

TOWN OF ADDISON, TEXAS

ORDINANCE NO. 009-042

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING SPECIAL USE ORDINANCE NO. 084-034, SO AS TO PROVIDE FOR AN AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR A RESTAURANT AND AN AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR THE SALE OF ALCOHOL FOR ON-PREMISES CONSUMPTION ONLY, ON APPLICATION FROM THE CROWNE PLAZA HOTEL, LOCATED AT 14315 MIDWAY ROAD; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR A NO SEVERABILITY CLAUSE; AND PROVIDING FOR A REPEAL CLAUSE.

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, Texas, and helps promote the general welfare and safety of this community, now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That Ordinance No. 084-034, passed by the Addison City Council on the 8th day of May, 1984, is hereby amended by amending Section 2 to read as follows:

SECTION 2. That the Special Use Permit is granted subject to the following conditions:

1. That prior to the issuance of a Certificate of Occupancy, said property shall be improved in accordance with the revised site plan, floor plan, landscape plan, and the elevation drawings, which are attached hereto and made a part hereof for all

purposes.

2. That the Special Use Permit granted herein shall be limited to a restaurant only and to that particular area designated on the final site plan as outlined and encompassing a total area not to exceed 50,802 square feet.
3. No signs advertising the sale of alcoholic beverages shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison Texas. No terms such as "bar", "tavern" or any terms or graphic depictions that relate to the sale of alcoholic beverages shall be used in any exterior signs.
4. That the sale of alcoholic beverages under this special use permit shall be permitted in restaurants. Restaurants are hereby defined as establishments that receive at least sixty percent (60%) of their gross revenues from the sale of food.
5. Said establishment shall make available to the city or its agents, during reasonable hours its bookkeeping records for inspection, if required, by the city to insure that the conditions of Paragraph 4 are being met.
6. Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of alcoholic beverages.
7. That if the property for which the special use permit is granted is not used for the purposes for which said permit was granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings to be held for the purpose of considering a change of zoning.
8. That if a license or permit to sell alcoholic beverages on property covered by this special use permit is revoked, terminated, or canceled by proper authorities, the City Council may authorize hearings to be held for the purpose for considering a change of zoning.
9. The applicant shall submit detailed landscaping and irrigation plans prior to the issuance of a building permit.

SECTION 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 4. It is the intention of the City Council that this ordinance be considered in

its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

SECTION 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 8th day of December, 2009.


MAYOR-Joe Chow

ATTEST:

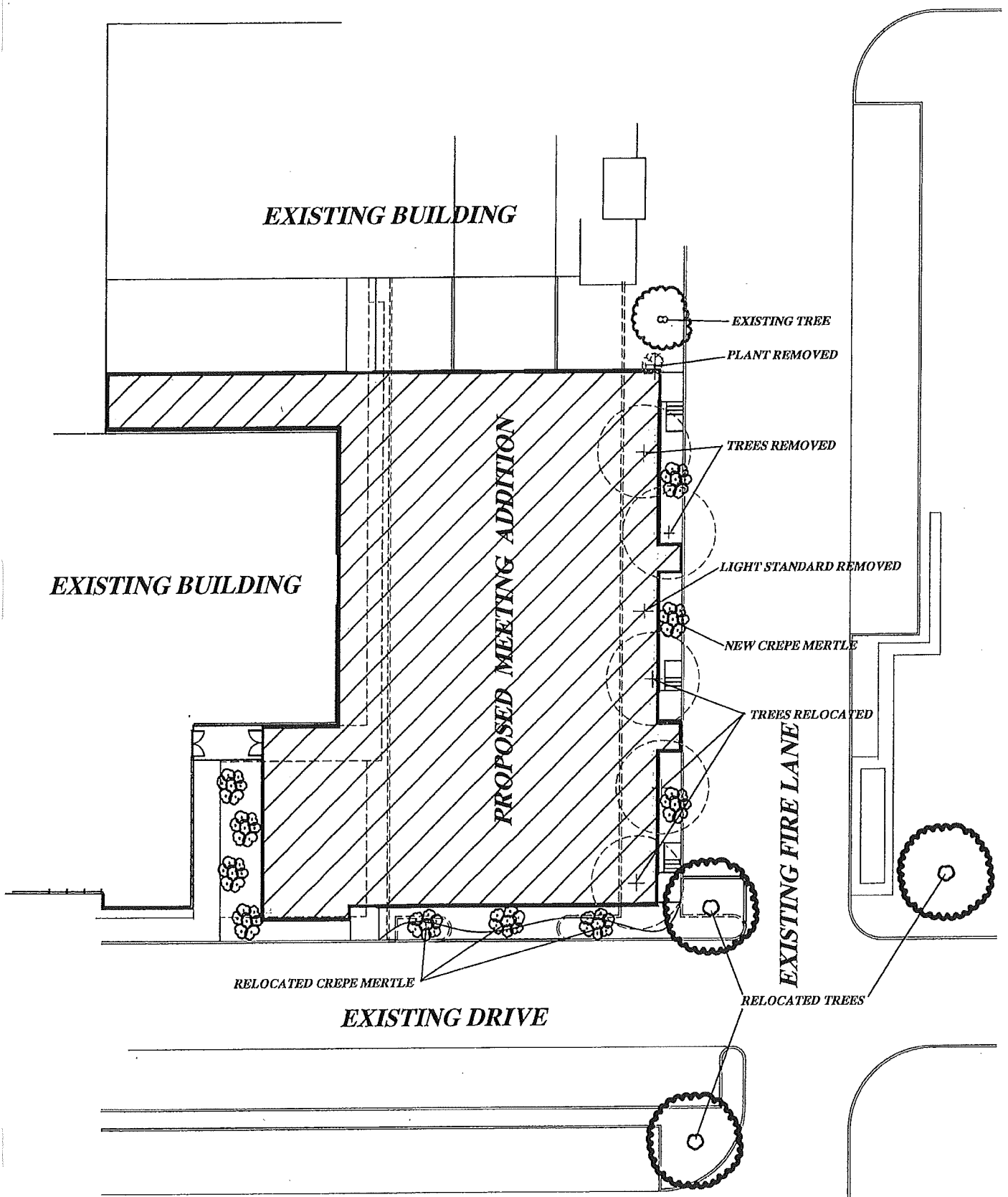

CITY SECRETARY-Lea Dunn

CASE NO. 1589-SUP/Crowne Plaza Hotel
1588-Z/Town of Addison

APPROVED AS TO FORM:


DIRECTOR OF DEVELOPMENT SERVICES-
Carmen Moran

PUBLISHED ON: 1/10/2010



EXISTING BUILDING

EXISTING BUILDING

PROPOSED MEETING ADDITION

EXISTING DRIVE

EXISTING FIRE LANE

EXISTING TREE

PLANT REMOVED

TREES REMOVED

LIGHT STANDARD REMOVED

NEW CREPE MYRTLE

TREES RELOCATED

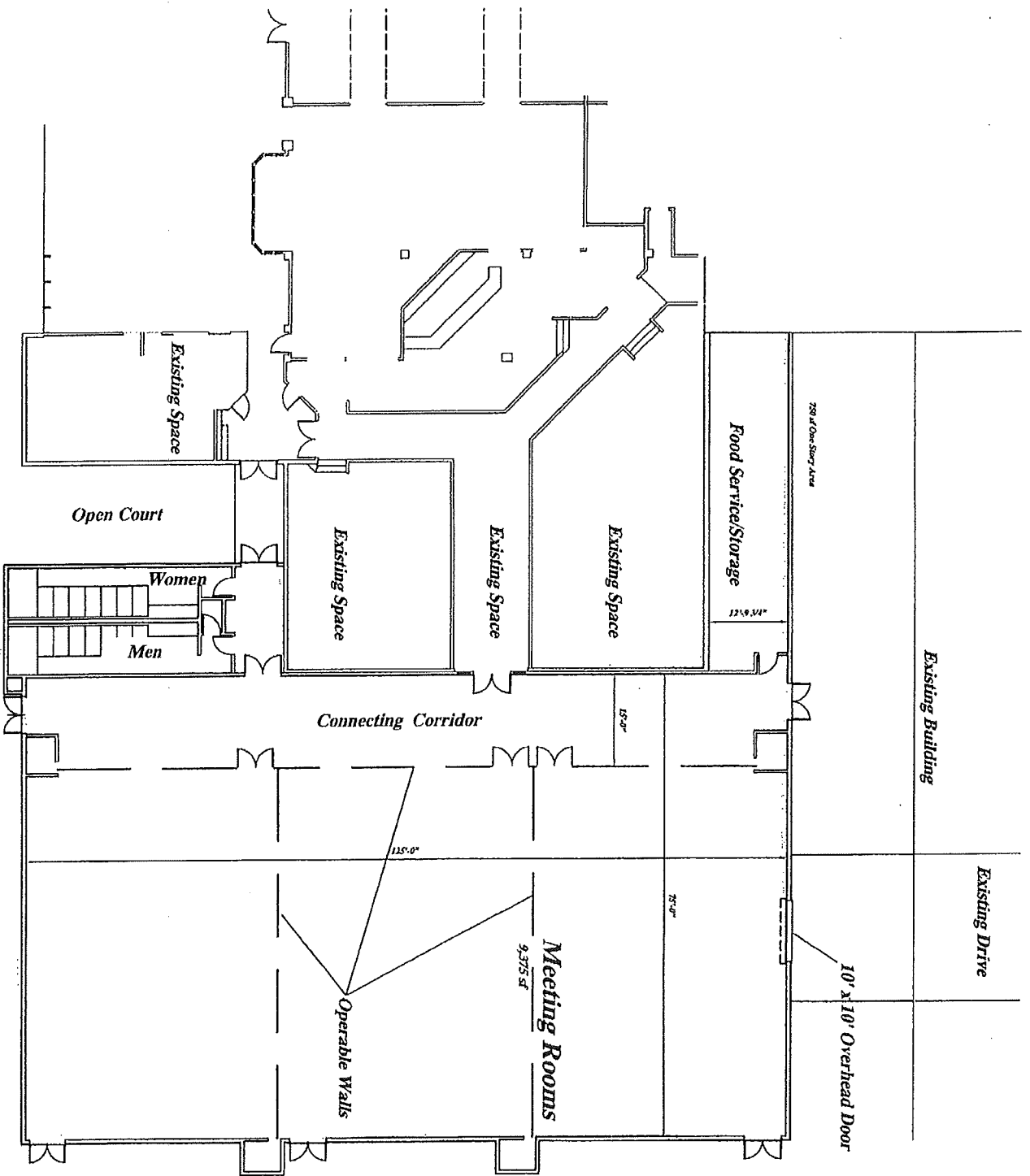
RELOCATED CREPE MYRTLE

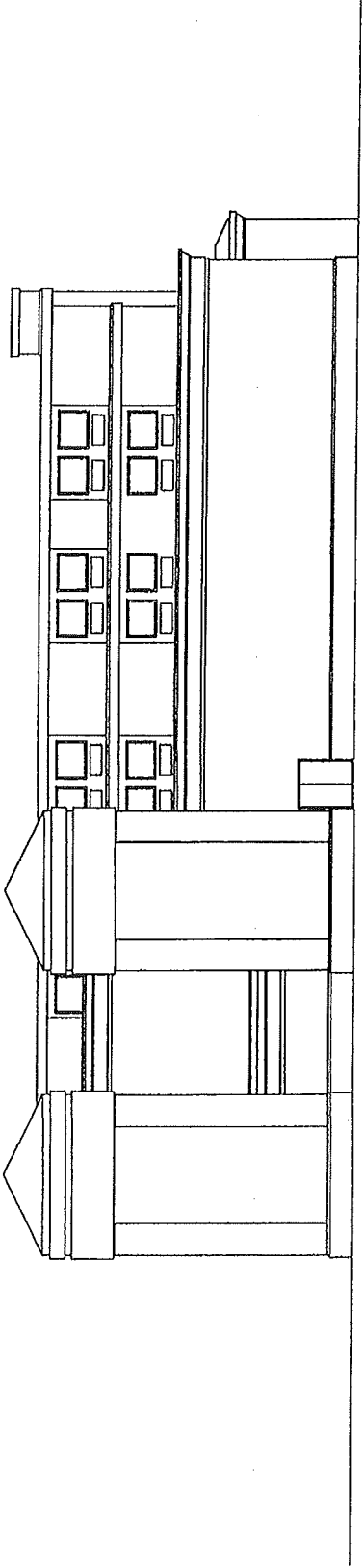
RELOCATED TREES

PARTIAL SITE PLAN

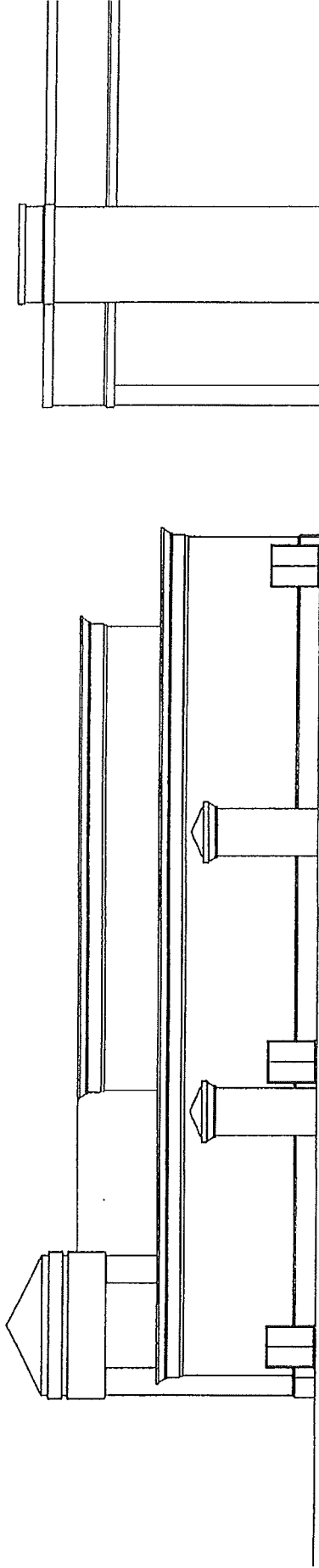
MEETING ROOM ADDITION

773 F Old-Song Area





PARTIAL EAST ELEVATION



PARTIAL NORTH ELEVATION

CONVEYANCE STATEMENT

THIS DEED OF TRUST is being recorded in the name of the Trustee, J. M. ...

...

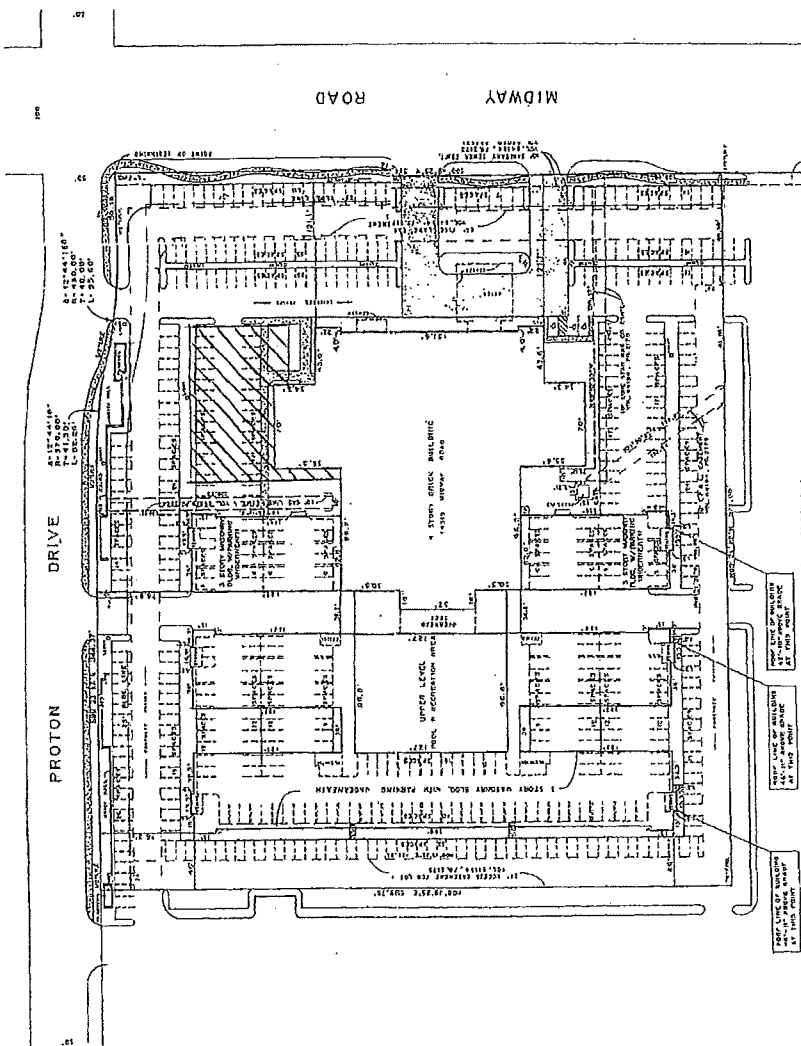
DECLARATION

The undersigned hereby certifies that the information contained in this ...

...

J. M. ...
 Notary Public
 No. 1111

Recorded December 8, 2009



PROPERTY NOT SUBJECT TO ...

REVISIONS DERIVED FROM THE RECORDED ...

IMPROVEMENT SURVEY	
LOT 2 - BLOCK "A"	
PLUE ADDITION ADDITION	
TUSTAS L. MATOCHA SURVEY, ABSTRACT NO. 272	
CITY OF ADDISON, DALLAS COUNTY TEXAS	
VINCENT L. MATOCHA, R.P.E.S.	
2009 Independence Blvd. Parker, Texas 75076	
DATE	12/08/09
SCALE	AS SHOWN
BY	VLM
CHECKED BY	VLM
DATE	12/08/09

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