

TOWN OF ADDISON, TEXAS
ORDINANCE NO. 018-006

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, PROVIDING FOR APPROVAL OF A DEVELOPMENT PLAN FOR THE SIXTH CONDOMINIUM BUILDING OF THE MERIDIAN SQUARE DEVELOPMENT, IN A PLANNED DEVELOPMENT ZONING DISTRICT (009-024) LOCATED ON .34 ACRES ON THE SOUTHWEST CORNER OF AIRPORT PARKWAY AND SPECTRUM DRIVE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Addison, Texas (the “City”) is a home rule municipality having full power of local self-government pursuant to Article 11, Section 5 of the Texas Constitution and its Home Rule Charter; and

WHEREAS, the area generally known as Meridian Square was zoned PD, Planned Development through Ordinance 009-024, with waivers to development standards and a concept plan governing the entire property; and

WHERE AS, the PD requires development plan approval prior to the issuance of a building permit; and

WHERE AS, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at the public hearing, and other relevant information and materials, the City Council of the Town of Addison, Texas finds that this ordinance promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

Section 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

Section 2. The development plans, attached hereto as **Exhibit A** and made hereof for all purposes, are hereby approved and the property shall be improved in accordance with the development plans, with the following waivers to design standards and subject to the following condition:

- a) Waiver to the design standard for minimum lot width and depth.

- b) Waiver to design standards in order to allow a minimum 8.7-foot setback against a Category D street (Spectrum Drive), as opposed to the 10-foot setback required by the UC district.
- c) Waiver of design standards in order to allow maximum building height of 61 feet and six inches without a setback above 50 feet as required by the UC district.
- d) Waiver to design standards in order to allow a minimum of 70 percent, instead of 90 percent, of the exterior cladding of all exterior walls fronting or visible from public streets (including above grade parking structures) be brick or stone construction.
- e) Waiver of design standards in order to allow one additional parking space resulting in a total of 49 parking spaces, exceeding the maximum of 48 parking spaces that would be allowed for 24 units with 44 bedrooms by the UC district.
- f) That before a Certificate of Occupancy is issued, the private landscape area around the building shall be reviewed for compliance with all Town of Addison ordinances and approved by the Town of Addison Staff.

Section 3. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, General Provisions, Section 1.10, General penalty for violations of Code; continuing violations, of the Code of Ordinances for the Town of Addison.

Section 4. The provisions of this Ordinance are severable, and should any section, subsection, paragraph, sentence, phrase or word of this Ordinance, or application thereof to any person, firm, corporation or other business entity or any circumstance, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of the remaining or other parts or portions of this Ordinance, and the City Council hereby declares that it would have passed such remaining parts or portions of this Ordinance despite such unconstitutionality, illegality, or invalidity, which remaining portions shall remain in full force and effect.

Section 5. That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, on this the 13th day of February, 2018.


Joe Chow, Mayor

Case No. 1764-Z/Meridian Square Building 6

ATTEST:

Christie Wilson

Christie Wilson, Interim City Secretary

CASE NO: 1764-Z/Meridian Square Building 6

APPROVED AS TO FORM:

Brenda N. McDonald

Brenda N. McDonald, City Attorney



PUBLISHED ON: 2-15-18

EXHIBIT A

NOTE TO CONTRACTOR

SEE SET OF PLANS FOR ALL NOTES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REFERENCE NUMBER NOTES

1. REFER TO TOWN MAP FOR THE BUILDING FOOTPRINT

2. REFER TO TOWN MAP FOR THE BUILDING FOOTPRINT

PROJECT INFORMATION

CLIENT: SAVANNAH DEVELOPERS

PROJECT: MERIDIAN SQUARE BUILDING #6

LOCATION: SOUTHWEST CORNER OF SPECTRUM DR. & AIRPORT PKWY., ADDISON, TX 75001

DESIGNER: NOIFNG, LLC

DATE: 12/27/17

PROJECT NUMBER: SP-1

KEY MAP

LOCATION MAP

DRAWING LEGEND

SYMBOL	DESCRIPTION
[Symbol]	EXISTING PAVEMENT
[Symbol]	EXISTING CURB
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING DRIVEWAY
[Symbol]	EXISTING UTILITY
[Symbol]	EXISTING TREE
[Symbol]	EXISTING LANDSCAPE
[Symbol]	EXISTING LIGHT FIXTURE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING WALL
[Symbol]	EXISTING DOOR
[Symbol]	EXISTING WINDOW
[Symbol]	EXISTING ROOF
[Symbol]	EXISTING FOUNDATION
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[Symbol]	EXISTING SECURITY
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[Symbol]	EXISTING EXIT
[Symbol]	EXISTING ENTRANCE
[Symbol]	EXISTING PORCH
[Symbol]	EXISTING PATIO
[Symbol]	EXISTING DECK
[Symbol]	EXISTING STAIR
[Symbol]	EXISTING RAMP
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[Symbol]	EXISTING ROAD
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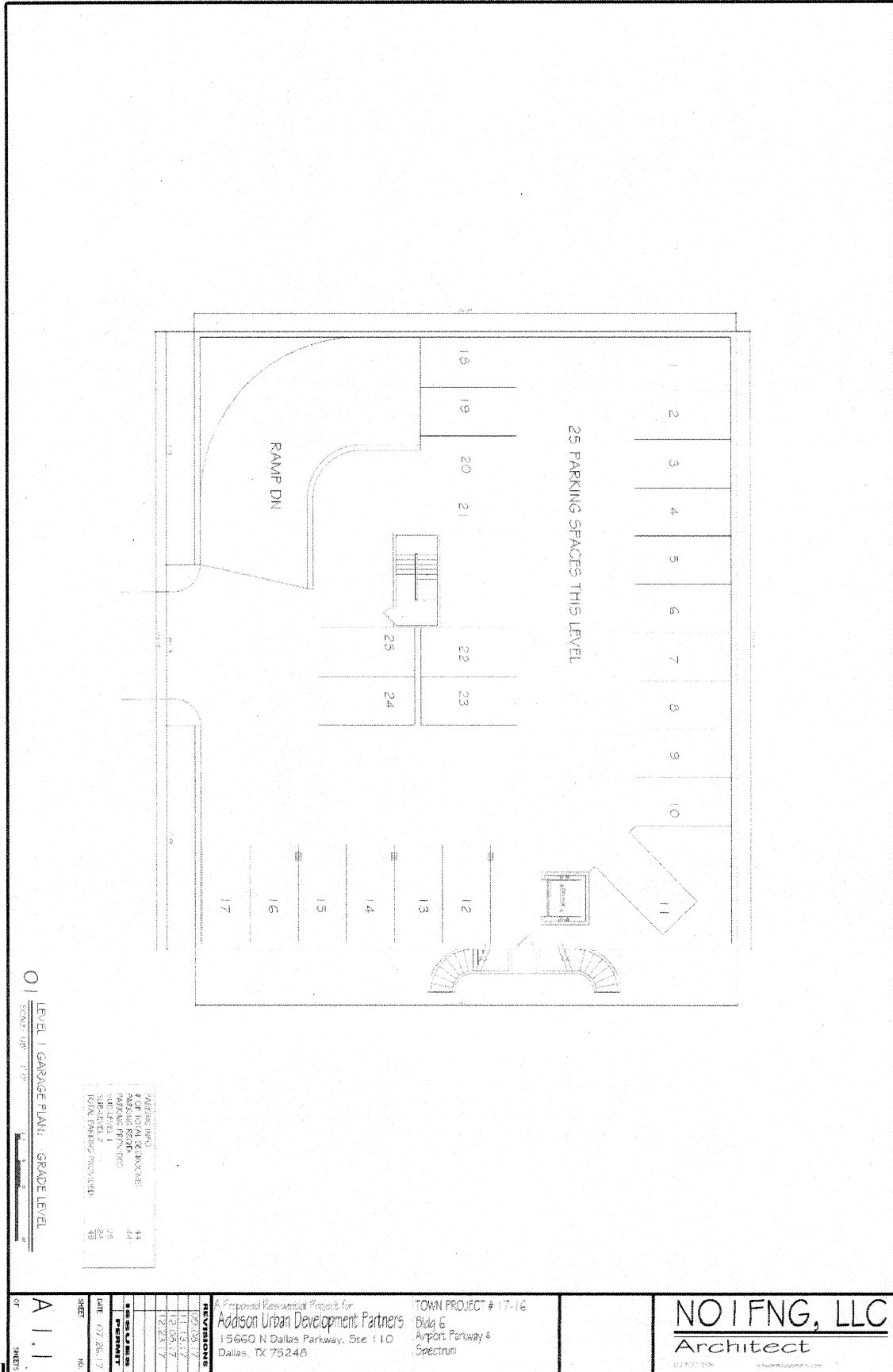
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EXHIBIT A



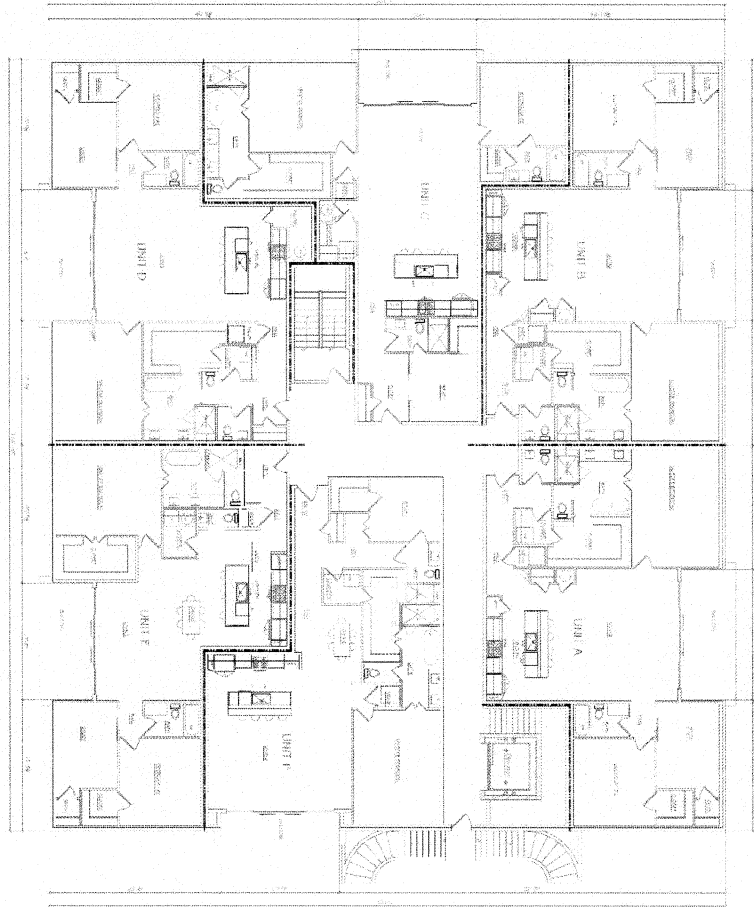
OF 1 SHEETS
 ORDINANCE NO. **018-006**

EXHIBIT A



OFFICE OF THE CITY SECRETARY
 ORDINANCE NO. **018-006**

EXHIBIT A



01 LEVEL 2 BUILDING PLAN, RESIDENTIAL

UNIT NO.	TYPE	AREA (SQ FT)	NO. OF UNITS
UNIT A	1 BR	1,187	2
UNIT B	2 BR	1,505	2
UNIT C	3 BR	1,823	2
UNIT D	4 BR	2,141	2
UNIT E	5 BR	2,459	2
UNIT F	6 BR	2,777	2
UNIT G	7 BR	3,095	2
TOTALS			14

NO.	DATE	DESCRIPTION
1	07/28/17	PERMIT
2	08/01/17	REVISIONS
3	08/01/17	REVISIONS
4	08/01/17	REVISIONS
5	08/01/17	REVISIONS
6	08/01/17	REVISIONS

Proposed Residential Project for
 Addison Urban Development Partners
 15660 N Dallas Parkway, Ste 110
 Dallas, TX 75248

TOWN PROJECT # 17-16
 Bldg 6
 Airport Parkway &
 Spectrum

NOIFNG, LLC
 Architect

EXHIBIT A

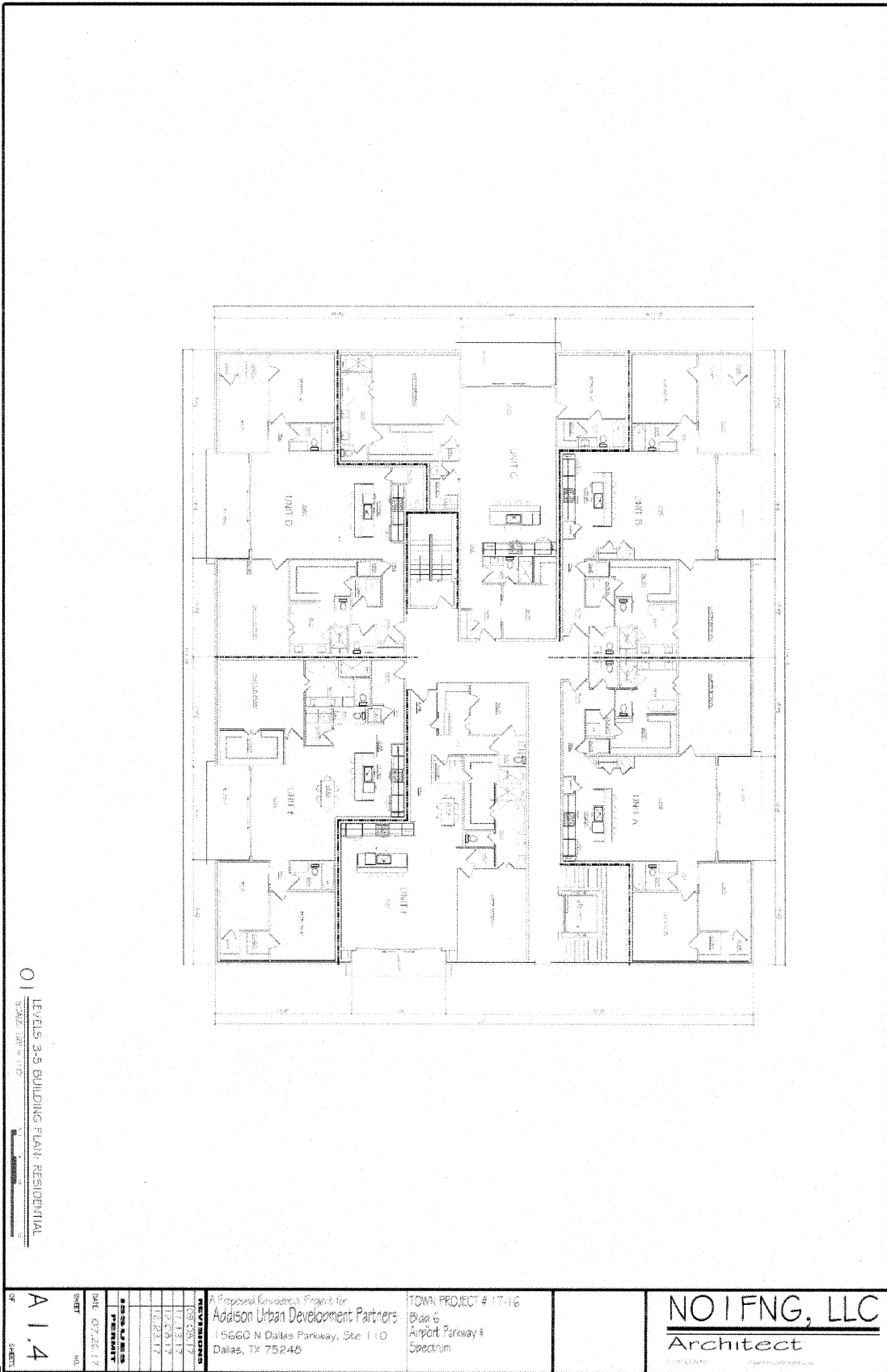
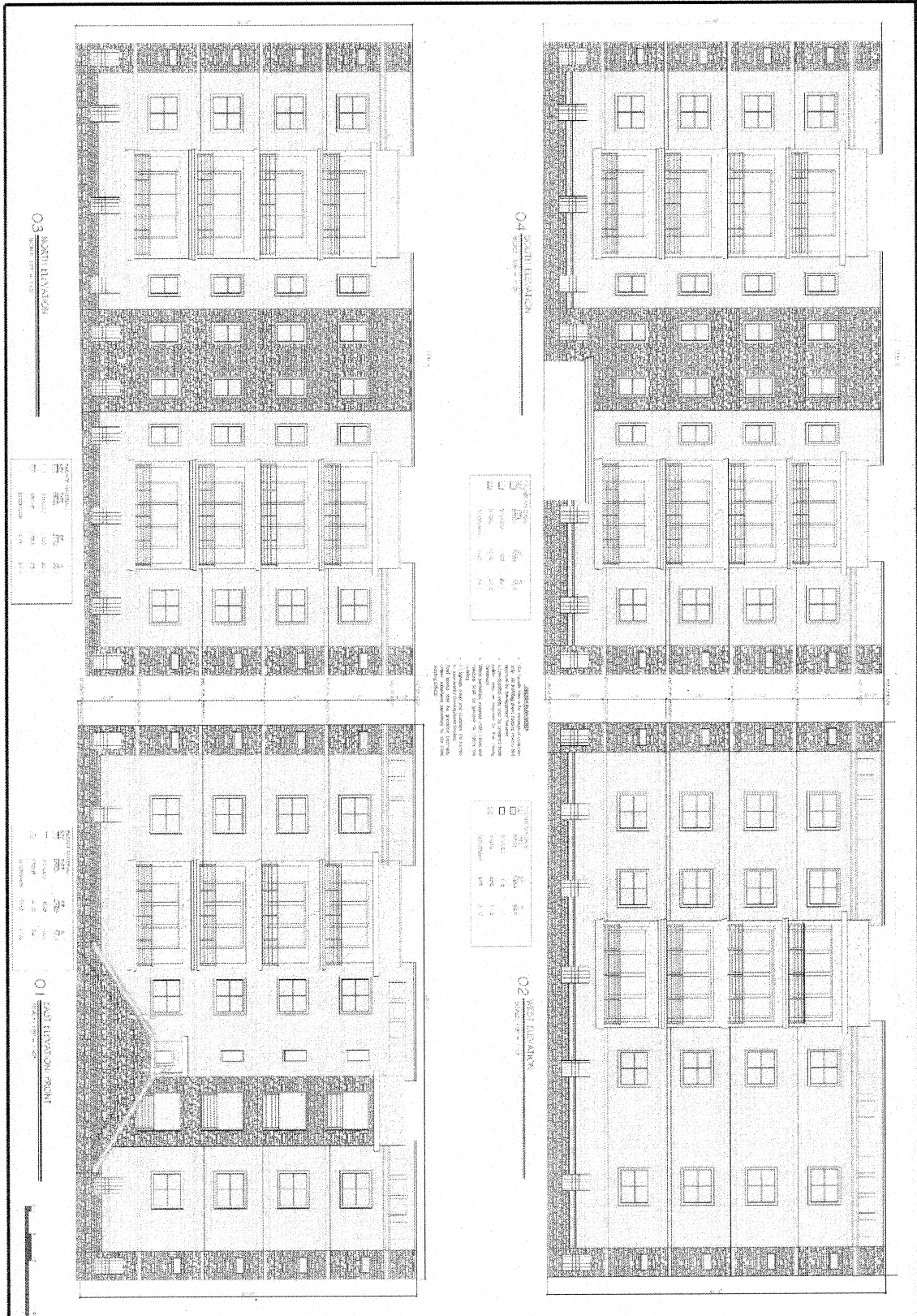


EXHIBIT A



NO.	DATE	DESCRIPTION
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02	07/26/17	REVISIONS
03	07/26/17	1.1.1.1.1.1
04	07/26/17	1.2.0.1.1
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06	07/26/17	1.2.2.1.1
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11	07/26/17	1.2.2.1.1
12	07/26/17	1.2.2.1.1
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98	07/26/17	1.2.2.1.1
99	07/26/17	1.2.2.1.1
100	07/26/17	1.2.2.1.1

A Proposed Residential Project for
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TOWN PROJECT # 17-16
 Bldg 6
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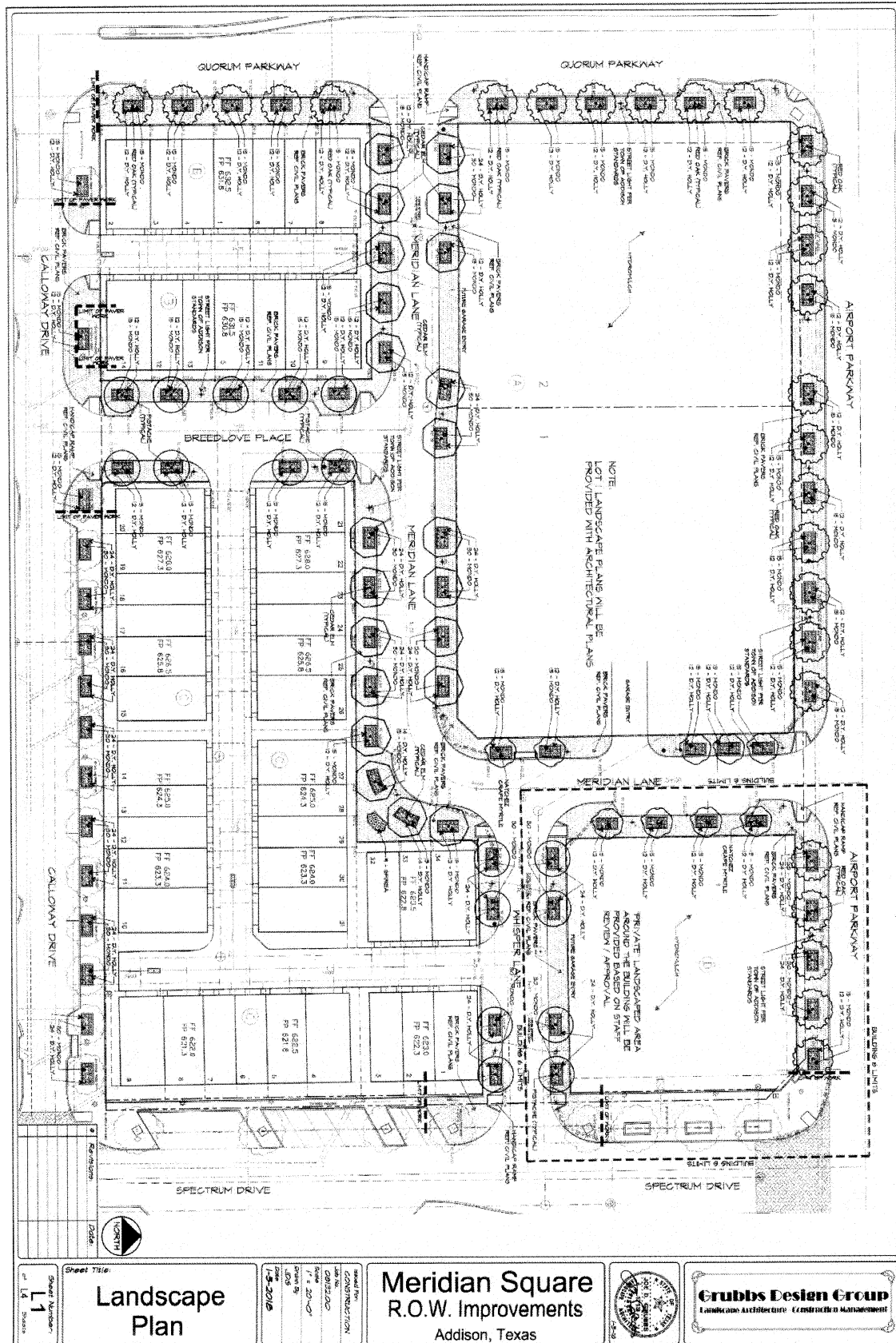


EXHIBIT A

PLANTING SPECIFICATIONS

PART 1 - GENERAL

- SECTION INCLUDES:
 - Planting
 - Planting materials
 - Planting methods
 - Planting maintenance
- RELATED SECTIONS:
 - Site work
 - Grass
 - Soil
 - Water
 - Structures
 - Paint
 - Signage
 - Lighting
 - Security
 - Accessibility
 - Specialties
 - Paint
 - Signage
 - Lighting
 - Security
 - Accessibility
 - Specialties
- PLANTING MATERIALS:
 - Planting materials shall be of the highest quality and shall be selected by the contractor from the list of plants provided in the schedule of values. The contractor shall be responsible for obtaining all necessary permits for the importation of plants from other states or countries.
 - Planting materials shall be delivered to the site in good condition and shall be protected from damage during transport and storage.
 - Planting materials shall be installed in accordance with the manufacturer's instructions and the specifications herein.
 - Planting materials shall be maintained in good condition until the contractor has been notified in writing that the plants are to be removed from the site.
- PLANTING METHODS:
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PART 2 - FINISHES

- PLANTING MATERIALS:
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PART 3 - SECTION

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BRICK SIDEWALK INSTALLED IN PEDESTRIAN AREA

SHRUB PLANTING DETAIL

TREE PLANTING DETAIL WITH DRAINLINE

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
21		RED OAK	Red Oak	<i>Quercus rubra</i>	10" caliper or larger min. including container
22		CELANO ELM	Celano Elm	<i>Ulmus cornifolius</i>	10" caliper or larger min. including container
23		HYDRANGEA	Hydrangea	<i>Hydrangea macrophylla</i>	10" caliper or larger min. including container
24		NANDINEA	Nandine	<i>Nandina domestica</i>	10" caliper or larger min. including container
25		DRYER WAX	Dryer Wax	<i>Malvaceae</i>	10" caliper or larger min. including container

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
26		DRYER WAX	Dryer Wax	<i>Malvaceae</i>	10" caliper or larger min. including container
27		DRYER WAX	Dryer Wax	<i>Malvaceae</i>	10" caliper or larger min. including container
28		DRYER WAX	Dryer Wax	<i>Malvaceae</i>	10" caliper or larger min. including container

LANDSCAPE SPECIFICATIONS

Project No. 12

Scale: 1/4" = 1'-0"

North Arrow

Meridian Square
R.O.W. Improvements
Addison, Texas

Crubbs Design Group
Landscape Architecture - Construction Management

Contract No. 1764-Z

Issue No. 018-006

Date: 08/20/07

Scale: 1/4" = 1'-0"

EXHIBIT A

NOTE TO CONTRACTOR

1. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

2. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

3. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

4. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

REFERENCE NUMBER NOTES

1. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

2. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

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4. Verify all dimensions and locations of existing structures, utilities, and easements on the site prior to construction. All dimensions shall be taken from the centerline of the street or the centerline of the easement, unless otherwise noted.

APPROVED: [Signature] [Name]

DATE: [Date]

PROJECT: [Project Name]

ADDRESS: [Address]

KEY MAP

LOCATION MAP

DRAWING LEGEND

[Symbol]	Proposed Building Footprint
[Symbol]	Proposed Parking
[Symbol]	Proposed Driveway
[Symbol]	Proposed Easement
[Symbol]	Proposed Utility
[Symbol]	Proposed Street
[Symbol]	Proposed Lot Line
[Symbol]	Proposed Easement
[Symbol]	Proposed Utility
[Symbol]	Proposed Street
[Symbol]	Proposed Lot Line

PROJ. DATA: [Project Name], [Address], [City, State, Zip]

DATE: [Date]

SCALE: [Scale]

DESIGNER: [Designer Name]

CLIENT: [Client Name]

APPROVED: [Signature] [Name]

DATE: [Date]

PROJECT: [Project Name]

ADDRESS: [Address]

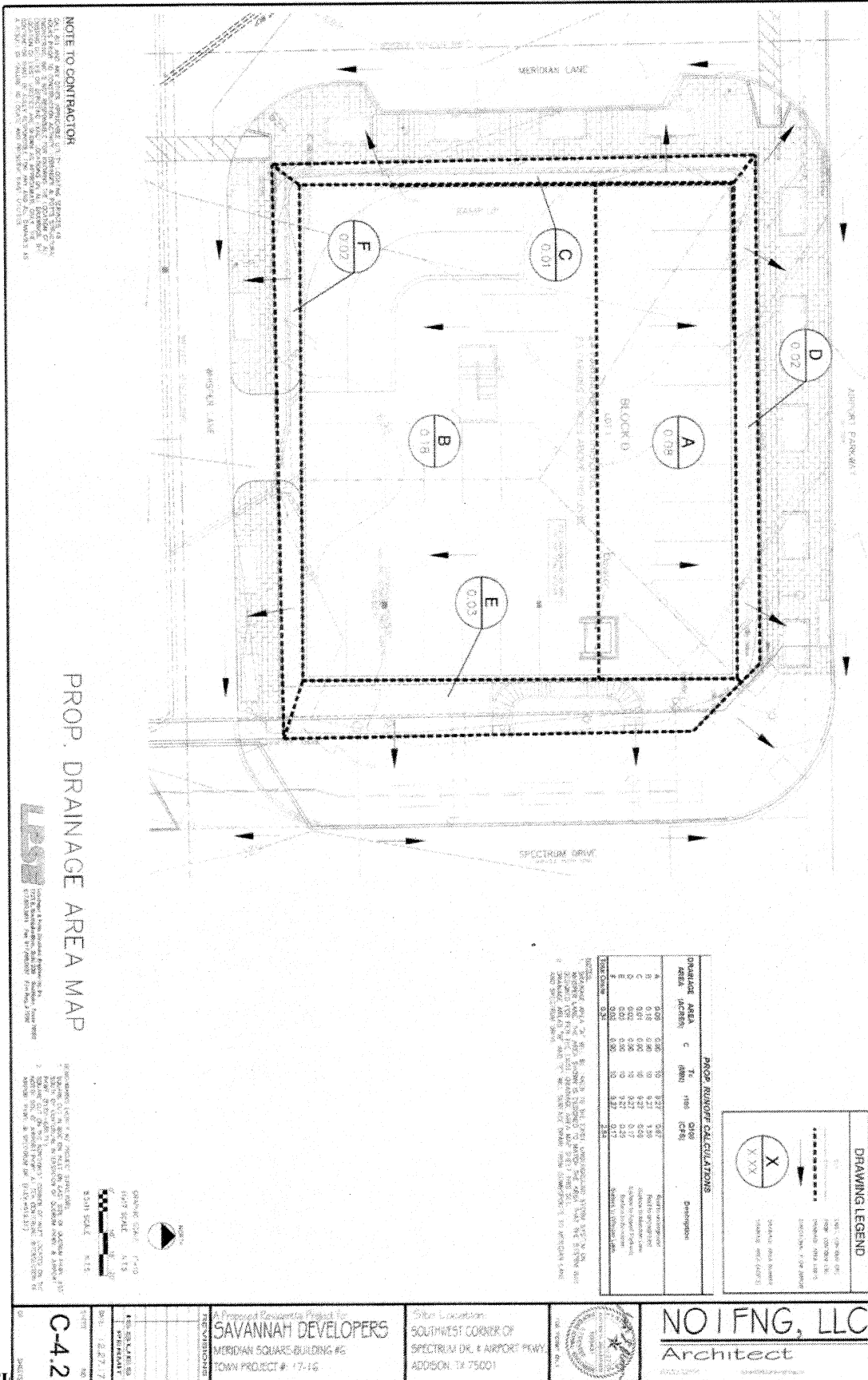
NOI FNG, LLC
Architect

SAVANNAH DEVELOPERS
MERIDIAN SQUARE-BUILDING #6
TOWN PROJECT # 17-16

Site Location:
SOUTHWEST CORNER OF
SPECTRUM DR. & AIRPORT PKWY.
ADDOON, TX 75001

C-2.1

EXHIBIT A



OFFICIAL

ORDINANCE No. *018-006*

C4.2

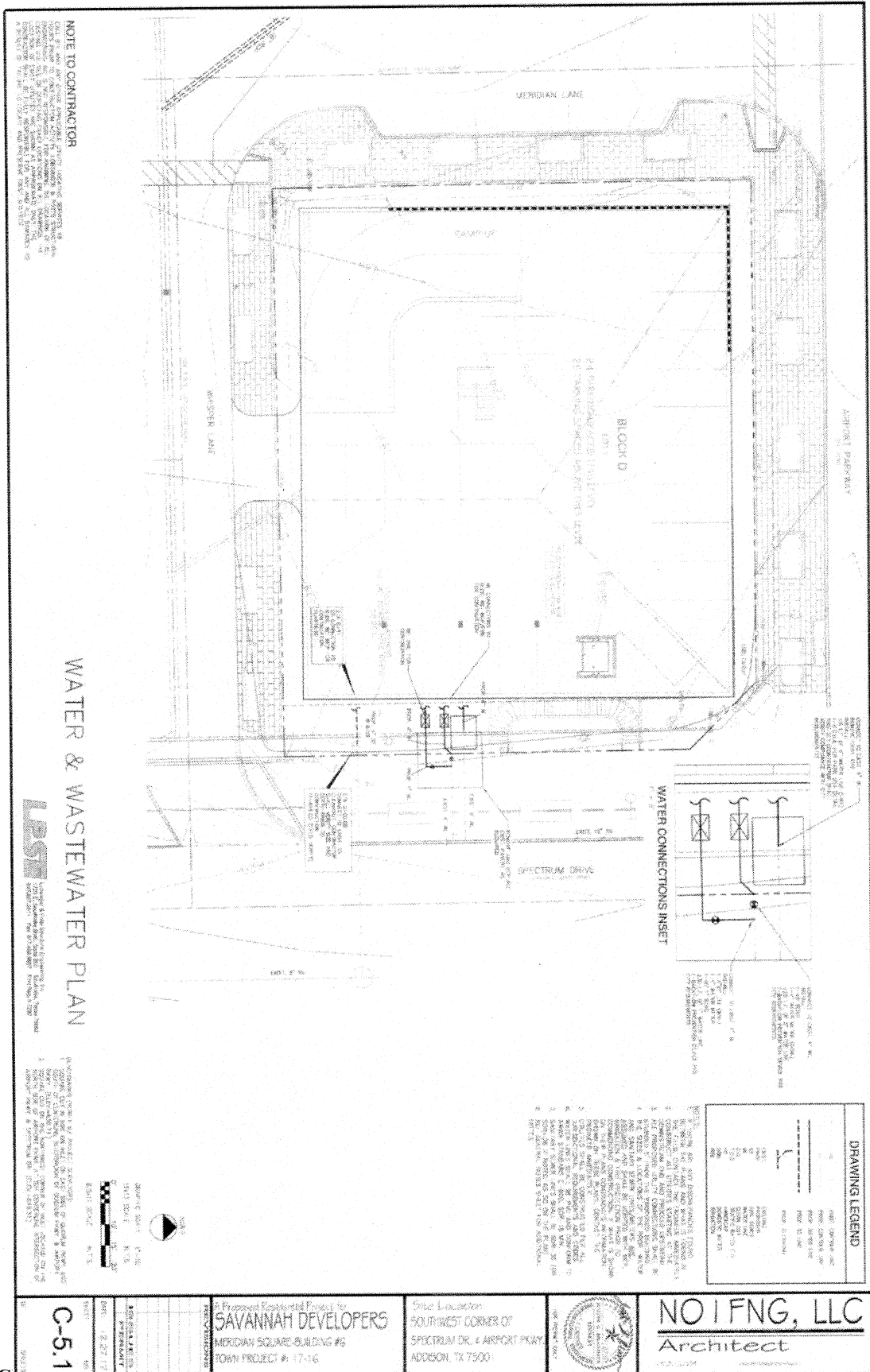
A Proposed Residential Project For
SAVANNAH DEVELOPERS
 MERIDIAN SQUARE BUILDING #6
 TOWN PROJECT # 1744

Site Location:
 SOUTHWEST CORNER OF
 SPECTRUM DR. & AIRPORT PKWY.
 ADDISON, TX 75001



NOIFNG, LLC
 Architect

EXHIBIT A



NOTE TO CONTRACTOR
 Check for existing conditions before installing systems. All construction shall be in accordance with the current editions of the International Building Code and International Plumbing Code. All work shall be done in accordance with the approved plans and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall maintain access to all existing utilities and structures. All work shall be completed within the specified time frame. The contractor shall be responsible for the cost of any materials and labor not specified in the plans.

WATER & WASTEWATER PLAN




DRAWING NUMBER: C-5.1
 SCALE: 1/4" = 1'-0"
 DATE: 8.27.17
 PROJECT: 1764-Z

1. THIS DRAWING IS FOR THE PROPOSED BLOCK D BUILDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND UTILITIES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE INTERNATIONAL BUILDING CODE AND INTERNATIONAL PLUMBING CODE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY MATERIALS AND LABOR NOT SPECIFIED IN THE PLANS.

DRAWING LEGEND	
(Symbol)	3" DIA. WATER MAIN
(Symbol)	4" DIA. WATER MAIN
(Symbol)	6" DIA. WATER MAIN
(Symbol)	8" DIA. WATER MAIN
(Symbol)	12" DIA. WATER MAIN
(Symbol)	18" DIA. WATER MAIN
(Symbol)	24" DIA. WATER MAIN
(Symbol)	36" DIA. WATER MAIN
(Symbol)	48" DIA. WATER MAIN
(Symbol)	60" DIA. WATER MAIN
(Symbol)	72" DIA. WATER MAIN
(Symbol)	84" DIA. WATER MAIN
(Symbol)	96" DIA. WATER MAIN
(Symbol)	108" DIA. WATER MAIN

OFFICE ORDINANCE No. **018-006**

<p>Proposed Residential Project for SAVANNAH DEVELOPERS MERIDIAN SQUARE BUILDING #6 TOWN PROJECT # 1764-Z</p>	<p>Site Location SOUTHWEST CORNER OF SPECTRUM DR. & AIRPORT PKWAY ADDISON, TX 75001</p>		<p>NOIFNG, LLC Architect</p>
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