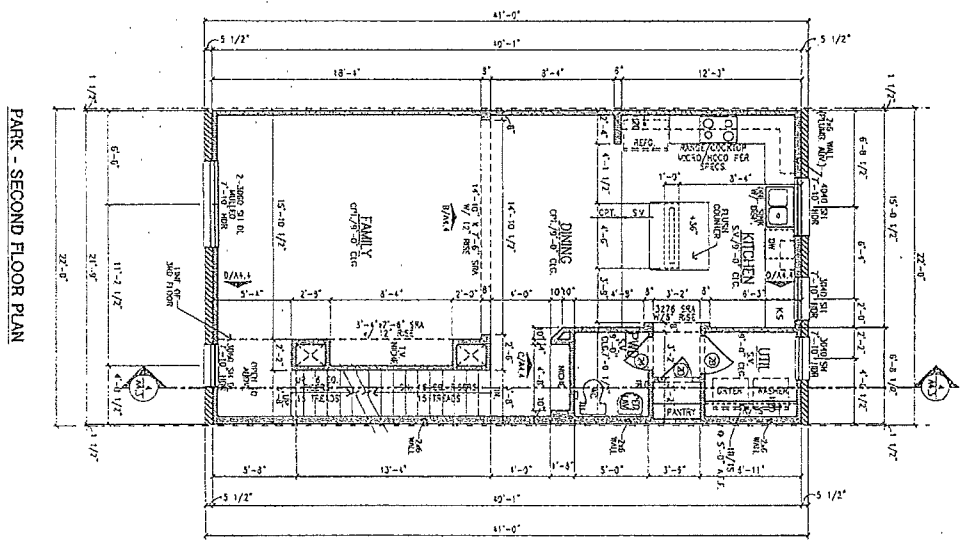
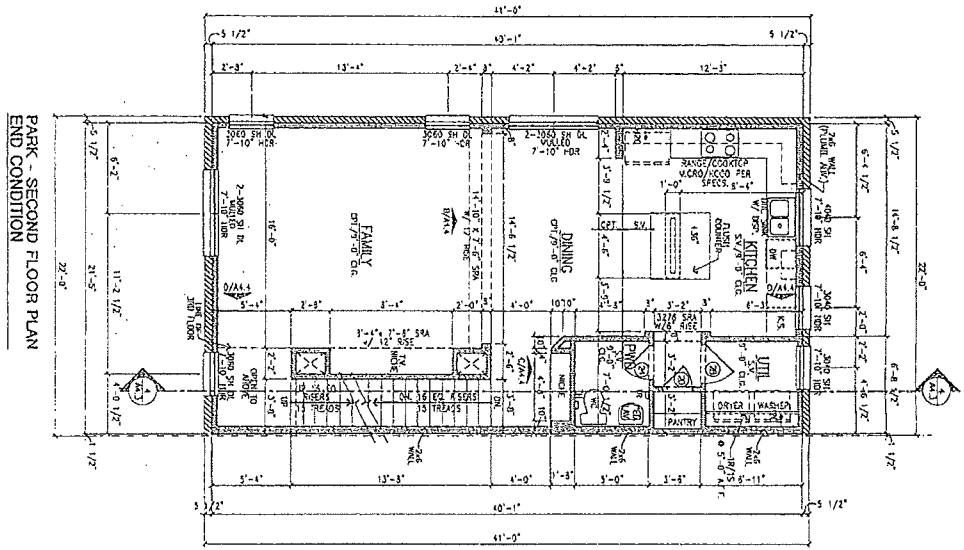
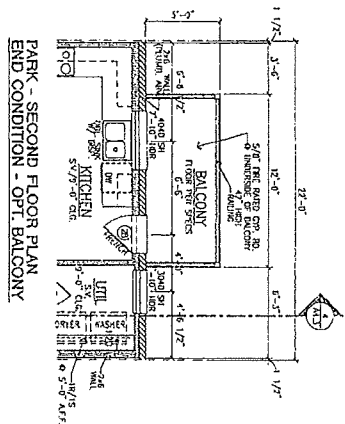
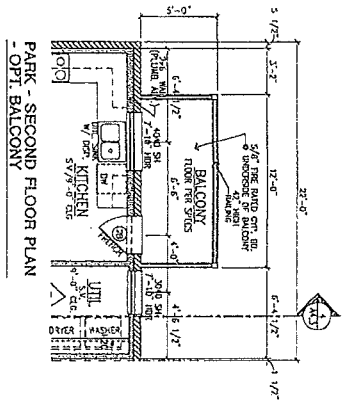


PARK - FIRST FLOOR PLAN
END CONDITION



PARK - FIRST FLOOR PLAN

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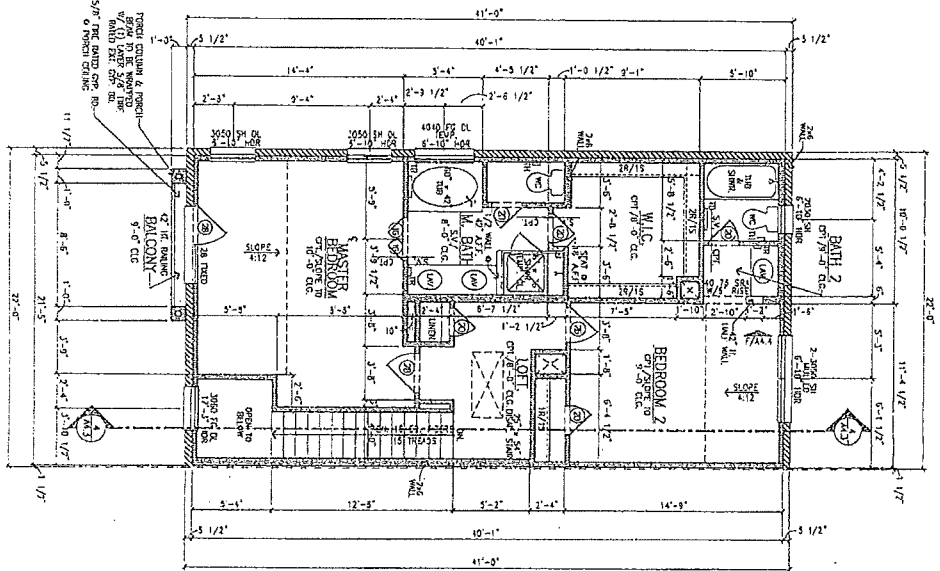
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RYLAND HOMES

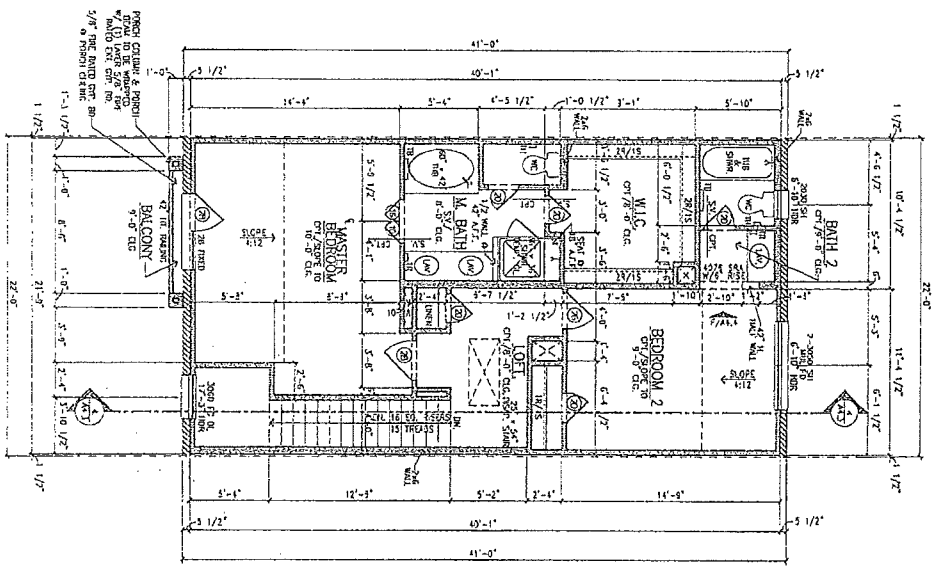
PARKVIEW
PARK UNIT PLANS

UNIT PLANS
SCALE: 1/4" = 1'-0"

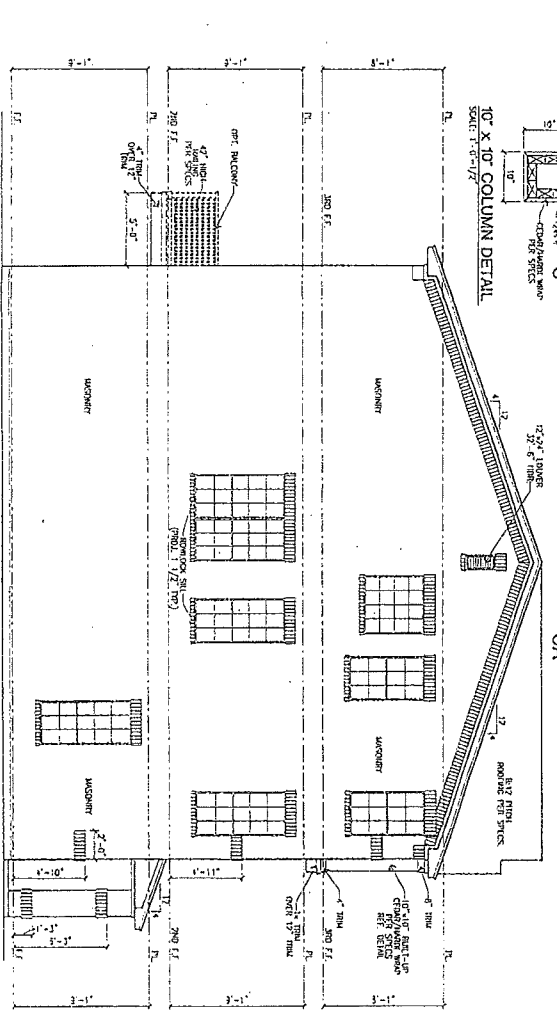
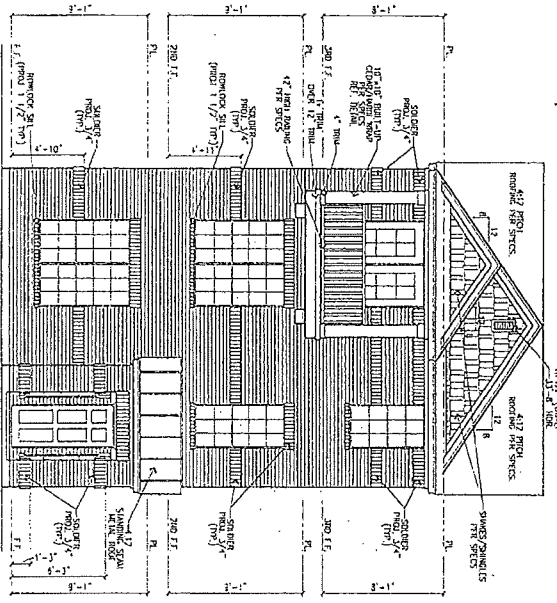
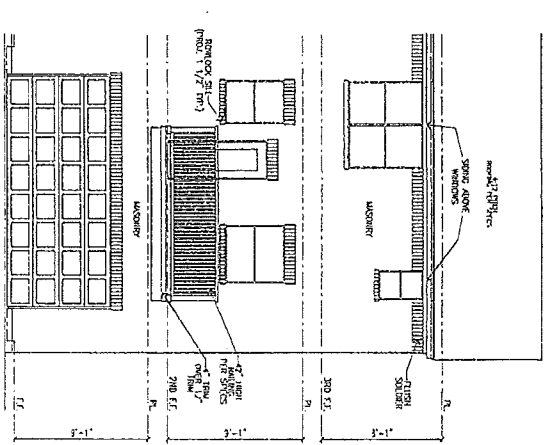
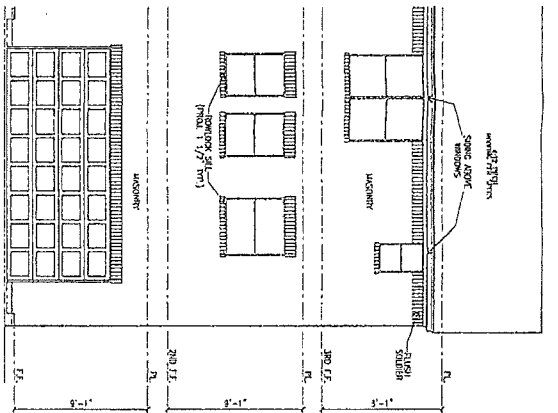
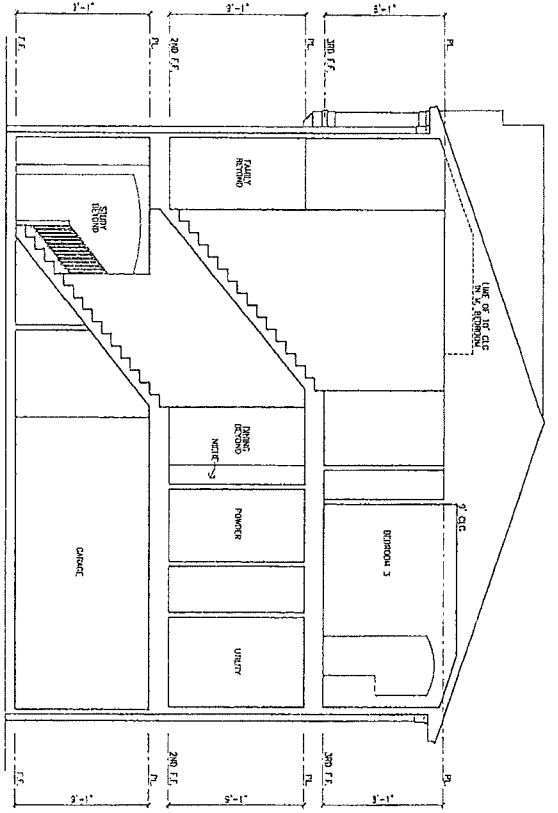
SHEET
AA2



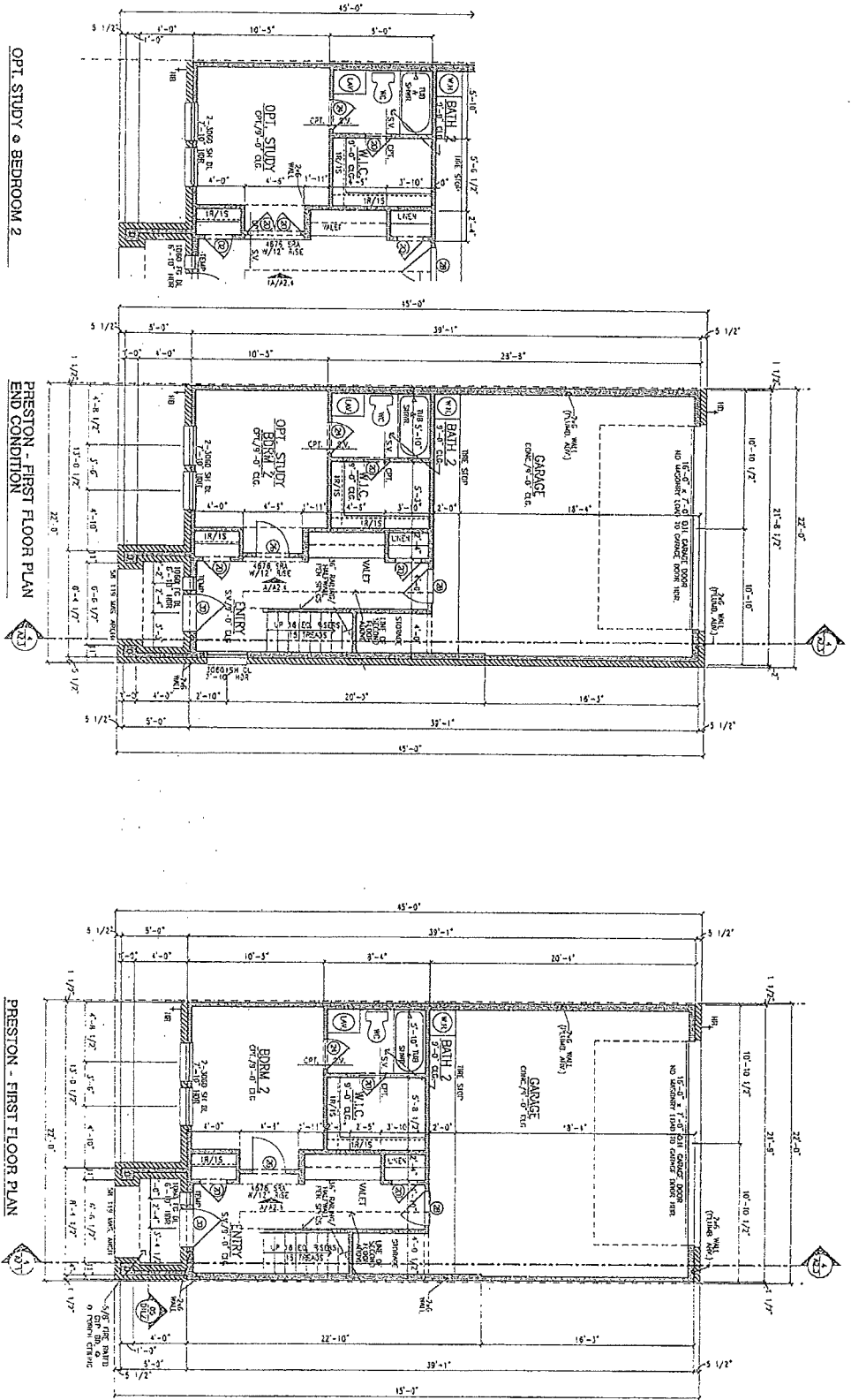
PARK - THIRD FLOOR PLAN
END CONDITION



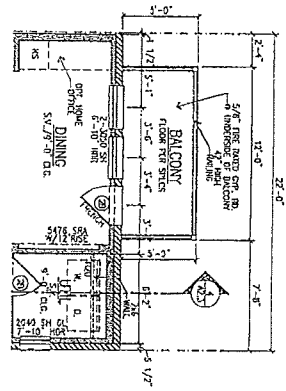
PARK - THIRD FLOOR PLAN



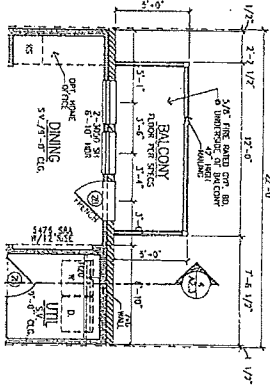
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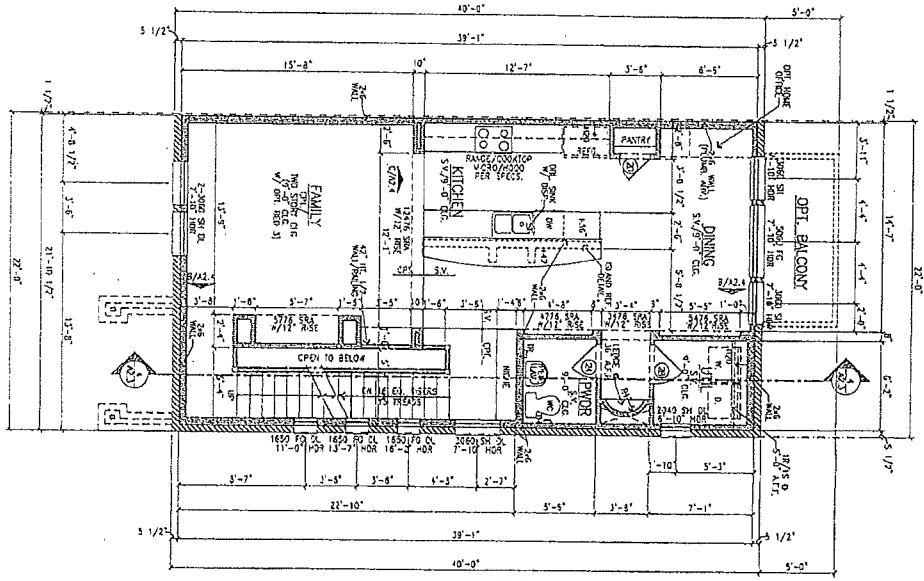
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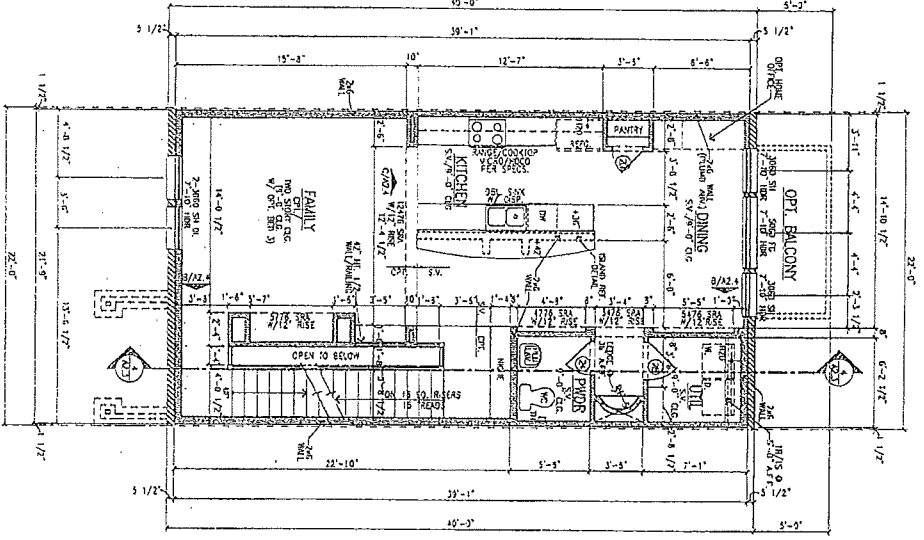
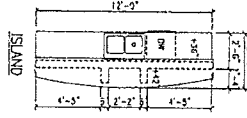
PRESTON - SECOND FLOOR PLAN
END CONDITION - OPT. BALCONY



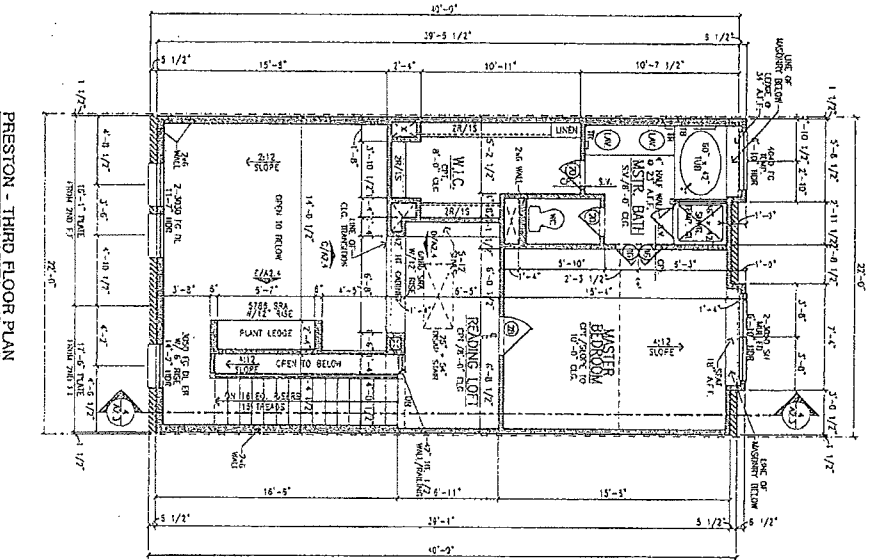
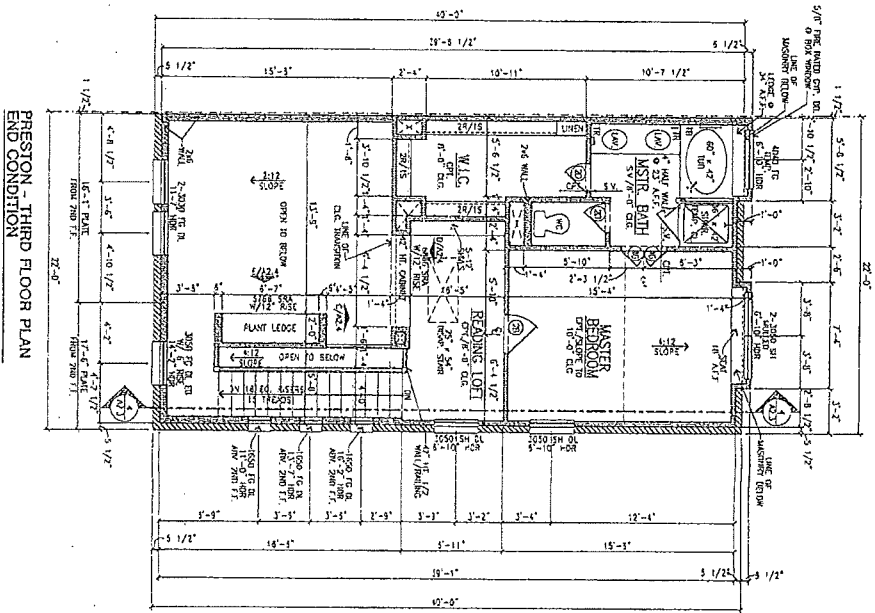
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OPT. BALCONY



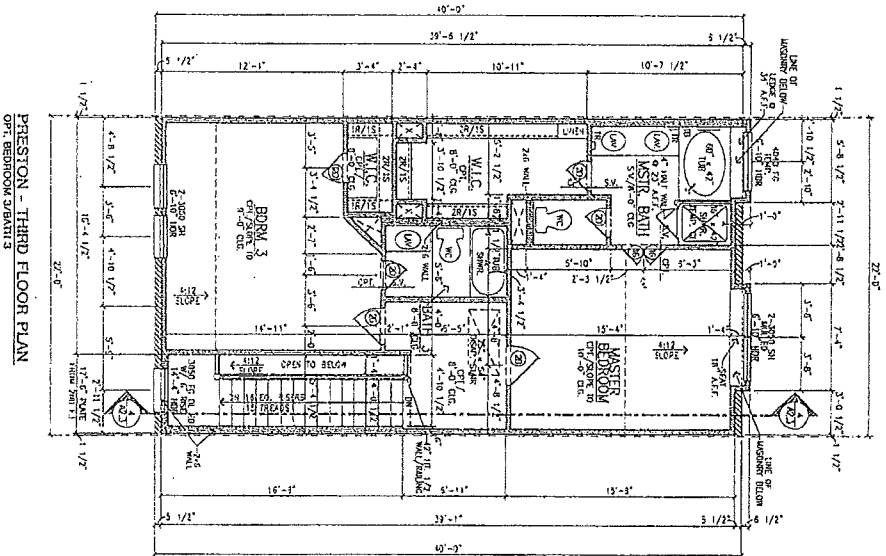
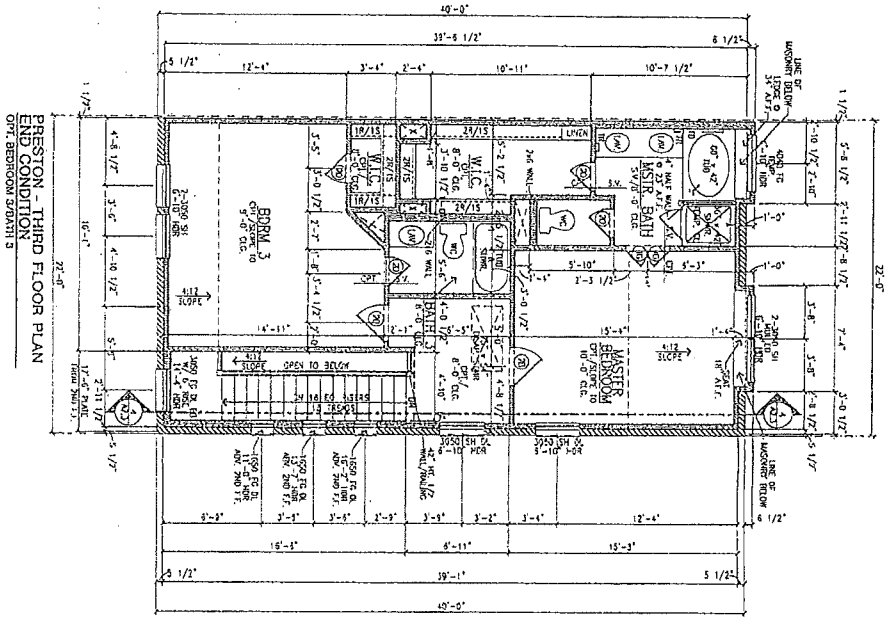
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END CONDITION



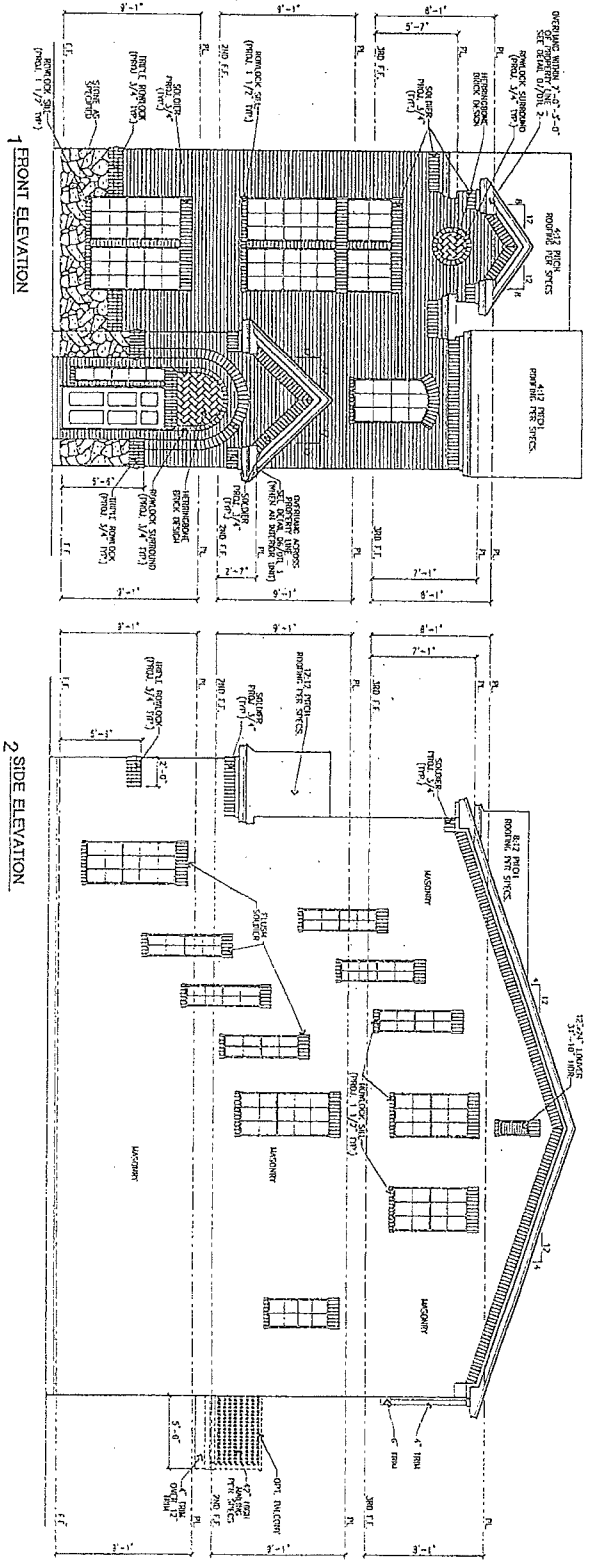
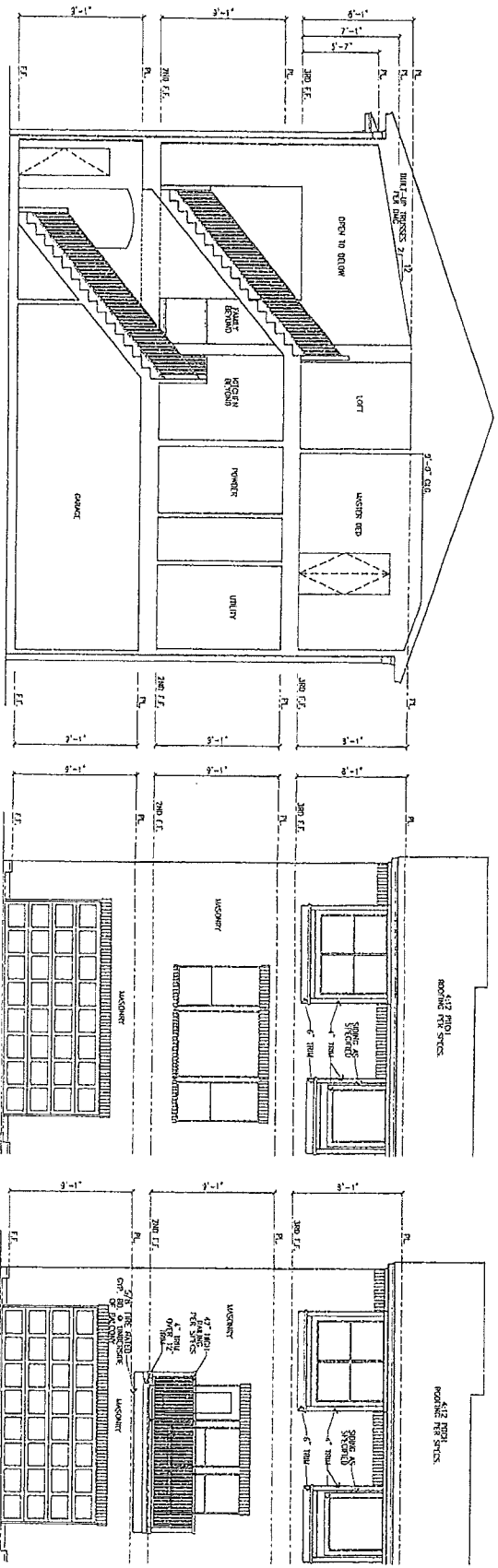
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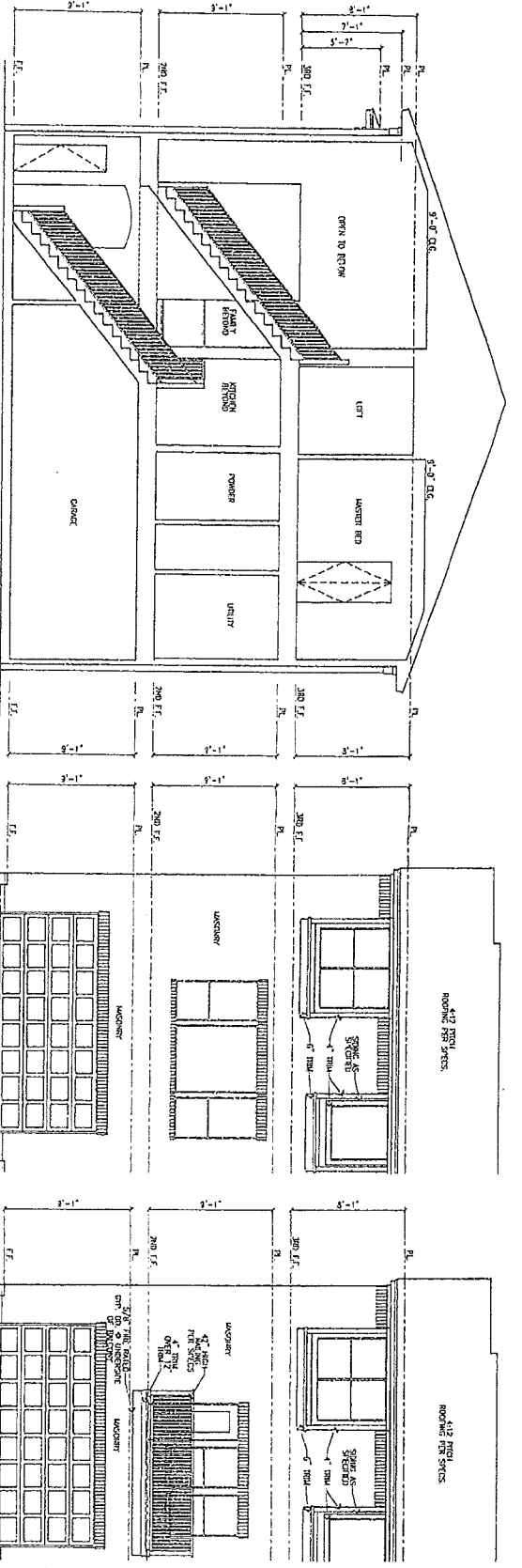


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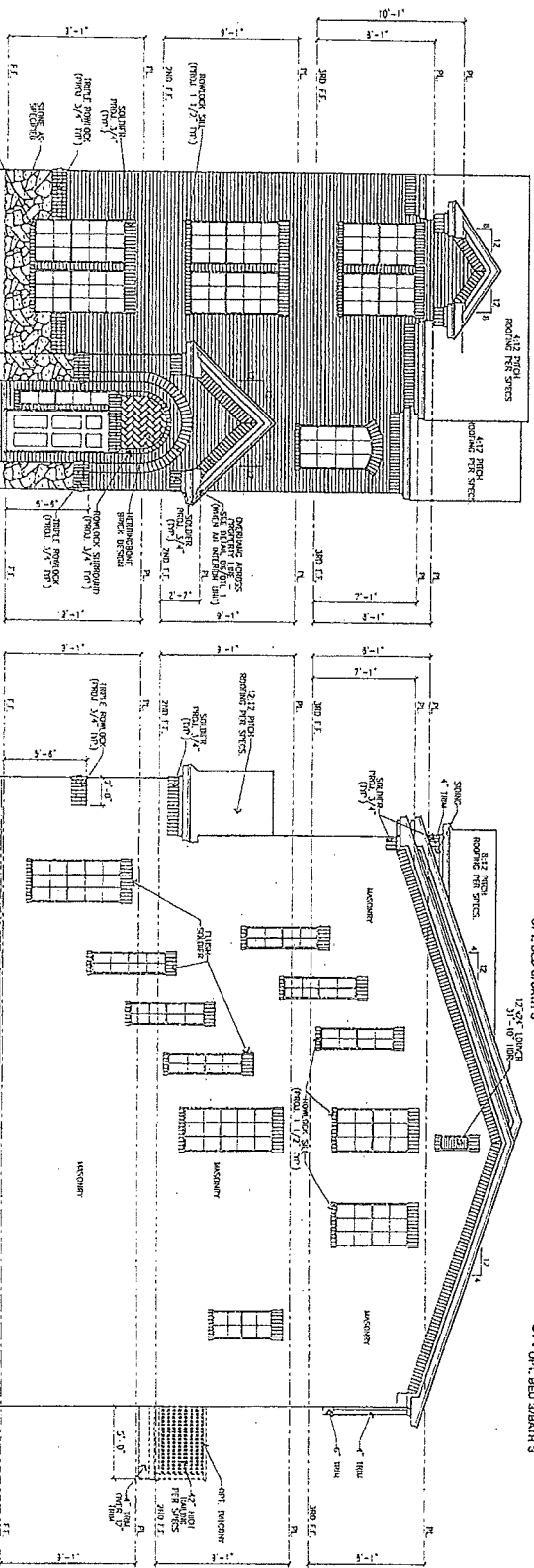




4 BLDG SECTION
OPT. BED 3/BATH 3

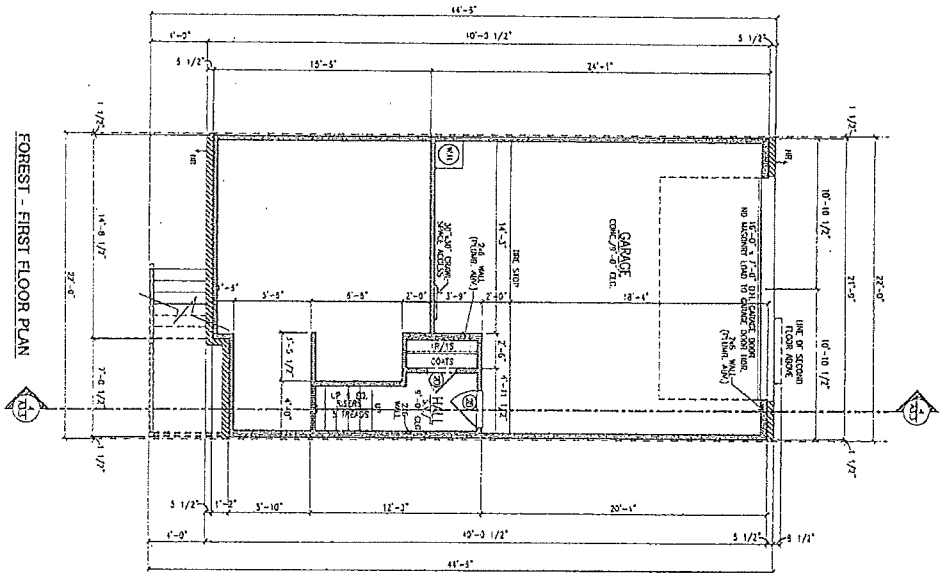
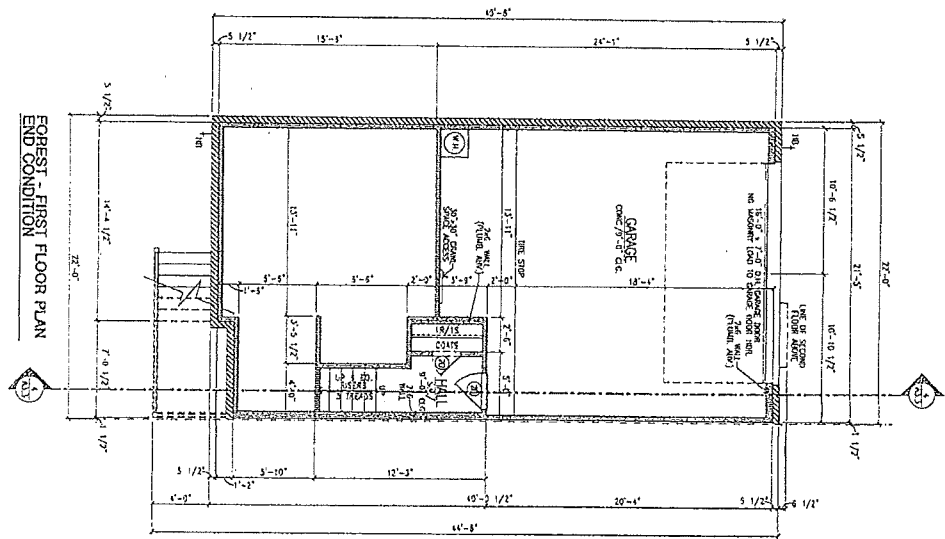
3 REAR ELEVATION
OPT. BED 3/BATH 3

REAR ELEVATION
3A OPT. BALCONY
OPT. BED 3/BATH 3



1 FRONT ELEVATION
OPT. BED 3/BATH 3

2 SIDE ELEVATION
OPT. BED 3/BATH 3



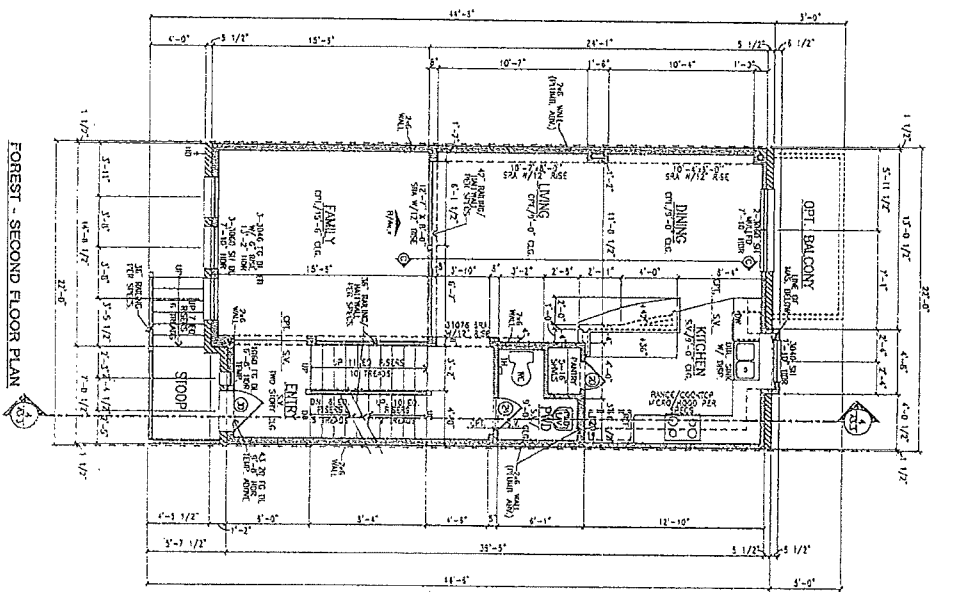
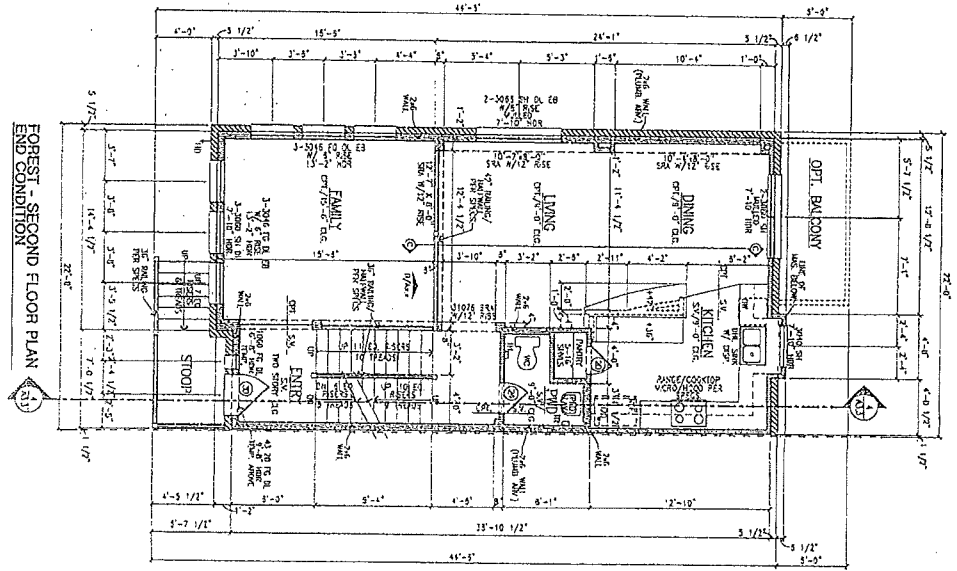
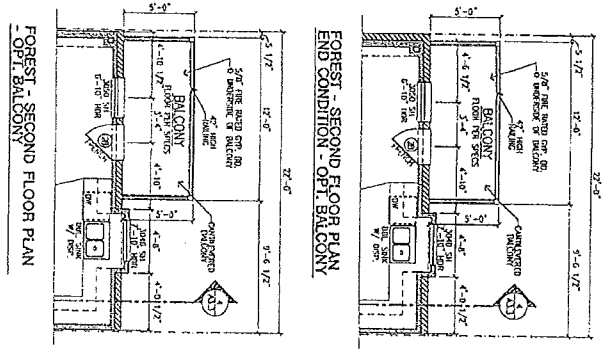
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SHEET
A3.0

UNIT PLANS
SCALE: 1/4" = 1'-0"

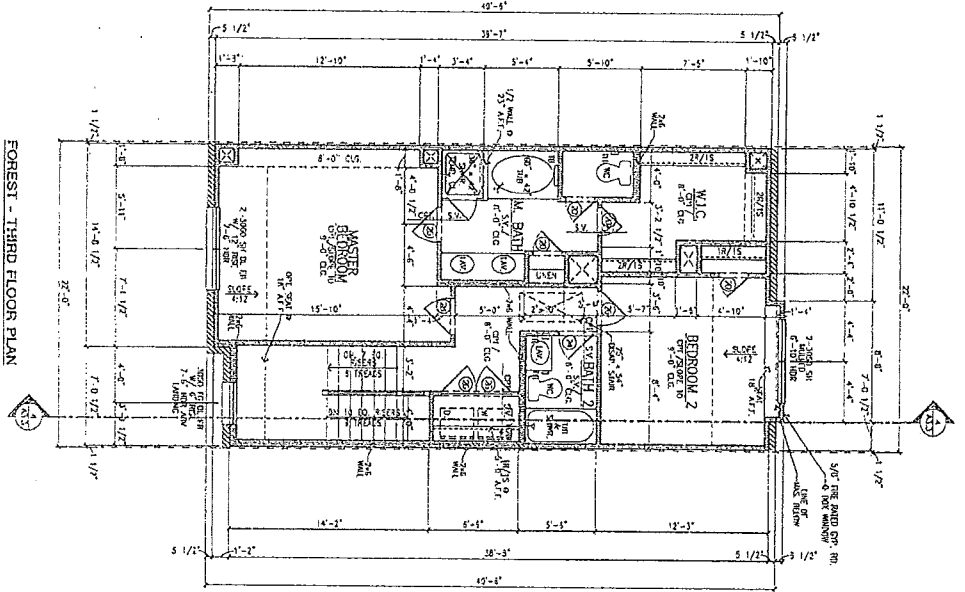
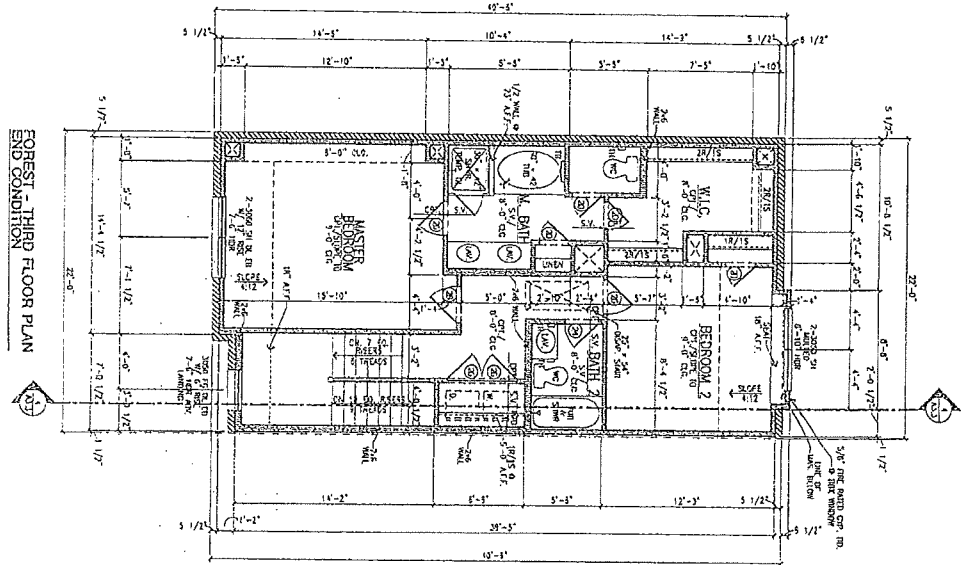
PARKVIEW
FOREST UNIT PLANS

RYLAND
HOMES®



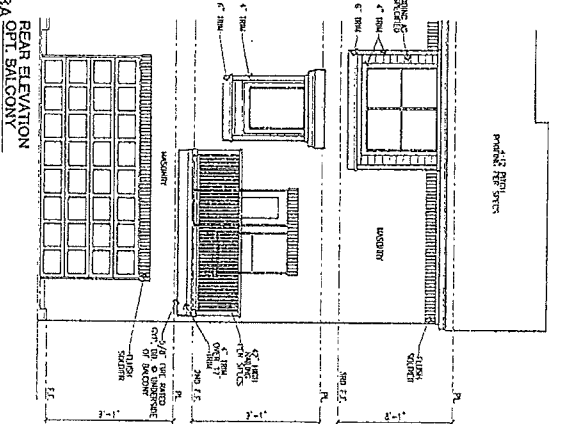
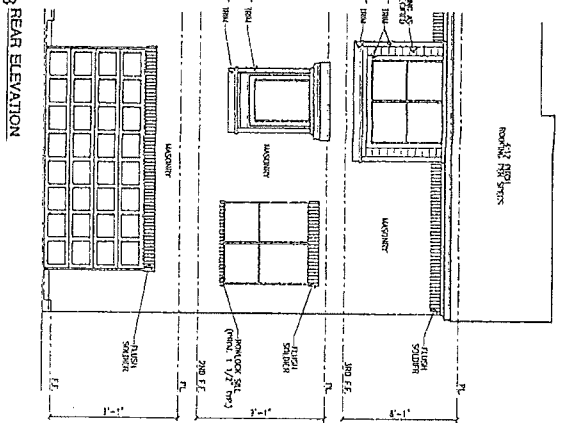
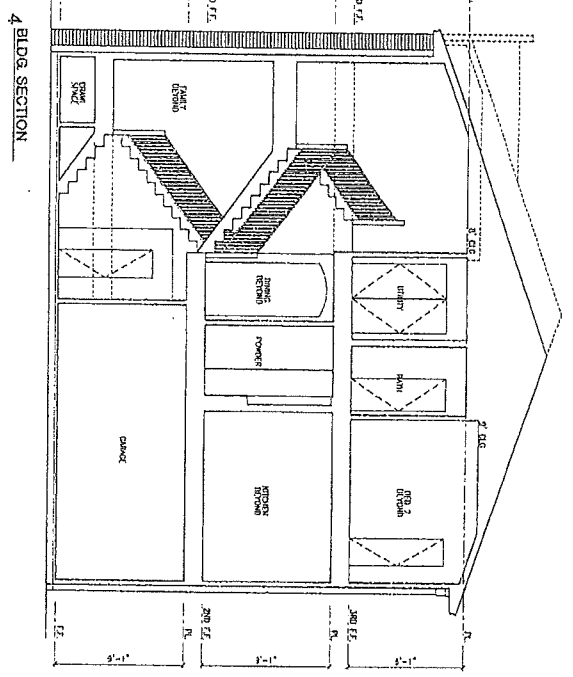
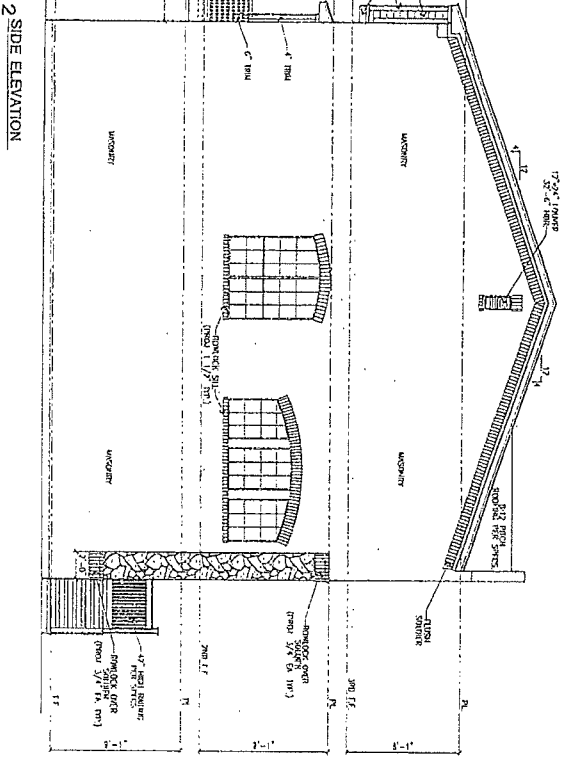
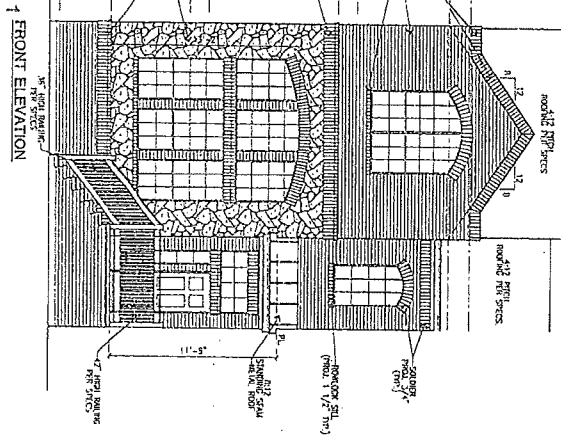
FRAMING ROUGHS reserve the right to make substitutions, and prices without notice.

SHEET A3.1	UNIT PLANS SCALE: 1/4" = 1'-0"	PARKVIEW FOREST UNIT PLANS	RYLAND HOMES
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FOUND JOISTS remain in place to change plans, specifications and prices without notice.

SHEET A32 OF 50	UNIT PLANS SCALE: 1/4" = 1'-0"	PARKVIEW FOREST UNIT PLANS	RYLAND HOMES
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<p>SHEET A3.3</p>	<p>ELEVATIONS/SECTIONS SCALE: 1/4" = 1'-0"</p>	<p>PARKVIEW FOREST ELEVATIONS/SECTIONS</p>	<p>RYLAND HOMES</p>
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