

**TOWN OF ADDISON, TEXAS**  
**ORDINANCE NO. 010-028**

**AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE TOWN OF ADDISON, TEXAS, SO AS TO GRANT A SPECIAL USE PERMIT FOR A FORM OF COMMERCIAL AMUSEMENT (AN INDOOR WEAPONS TRAINING AND SHOOTING FACILITY) ON APPLICATION WITH VALHALLA SECURITY CONSULTING, LLC, LOCATED AT 4949 BELT LINE ROAD; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY CLAUSE; AND PROVIDING FOR A SEVERABILITY CLAUSE.**

WHEREAS, application was made to amend the Comprehensive Zoning Ordinance of the Town of Addison, Texas, by making application for the same with the Planning and Zoning Commission of the Town of Addison, Texas, as required by State Statutes and the zoning ordinance of the Town of Addison, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of Addison, Texas, after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the Town of Addison, Texas, does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, and it is in the best interest of the public at large, the citizens of the Town of Addison, and helps promote the general welfare and safety of this community, now, therefore,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:**

SECTION 1. That Comprehensive Zoning Ordinance of the Town of Addison, Texas, as heretofore amended, is hereby amended so as to grant a special use permit to a form of commercial amusement (an indoor weapons training and shooting facility), said zoning amendment shall be noted on the official zoning map of the Town of Addison, Texas, and is situated on the following described land:

Being a 22,000 square foot building, addressed as 4949 Belt Line Road, and located on Lot 1 of a tract of land situated in the G.W. Fisher Survey, Abstract No. 482, and being part of QUORUM CENTRE ADDITION, an addition to the City of Addison as recorded in Volume 84067, Page 5718, Map Records, Dallas County, Texas and being TRACT "B" of TRACT "A" and TRACT "B" ADDITION, an addition to the City of Addison as recorded in Volume 81079, Page 0573, Map Records, Dallas County, Texas and further being RALPH AND KACOOS, an addition to the City of Addison as recorded in Volume 90241, Page 2824, Map Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a ½" iron rod set for corner situated in the west line of Quorum Drive (variable R.O.W.), said iron rod also being the most easterly southeast corner of the aforementioned QUORUM CENTRE ADDITION;

THENCE along the west line of said Quorum Drive the following:

N 89°57'28" W a distance of 7.01 feet to a ½" iron rod set for corner;  
S 00°15'05" E a distance of 266.38 feet to a ½" iron rod set for corner and the beginning of a curve to the right;

Along said curve having a central angle of 84° 12'36", a radius of 55.00 feet, and an arc length of 80.84 feet to a ½" iron rod set for corner;

S 81°47'00" W a distance of 25.39 feet to a ½" iron rod set for corner situated in the north line of Belt Line Road (100' R.O.W.);

THENCE N 89°57'28" W along the north line of said Belt Line Road a distance of 329.25 feet to a ½" iron rod set for corner;

THENCE N 00°14'01" W departing the north line of said Belt Line Road a distance of 357.33 feet to a ½" iron rod set for corner;

THENCE S 89°57'28" E a distance of 30.83 feet to a ½" iron rod set for corner;

THENCE N 00°15'05" W a distance of 105.00 feet to a ½" iron rod set for corner;

THENCE S 89°57'28" E a distance of 30.00 feet to a ½" iron rod set for corner;

THENCE N 00°15'05" W a distance of 137.67 feet to a ½" iron rod set for corner;

THENCE S 89°57'28" E a distance of 349.92 feet to a ½" iron rod set for corner situated in the west line of said Quorum Drive;

THENCE S 00°15'05" E along the west line of said Quorum Drive a distance of 275.00 feet to the POINT OF BEGINNING and containing 5.3193 acres of land, more or less.

SECTION 2. That the Special Use Permit for a form of commercial amusement (an indoor weapons training and shooting facility) shall be approved subject to the following conditions:


-Any dead or missing landscaping shall be replaced, and the irrigation system shall be restored to operable condition prior to the issuance of a Certificate of Occupancy.

SECTION 3. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall be remain in full force and effect.


SECTION 4. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, section 1.10, General Penalty for Violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

SECTION 5. That should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provisions thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of this ordinance as a whole.

DULY PASSED BY THE CITY COUNCIL OF THE TOWN OF ADDISON,  
TEXAS, on this the 14<sup>th</sup> day of September, 2010.

  
Mayor Joe Chow

ATTEST:

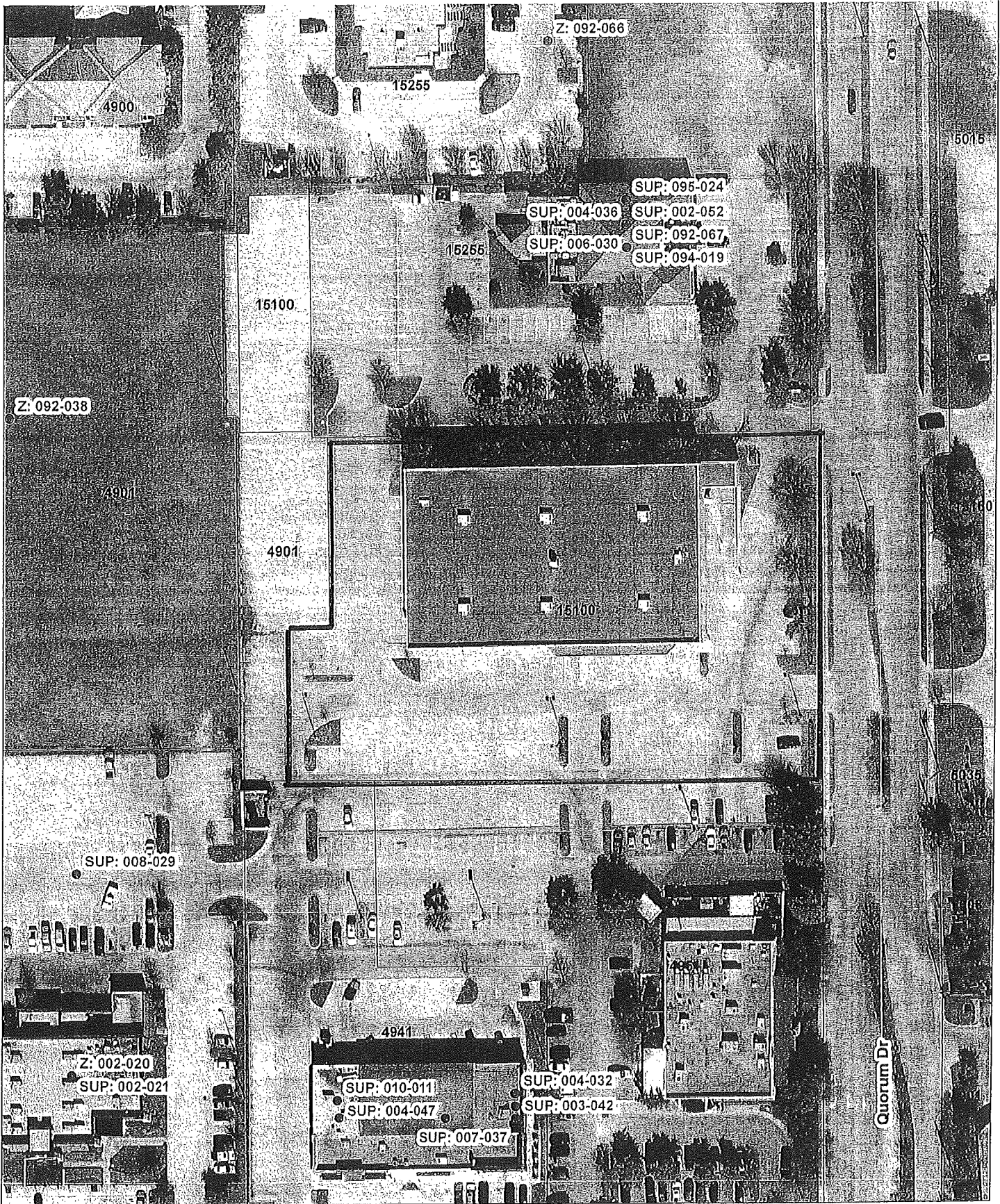
  
\_\_\_\_\_  
City Secretary-Lea Dunn

CASE NO.: 1605-SUP/Valhalla Security Consulting, LLC

















APPROVED AS TO FORM:

  
\_\_\_\_\_  
Director of Development Services-Carmen Moran

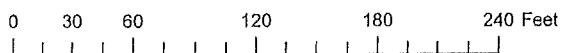
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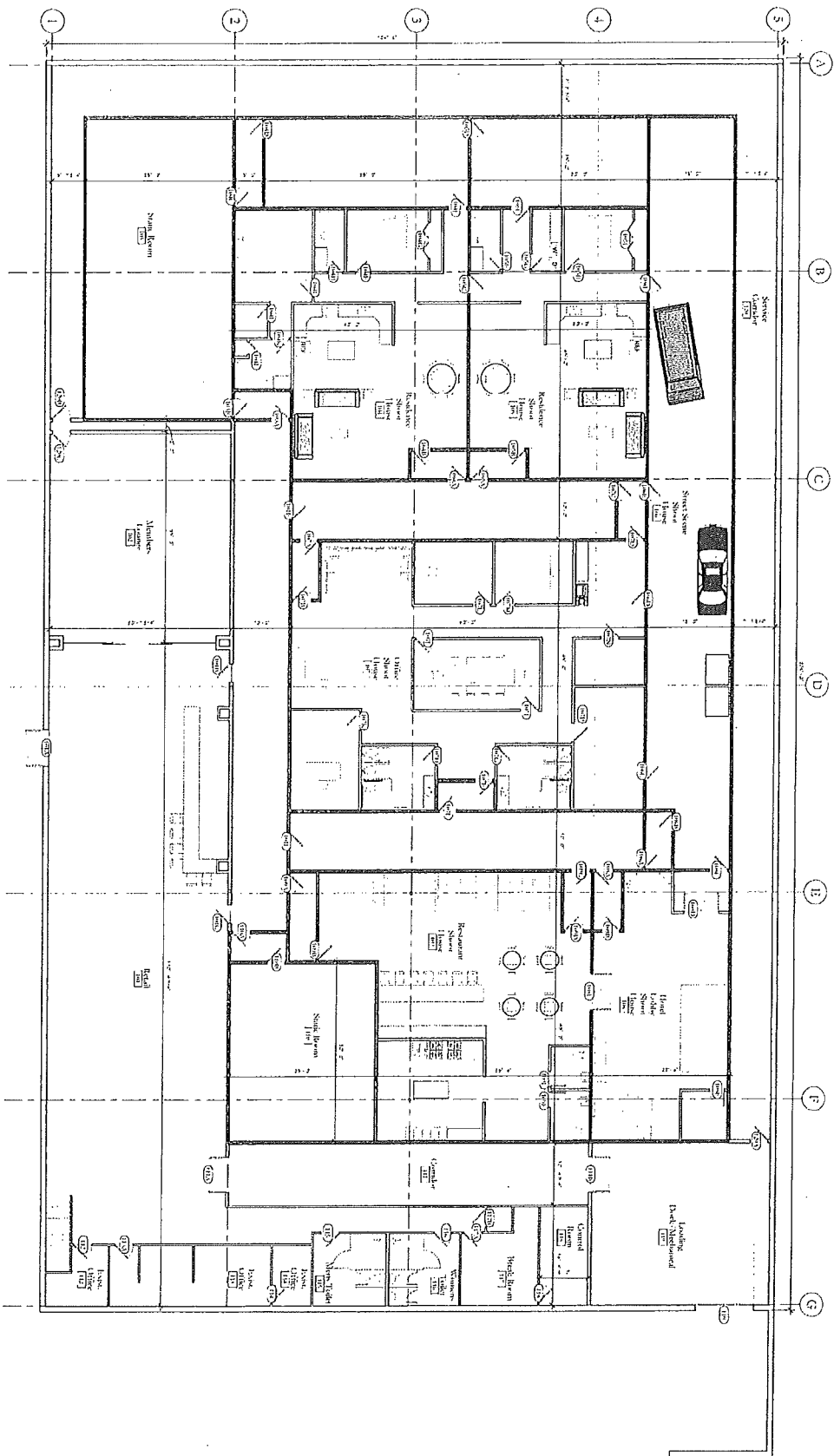


**Zoning Categories:**

 A	 I-2	 P	 PD-TH
 C-1	 I-3	 PD	 R-1
 C-2	 LR	 PD 4	 R-16
 I-1	 MXR	 PD-CC	 UC

**Town of Addison Zoning Map**





1 Plan

**ARTISAN**  
DESIGN  
STRUCTURE &  
CONSTRUCTION

9155, 10th  
Missoula, MT 59801  
P: (406) 542-1988  
F: (406) 542-1811  
info@artisan.com

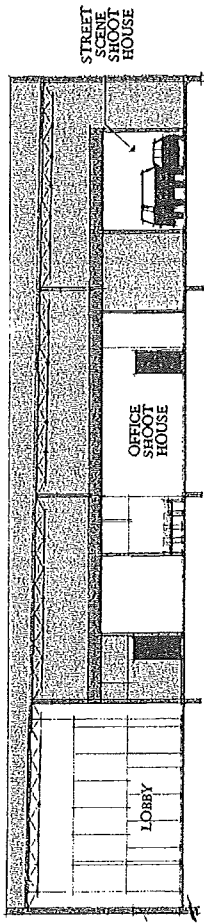
STAMP

# Valhalla - Site 2

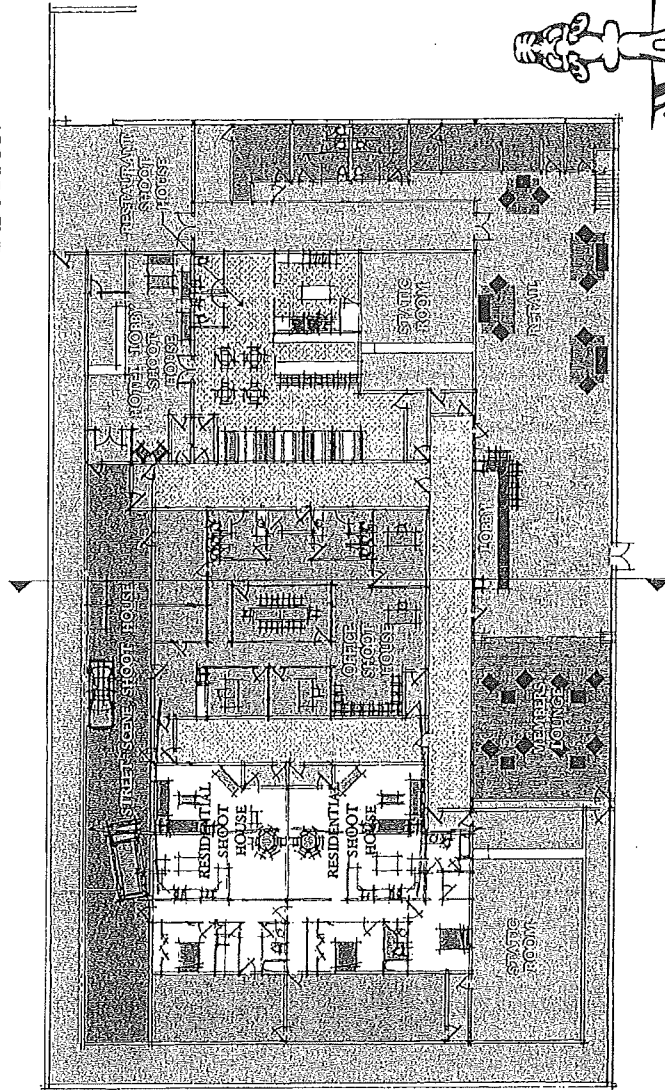
ISSUE:  
SHEET:  
Scale: 1/8" = 1'-0"

Plan - Single  
Story

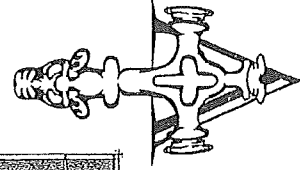
A2.1



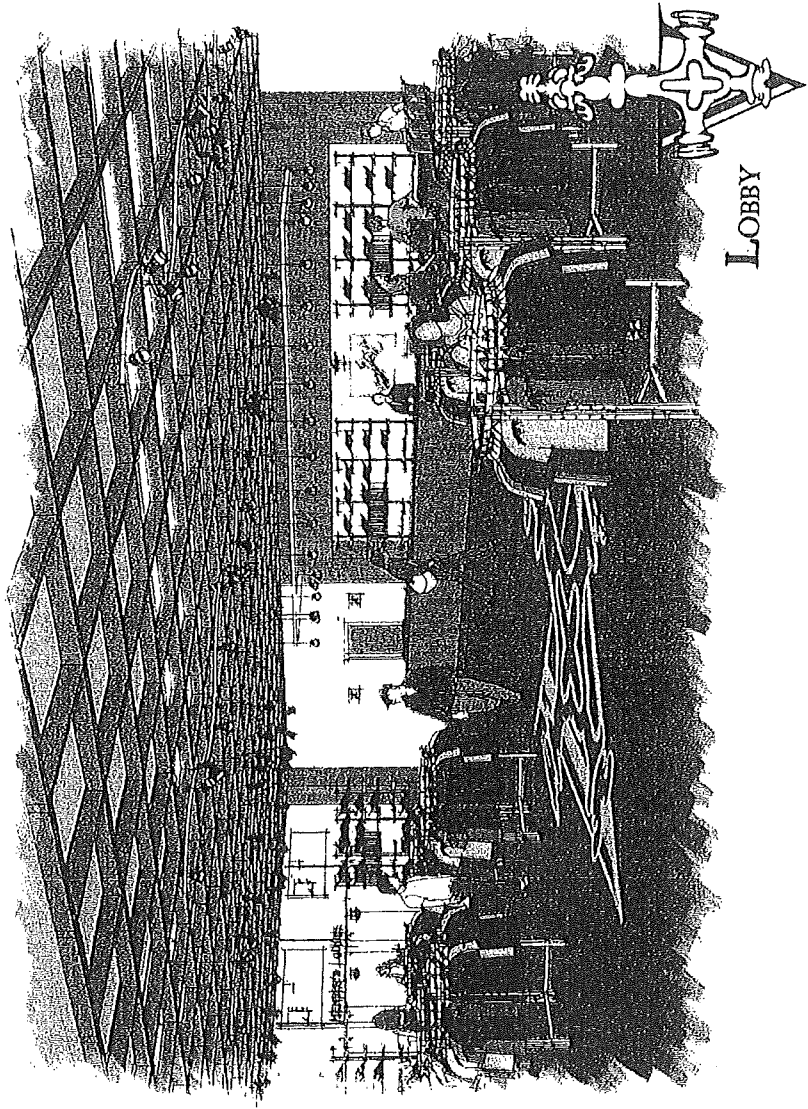
SECTION



PLAN

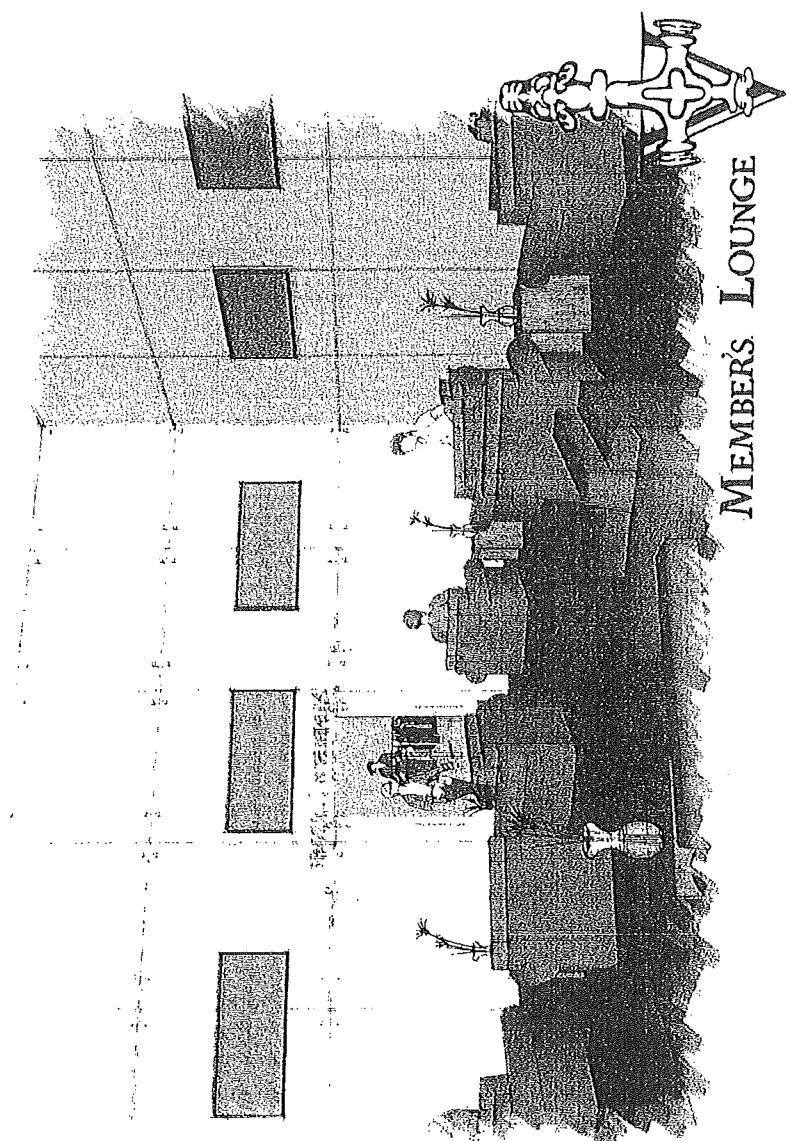




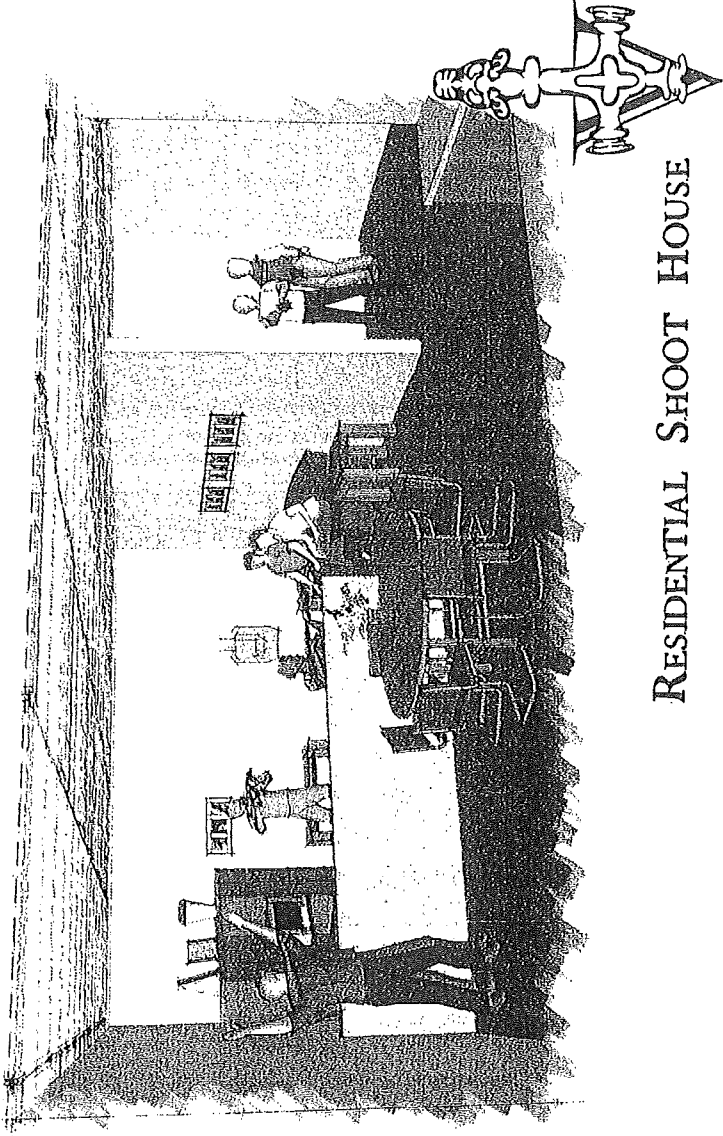


LOBBY

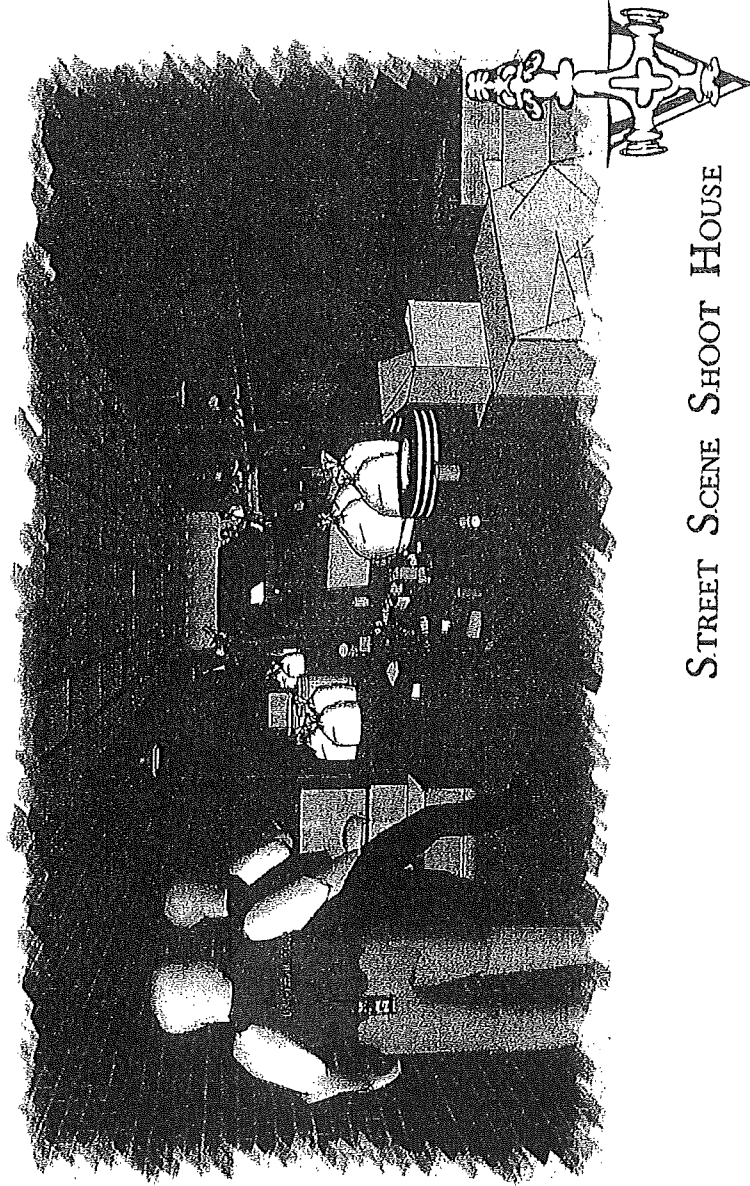




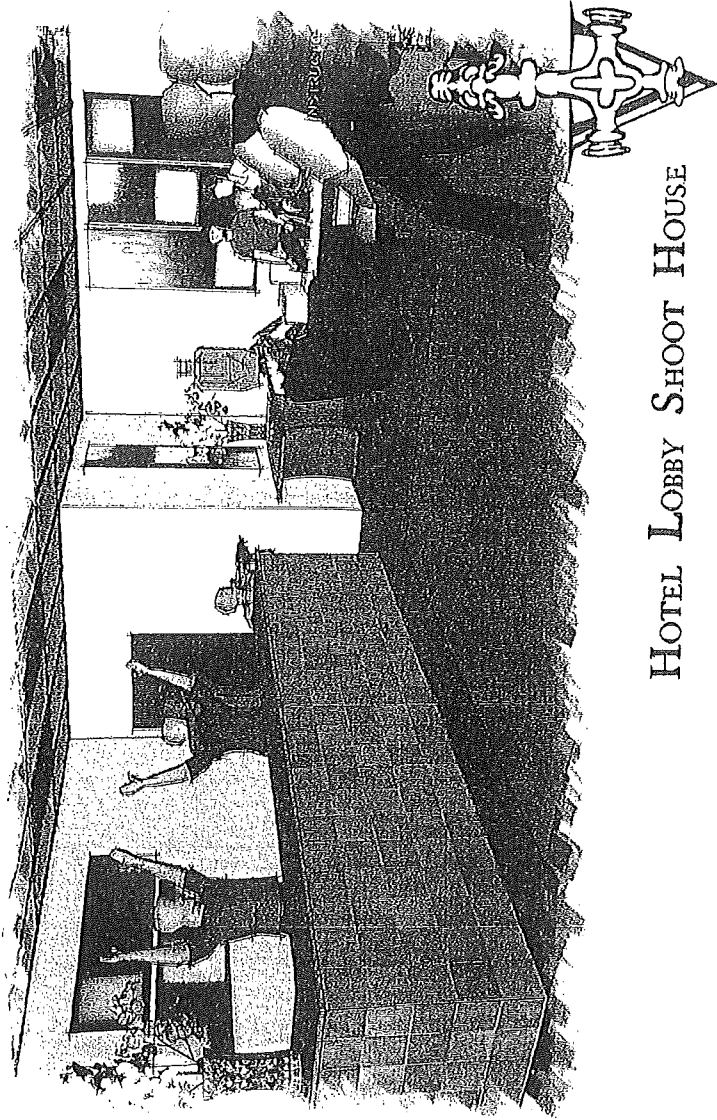
MEMBER'S LOUNGE



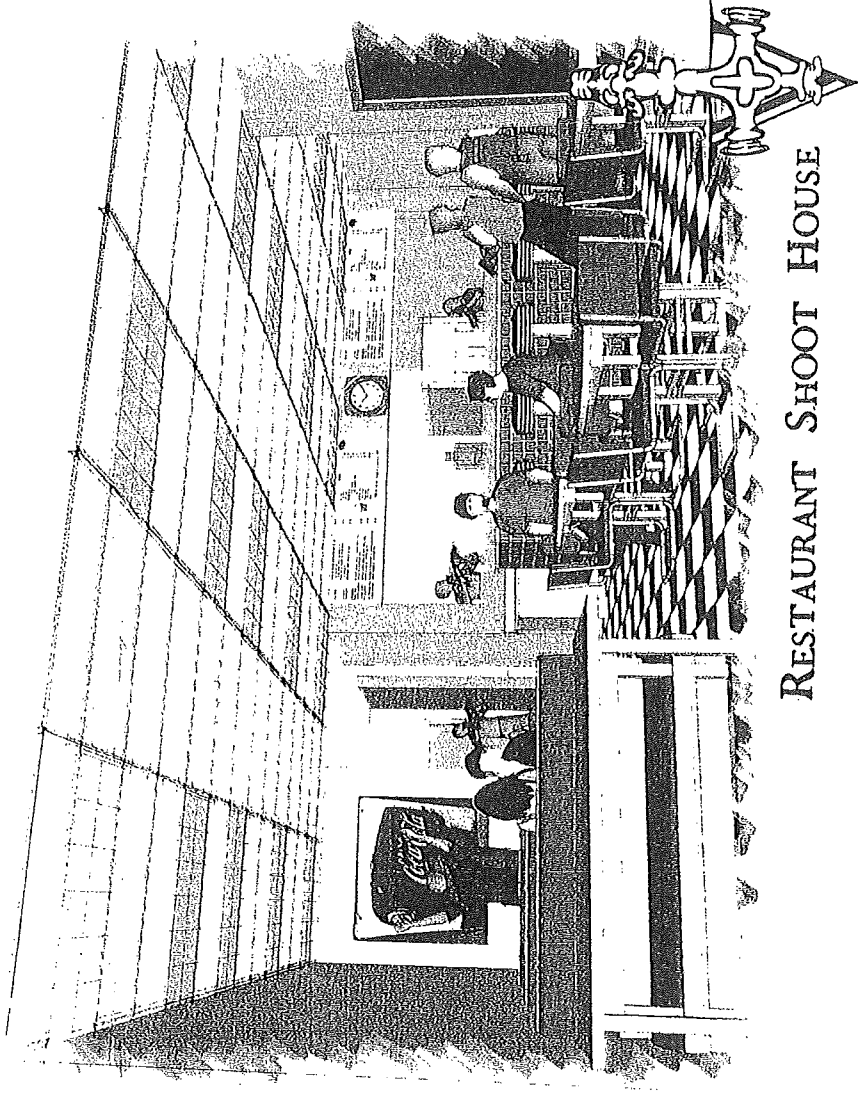
RESIDENTIAL SHOOT HOUSE



STREET SCENE SHOOT HOUSE



HOTEL LOBBY SHOOT HOUSE



RESTAURANT SHOOT HOUSE

STAMP

Vallhalla - Site 2

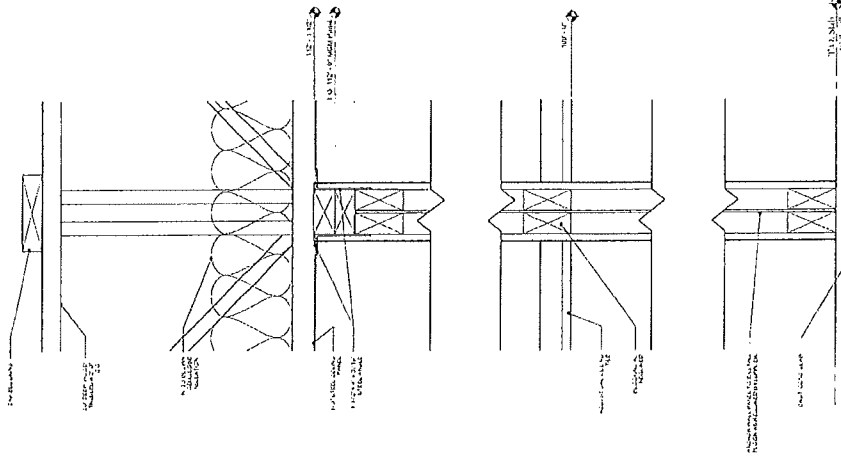
FINISH

PROJECT NO: 06212  
 DESIGNED BY: SD  
 DRAWN BY: MJP  
 CHECKED BY: JPB

Wall Sections/  
 Details

DATE: 11/11/10

A4.2



① Show House Walls - Typical

