

**TOWN OF ADDISON, TEXAS  
ORDINANCE NO. 009-036**

**AN ORDINANCE OF THE TOWN OF ADDISON, PROVIDING FOR APPROVAL OF A DEVELOPMENT PLAN FOR A MULTI-FAMILY BUILDING IN A PLANNED DEVELOPMENT ZONING DISTRICT, (007-034) LOCATED ON 3.643 ACRES AT 3900 AND 4010 BROOKHAVEN CLUB DRIVE, ON APPLICATION FROM UNITED DOMINION REALTY, PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.**

**WHEREAS**, pursuant to Planned Development Ordinance No. 007-034 of the Town of Addison, Texas (the "City"), certain land described in Ordinance 007-034 was zoned PD, Planned Development, according to the regulations set forth in Ordinance 007-034, the same being an amendment to the Comprehensive Zoning Ordinance, the same being Appendix A - Zoning of the City's Code of Ordinances; and

**WHEREAS**, simultaneously with the approval of Ordinance 007-034, a concept plan ("Concept Plan" or "Plan") governing the Entire Property was approved and incorporated within Ordinance 007-034; and

**WHEREAS**, the real property described herein and which is the subject of this Ordinance (the "Property") is located entirely within the PD established by Ordinance 007-034; and

**WHEREAS**, all the legal requirements, conditions and prerequisites having been complied with, including the receipt of a final report from the Planning and Zoning Commission, the case came on as a public hearing before the City Council; and

**WHEREAS**, after due deliberations and consideration of the final report of the Planning and Zoning Commission and other information and materials, the City Council of the Town of Addison, Texas does find that the adoption of this Ordinance is in the best interest of the Town and its citizens and of the public health and welfare; now, therefore,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS:**

SECTION 1. That the Addison City Council does hereby grant approval of development plans for the said property being in the Town of Addison, Texas, and being described as follows:

BEING a tract of land situated in the Noah Good Survey, Abstract No. 520, Town of Addison, Dallas County, Texas and being a portion of that certain tract of land conveyed to DCO Greenhaven, LP by Deed recorded in Instrument No. 200600335782, Official Public Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a ½ inch iron rod found for corner at the intersection of the Southeast ROW line of Brookhaven Club Drive (a 100' ROW) with the Northeast ROW line of Ponte Avenue (A 92'ROW), said iron rod also being in the Northwest line of said DCO Greenhaven tract;

THENCE; along the Southeast ROW line of Brookhaven Club Drive and the Northwest line of said DCO Greenhaven tract, the following bearings and distances:

North 41 degrees 12 minutes 11 seconds East, a distance of 91.00 feet to appoint at the beginning of a curve to the right, having a central angle of 44 degrees 34 minutes 26 seconds, a radius of 334.00 feet and a chord bearing North 63 degrees 29 minutes 24 seconds East, a distance of 253.33 feet;

Northeasterly, along said curve to the right, an arc distance of 259.84 feet to a point at the end of said curve and the beginning of a curve to the left, having a central angle of 21 degrees 43 minutes 14 seconds, a radius of 434.00 feet and a chord bearing North 74 degrees 55 minutes 00 seconds East, a distance of 163.43 feet;

Northeasterly, along said curve to the left, an arc distance of 164.53 feet to a point at the end of said curve;

THENCE: South 26 degrees 56 minutes 02 seconds East, departing the Southeast ROW line of Brookhaven Club Drive and the Northwest line of said DCO Greenhaven tract, a distance of 16.51 feet to a point for angle;

THENCE: South 48 degrees 47 minutes 49 seconds East, a distance of 231.33 feet to a point for corner;

THENCE: South 41 degrees 12 minutes 11 seconds West, a distance of 182.53 feet to a point for angle;

THENCE: South 86 degrees 12 minutes 11 seconds West, a distance of 23.83 feet to a point for angle;

THENCE: South 41 degrees 12 minutes 11 seconds West, a distance of 101.65 feet to a point for angle;

THENCE: South 86 degrees 12 minutes 11 seconds West, a distance of 75.45 feet to a point for angle;

THENCE: North 48 degrees 47 minutes 49 seconds West, a distance of 14.86 feet to a point for corner;

THENCE: South 41 degrees 12 minutes 11 seconds West, a distance of 100.92 feet to a point for corner in the Northeast ROW line of Ponte Avenue;

THENCE: North 48 degrees 47 minutes 49 seconds West, along the Northeast ROW line of Ponte Avenue, a distance of 348.44 feet to the PLACE OF BEGINNING and containing 3.643 acres of land, more or less.

SECTION 2. As provided in Ordinance 007-034, said property shall be improved in accordance with the development plans which are attached hereto and made a part hereof for all purposes.

SECTION 3. The following special conditions for approval are hereby placed on the above described property:

Prior to the issuance of a building permit, the drawings shall be revised as follows:

A landscaping plan showing the landscaping along both streets shall be provided.

The sidewalk connections shown from the east side of the Phase I- B building shall be specified to match the rock-salt concrete finish proposed for the park trail.

Landscaping planting plans for the private open space contained in the courtyard areas shall be submitted.

On sheet A321 (east elevation of Building B), the sixth-story structures shall be redrawn so that it is clear they do not enclose air-conditioned space.

On sheet A102 the partial fire lane shown between Building A and Building B shall be extended out to Vitruvian Way (currently Brookhaven Club Drive).

On sheet LO.02, the fences between the pool and the park property that

appears to be enclosed public space shall be deleted.

SECTION 4. That all paved areas, permanent drives, streets and drainage structures in connection the development of the Property must be constructed in accordance with standard Town of Addison specifications adopted for such purpose.

SECTION 5. That any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1-7, of the Code of Ordinances for the Town of Addison, Texas.

SECTION 6. That the provisions of this Ordinance are severable, and should any paragraph, sentence, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this Ordinance as a whole.

SECTION 7. That the above and foregoing premises to this Ordinance are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 8. That all ordinances of the City in conflict with the provisions of this Ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this Ordinance shall remain in full force and effect.

**DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS,**  
on this the 13<sup>th</sup> of October, 2009.

  
MAYOR Joe Chow

ATTEST:

  
CITY SECRETARY-Lea Dunn

CASE NO. 1586-Z/United Dominion Realty, Vitruvian Park Phase I-B

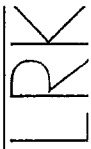
APPROVED AS TO FORM:



DIRECTOR OF DEVELOPMENT SERVICES-  
Carmen Moran

PUBLISHED ON:

1/10/2010



**Looney Ricks Kis**

Architects, Interior Design, Urban Design  
 11000 West Loop West, Suite 200  
 Houston, Texas 77040  
 Telephone: 713-867-7800  
 Fax: 713-867-7801  
 E-mail: lrk@lrk.com

Multi-Family Plan for:

**RES a UDR Company**

Three Livable Center  
 1250 U.S. Freeway, Suite 1200  
 Dallas, Texas 75240

Number of Buildings:

No.	Days	Notes
1	04.10.09	Project Initiation
2	05.17.09	Site Plan
3	06.17.09	80% Concept
4	07.17.09	100% Concept

Notes:  
 1. This drawing is a conceptual site plan and is not intended to be used for construction purposes.  
 2. All dimensions are approximate and subject to change.  
 3. The owner is responsible for obtaining all necessary permits and approvals.  
 4. The architect is not responsible for the accuracy of the information provided by the owner.  
 5. The architect is not responsible for the accuracy of the information provided by the owner.

**MESA**  
 12117 West Loop West, Suite 200  
 Dallas, Texas 75240  
 Telephone: 713-867-7800  
 Fax: 713-867-7801  
 E-mail: mesa@lrk.com

Project Number: 01-08169-00  
 MESA Project Number: 2003  
 Project Name:  
 "Winwood Park - Phase 1 Block 1"  
 Addison, Texas

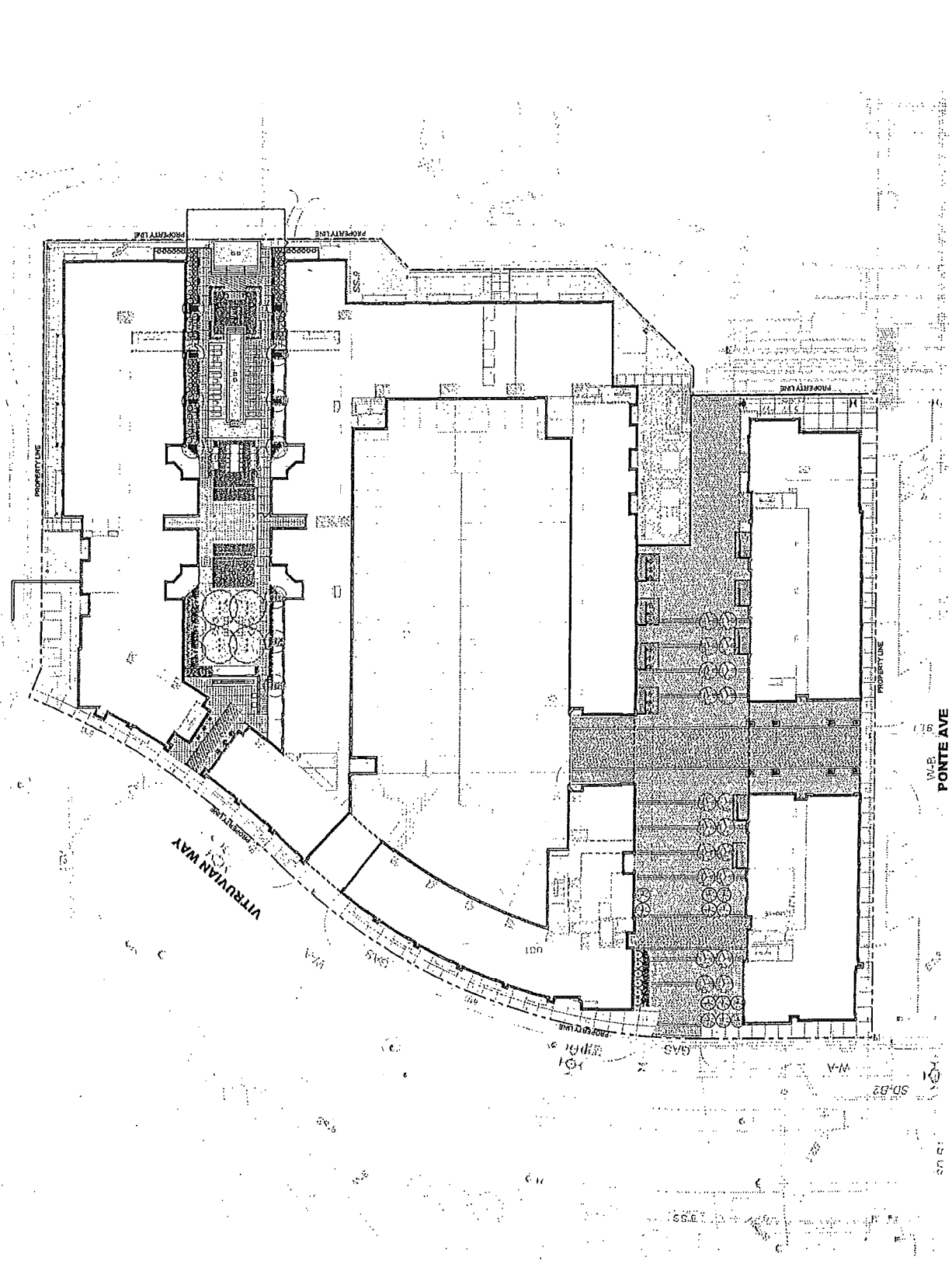
Drawing Name:

**OVERALL KEYMAP PLAN**

Drawn By: cl

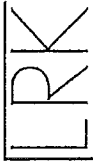
Checked By: rmc

**L0.02**



Site Layout Plan | A  
 Scale: 1" = 40'

L0.02



# Looney Ricks Kiss

Architect: Irvine, Division: Urban Design  
 2000 West Loop South, Suite 100  
 Dallas, Texas 75240  
 Telephone: 214.242.7100  
 Email: lrk@lrk.com

Architect/Engineer:  
 BE&K URS Company  
 Three Division Center  
 2400 Ross Avenue, Suite 1250  
 Dallas, Texas 75201

Date	By	For
05/25/09	SK	Site/Concept
06/25/09	SK	Site/Concept
08/12/09	SK	Site/Concept
08/17/09	SK	Permit Plans

Notes:  
 1. This drawing is the property of BE&K URS Company. It is to be used only for the project and site described herein. It is not to be used for any other project or site without the written consent of BE&K URS Company.  
 2. The information on this drawing is based on the information provided to us by the client. We have not conducted any field investigation or other independent verification of the information provided to us.  
 3. We are not responsible for the accuracy or completeness of the information provided to us by the client.  
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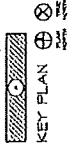
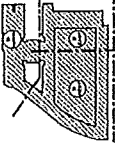
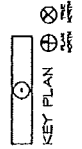
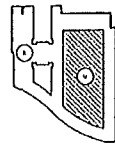
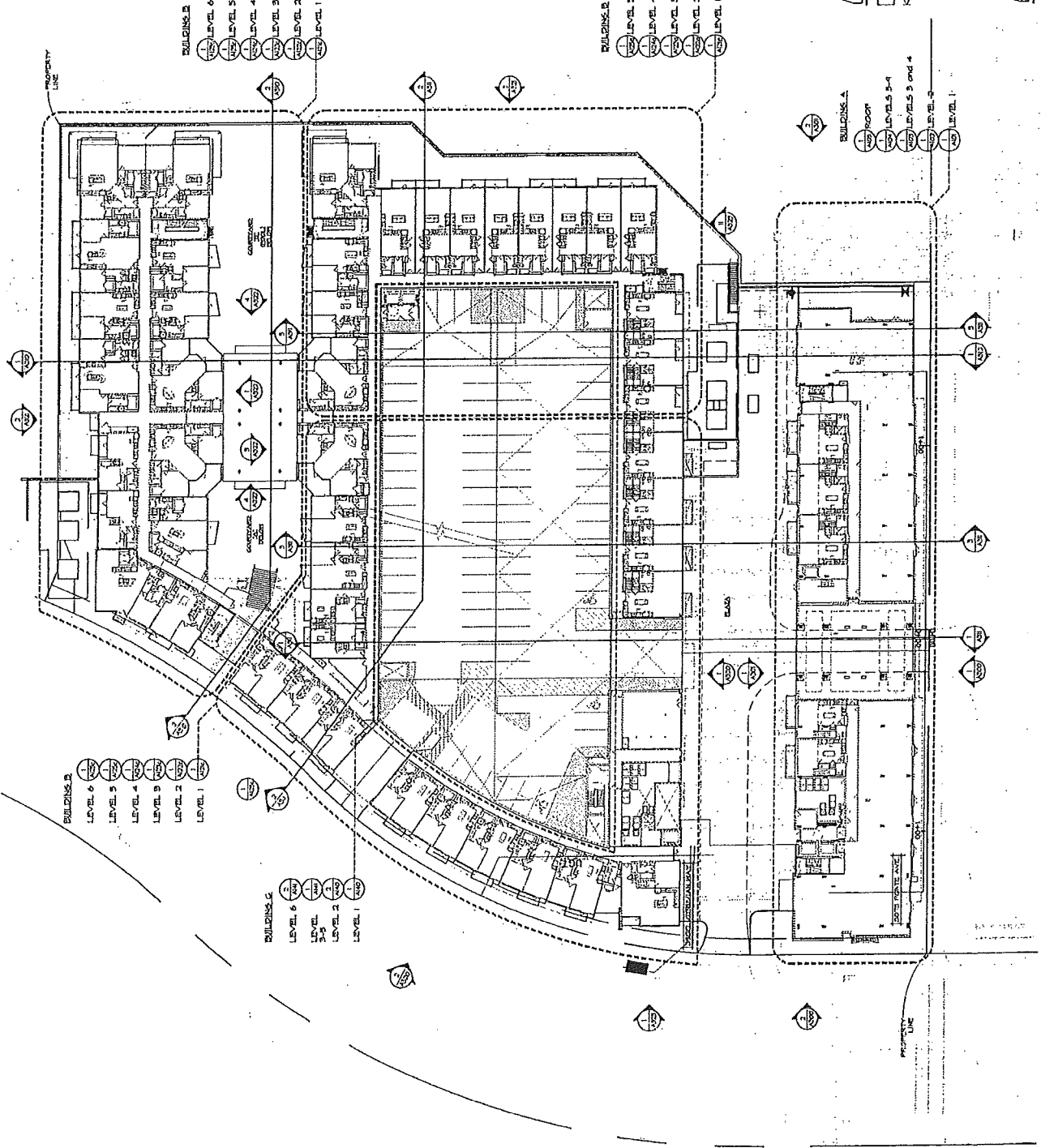


Project Number: 01.03149.00  
 Project Name:  
 Uttrinton Park - Phase I Block 10  
 Addition, Texas

Drawing Name:  
 OVERALL PLAN

Drawn By: JH  
 Checked By: SK

A10C



OVERALL PLAN  
 SCALE 1" = 30'

10-10

# LRK

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REDA at UDR Company  
Three World Center  
5400 Wilshire Blvd., Suite 1250  
Beverly Hills, CA 90210

Drawn and Revised:  
By: Date: Notes:  
10/12/10 10/12/10

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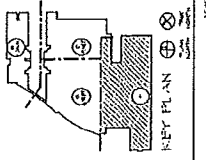
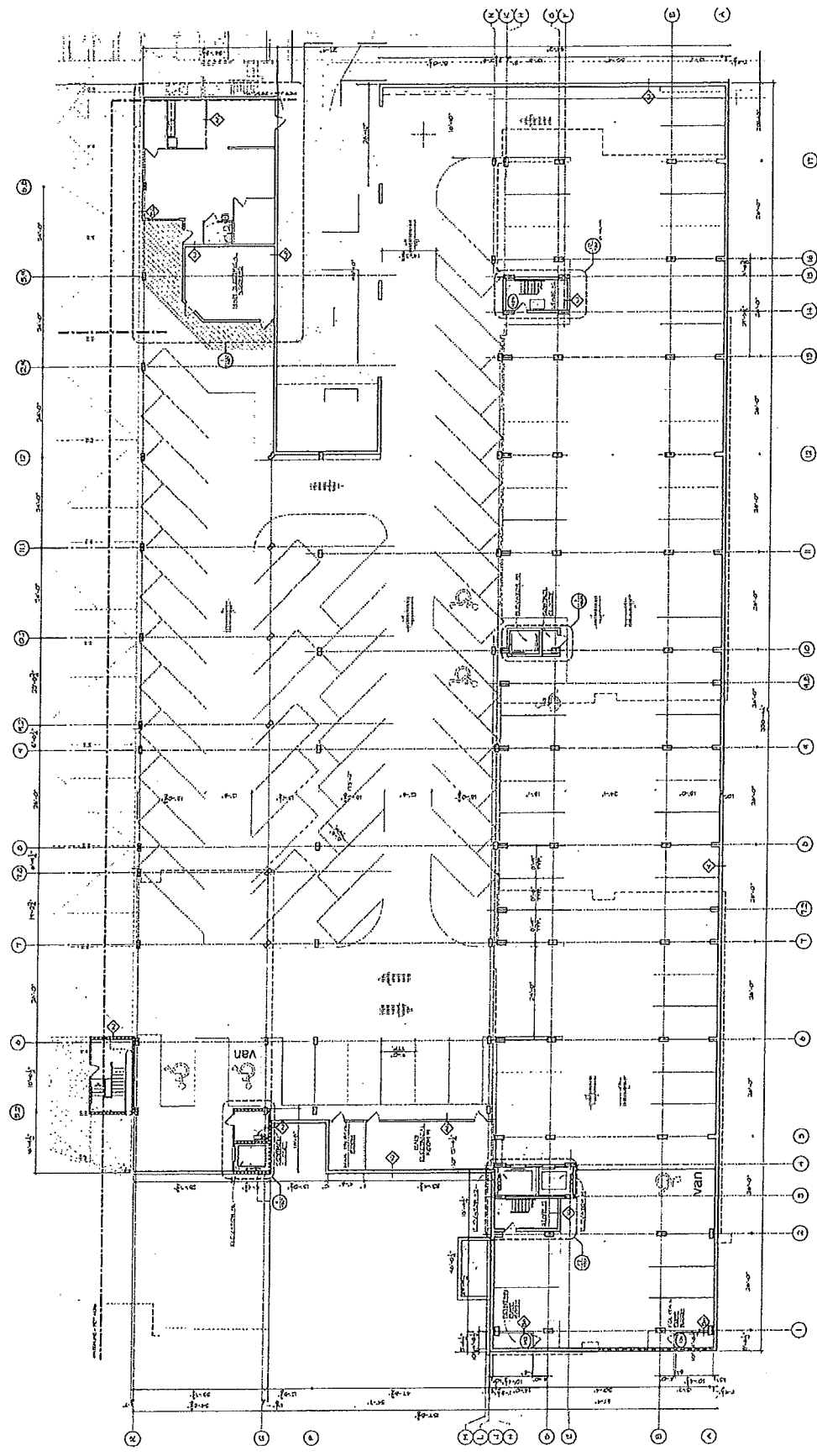


Project Number: 01 081610 00  
Project Name:  
Vineyard Park - Phase I Block 1C  
Addition, Texas

Drawing Name:  
LEVEL 1  
BUILDING A  
FLOOR PLAN

Drawn By: [Signature]  
Checked By: [Signature]

## A101



① LEVEL 1 - BUILDING A FLOOR PLAN  
SCALE: 3/32" = 1'-0"





Issue/Revisions	Date	By
1	03/27/07	Design Development
2	04/11/07	RC3/UDR Review
3	04/17/07	Final Design

Scale: 1/8" = 1'-0"

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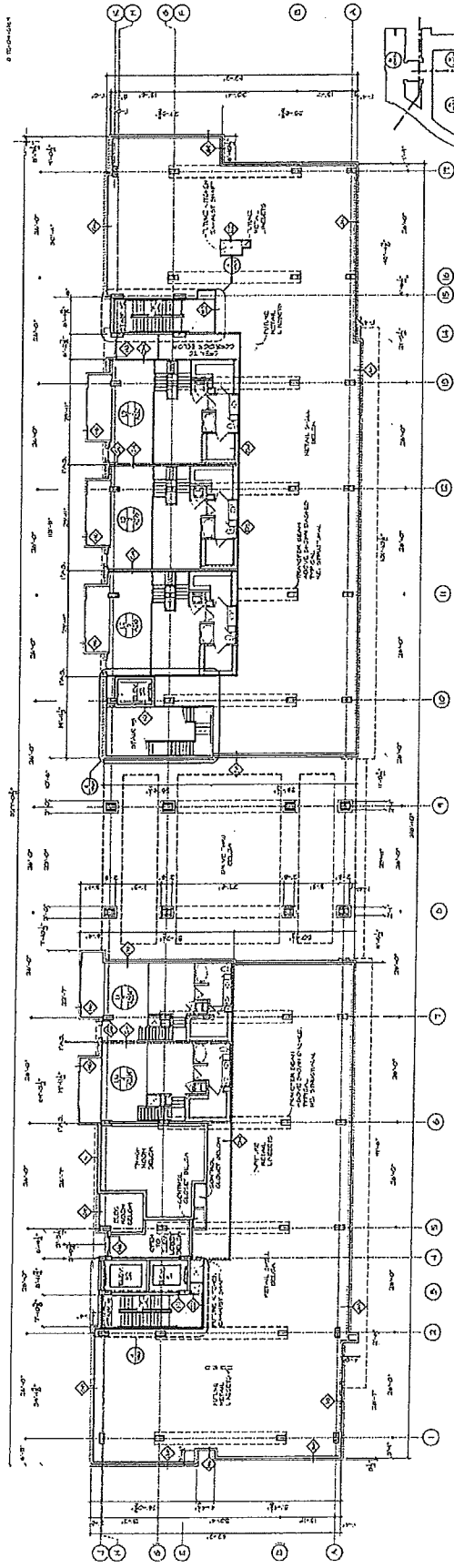
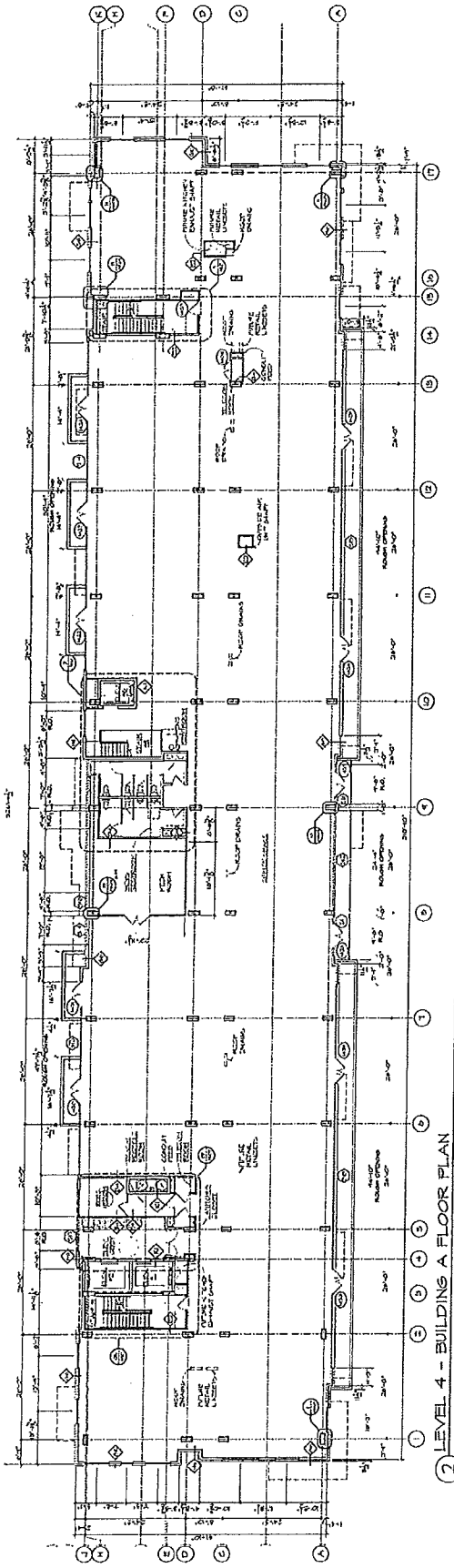
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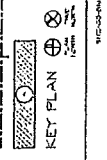
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 Project Name: Vincent Park - Phase 1 Block 1  
 Addition, Texas

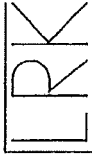
Drawing Name:  
**LEVELS 3 & 4  
 BUILDING A  
 FLOOR PLAN**

Drawn By: [Signature]  
 Checked By: [Signature]



**LEVEL 3 - BUILDING A FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"





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Client: [Redacted]

Project Name: [Redacted]

Project Number: [Redacted]

Date: [Redacted]

Drawn by: [Redacted]

Checked by: [Redacted]

Scale: [Redacted]

Notes: [Redacted]

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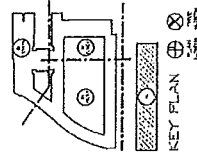
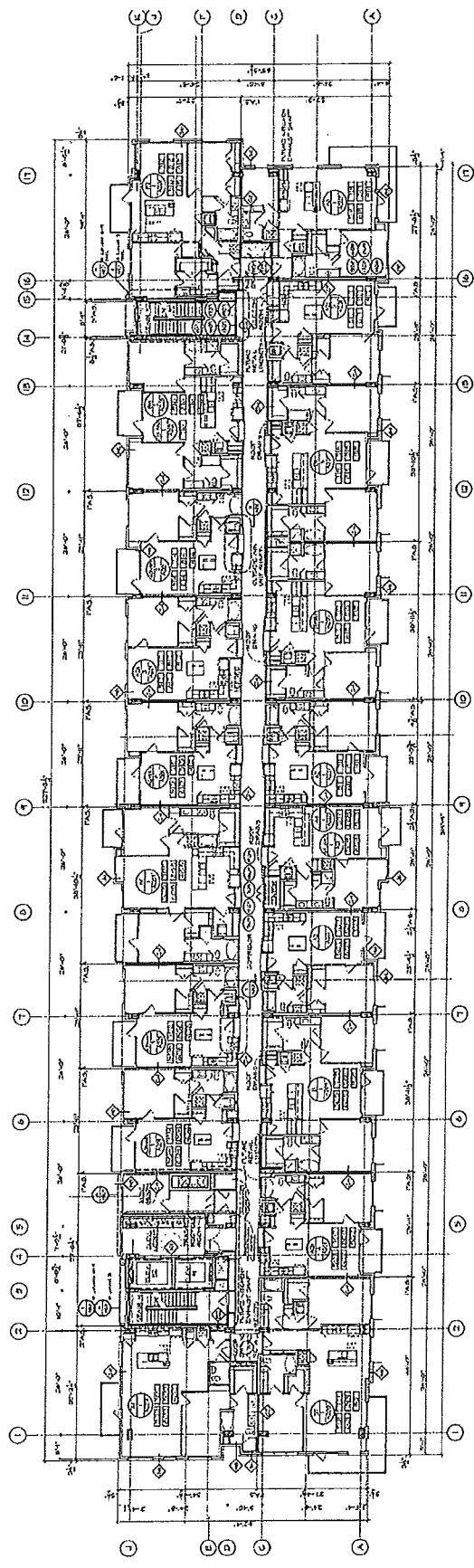


Project Number: 0118131009  
Project Name:  
Wynnton Park - Phase 1 Block 1  
Addition, Texas

Drawing Name:  
LEVELS 5-9  
BUILDING A  
FLOOR PLAN

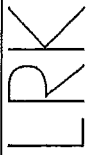
Drawn By: [Redacted]  
Checked By: [Redacted]

A102



1 LEVELS 5-9 - BUILDING A FLOOR PLAN  
SCALE: 3/32" = 1'-0"

ARCHITECT



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Revised	Revision	Date	By	Check
1	ISSUED FOR PERMIT	05/27/10	DRB	DRB
2	REVISED FOR COMMENTS	06/10/10	DRB	DRB
3	REVISED FOR COMMENTS	06/10/10	DRB	DRB

NO.	DATE	ISSUED
1	05/27/10	ISSUED FOR PERMIT
2	06/10/10	REVISED FOR COMMENTS
3	06/10/10	REVISED FOR COMMENTS

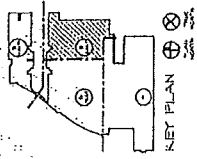
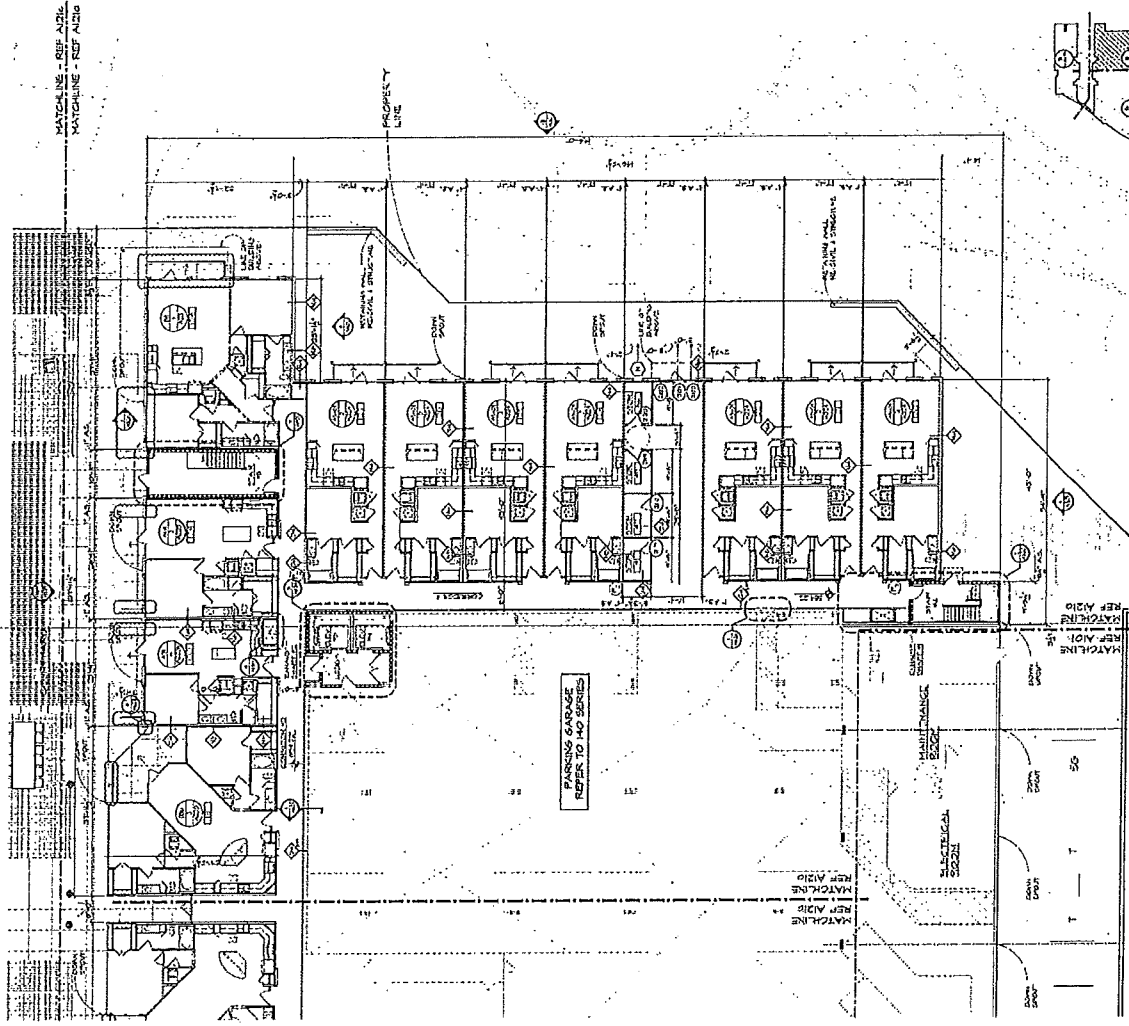


Project Number: 011818/000  
 Project Name:  
 Viewpoint Park - Phase Block 102  
 Addition, Texas

Drawing Name:  
**LEVEL 1 - EAST AREA**  
**BUILDING B**  
**FLOOR PLAN**

Drawn By: *[Signature]*  
 Checked By: *[Signature]*

**A1210**



**NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND STANDARDS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND STANDARDS.
3. REFER TO ELEVATION AND SECTION DRAWINGS.
4. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND STANDARDS.
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20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND STANDARDS.

**1 LEVEL 1 - EAST AREA - BUILDING B FLOOR PLAN**  
 SCALE: 3/8" = 1'-0"

# LRK

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 Architects, Engineers & Architects  
 10000 West Loop South, Suite 1000  
 Houston, Texas 77056  
 Tel: 713.232.4555  
 Fax: 713.232.4555  
 Lrk@lrk.com

**Subcontractor Name:**  
**SES a HBE Company**  
 Texas District Center  
 5400 West Loop West, Suite 1000  
 Dallas, Texas 75240

**Specialty Consultant:**  
 Mechanical  
 Electrical  
 Plumbing  
 Fire Protection  
 Energy Conservation  
 Structural  
 Civil  
 Environmental  
 Geotechnical  
 Surveying  
 Transportation  
 Utility  
 Vertical Transportation  
 Water Resources  
 Wind Engineering

**Project Information:**  
 Project Name: **LEVEL 1 - WEST AREA**  
 Project Number: **01-181-10-00**  
 Revision: **01**  
 Date: **06/18/09**

**Design/Drawn By:** [Name]  
**Checked By:** [Name]

**Scale:** 1/8" = 1'-0"

**Notes:**  
 1. ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE SPECIFIED.  
 2. ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE SPECIFIED.  
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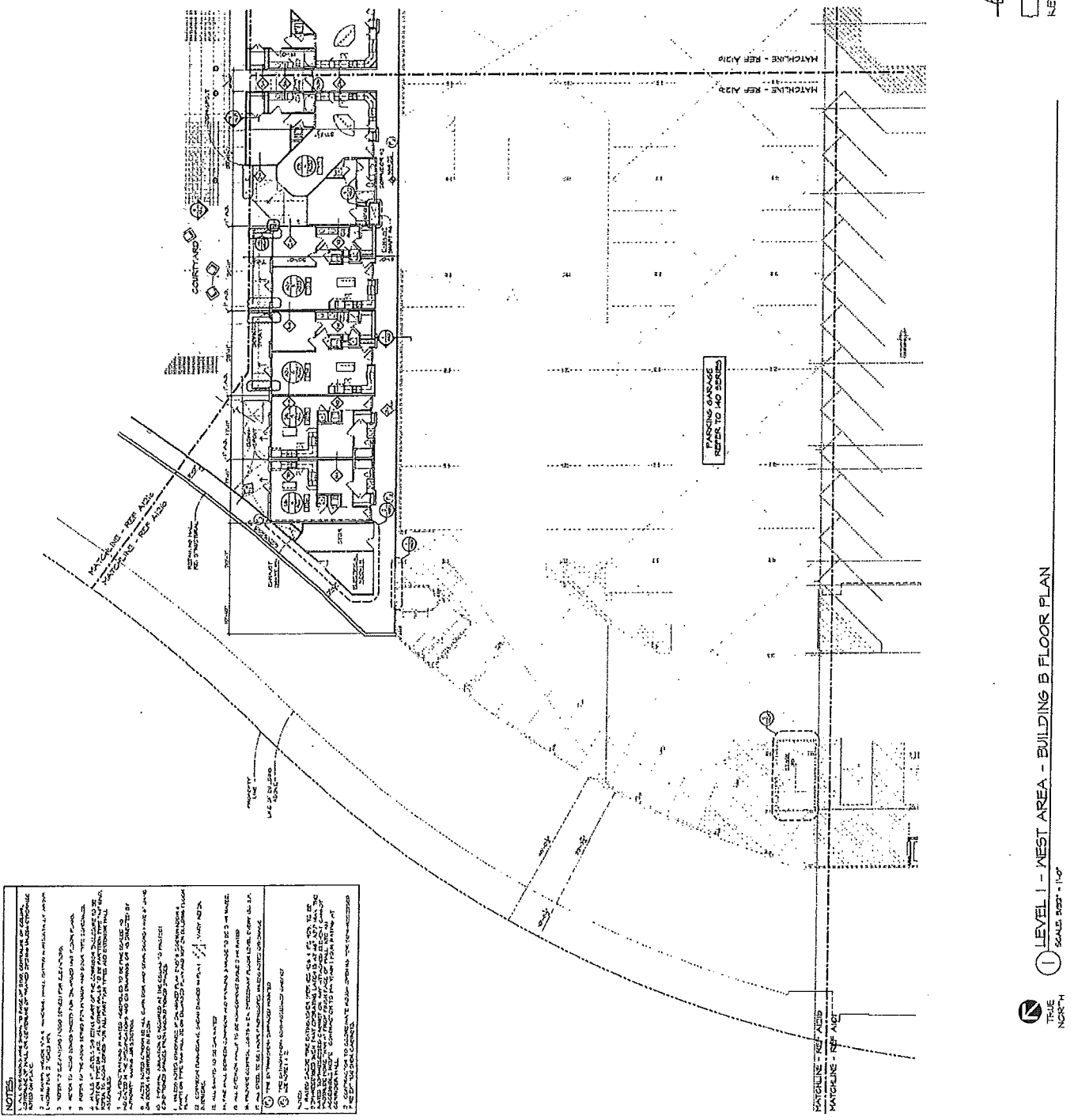


**Project Information:**  
 Project Name: **LEVEL 1 - WEST AREA**  
 Project Number: **01-181-10-00**  
 Revision: **01**  
 Date: **06/18/09**

**Design/Drawn By:** [Name]  
**Checked By:** [Name]

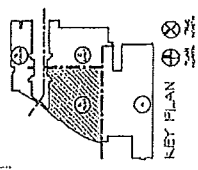
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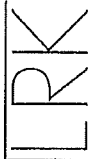
**Notes:**  
 1. ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE SPECIFIED.  
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**NOTES:**  
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**LEVEL 1 - WEST AREA - BUILDING B FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH





**Looney Ricks Kiss**  
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 Fax: 281.442.4444  
 Email: info@lrk.com

**REI a UDR Company**  
 Three Branch Center  
 5400 E. Irving, Suite 100  
 Dallas, Texas 75206

**Revised Details**  
 No. Date Name  
 1 05/17/09 [Name] [Name]  
 2 04/28/09 [Name] [Name]  
 3 04/17/09 [Name] [Name]

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 Mechanical Engineering Handbook, 10th Edition  
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Project Number: 01 158 09 00  
 Project Name: Vanden Park - Phase 1 Block 107  
 Addition, Texas

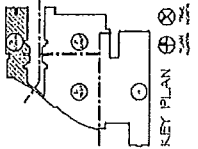
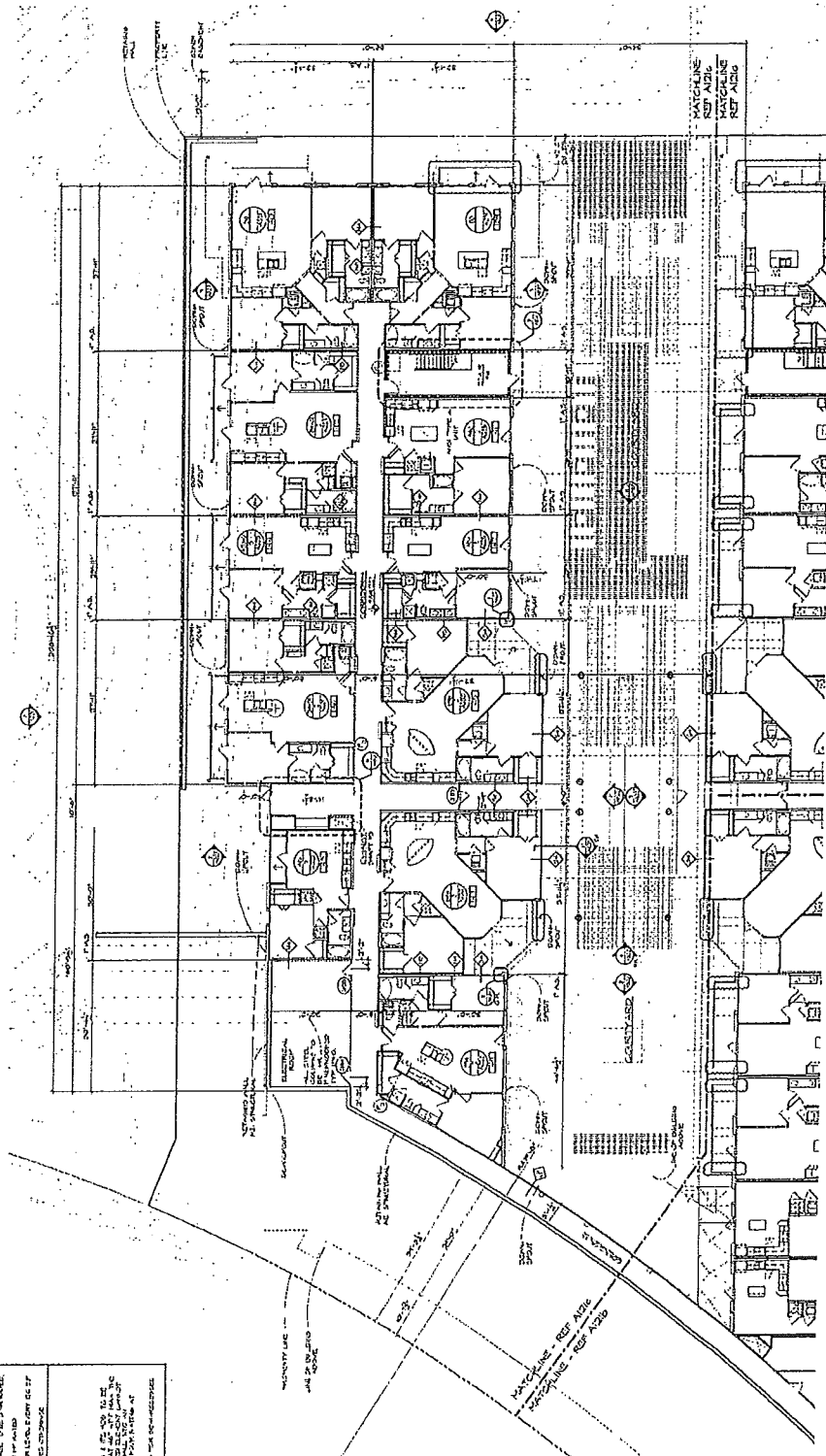
Drawing Name:  
 LEVEL 1 - NORTH AREA  
 BUILDING B  
 FLOOR PLAN

Drawn By: [Name]  
 Checked By: [Name]

**A121C**

**NOTES**

1. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL ASSOCIATION MECHANICAL ENGINEERING HANDBOOK, TENTH EDITION, UNLESS OTHERWISE SPECIFIED.
2. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL ASSOCIATION MECHANICAL ENGINEERING HANDBOOK, TENTH EDITION, UNLESS OTHERWISE SPECIFIED.
3. REFER TO ALL MECHANICAL SYSTEMS FOR FURTHER INFORMATION.
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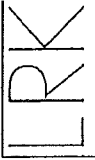


1 LEVEL 1 - NORTH AREA - BUILDING B FLOOR PLAN  
 SCALE: 3/32" = 1'-0"



**NOTES**

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2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
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**Looney Ricks Kiss**  
 10000 Highway 100  
 Suite 100  
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 Fax: 214 343 4401  
 www.looneyrickskiss.com

**MECA USA Company**  
 3000 West Loop West  
 Suite 1000  
 Dallas, Texas 75240

**MECA USA Company**  
 3000 West Loop West  
 Suite 1000  
 Dallas, Texas 75240

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 Dallas, Texas 75240

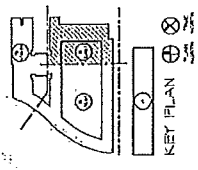
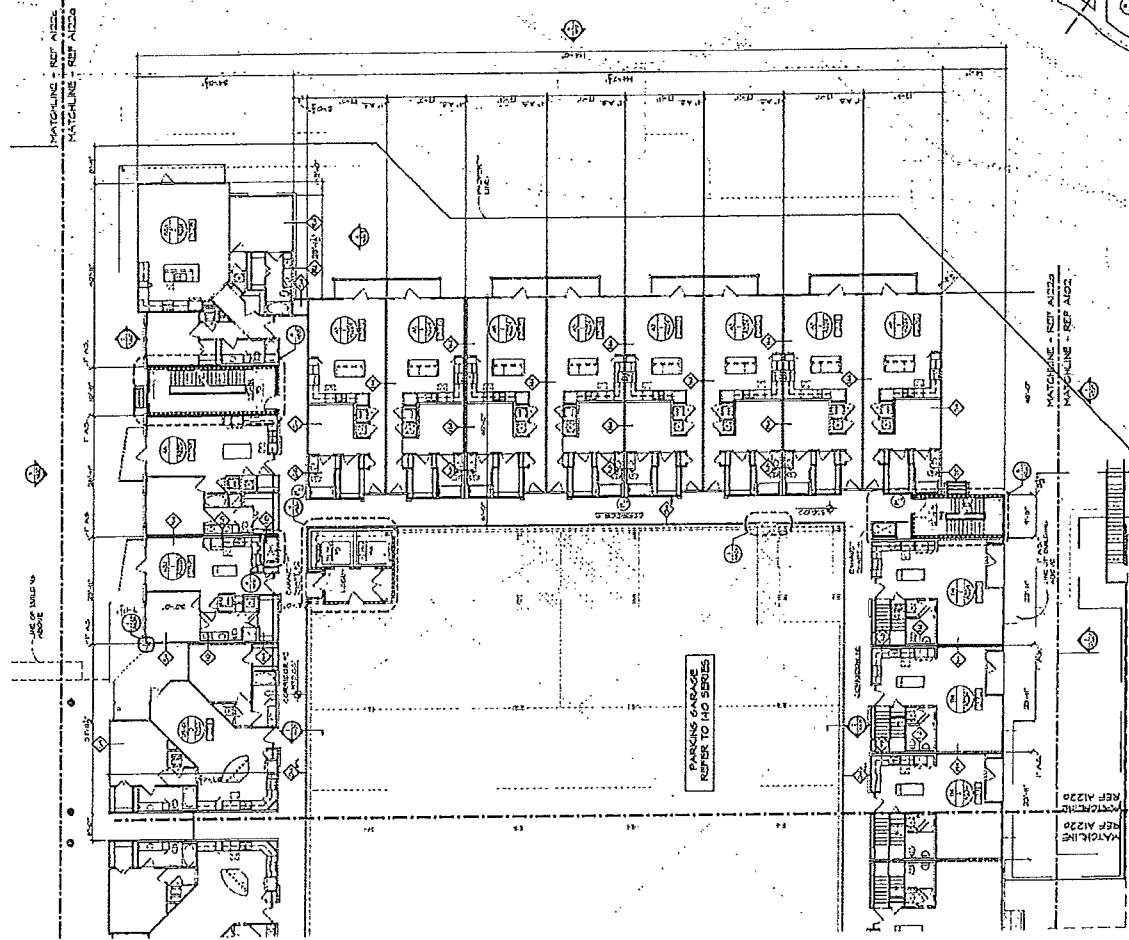
**MECA USA Company**  
 3000 West Loop West  
 Suite 1000  
 Dallas, Texas 75240

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 Dallas, Texas 75240

**MECA USA Company**  
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 Dallas, Texas 75240

**MECA USA Company**  
 3000 West Loop West  
 Suite 1000  
 Dallas, Texas 75240



LEVEL 2 - EAST AREA - BUILDING B FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

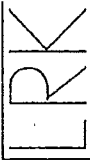


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 Viewpoint Park - Phase I Block 1:  
 Addition, Texas

**Project Number:** 01-081-07-00  
**Project Name:**  
 Viewpoint Park - Phase I Block 1:  
 Addition, Texas

**Project Name:**  
 Viewpoint Park - Phase I Block 1:  
 Addition, Texas

**Project Name:**  
 Viewpoint Park - Phase I Block 1:  
 Addition, Texas



Looney Ricks Kiss

Architect: 1 West, Campbell, Wilson  
10000, North, Suite 200  
10000, North, Suite 200  
10000, North, Suite 200

RES is UDR Company  
2400 West, Suite 100  
Dallas, Texas 75240

Project Name: 01-183-0000  
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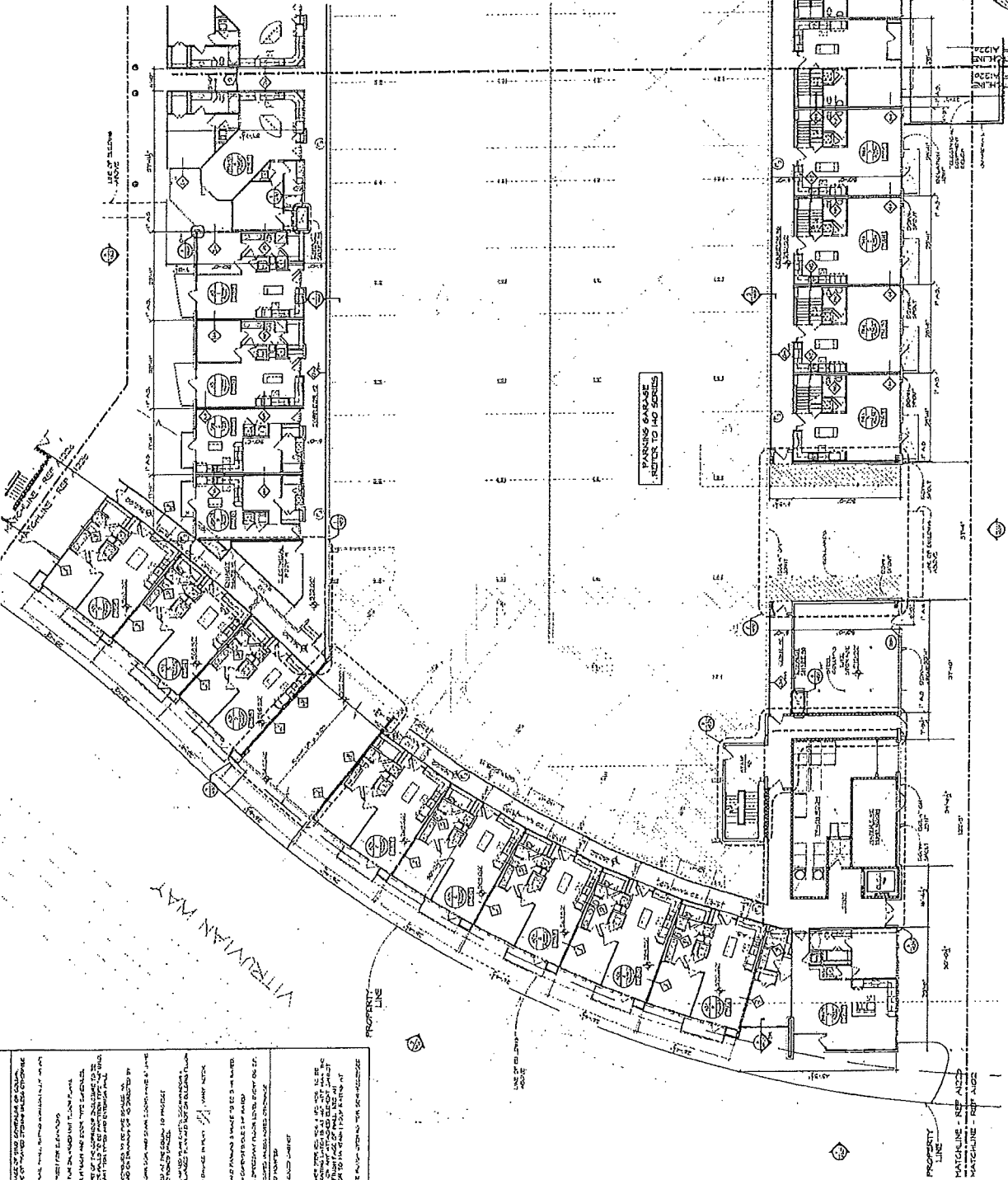
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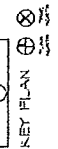
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Project Number: 01-183-0000



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LEVEL 2 - WEST AREA - BUILDING B FLOOR PLAN  
SCALE: 1/4\"/>



TRUE NORTH

A1221





# LRK

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 Columbus, Ohio 43260  
 Tel: 614.291.2000  
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 www.looneyricks.com

Architect: Looney Ricks Kiss

300 & UDR Company

Home Inside Center

5400 USF Terminal, Ste. 1200

Columbus, Ohio 43228

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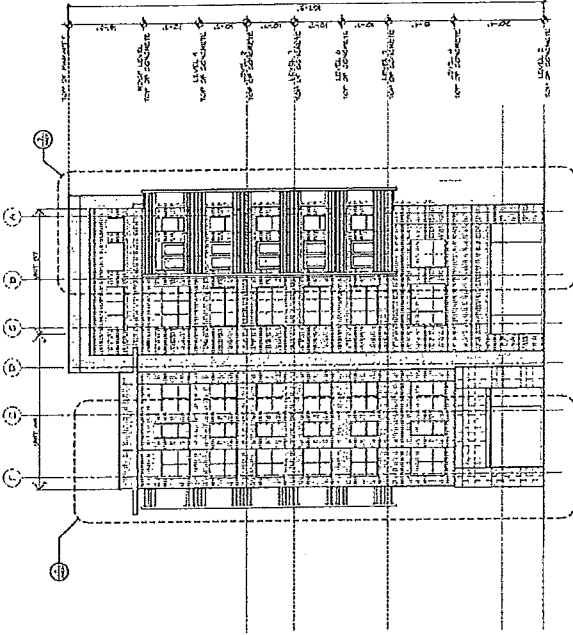
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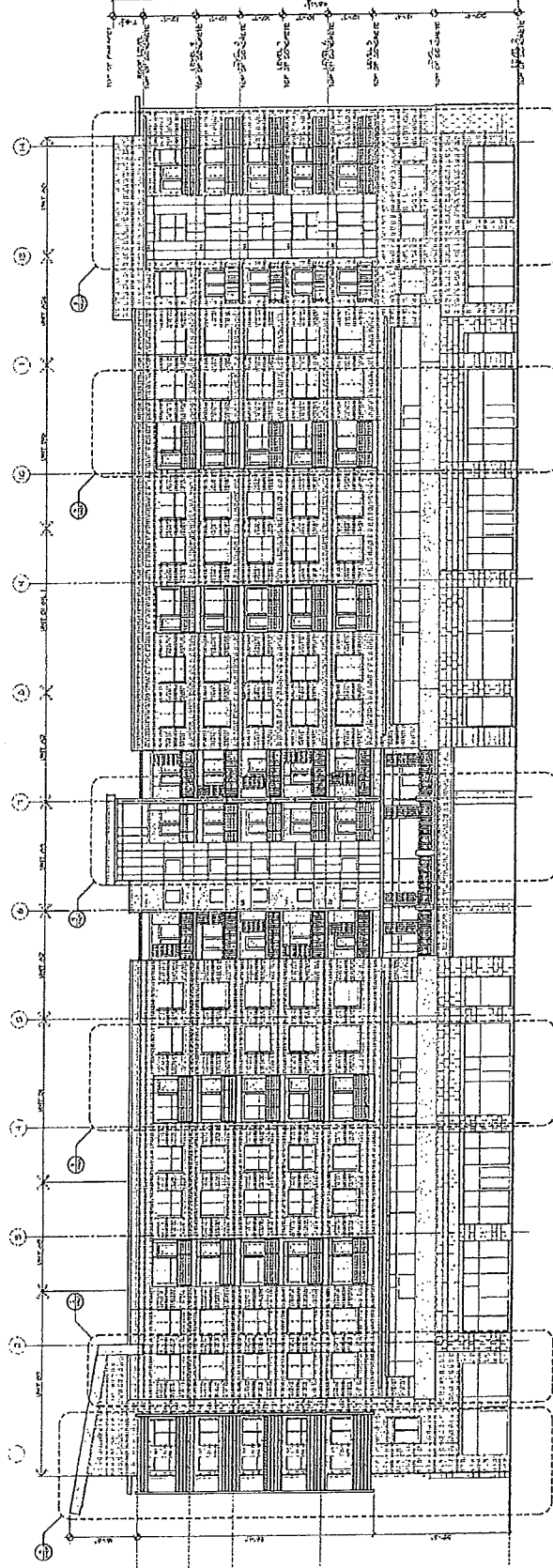
Home Inside Center

Home Inside Center

Home Inside Center



22 WEST ELEVATION  
 SCALE: 3/32" = 1'-0"



21 ELEVATION - SOUTH (PONTE AVE)  
 SCALE: 3/32" = 1'-0"



Project Number: 01.031.00.00  
 Project Name:  
 Vinton Park - Phase 1 Block 11  
 Addition, Town

Drawing Name:  
 SOUTH ELEVATION  
 (PONTE AVE S  
 WEST ELEVATION

Drawn By: [blank]  
 Checked By: [blank]

A30C

# LRK

## Looney Ricks Kiss

Architect: Phoenix Capital Management  
 10000 N. Central Expressway  
 Suite 1000  
 Dallas, Texas 75204  
 Telephone: 214.372.1825  
 Email: lrk@lrk.com

Subcontractor: The L.R.K.  
 10000 N. Central Expressway  
 Suite 1000  
 Dallas, Texas 75204

Contractor: BE & KOC Company  
 Home Street Corner  
 4400 E. Irving Avenue, Suite 1250  
 Dallas, Texas 75228

Owner: L.R.K.  
 10000 N. Central Expressway  
 Suite 1000  
 Dallas, Texas 75204

Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

Project Number: 01.08.16.020

Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

Project Number: 01.08.16.020

Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

Project Number: 01.08.16.020

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Project Number: 01.08.16.020



Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

Project Number: 01.08.16.020

Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

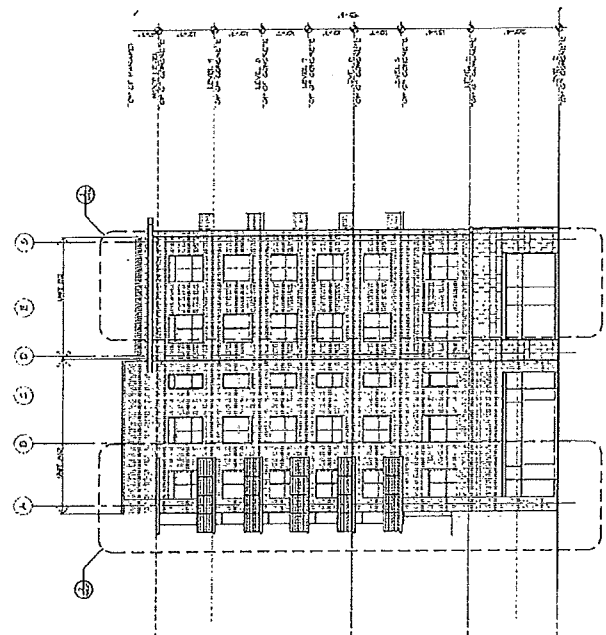
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Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

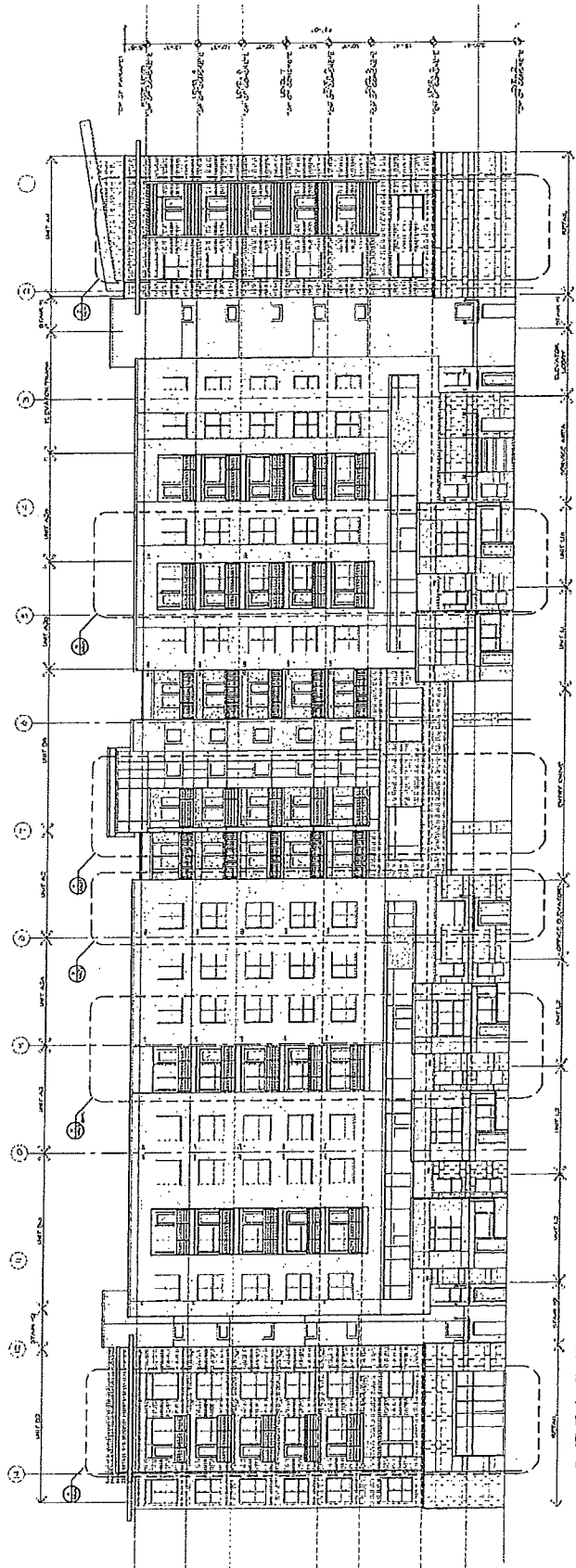
Project Number: 01.08.16.020

Project Name: Vitrongar Park - Phase I Block 10 Addition, Texas

Project Number: 01.08.16.020



② EAST ELEVATION  
 SCALE: 3/32" = 1'-0"



① ELEVATION - NORTH  
 SCALE: 3/32" = 1'-0"

A301

Drawn By: [blank]  
 Checked By: [blank]

# LRK

**Looney Ricks Kiss**

Architects, Engineers, Planners  
 10000 West Loop South, Suite 1000  
 Houston, Texas 77042  
 Telephone: 281.230.4500  
 Fax: 281.230.4501  
 www.looneyrickskiss.com

Owner/Client/Developer  
**RES o UDR Company**

30815 Foothills, Suite 1750  
 Dallas, Texas 75240

Date	Revision
02/27/09	Design Development
06/17/09	Permit Preparation

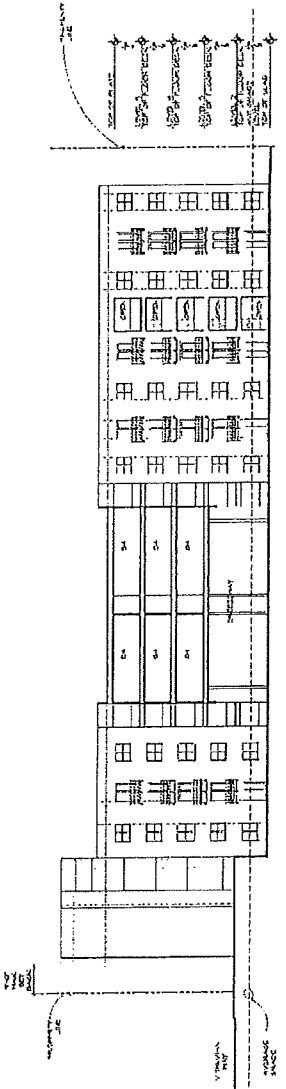
Drawings shall be read in accordance with the following notes:  
 1. All dimensions are in feet and inches, unless otherwise noted.  
 2. All work shall conform to the applicable building codes and standards.  
 3. The contractor shall be responsible for obtaining all necessary permits.  
 4. The contractor shall be responsible for coordinating with all other trades.  
 5. The contractor shall be responsible for maintaining site access at all times.  
 6. The contractor shall be responsible for protecting existing structures and utilities.  
 7. The contractor shall be responsible for maintaining safety at all times.  
 8. The contractor shall be responsible for maintaining cleanliness at all times.  
 9. The contractor shall be responsible for maintaining accurate records of all work.  
 10. The contractor shall be responsible for maintaining communication with the architect and owner.



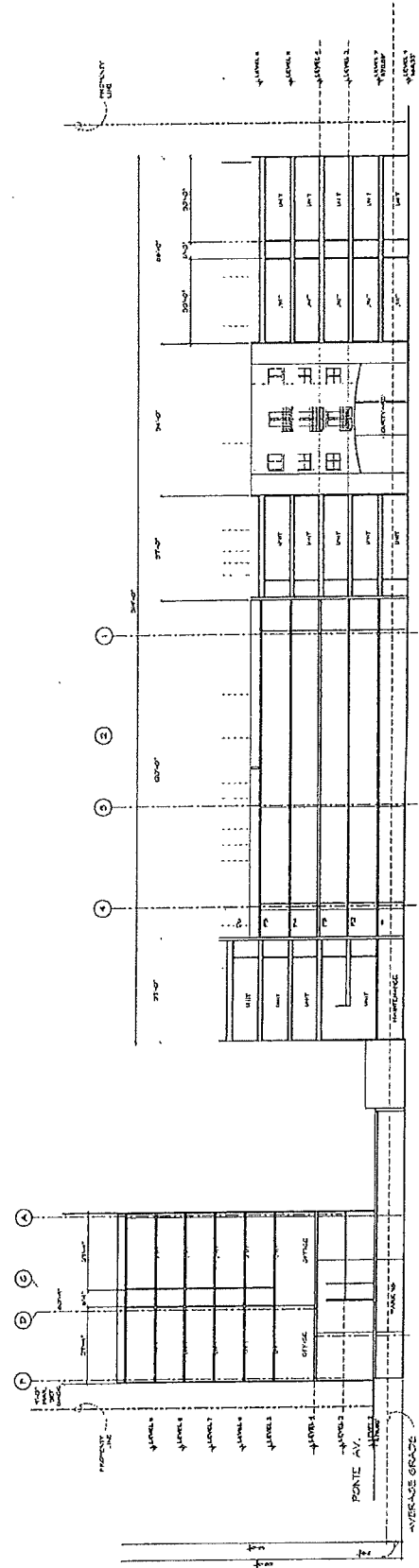
Project Number: 01 (02/17/09)  
 Project Name:  
 Vinton Park - Phase I Block 102  
 Address, Texas

Drawing Number:  
 Drawn By: hms  
 Checked By: JRM

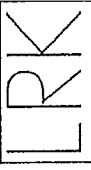
**A31C**



**2 BUILDING SECTION B-B**  
 SCALE: 1/8" = 1'-0"



**1 BUILDING SECTION A-A**  
 SCALE: 1/8" = 1'-0"



**Looney Ricks Kiss**  
 Architecture + Interiors + Urban Design  
 10000 West Loop West, Suite 400  
 Houston, Texas 77042  
 Phone: 281.412.4222  
 Fax: 281.412.4225  
 www.looneyrickskiss.com

Multi-family Project:  
**RE3 at UDR Company**  
 Project Name:  
 5401 West Loop West, 1000  
 Dallas, Texas 75240

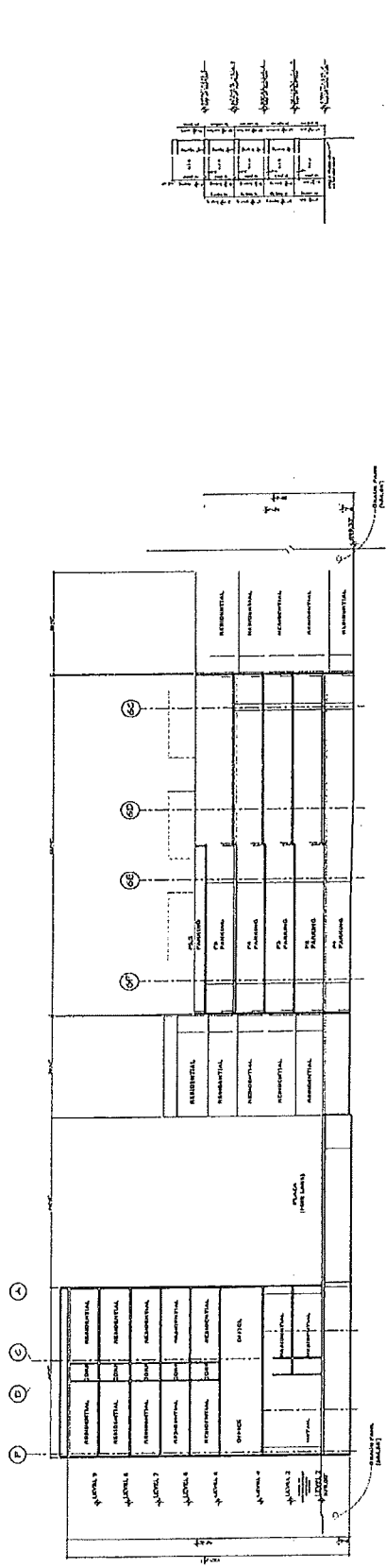
No.	Date	Issued
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2	04/15/20	Permitting
3	05/11/20	Construction



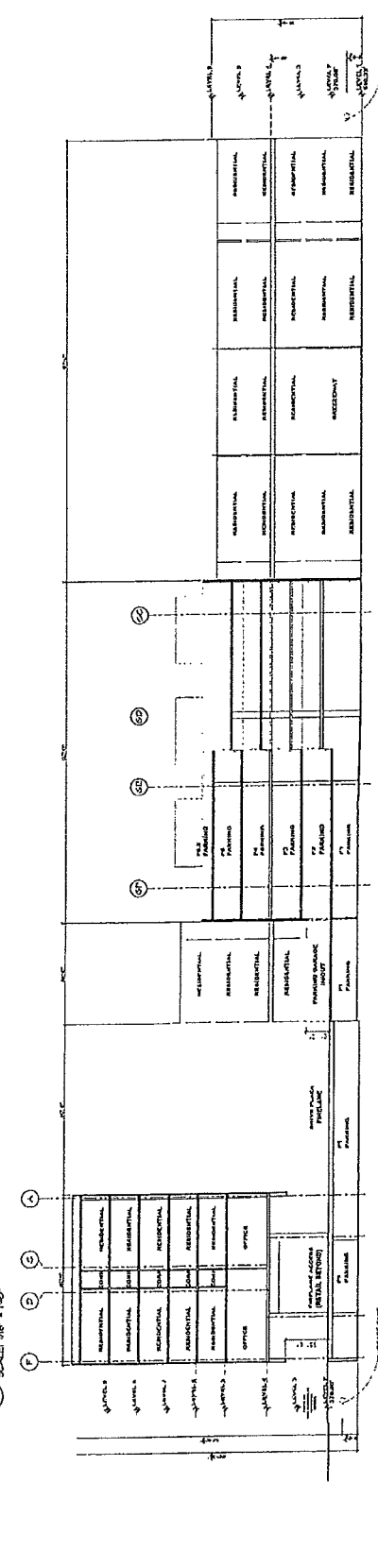
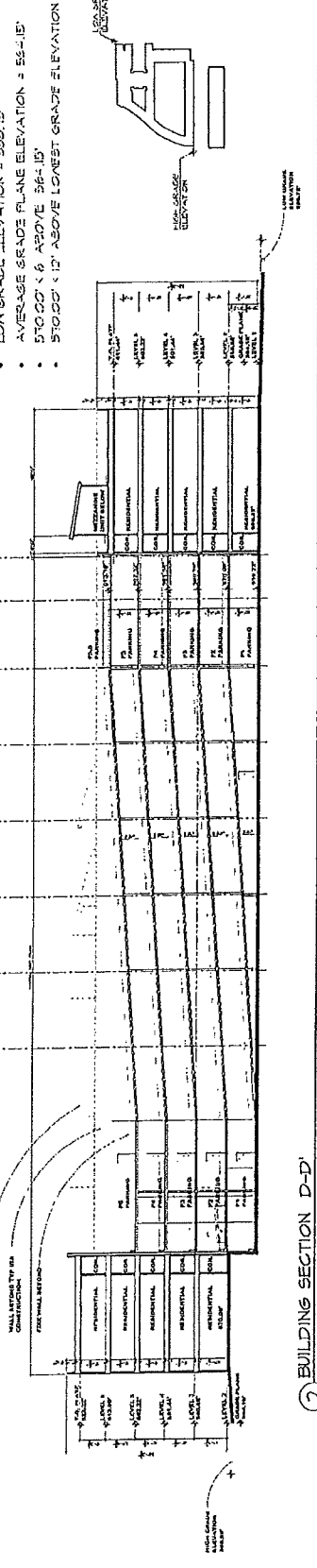
Project Number: 01 031 07 00  
 Project Name:  
 West Loop Park - Phase I Block 102  
 Address, Texas

Drawn By: Name  
 Checked By: Name

A311



- STORY ABOVE GRADE PLANE = 510.00'
- HIGH GRADE ELEVATION = 564.50'
- LOW GRADE ELEVATION = 559.75'
- AVERAGE GRADE PLANE ELEVATION = 557.15'
- 510.00' < 6' ABOVE LOWEST GRADE ELEVATION
- 510.00' < 12' ABOVE LOWEST GRADE ELEVATION



① BUILDING SECTION C-C'  
 SCALE: 1/8" = 1'-0"

② BUILDING SECTION D-D'  
 SCALE: 1/8" = 1'-0"

③ BUILDING SECTION E-E'  
 SCALE: 1/8" = 1'-0"

**ELEVATION GENERAL NOTES**

1. ALL MATERIALS, FINISHES, COLORS, SCHEDULES, AND DETAILS TO BE SHOWN ON THIS DRAWING SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND SPECIFICATIONS.
2. ALL MATERIALS, FINISHES, COLORS, SCHEDULES, AND DETAILS TO BE SHOWN ON THIS DRAWING SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND SPECIFICATIONS.
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5. ALL MATERIALS, FINISHES, COLORS, SCHEDULES, AND DETAILS TO BE SHOWN ON THIS DRAWING SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND SPECIFICATIONS.

**KEY PLAN**

① SOUTH ELEVATION  
 ② WEST ELEVATION

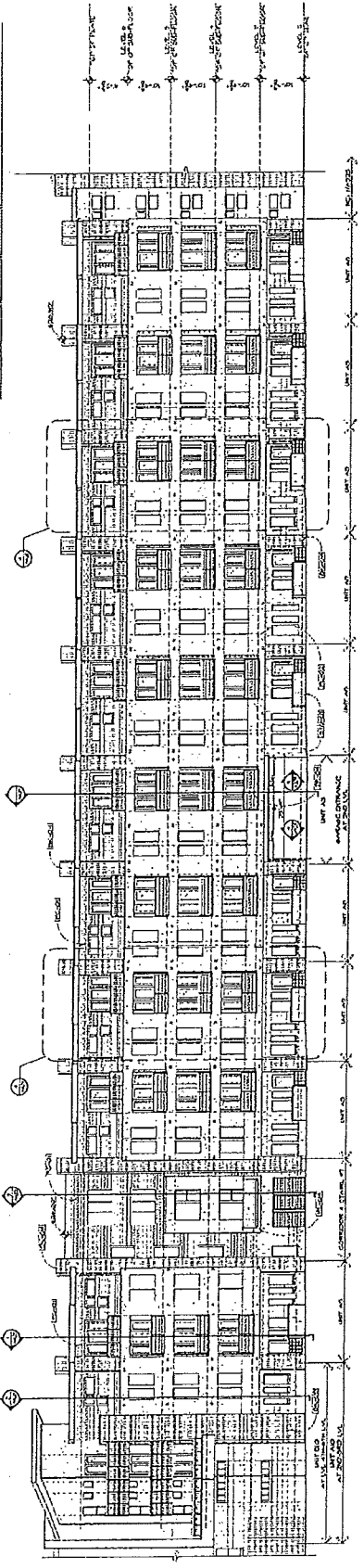
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**LRK**

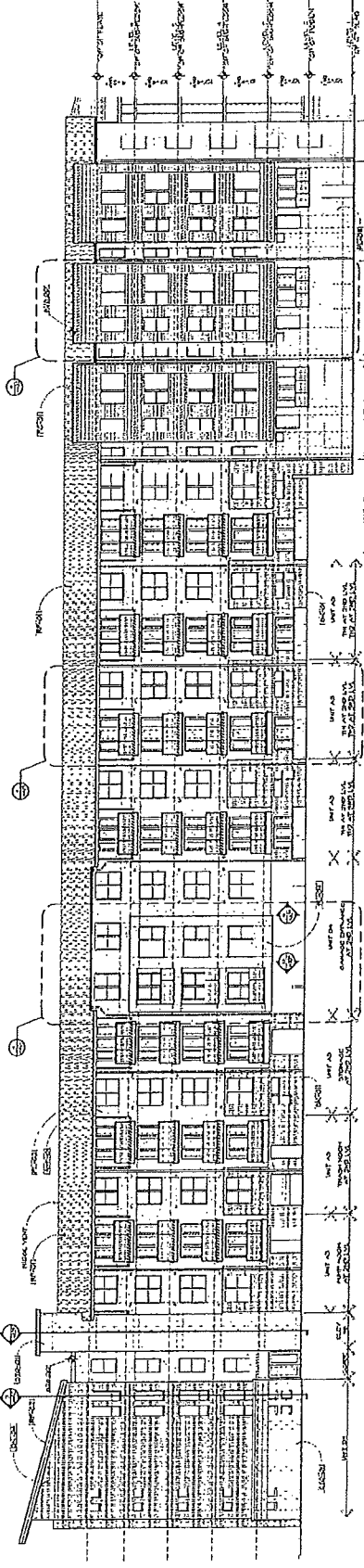
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 www.looneyrickskiss.com

Architect: Looney Ricks Kiss  
 Project: 3000 North Loop West  
 Drawing No: A32C  
 Date: 01/15/19



② WEST ELEVATION  
 SCALE: 3/32\"/>

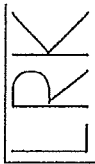


① SOUTH ELEVATION  
 SCALE: 3/32\"/>

Project Number: 01 031 07 00  
 Project Name: 3000 North Loop West  
 Drawing Name: SOUTH ELEVATION  
 WEST ELEVATION  
 Drawing No: A32C  
 Date: 01/15/19

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A32C



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**RG & UR Company**  
 Three Inwood Center  
 2400 West Loop West, Suite 100  
 Dallas, Texas 75220

Revised and Approved	
No.	Date
01	01/27/09
02	01/28/09
03	01/27/09

Project Name: **RELIANT**  
 Project Number: **01 08167 00**  
 Revision: **Phase 1 Block 1W Addition, Texas**  
 Drawing Name: **NORTH ELEVATION**  
 Drawing Number: **EAST ELEVATION**  
 Drawn By: **JK**  
 Checked By: **JK**



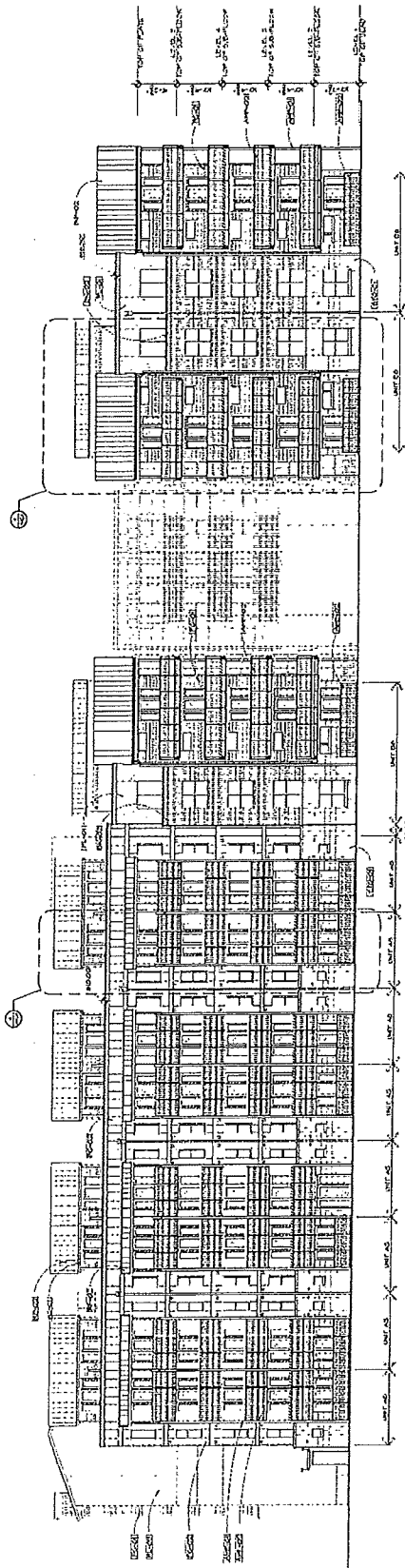
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 Project Number: **01 08167 00**  
 Revision: **Phase 1 Block 1W Addition, Texas**  
 Drawing Name: **NORTH ELEVATION**  
 Drawing Number: **EAST ELEVATION**  
 Drawn By: **JK**  
 Checked By: **JK**

**A321**

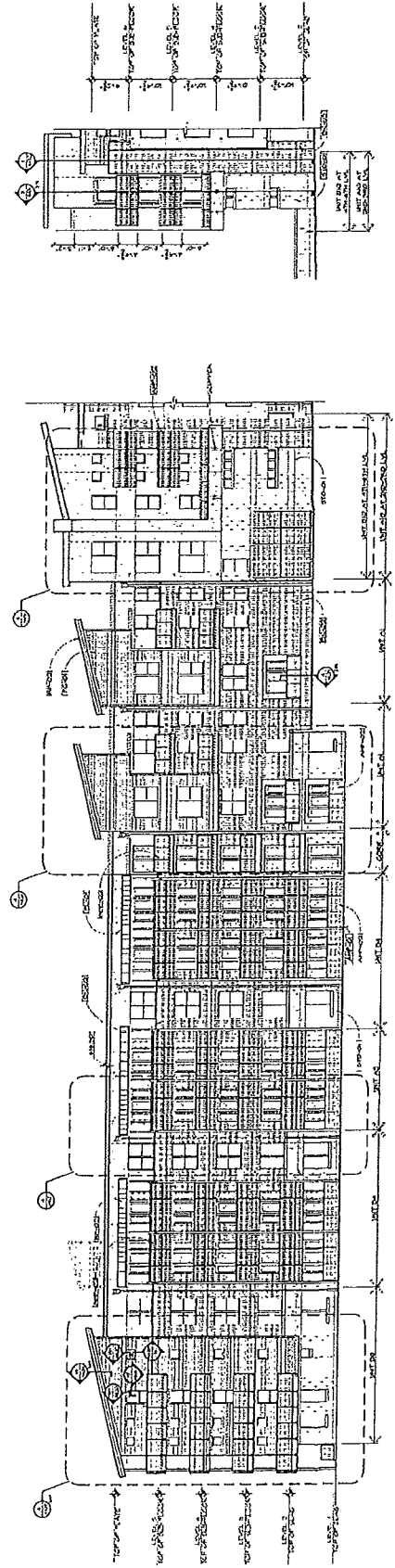
**ELEVATION GENERAL NOTES**

1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED SHALL BE IN FEET AND INCHES.
2. ALL MATERIALS, FINISHES, AND COLORS SHALL BE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.
3. ALL MATERIALS, FINISHES, AND COLORS SHALL BE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.
4. ALL MATERIALS, FINISHES, AND COLORS SHALL BE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.
5. ALL MATERIALS, FINISHES, AND COLORS SHALL BE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.

**KEY PLAN**



**3 EAST ELEVATION**  
 SCALE: 3/32" = 1'-0"



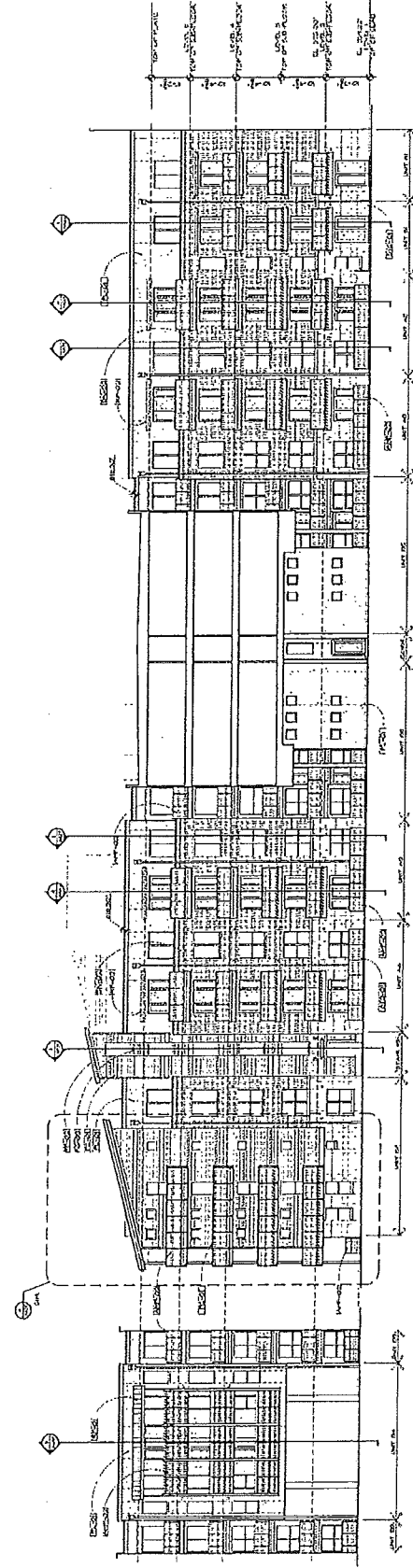
**2 NORTH ELEVATION**  
 SCALE: 3/32" = 1'-0"

**1 NORTHWEST CORNER ELEVATION**  
 SCALE: 3/32" = 1'-0"

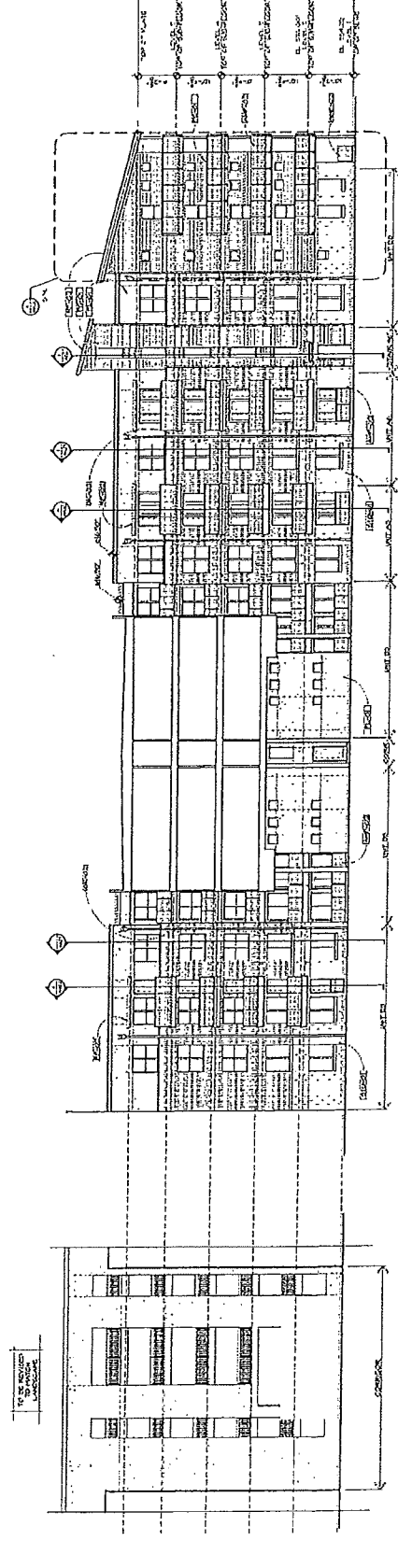
**ELEVATION GENERAL NOTES**

1. ALL MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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8. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL TRADES, SERVICES AND MATERIALS TO BE SHOWN ON THIS DRAWING TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

**KEY PLAN**



4 EAST/WEST COURTYARD ELEVATION SCALE: 3/32" = 1'-0"  
 3 NORTH COURTYARD ELEVATION SCALE: 3/32" = 1'-0"



2 EAST COURTYARD ELEVATION SCALE: 3/32" = 1'-0"  
 1 SOUTH COURTYARD ELEVATION SCALE: 3/32" = 1'-0"

**LRK**

**Looney Ricks Kiss**

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Master/Architect/Engineer  
**RES a UDR Company**  
 Three Seaside Center  
 500141 Highway, Suite 1700  
 Dallas, Texas 75226

Material	Notes
1	BRICK
2	CONCRETE
3	GLASS
4	WOOD
5	IRON
6	STEEL
7	COPPER
8	ZINC
9	ALUMINUM
10	BRASS
11	STAINLESS STEEL
12	PAINT
13	PLASTER
14	CEILING
15	FLOORING
16	ROOFING
17	MECHANICAL
18	ELECTRICAL
19	PLUMBING
20	HVAC
21	INSULATION
22	GLAZING
23	SCREENING
24	SHADING
25	LANDSCAPE
26	EXTERIOR LIGHTING
27	EXTERIOR WALL FINISH
28	EXTERIOR DOOR FINISH
29	EXTERIOR WINDOW FINISH
30	EXTERIOR ROOF FINISH
31	EXTERIOR FLOOR FINISH
32	EXTERIOR CEILING FINISH
33	EXTERIOR MECHANICAL FINISH
34	EXTERIOR ELECTRICAL FINISH
35	EXTERIOR PLUMBING FINISH
36	EXTERIOR HVAC FINISH
37	EXTERIOR INSULATION FINISH
38	EXTERIOR GLAZING FINISH
39	EXTERIOR SCREENING FINISH
40	EXTERIOR SHADING FINISH
41	EXTERIOR LANDSCAPE FINISH
42	EXTERIOR LIGHTING FINISH
43	EXTERIOR WALL FINISH
44	EXTERIOR DOOR FINISH
45	EXTERIOR WINDOW FINISH
46	EXTERIOR ROOF FINISH
47	EXTERIOR FLOOR FINISH
48	EXTERIOR CEILING FINISH
49	EXTERIOR MECHANICAL FINISH
50	EXTERIOR ELECTRICAL FINISH
51	EXTERIOR PLUMBING FINISH
52	EXTERIOR HVAC FINISH
53	EXTERIOR INSULATION FINISH
54	EXTERIOR GLAZING FINISH
55	EXTERIOR SCREENING FINISH
56	EXTERIOR SHADING FINISH
57	EXTERIOR LANDSCAPE FINISH
58	EXTERIOR LIGHTING FINISH
59	EXTERIOR WALL FINISH
60	EXTERIOR DOOR FINISH
61	EXTERIOR WINDOW FINISH
62	EXTERIOR ROOF FINISH
63	EXTERIOR FLOOR FINISH
64	EXTERIOR CEILING FINISH
65	EXTERIOR MECHANICAL FINISH
66	EXTERIOR ELECTRICAL FINISH
67	EXTERIOR PLUMBING FINISH
68	EXTERIOR HVAC FINISH
69	EXTERIOR INSULATION FINISH
70	EXTERIOR GLAZING FINISH
71	EXTERIOR SCREENING FINISH
72	EXTERIOR SHADING FINISH
73	EXTERIOR LANDSCAPE FINISH
74	EXTERIOR LIGHTING FINISH
75	EXTERIOR WALL FINISH
76	EXTERIOR DOOR FINISH
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78	EXTERIOR ROOF FINISH
79	EXTERIOR FLOOR FINISH
80	EXTERIOR CEILING FINISH
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82	EXTERIOR ELECTRICAL FINISH
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84	EXTERIOR HVAC FINISH
85	EXTERIOR INSULATION FINISH
86	EXTERIOR GLAZING FINISH
87	EXTERIOR SCREENING FINISH
88	EXTERIOR SHADING FINISH
89	EXTERIOR LANDSCAPE FINISH
90	EXTERIOR LIGHTING FINISH
91	EXTERIOR WALL FINISH
92	EXTERIOR DOOR FINISH
93	EXTERIOR WINDOW FINISH
94	EXTERIOR ROOF FINISH
95	EXTERIOR FLOOR FINISH
96	EXTERIOR CEILING FINISH
97	EXTERIOR MECHANICAL FINISH
98	EXTERIOR ELECTRICAL FINISH
99	EXTERIOR PLUMBING FINISH
100	EXTERIOR HVAC FINISH

DATE: 10/15/2019  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT: [Project Name]

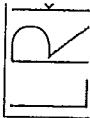


Project Number: 01.20.19.02  
 Project Name: Villavien Park - Phase 1 Block 107  
 Addison, Texas  
 Drawing Name: COURTYARD ELEVATION

Drawn By: [Signature]  
 Checked By: [Signature]

A322





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Architectural Printer

RED & UBR Company

Three Inland Center

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Dallas, Texas 75246

Notes and Details

No. Date Item

C 03/27/09 Entry 04

D 04/24/09 50A, 51 A

E 05/11/09 Final Revise

Scale: 1/8" = 1'-0"



Project Number: 01 031 01 C

Project Name:

Victorinus Park - Phase 1B

Address: Texas

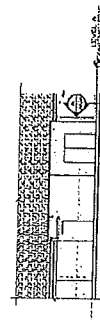
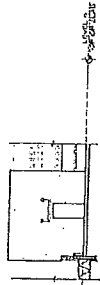
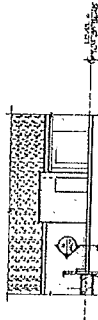
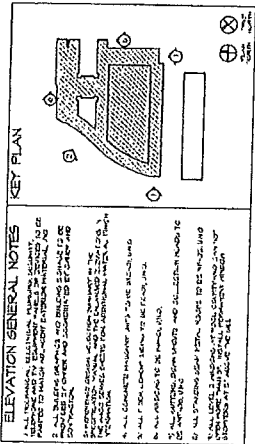
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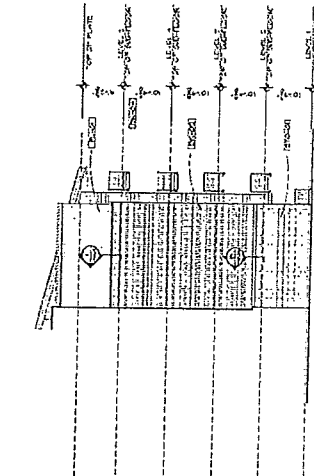
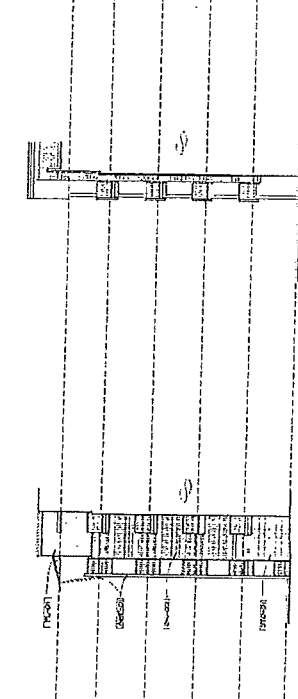
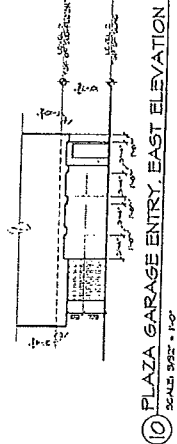
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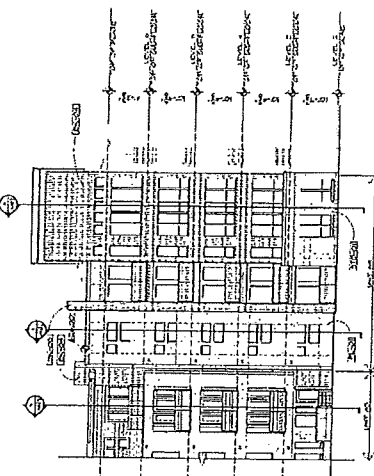
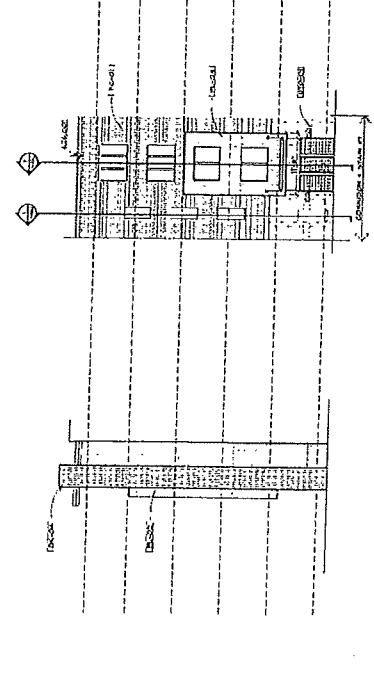
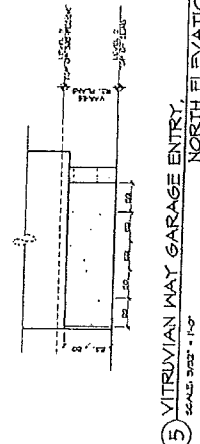
14 STAIR #8, 6TH LVL ELEVATION  
SCALE: 3/32" = 1'-0"

12 STAIR #8, 6TH LVL ELEVATION  
SCALE: 3/32" = 1'-0"

11 SOUTH ELEVATION, PARTIAL  
SCALE: 3/32" = 1'-0"



7 WEST ELEVATION, PARTIAL  
SCALE: 3/32" = 1'-0"



4 VITRIVIAN WAY GARAGE ENTRY  
NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

2 WEST ELEVATION, PARTIAL  
SCALE: 3/32" = 1'-0"

1 SOUTHWEST CORNER ELEVATION, PARTIAL  
SCALE: 3/32" = 1'-0"