

TOWN OF ADDISON, TEXAS

ORDINANCE NO. 018-001

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE BY APPROVING A CHANGE OF ZONING FROM INDUSTRIAL-1 TO LOCAL RETAIL AND GRANTING A SPECIAL USE PERMIT FOR A GASOLINE SERVICE STATION, FOR A RESTAURANT, AND FOR THE SALE OF BEER AND WINE FOR OFF-PREMISE CONSUMPTION FOR PROPERTY GENERALLY LOCATED AT 15196 MARSH LANE; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; SAVINGS, NO SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Town of Addison, Texas (the “City”) is a home rule municipality having full power of local self-government pursuant to Article 11, Section 5 of the Texas Constitution and its Home Rule Charter; and

WHEREAS, at its regular meeting held on December 19, 2017, the Planning & Zoning Commission considered and made recommendations on a request for a rezoning, from I-1, Industrial-1, to LR, Local Retail, and request for Special Use Permits for a gasoline service station, for a restaurant, and for the sale of beer and wine for off-premise consumption only (Case No.1769-Z); and

WHEREAS, this change of zoning is in accordance with the adopted Comprehensive Plan of the Town of Addison, as amended; and

WHEREAS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that this amendment promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

Section 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

Section 2. That the property located at 15196 Marsh Lane, more specifically described in **Exhibit A**, attached hereto, and incorporated herein (the “Property”), is hereby rezoned from I-1, Industrial-1, to LR, Local Retail, and that a Special Use Permit authorizing a gasoline service station, a restaurant, and the sale of beer and wine for off-premise consumption only are hereby granted subject to the following conditions:

- (a) Prior to the issuance of a Building Permit, the property owner shall replat said Property.
- (b) Prior to the issuance of a Certificate of Occupancy, said Property shall be improved in accordance with the development plans (site plan, floor plan, building elevations, and landscape plan) which are attached hereto as **Exhibit B** and made a part hereof for all purposes.
- (c) The Special Use Permit granted herein for the sale of beer and wine for off-premise consumption only shall be limited to that particular area designated on the final site plan as encompassing 5,413 square feet.
- (d) The Special Use Permit granted herein for a restaurant shall be limited to that particular area designated on the final site plan as encompassing a total area not to exceed 1,073 square feet.
- (e) No signs advertising sale of beer and wine shall be permitted other than those authorized under the Liquor Control Act of the State of Texas, and any sign ordinance of the Town of Addison, Texas.
- (f) Any use of property considered as a nonconforming use under the Comprehensive Zoning Ordinance of the Town of Addison shall not be permitted to receive a license or permit for the sale of beer and wine.
- (g) If the property for which this Special Use Permit is granted is not used for the purposes for which said permits were granted within one (1) year after the adoption of this ordinance, the City Council may authorize hearings to be held for the purpose of considering a change of zoning and repeal of the Special Use Permit granted herein.
- (h) If a license or permit to sell beer and wine on property covered by this Special Use Permit is revoked, terminated or cancelled by proper authorities, the City Council may authorize hearings to be held for the purpose of considering a change of zoning repeal of the Special Use Permit granted herein.
- (i) The establishment shall not use the term “bar”, “tavern”, or any other terms or graphic depictions that relate to the sale of beer and wine on any signs visible from the exterior of the premises.
- (j) The establishment shall have the existing driveway on Arapaho Road designed to be a right in/right out only, and to include a curb to prohibit left-turn movements in and out of the driveway.

Section 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set

in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

Section 4. That it is the intention of the City Council that this ordinance be considered in its entirety, as one ordinance, and should any portion of this ordinance be held to be void or unconstitutional, then said ordinance shall be void in its entirety, and the City Council would not have adopted said ordinance if any part or portion of said ordinance should be held to be unconstitutional or void.

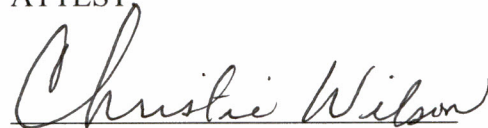
Section 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 9th day of January 2018.

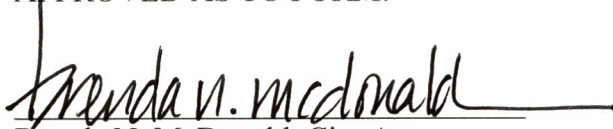

Joe Chow, Mayor

ATTEST:


Christie Wilson, City Secretary

CASE NO: 1769-SUP/Race Trac

APPROVED AS TO FORM:


Brenda N. McDonald, City Attorney



PUBLISHED ON: 1-13-18

Ordinance No. 018-001

EXHIBIT A

Being 3.133 acres (136,464 sq. ft.) of land situated in the D. Myers Survey, Abstract Number 923, Dallas County, Texas, and being all of Lot 2, Block 1, Belt Line/Marsh Business Park, an addition to the City of Addison by plat thereof recorded in Instrument Number 200100100113, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.) as conveyed to Mesquite Creek Development, Inc. by deed recorded in Volume 2000229, Page 11119, Deed Records, Dallas County, Texas (D.R.D.C.T.) and all of that tract of land conveyed to Gingercrest, Inc. by deed recorded in Instrument Number 201200358777, (O.P.R.D.C.T.). Said 3.133 acre tract of land bearings are based on the Texas State Plane Coordinate System of 1983 (2011), North Central Zone and is more particularly described by metes and bounds as follows:

Commencing at a 1/2" iron rod with yellow cap stamped "BGT" found at the southeast corner of a tract of land conveyed to Town of Addison for right-of-way dedication by instrument recorded in Volume 94138, Page 4334, (D.R.D.C.T.) at the southwest corner of Lot 1, Block 1, Belt Line - Marsh Business Park, an addition to the City of Addison by plat thereof recorded in Volume 83042, Page 425, (D.R.D.C.T.) and being in the original north line of Arapaho Road (60' right-of-way formerly known as Realty Road) as dedicated by Belt Line/Marsh Business Park, an addition to the City of Addison by plat thereof recorded in Volume 81060, Page 170, (D.R.D.C.T.);

Thence North 11 Degrees 46 Minutes 02 Seconds East, along the west line of the above mentioned Lot 1, Block 1 and the common east line of the above mentioned Town of Addison tract, a distance of 12.00 feet to a 1/2" iron rod found at the southeast corner of the above mentioned Gingercrest, Inc. tract, same being the northeast corner of said Town of Addison tract for the POINT OF BEGINNING of the herein described 3.133 acre tract;

Thence along the south line of said Gingercrest, Inc. tract and the above mentioned Lot 2, Block 1, same being the common north line of said Town of Addison tract North 78 Degrees 09 Minutes 59 Seconds West, at a distance of 234.29 feet pass a 5/8" iron rod with yellow cap stamped "BHB" found at the southwest corner of said Gingercrest, Inc. tract, same being the southeast corner of said Lot 2, Block 1, and continuing for a total distance of 256.69 feet to a 5/8" iron rod found at the beginning of a tangent curve to the left having a delta angle of 8 Degrees 06 Minutes 35 Seconds, a radius of 542.00 feet and a long chord that bears North 82 Degrees 13 Minutes 16 Seconds West for a distance of 76.65 feet;

Thence North 11 Degrees 56 Minutes 01 Seconds East, a distance of 222.31 feet to a 1/2" iron rod with red cap stamped "ONEAL 6570" set in the west line of the above mentioned Gingercrest, Inc. tract and being at the northeast corner of said Lot 2, Block 1 and the southeast corner of the above mentioned Pfluger Addition, from which a 5/8" iron rod with yellow cap stamped "BHB" found bears North 54 Degrees 32 Minutes 40 Seconds West, a distance of 0.71 feet;

Thence North 11 Degrees 56 Minutes 01 Seconds East, a distance of 110.29 feet to a 5/8" iron rod found (bent) in the south line of the St. Louis & Southwestern Railroad (100' right-of-way) at the northeast corner of said Pfluger Addition and the northwest corner of said Gingercrest, Inc. tract;

EXHIBIT A

Thence South 78 Degrees 14 Minutes 57 Seconds East, along the south line of said St. Louis & Southwestern Railroad right-of-way, a distance of 233.32 feet to a 1/211 iron rod found at the northeast corner of said Gingercrest, Inc., same being the northwest corner of the above mentioned Lot 1, Block 1 Belt Line - Marsh Business Park (Vol. 83042, Pg. 425);

Thence South 11 Degrees 46 Minutes 02 Seconds West, along the west line of said Lot 1, Block 1 Belt Line - Marsh Business Park and the common east line of said Gingercrest, Inc. tract, a distance of 333.01 feet to the point of beginning and containing 1.786 acres (77,820 square feet) of land, more or less.

EXHIBIT B

Case No. 1769-SUP/Race Trac

(5 Pages)

Concept Site Plan

Floor Dimension Plan

Exterior Elevations

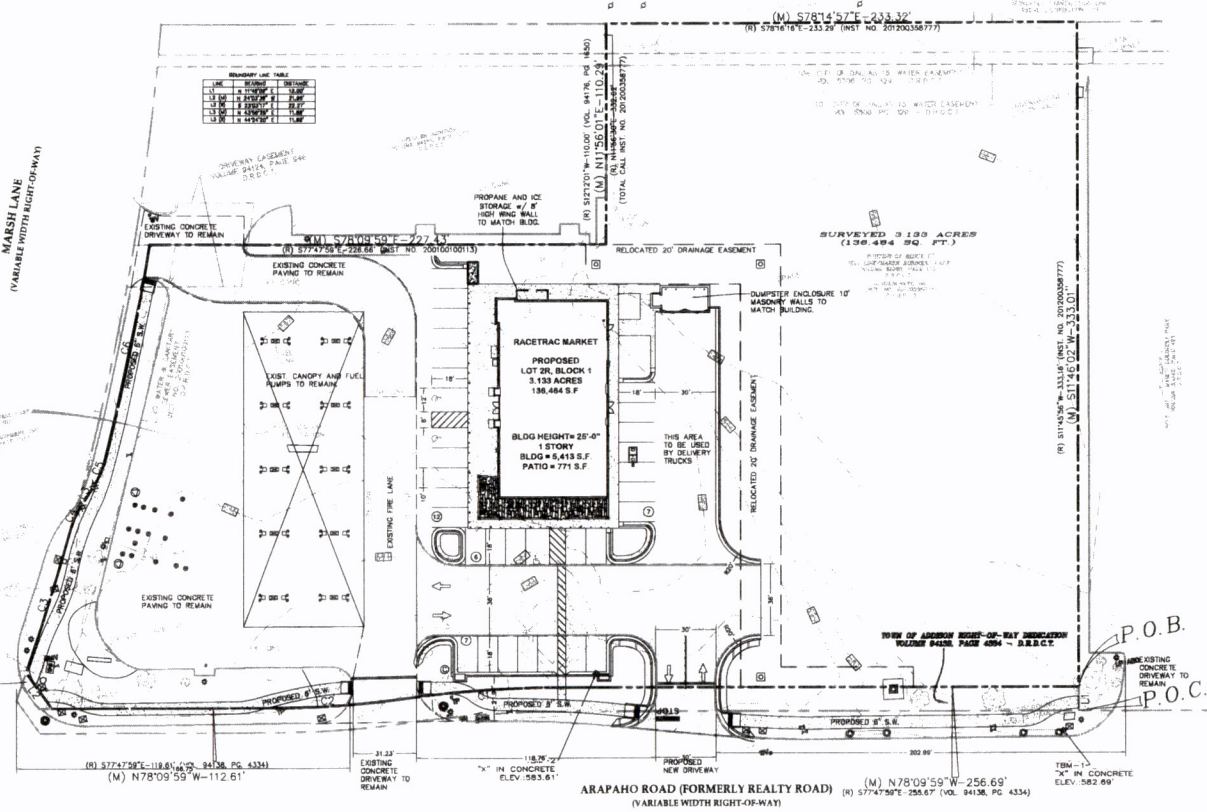
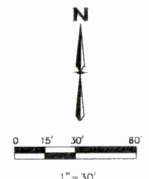
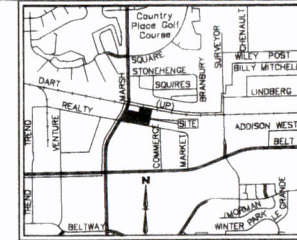
Landscape Plan

Utility Plan

Ordinance No. 018-001

MARK	TYPE	COORDINATES	ELEVATION
01	CONCRETE	57814.57E - 253.32	582.69
02	CONCRETE	57814.57E - 253.32	582.69
03	CONCRETE	57814.57E - 253.32	582.69
04	CONCRETE	57814.57E - 253.32	582.69
05	CONCRETE	57814.57E - 253.32	582.69
06	CONCRETE	57814.57E - 253.32	582.69
07	CONCRETE	57814.57E - 253.32	582.69
08	CONCRETE	57814.57E - 253.32	582.69
09	CONCRETE	57814.57E - 253.32	582.69
10	CONCRETE	57814.57E - 253.32	582.69
11	CONCRETE	57814.57E - 253.32	582.69
12	CONCRETE	57814.57E - 253.32	582.69
13	CONCRETE	57814.57E - 253.32	582.69
14	CONCRETE	57814.57E - 253.32	582.69
15	CONCRETE	57814.57E - 253.32	582.69
16	CONCRETE	57814.57E - 253.32	582.69
17	CONCRETE	57814.57E - 253.32	582.69
18	CONCRETE	57814.57E - 253.32	582.69
19	CONCRETE	57814.57E - 253.32	582.69
20	CONCRETE	57814.57E - 253.32	582.69
21	CONCRETE	57814.57E - 253.32	582.69
22	CONCRETE	57814.57E - 253.32	582.69
23	CONCRETE	57814.57E - 253.32	582.69
24	CONCRETE	57814.57E - 253.32	582.69
25	CONCRETE	57814.57E - 253.32	582.69
26	CONCRETE	57814.57E - 253.32	582.69
27	CONCRETE	57814.57E - 253.32	582.69
28	CONCRETE	57814.57E - 253.32	582.69
29	CONCRETE	57814.57E - 253.32	582.69
30	CONCRETE	57814.57E - 253.32	582.69
31	CONCRETE	57814.57E - 253.32	582.69
32	CONCRETE	57814.57E - 253.32	582.69
33	CONCRETE	57814.57E - 253.32	582.69
34	CONCRETE	57814.57E - 253.32	582.69
35	CONCRETE	57814.57E - 253.32	582.69
36	CONCRETE	57814.57E - 253.32	582.69
37	CONCRETE	57814.57E - 253.32	582.69
38	CONCRETE	57814.57E - 253.32	582.69
39	CONCRETE	57814.57E - 253.32	582.69
40	CONCRETE	57814.57E - 253.32	582.69
41	CONCRETE	57814.57E - 253.32	582.69
42	CONCRETE	57814.57E - 253.32	582.69
43	CONCRETE	57814.57E - 253.32	582.69
44	CONCRETE	57814.57E - 253.32	582.69
45	CONCRETE	57814.57E - 253.32	582.69
46	CONCRETE	57814.57E - 253.32	582.69
47	CONCRETE	57814.57E - 253.32	582.69
48	CONCRETE	57814.57E - 253.32	582.69
49	CONCRETE	57814.57E - 253.32	582.69
50	CONCRETE	57814.57E - 253.32	582.69

ST. LOUIS & SOUTHWESTERN RAILROAD
(1/4" RIGHT-OF-WAY)



SITE LEGEND (PROPOSED):

- 10 PROPERTY LINE
- PROPOSED PARKING STALLS
- EXISTING TREES TO REMAIN

- CITY OF ADDISON SITE PLAN NOTES:
- ANY REVISION TO THIS PLAN WILL REQUIRE TOWN APPROVAL AND WILL REQUIRE REVISION TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 5,000 S.F. OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SMOKEALERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO TOWN APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.

LAND AREA	3.133 ACRES, 136,464 S.F.
ZONING	LR AND L-1
BUILDING AREA	5,413 S.F.
BLDG. LOT COVERAGE	4%
PATIO AREA	771 S.F.
PARKING REQUIRED	
BUILDING (RETAIL 5,111 SF)	26 SPACES
BUILDING (RESTAURANT 302 SF)	5 SPACES
771 S.F. PATIO @ 1/70 S.F.	11 SPACES
TOTAL REQUIRED PARKING	42 SPACES
PARKING PROVIDED	
STANDARD PARKING SPACES	30 SPACES
HC PARKING PROVIDED	2 SPACES
PARKING PROVIDED (INS. OF PUMPS)	20 SPACES
TOTAL PARKING PROVIDED	52 SPACES

BENCHMARK

BENCHMARK NO. 1 - "X" CUT IN CONCRETE STORM INLET ON NORTH SIDE OF ARAPAHO ROAD APPROXIMATELY 575' EAST OF THE CENTERLINE INTERSECTION OF ARAPAHO ROAD AND MARSH LANE.
ELEV.: 582.69'

BENCHMARK NO. 2 - "X" CUT IN CONCRETE GRADE INLET APPROXIMATELY 360' EAST OF THE CENTERLINE INTERSECTION OF ARAPAHO ROAD AND MARSH LANE.
ELEV.: 583.61'

ELEVATIONS ARE NAVD83 BASED ON GPS OBSERVATIONS.



ENGINEER

THE BOUSQUET GROUP, INC.
505 SIMMONS STREET
DENTON, TX 76205
TRAVIS BOUSQUET, PE
PHONE: (940) 566-0088
travis@tbg-solutions.com

OWNER/DEVELOPER

RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE, STE. 900
ATLANTA, GEORGIA 30339
MR. ANDREW MÄLZER
(706) 288-7672

CONCEPT SITE PLAN

LOT 2, BLOCK 1 OF THE
BELTLINE/MARSH BUSINESS PARK ADDITION
D. MYERS SURVEY, ABSTRACT 923
TOWN OF ADDISON
DALLAS COUNTY, TEXAS
3.133 ACRES - 136,464 S.F.
TOWN PROJECT #17-14

THE BOUSQUET GROUP, INC.
505 S. SIMMONS ST.
DENTON, TX 76201
940.566.0088
940.566.0088 FAX
Texas Firm No. 1-8942

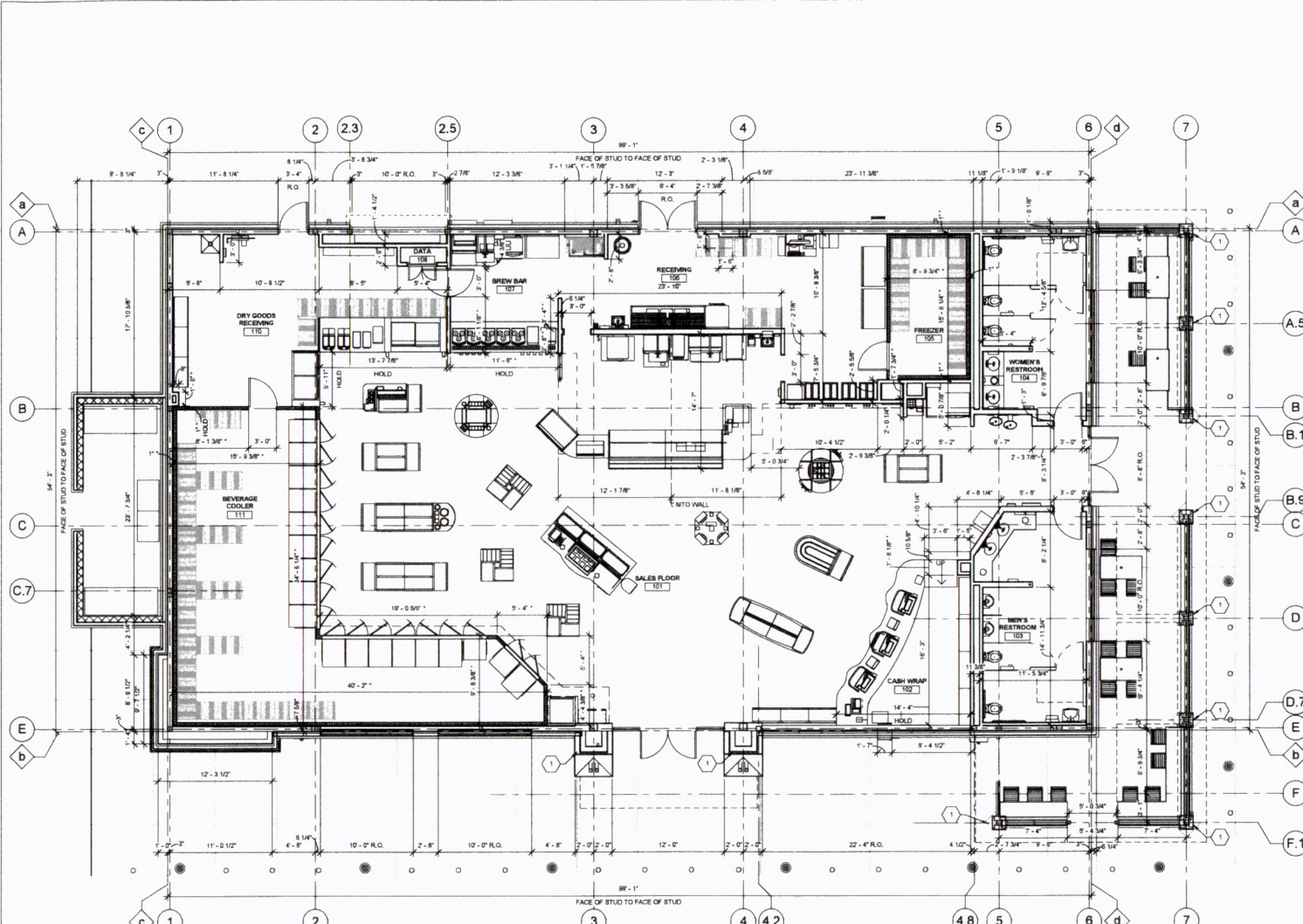
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RaceTrac

CONCEPT SITE PLAN

RACETRAC
Beltline/Marsh Business Park
Lot 2, Block 1
3.133 Acres
Addison, Texas

DATE: Dec 14, 2017
SCALE: 1"=30'
DRAWN BY: TJB
CHECKED BY: [blank]
C-1.1 -
SHEET NO. VERSION



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE (U.N.O.) AN INDICATED WITH AN ASTERISK (*).
2. ALL DIMENSIONS NOTED TO BE FIELD VERIFIED ARE CRITICAL TO THE FLOOR PLAN LAYOUT. G.C. TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT WITH ANY DISCREPANCIES.

FLOOR PLAN KEYNOTES

1. REFER TO REFERENCE PLAN FOR DETAIL REFERENCES AND DETAIL SHEETS FOR DIMENSIONS.

FLOOR DIMENSION PLAN LEGEND

R.O. ROUGH OPENING

1 FLOOR DIMENSION PLAN
3/16" = 1'-0"



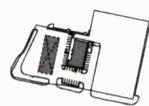
BUILDING AREA CALCULATIONS:

INTERIOR:	
CUSTOMER/RETAIL AREA	2,754 SF
WORK ROOM/COOLER/FREEZER	2,173 SF
CASH WRAP	184 SF
FOOD AREA	302 SF
EXTERIOR:	
PATIO EXTERIOR SEATING	771 SF
TOTAL:	6,182 SF

PROPOSED SEATS:

INSIDE	0
OUTSIDE	23
TOTAL	23

2 SITE PLAN
1" = 20'-0"



RaceTrac

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DESIGN PROFESSIONALS



ISSUE/REVISION RECORD

DATE	DESCRIPTION
08.15.17	PRELIM. PACKAGE
12.07.17	PRELIM. PACKAGE

RaceTrac

RACETRAC PETROLEUM, INC.
1326 CUMBERLAND BOULEVARD
SUITE 100
ATLANTA, GEORGIA 30309
(770) 491-1900

PROJECT NAME
MARSH LANE

ADDISON TEXAS
15196 MARSH LANE

RACETRAC STORE NUMBER
#064

PROTOTYPE SERIES S.B.K.
2017 BR-RH-MO-M 0603

PLAN MODIFICATION NOTICE

SPR. NO. 0603 DATE 08.15.17

STANDARD PLAN BULLETIN (SPB) ADOPTEE: THE PROTOTYPE SERIES (PS) WITH ADAPTS, THE LATEST SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE PROTOTYPE BULLETIN (PB) WITH ADAPTS, THE LATEST SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY BULLETIN RELEASES NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

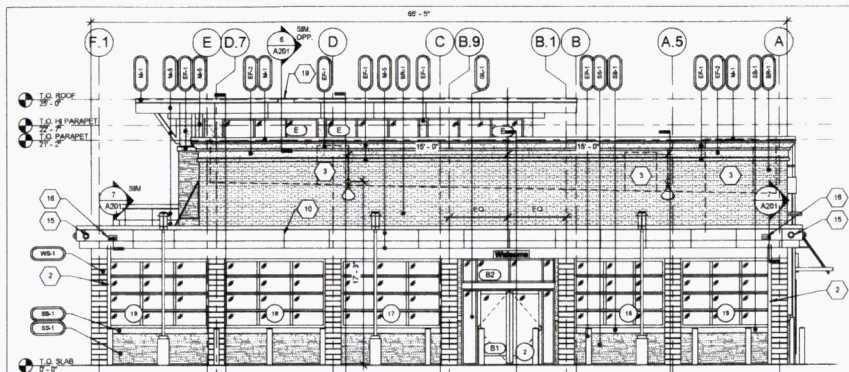
PROJECT NUMBER
2017157.00

QUERY TITLE

FLOOR DIMENSION PLAN

SHEET NUMBER

A120



4 SOUTH ELEVATION (RIGHT)
3/16" = 1'-0"

SOUTH ELEVATION 948 TOTAL SF		
MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	368	21%
BRICK	712	68%
EIFS	46	7%
METAL	32	3%
WOOD	15	1%

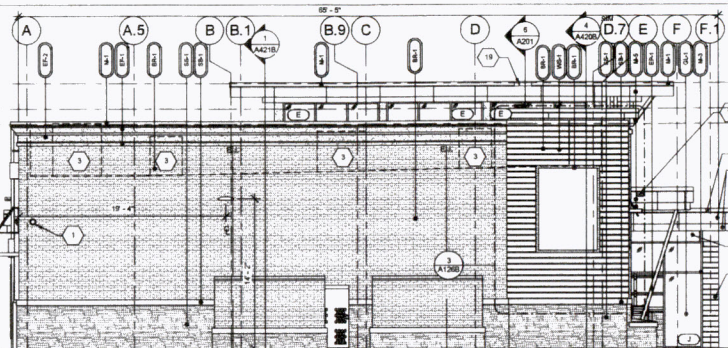
1.0. ROOF
28'-0"
1.0. 12' PARAPET
2'-0"
1.0. PARAPET
2'-0"

NORTH ELEVATION 1,226 TOTAL SF		
MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	368	21%
BRICK	712	68%
EIFS	46	7%
METAL	32	3%
WOOD	15	1%

3 NORTH ELEVATION (LEFT)
3/16" = 1'-0"

FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE.
- WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL.



1.0. ROOF
28'-0"
1.0. 12' PARAPET
2'-0"
1.0. PARAPET
2'-0"
1.0. SLAB
2'-0"

GENERAL NOTES

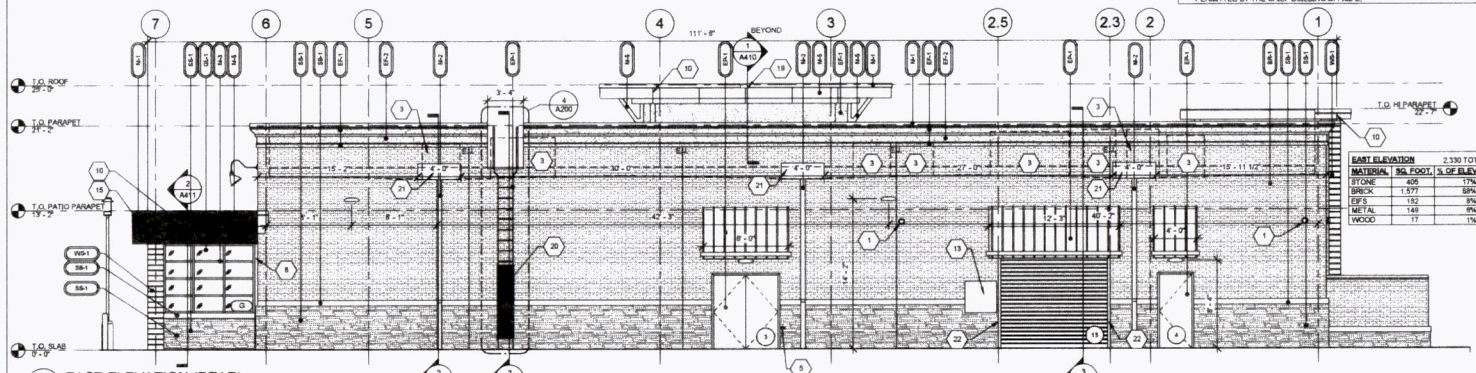
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT LOCATIONS WHERE EIFS MEETS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE MAXIMUM SPACING OF JOINT SEALANT SHALL BE AS SPECIFIED IN THE SPECIFICATION FOR JOINT SEALANT SHALL BE ADHESIVE TAP SL-2 BY TRELCO.
- MAXIMUM SPACING OF DOWNPIPE JOINTS SHALL BE 30'-0".
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE, LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

- REFER TO SHEET A301 FOR DETAIL NOT SHOWN ON THIS SHEET.
- WALL MOUNTED SECURITY CAMERA.
- 3" SQUARE DOWNSPOUT - REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- MECHANICAL EQUIPMENT BEYOND.
- REFER TO DETAILS FOR CAST STONE SHAPES.
- HOSE BIBBS - REFER TO PLUMBING DRAWINGS.
- CEILING FAN - REFER TO SPECIFICATIONS.
- NOT USED.
- BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
- ROOFING MEMBRANE TO BE RUN UP CLEARESTORY TO UNDERSIDE OF WINDOW - REFER TO WALL SECTIONS.
- ACM PANEL REVEAL LINE - REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- NOT USED.
- EMERGENCY FUEL SHUT OFF SWITCH - MOUNT TOP OF SIGN AT 50" A.F.F.
- LOCATION OF ELECTRICAL SERVICE OF AND METER.
- GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
- SECURITY CAMERA MOUNTED TO PATIO FASCIA.
- OVERFLOW BRN. SCUPPER.
- PACKAGE PASSER - REFER TO EQUIPMENT PLAN.
- SPRINKLER - REFER TO DETAIL.
- PROVIDE METAL GUARD GATE AT LADDER TO # 4 WITH LOCKING HASP.
- 4" WIDE x 1'-7" HIGH SCUPPER - REFER TO DETAIL 8 AND 10 OR SHEET A301.
- STOP STONE # 6 BEFORE ROUGH OPENING.

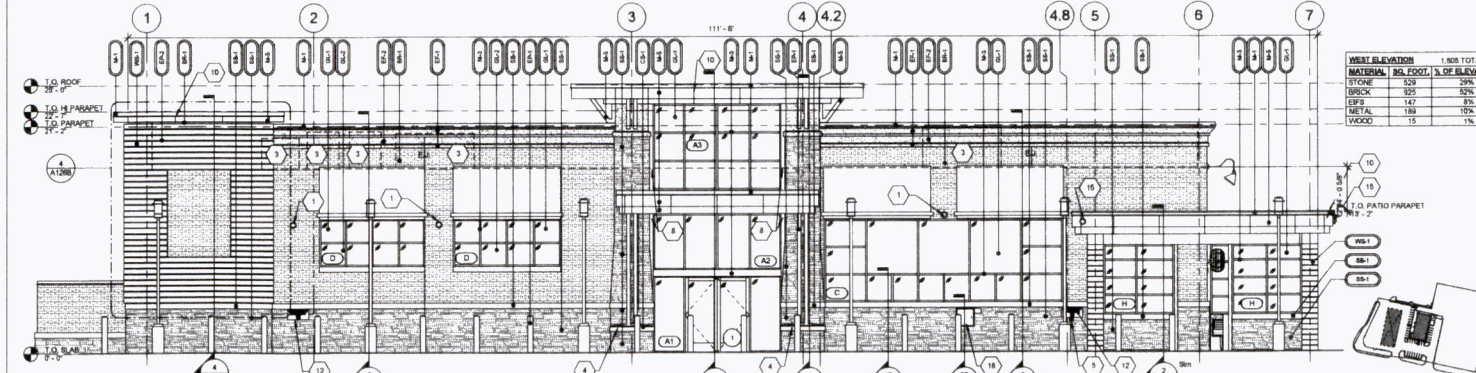
EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	CONTINENTAL CAST STONE OR APPROVED OTHER	COLOR 1102 NATURAL STONE LITTEL CHAMPAGNE MORTAR COLOR "LIGHT BUFF"
EIFS	STO THERM GI	FINE FINISH APPLICATION COLOR TO MATCH SW M6113 "INTERACTIVE CREAM"
GLAZING	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3, IGG AT STOREFRONT (28" FACTOR, SHGC: PPG-0.29x0.27 (1/4" PPG SOLARSHAN) T&L LOWE #2 (1/2" AIR + 1/4" CLEAR) OR APPROVED ALTERNATE.
GLAZING	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3, IGG AT STOREFRONT (28" FACTOR, SHGC: PPG-0.29x0.27 (1/4" PPG SOLARSHAN) T&L LOWE #2 (1/2" AIR + 1/4" CLEAR SATIN ETCH #3) OR APPROVED ALTERNATE.
METAL	PREFINISHED 2-Piece COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VST/VALI (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M6222444
M-5	REYNOLDBOND	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-7	BORAL TRILEXTERIOR DOUBLE-4 BEARBOARD	PAINT INTERACTIVE CREAM
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT AS SELECTED BY RACETRAC
EP-2	SHERWIN WILLIAMS	EXTERIOR PAINT AS SELECTED BY RACETRAC
ROOFING	DURO FLEX LAST	90 MIL MEMBRANE ROOFING SYSTEM
STONE BAND	ASPEN COUNTRY LEDGESTONE	WET STACK APPLICATION, MORTAR COLOR "LIGHT BUFF"
STONE BAND	BORAL TUSCAN LITTEL CHAMPAGNE	MORTAR COLOR "LIGHT BUFF"
WOOD SLATS	WS-1	COMPACTWOOD 1 1/2" THICKNESS T&L/NUT QC 99A-D2VAL-S-0415-12



2 EAST ELEVATION (REAR)
3/16" = 1'-0"

EAST ELEVATION 2,330 TOTAL SF		
MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	163	17%
BRICK	1,977	85%
EIFS	132	6%
METAL	149	6%
WOOD	17	1%



1 WEST ELEVATION (FRONT)
3/16" = 1'-0"

WEST ELEVATION 1,805 TOTAL SF		
MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	132	20%
BRICK	925	52%
EIFS	147	8%
METAL	189	10%
WOOD	15	1%



5 SITE PLAN
1" = 20'-0"

RaceTrac
DESIGN PROFESSIONALS

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS AND USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED. 2016 RACETRAC PETROLEUM, INC.

GPD GROUP
Professional Corporation
520 S. MAIN STREET
SUITE 2501
AUBURN, OH 44311

REVISION RECORD

DATE	DESCRIPTION
08.15.17	PRELIM. PACKAGE
12.07.17	PRELIM. PACKAGE

RaceTrac, Inc.
RACETRAC PETROLEUM, INC.
4228 CUMBERLAND BOULEVARD
SUITE 100
ATLANTA, GEORGIA 30355
(770) 491-1900

PROJECT NAME
MARSH LANE

ADDRESS
**TEXAS
15196 MARSH LANE**

RACETRAC STORE NUMBER
#064

PROTOTYPE SERIES S.I.K.
2017 BR-RH-MO-M 0603

PLAN MODIFICATION NOTICE
RFP NO. 0603 DATE 08.15.17

STANDARD PLAN MILLER (SMP) IS NOT THE PROPERTY OF RACETRAC. THE LISTED SMP REPRESENTS THE LATEST PROPERTY OWNED BY RACETRAC. ANY CHANGES TO THE SMP SHALL BE MADE BY RACETRAC. ANY CHANGES TO THE SMP SHALL BE MADE BY RACETRAC. ANY CHANGES TO THE SMP SHALL BE MADE BY RACETRAC.

PROFESSIONAL SEAL

PROJECT NUMBER
2017157.89

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A300B

SOLID SOD NOTES

- Final grade areas to achieve final contours indicated. Leave areas to receive topsoil 2" below final surface grade in existing areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grades. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be a minimum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant and by hand to cover indicated areas completely. Install slopes of sod areas touching. Top dress points by hand with topsoil to 1/2 inch.
- Rise grass areas to achieve a smooth, even surface, free from undulations and ruts.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until free acceptance. This shall include, but not be limited to: mowing, weeding, cultivating, clearing and repairing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be overseeded with Winter Ryegrass, at a rate of 40 pounds per one thousand (1000) square feet.

DEMOLITION NOTES

- Provide demolition, salvage and protection of existing structures, surfaces and trees as shown on the drawings.
- Before submitting proposal, visit and examine site to determine actual nature and scope of demolition and salvage work. Call for exact copy of all ordinances and regulations in effect at the time of demolition and salvage to be recognized.
- Prior to start, discover and cap off utilities and service lines not required for new construction in accordance with requirements of governing authority, ordinances and regulations.
- Erect necessary barricades, staking and protective measures as required.
- Materials and debris resulting from demolition operations become the property of the Contractor. Please remove from site.
- Remove pavements, and structures to the depths of their sub-structure.
- Leave construction area clean and ready to use by other trades.
- Remove pavement sub-base to the depth of the base material.
- Do not remove or change trees unless noted to be removed. All tree protection devices shall be in place prior to demolition activities. Any demolition activities required within the protective lines to be saved shall be carefully removed by hand labor. Report any tree damage to the Landscape Architect.
- Prior to beginning demolition, Contractor shall provide coverings for existing site elements vulnerable to physical damage. Any site elements scheduled to remain which are damaged by the Contractor's activities shall be repaired at the Contractor's expense.
- Provide demolition of existing site items as shown on the drawings. Completely remove items to 6" below grade and haul away to landfill.

EXISTING TREE PRUNING NOTES

- Contractor shall provide a Class 37 pruning on all existing trees.
- This shall include at a minimum, removal of dead, dying, diseased, weak branches every year from structure and within branching zone.
- Contractor shall include dead top heading and integration of existing trees. This shall be organic based products based for root growth and soil pH stimulation.
- Contractor shall be required to chip all removed branches, twigs, etc.

IRRIGATION REPAIR SPECIFICATIONS

- Contractor shall perform site visit prior to bidding and construction; to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair or replace, including but not limited to irrigation controller, meter, wiring, etc.

MAINTENANCE NOTES

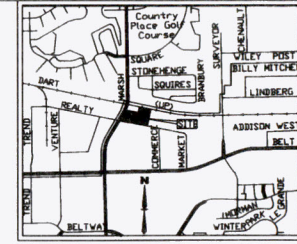
- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, weeds and other such material or plants not part of the plan.
- All plant material shall be maintained in a healthy and growing condition as appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better.
- Contractor shall provide separate bid proposal for one year's maintenance to begin at final acceptance.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and verify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and verify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All painting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Sod Soil demetrigrass, unless otherwise noted in the drawings.

GENERAL LAWN NOTES

- Final grade areas to achieve final contours indicated on site plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod and shall be left in a minimum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, free from the region known as bottom and soil free from lumps, clay, toxic substances, roots, debris, vegetation stumps, containing no salt and toxic to lawn in nature.
- All lawn areas to be the premium irrigation treated company sod and final grade approved by the County's Construction Manager or Authority prior to installation.
- All sods 3/4" diameter and larger, dirt coats, slots, concrete spots, etc. shall be removed prior to placing topsoil and any lawn reestablishment.
- Contractor shall provide 1/16 inch of imported topsoil on all areas to receive lawn.



LANDSCAPE TABULATIONS

SITE REQUIREMENTS
Requirements: 20% of gross site to be landscape.
Total Site: 31,298 S.F.
Required: 6,259 S.F. (20%)
Provided: 20,115 S.F. (64.3%)

STREET FRONTAGE
Requirements: 20' buffer along street frontage.
(1) 114' 4" lot, per 30 L.I. (8) shrubs per 20 L.I.

March Lane: 724.83 L.I.
Required: (2) trees, 4" cal. (90) shrubs, 5 gal.
Provided: (2) trees, 3" cal., 8" cal. (5) new trees, 6" cal. (140) shrubs, 5 gal.

Arapaho Road: 532.34 L.I.
Required: (12) trees, 4" cal. (140) shrubs, 5 gal.
Provided: (12) trees, 4" cal. (110) new trees, 6" cal. (140) shrubs, 5 gal.

PARKING LOT SCREEN
Requirements: 20' H., 3' S.L.
Provided: 30' H., 3' S.L. (See note)

PARKING LOT PERIMETER LANDSCAPE
Requirements: 5' wide buffer (1) 4" cal. tree per 3 L.I. and (1) shrub per 3 L.I.)
East Property Line: 193 L.I.
Required: (6) trees, 4" cal. (85) shrubs, 5 gal.
Provided: (6) trees, 4" cal. (85) shrubs, 5 gal.

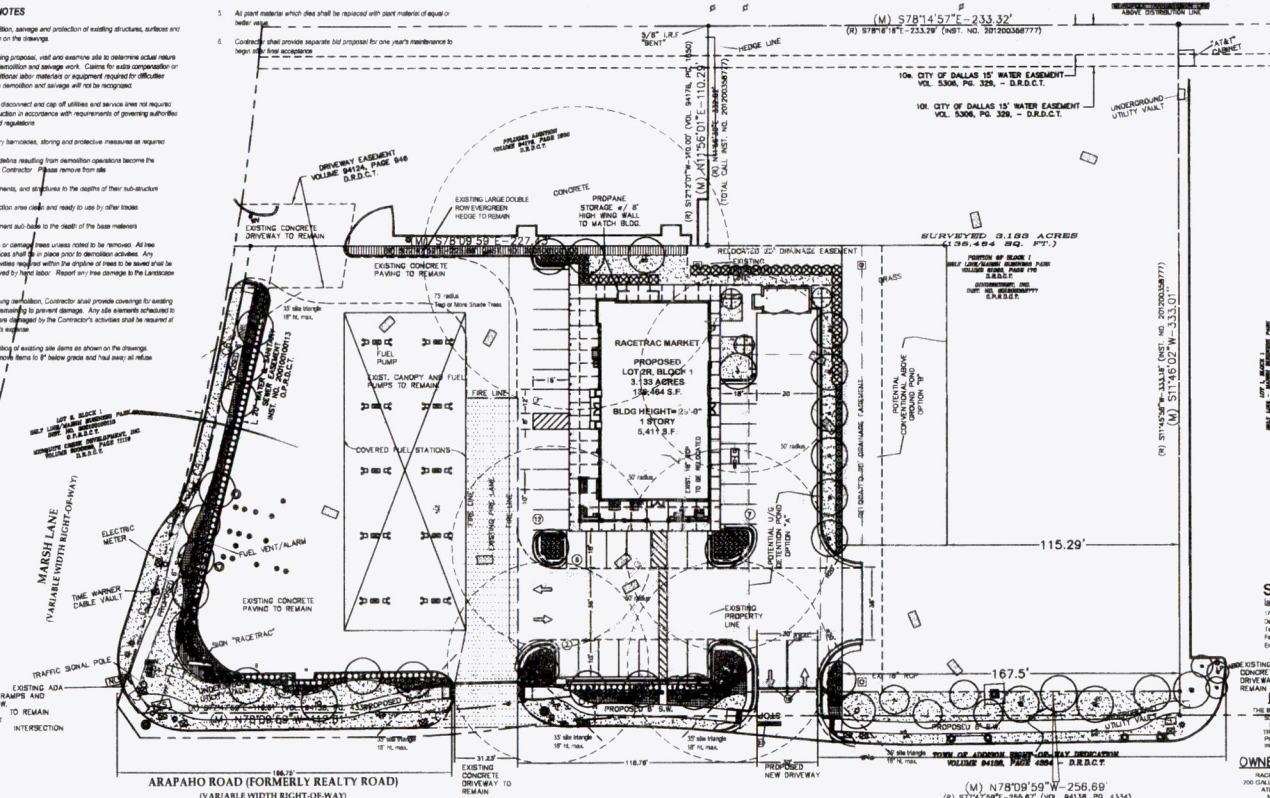
North Property Line: 33 L.I.
Required: (1) tree, 4" cal. (11) shrubs, 5 gal.
Provided: (1) tree, 4" cal. (20) shrubs, 5 gal.

PARKING LOT - INTERIOR LANDSCAPE
Requirements: 3% of the parking area must be landscape.
Parking lot: 10,072 S.F.
Required: 302 S.F. (3%)
Provided: 1,215 S.F. (12.1%)

PARKING LOT
Requirements: (1) tree per 10 regular spaces.
Total Parking: 26 spaces.
Required: (3) trees.
Provided: (4) trees, 4" cal.

GRAPHIC PLANT LEGEND

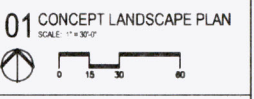
- EXISTING TREE TO REMAIN
- RED CROSS 4" cal.
- RED CROSS 7" cal.
- HIGH RISE (NE OAK) 6" cal.
- CHINESE PAGODA 6" cal.
- GREPE WATTLE 7" cal.
- GREPE WATTLE 7" cal.
- TREE YALPOUN HOLLY 7" cal.
- HELL H. ST. FRANCIS HOLLY 7" cal.
- Japanese Ligustrum 3 gal.
- Claret Apple 5 gal.
- Red Maple 3 gal.
- Redbud 100 L.I. 3 gal.
- Claret Tree 5 gal.
- Indian Hawthorn 3 gal.
- Rosemary 3 gal.
- Sakaki Yew 100 L.I. 3 gal.
- Little Berry Green 3 gal.
- LAWN: BERBERGRASS, SOLE SOLO
- SEASONAL COLOR
- WEDELA



SMR
landscape architects, inc.
708 N. Collins Street
Suite 1000
Dallas, Texas 75202
Tel: 214.751.1200
Fax: 214.751.1240
Email: info@smrda.com

ENGINEER
THE BOUSQUET GROUP, INC.
2000 WESTERN BLVD. SUITE 1100
DALLAS, TEXAS 75201
PHONE: 972.355.0000
www.thebousquetgroup.com

OWNER/DEVELOPER
RACETRAC PETROLEUM, INC.
200 CALLESA FARMWAY, SUITE 500
ALPHARETTA, GEORGIA 30201
TEL: 770.975.9427
(770) 286-7672



CONCEPT LANDSCAPE PLAN

LOT 2, BLOCK 1 OF THE
BELTLINE/MARSH BUSINESS PARK ADDITION
D. MYERS SURVEY, ABSTRACT 923
TOWN OF ADDISON
DALLAS COUNTY, TEXAS
3.133 ACRES - 136,464 S.F.
TOWN PROJECT #17-14

THE BOUSQUET GROUP, INC.
501 S. Canal Blvd.
Dallas, TX 75201
940.566.0088
940.566.0088 fax
Texas Firm No. 18942

RACETRAC PETROLEUM, INC.
100 ALANTAN, CA. 30338
(770) 431-7000

LANDSCAPE PLAN
RACETRAC
Beltline/Marsh Business Park
3.133 Ac. - Zoned Light Retail
Addition, Texas

DATE: Dec 14, 2017
SCALE: 1"=30'-0"
DRAWN BY: BDA
CHECKED BY: BDA
LANDSCAPE PLAN
CLP.1
SHEET NO. VERBION

