

ORDINANCE NO. 023-38

AN ORDINANCE OF THE TOWN OF ADDISON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE BY REZONING PROPERTIES COMPRISING 10.1± ACRES OF LAND GENERALLY LOCATED AT THE SOUTHEAST CORNER OF BELT LINE ROAD AND SURVEYOR BOULEVARD, FROM PLANNED DEVELOPMENT (PD) TO THE BELT LINE DISTRICT, TO ALLOW A MIXED USE DEVELOPMENT COMPRISED OF MULTIFAMILY RESIDENTIAL AND LIVE/WORK DWELLING UNITS (APARTMENT COMPLEX), TOWNHOMES (SINGLE-FAMILY UNIT, ATTACHED), RESTAURANT AND RETAIL USES, AND ASSOCIATED PRIVATE OPEN SPACE AND COMMON AREAS, THROUGH APPROVAL OF A CONCEPT PLAN AND ASSOCIATED MAJOR WAIVER REQUESTS RELATED TO BLOCK LENGTH, 4TH FLOOR BUILDING FAÇADE SETBACK, FREESTANDING RESTAURANT BUILDING HEIGHT, BUILDING ENTRY AND PARKING STRUCTURE DESIGN REQUIREMENTS; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00); PROVIDING FOR SAVINGS, NO SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on August 15, 2023 the Planning & Zoning Commission considered and made recommendations on Case No.1877-Z, being a request to rezone properties comprising 10.1± acres of land generally located at the southeast corner of Belt Line Road and Surveyor Boulevard (the “Subject Property”), from Planned Development (PD) to the Belt Line District to allow a mixed use development comprised of multifamily residential and live/work units (apartment complex), townhomes (single-family unit, attached), restaurant and retail uses, and associated private open space and common areas (the “Project”), through the approval of development conditions, a concept plan and associated major waiver requests related to block length, 4th floor building façade setback, freestanding restaurant building height, building entry and parking structure design requirements; and

WHEREAS, the Project shall be developed in conformance with this Ordinance together with all definitive development agreements executed in connection with the Project (collectively herein, the “Definitive Agreements”); and

WHEREAS, the City Council finds that this change of zoning is in accordance with the adopted Comprehensive Plan of the Town of Addison, as amended; and

WHEREAS, the City Council further finds, after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, that this amendment promotes the general welfare and safety of this community.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS:

SECTION 1. That the recitals and findings set forth above are hereby found to be true and correct and incorporated as if fully set forth herein.

SECTION 2. The Zoning Ordinance and official zoning map shall be amended so as to rezone the Subject Property, being further described within **Exhibit A** attached hereto, to the Belt Line District, subject to the following conditions:

- A. Development of the Subject Property shall comply with the Approval Conditions, Concept Plan, and Major Waiver Requests, which are attached hereto as **Exhibit B**, **Exhibit C**, and **Exhibit D**, respectively, and made a part hereof for all purposes.

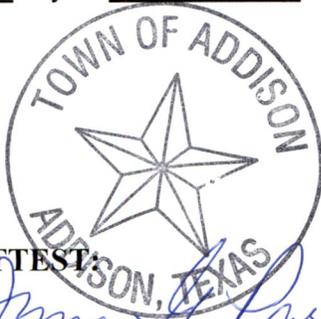
SECTION 3. Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the city, as heretofore amended, and upon conviction shall be punished by a fine set in accordance with Chapter 1, Section 1-7 of the Code of Ordinances for the Town of Addison.

SECTION 4. The provisions of this Ordinance are severable, and should any section, subsection, paragraph, sentence, phrase or word of this Ordinance, or application thereof to any person, firm, corporation or other business entity or any circumstance, be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of the remaining or other parts or portions of this Ordinance, and the City Council hereby declares that it would have passed such remaining parts or portions of this Ordinance despite such unconstitutionality, illegality, or invalidity, which remaining portions shall remain in full force and effect.

SECTION 5. All ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. This Ordinance shall become effective from and after its passage and approval and after publication as may be required by law or by the City Charter or ordinance.

PASSED AND APPROVED by the City Council of the Town of Addison, Texas, on this the 12th day of **SEPTEMBER 2023**.



ATTEST:

Irma G. Parker
Irma G. Parker, City Secretary

TOWN OF ADDISON, TEXAS

Bruce Arfsten
Bruce Arfsten, Mayor

APPROVED AS TO FORM:

Whitt Wyatt
Whitt Wyatt, City Attorney

Published in the Dallas Morning News September 15, 2023 Edition.

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

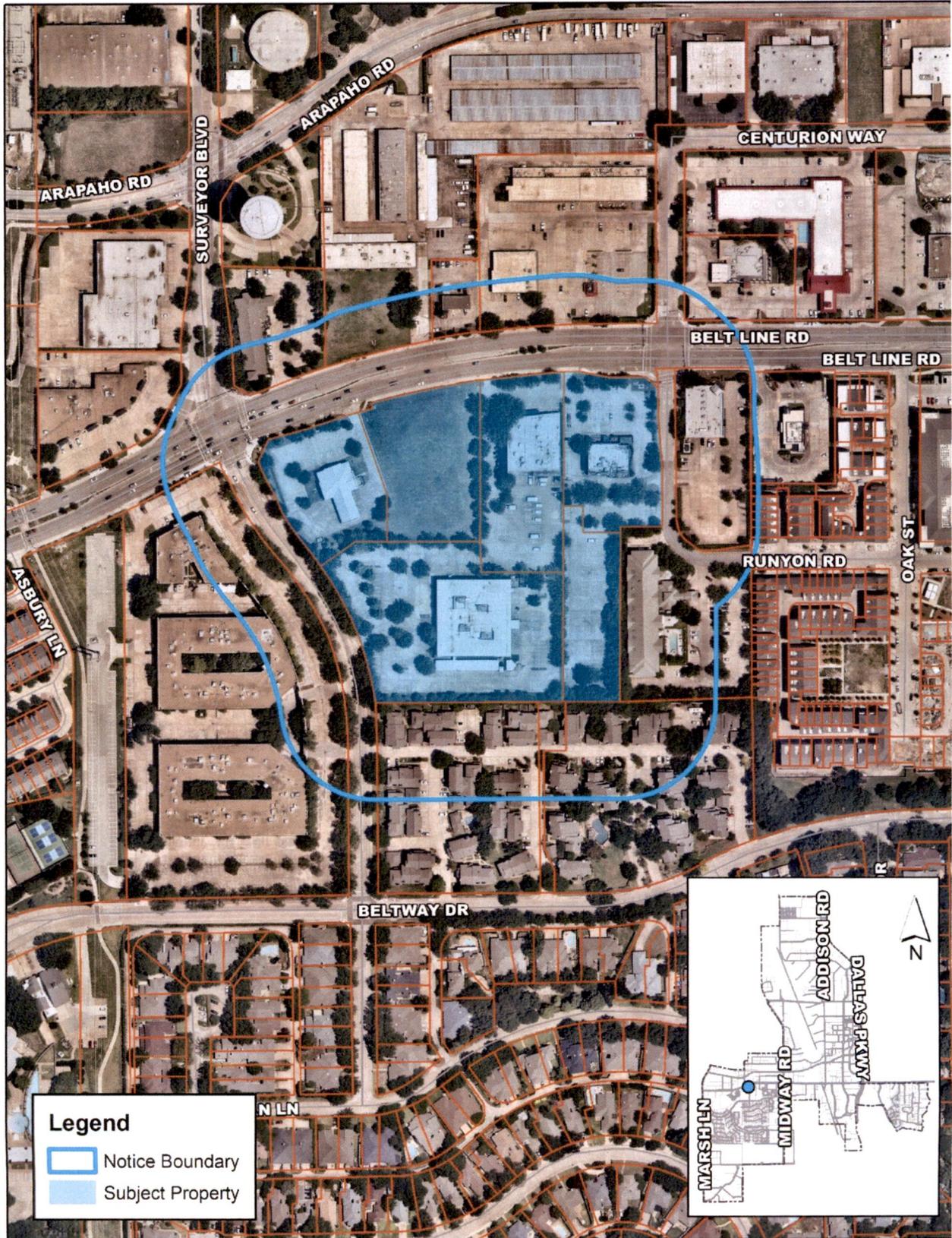


EXHIBIT A

Being a 439,314 square foot or a 10.085 acre tract of land situated in the Thomas L. Chenoweth Survey, Abstract No. 273, in the Township of Addison, Dallas County, Texas, being all of that tract of land described to 15K Surveyor, L.L.C., by Special Warranty Deed recorded in Instrument No. 201900021132, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.), that tract of land described to Pappas Restaurants, Inc., Pamela Pappas Mattingly, and Mersina Pappas Stubbs, by Special Warrant Deed recorded in Instrument No. 201400239586, O.P.R.D.C.T., that tract of land described to P.H.C.G. Investments, by Special Warranty Deed recorded in Volume 94067, Page 5798, Deed Records, Dallas County, Texas (D.R.D.C.T.), being all of Lot 2, Block 1, Belt Line - Surveyor Village, an addition to the Town of Addison, Dallas County, Texas, according to the Map thereof recorded in Volume 98023, Page 31, Map Records, Dallas County, Texas (M.R.D.C.T.), being all of Lots 1A and 2A, Block 1, Belt Line - Surveyor Village, an addition to the Town of Addison, Dallas County, Texas, according to the Map thereof recorded in Volume 2004114, Page 58, according to the Map thereof recorded in Volume 2004114, Page 58, M.R.D.C.T., and also being Lots 2R and Lot 3, Block 1, Belt Line Center, an addition to the Town of Addison, Dallas County, Texas, according to the Map thereof recorded in Volume 97060, Page 3189, M.R.D.C.T., and all of the Mercado Juarez Final Plat, an addition to the Town of Addison, according to the Map thereof recorded in Volume 88172, Page 1066, M.R.D.C.T., and being more particularly described as follows:

BEGINNING (P.O.B.) at a 1 inch iron rod pipe found for the Northwest corner of that tract of land conveyed to Pecan Square Condominiums, by deed recorded in Volume 82165, Page 1772, M.R.D.C.T., and being in the East Right-of-Way (R.O.W.) line of Surveyor Boulevard (a variable width R.O.W.), and being the beginning of a curve to the left, having a radius of 630.05 feet, a central angle of 31 degrees 18 minutes 56 seconds, and a chord bearing and distance of North 23 degrees 34 minutes 59 seconds West, 340.09 feet;

THENCE, with the East R.O.W. line of said Surveyor Boulevard, the following bearings and distances:

Along said curve to the left, passing a 1/2 inch iron rod found at the common West corner of aforesaid Lot 2, Block 1, Belt Line - Surveyor Village (98023/31) and Lot 1A, Block 1, Belt Line - Surveyor Village (2004114/58), for reference at a distance of 306.92 feet, and continuing a total distance of 344.36 feet to a 3/8 inch iron rod found;

North 39 degrees 14 minutes 31 seconds West, a distance of 45.30 feet to the beginning of a curve to the right, having a radius of 254.13 feet, a central angle of 16 degrees 31 minutes 45 seconds, and a chord bearing and distance of North 30 degrees 50 minutes 23 seconds West, 73.06 feet;

Along said curve to the right, an arc length of 73.31 feet to the beginning of a curve to the left, having a radius of 250.00 feet, a central angle of 07 degrees 37 minutes 42 seconds, and a chord bearing and distance of North 26 degrees 15 minutes 07 seconds West, 33.26 feet;

Along said curve to the left, an arc length of 33.28 feet to the beginning of a curve to the right, having a radius of 559.00 feet, a central angle of 05 degrees 08 minutes 57 seconds,

EXHIBIT A

and a chord bearing and distance of North 27 degrees 29 minutes 29 seconds West, 50.22 feet;

Along said curve, an arc length of 50.24 feet to a point for corner;

North 24 degrees 55 minutes 08 seconds West, 12.69 feet to the intersection of aforesaid Surveyor Boulevard, and the South R.O.W. line of Belt Line Road (a variable width R.O.W.);

THENCE, North 24 degrees 56 minutes 09 seconds East, along said intersection, a distance of 51.59 feet to a point in the South R.O.W. line of said Belt Line Road;

THENCE, with the South R.O.W. line of said Belt Line Road, the following bearings and distances:

North 74 degrees 47 minutes 26 seconds East, a distance of 84.03 feet, to the beginning of a curve to the right, having a radius of 1849.00 feet, a central angle of 04 degrees 27 minutes 39 seconds, and a chord bearing and distance of North 72 degrees 22 minutes 39 seconds East, 143.92 feet;

With said curve to the right, an arc length of 143.96 feet;

North 15 degrees 23 minutes 31 seconds West, a distance of 11.00 feet to the beginning of a curve to the right, having a radius of 1860.00 feet, a central angle of 13 degrees 35 minutes 15 seconds, and a chord bearing and distance of North 81 degrees 22 minutes 23 seconds East, 440.06 feet;

With said curve to the right, an arc length of 441.09 feet;

South 80 degrees 55 minutes 08 seconds East, a distance of 68.54 feet to a 1/2 inch iron with plastic cap stamped "PACHECO" and "KOCH 411";

North 89 degrees 52 minutes 36 seconds East, a distance of 74.62 feet to a point for corner;

South 45 degrees 09 minutes 51 seconds East, a distance of 35.37 feet to a 1/2 inch iron rod found with cap stamped "HALFF 307" on the West line of Lot 2A, Block 1, Belt Line Center, an addition to the Town of Addison, according to the Map thereof recorded in Volume 97243, Page 1, M.R.D.C.T.

THENCE, with the West line of aforesaid Lot 2A, Block 1, Belt Line Center (97243/1), the following bearings and distances:

South 00 degrees 10 minutes 57 seconds East, a distance of 63.00 feet to a 1/2 inch iron with plastic cap stamped "PACHECO" and "KOCH 411";

South 05 degrees 19 minutes 31 seconds East, a distance of 100.40 feet to an "X" found in concrete;

EXHIBIT A

South 00 degrees 10 minutes 57 seconds East, a distance of 105.30 feet to the beginning of a curve to the left, having a radius of 100.00 feet, a central angle of 09 degrees 00 minutes 04 seconds, and a chord bearing and distance of South 04 degrees 42 minutes 06 seconds East, 15.69 feet;

With said curve to the left, an arc length of 15.71 feet to a 1/2 inch iron with plastic cap stamped "PACHECO" and "KOCH 411";

South 89 degrees 49 minutes 03 seconds West, a distance of 86.71 feet to a 1/2 inch iron with plastic cap stamped "PACHECO" and "KOCH 411";

South 00 degrees 04 minutes 51 seconds East, a distance of 363.65 feet to the Southwest corner of aforesaid Lot 2A, Block 1, Belt Line Center (97243/1), and being in the North line of said Pecan Square Condominiums tract;

THENCE South 89 degrees 53 minutes 35 West, with the North line of said Pecan Square Condominiums tract, a distance of 519.07 feet to the **POINT OF BEGINNING (P.O.B.)**, and containing 439,314 square feet or 10.085 acre of land, more or less.

The Basis of Bearing is the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum 1983, Adjustment Realization 2011.

EXHIBIT B

1. Use Conditions:

- A. Maximum Number of Multifamily Dwelling Units: 394 dwelling units.
- B. Minimum Number of Multifamily Live/Work Units: 9 dwelling units.
 - A. The nonresidential use is limited to services such as accountants, architects, artisans, attorneys, computer and multimedia related professionals, consultants, engineers, hair stylists, insurance, real estate, athletic trainers, travel agents, one-on-one instructors, and similar occupations as may be approved by the Director of Development Services provided that the use does not detract from, or pose a nuisance to, the adjacent uses.
 - B. Both the residential and nonresidential components of each Live/Work unit must be occupied by the same tenant.
- C. Minimum Number of Single-Family (Attached or Detached Townhouse) Lots: 25 lots.
- D. Minimum Amount of Commercial Floor Area: 18,000 square feet.
- E. Minimum Number of Restaurant Tenant Spaces: 4 restaurant tenant spaces. A reduction to 3 restaurant tenant spaces may be permitted subject to approval of a minor waiver.
- F. Nonresidential Use Restrictions: Permitted nonresidential uses shall be limited to:
 - i. Grocery Store.
 - ii. Specialty Food Store.
 - iii. Health Club.
 - iv. Restaurants (SUP required).
 - v. Sale of Alcohol for On-Premises Consumption (SUP required).
 - vi. Retail (Minor waiver required).
 - vii. Personal, Business, or Professional Services (Minor waiver required).
 - viii. Office or Co-Working (Minor Waiver required).
 - ix. Home Occupations accessory to a permitted primary use.

2. Site and Building Design Conditions:

3. Site and Building Design Conditions:

- A. Belt Line Road Trail: the trail constructed at this frontage shall be 8 feet in width.
- B. Sustainable Building Rating: The multifamily building shall achieve, at a minimum,

EXHIBIT B

a Silver rating in the National Green Building Standards (NGBS) system.

- C. Public Art: Funding shall be provided for partnership with the Addison Arbor Foundation to finance the acquisition and installation of three public art pieces, as depicted on the concept plan. Funding levels shall be further defined in a Memorandum of Understanding (MOU) between the Town and applicant.
- D. Electric Vehicle (EV) Charging Infrastructure: A minimum of 30 EV charging stations shall be installed in the parking structure and utility services shall be installed to allow for future expansion.
- E. Bus Transit Facilities: In accordance with the concept plan, the developer shall install a bus transit shelter on Belt Line Road. Maintenance of this shelter shall be an obligation of this property.
- F. Interior Finishes: There shall be no linoleum or Formica surfaces in the units. All countertops shall be granite, stone, or a superior surface material.
- G. Appliances: All units shall be equipped with energy-efficient appliances.

4. Development Phasing and Property Management Conditions:

- A. Site Development Permits shall be obtained, and construction shall be substantially commenced on the retail plaza prior to issuance of a Certificate of Occupancy (CO) for the multifamily component of the Project. Substantial commencement of construction shall be defined by the installation of common utilities, paving, landscape, and hardscape site amenities for the restaurant plaza and the acquisition of a building permit for at least one of the three planned freestanding buildings in the restaurant plaza.
- B. The intent of this project is to timely execute a Class A mixed-use development in two phases. If the developer fails to substantially initiate construction for Phase 2 (townhomes) within two (2) years of issuance of a Certificate of Occupancy (CO) for the multifamily component of Phase 1, the developer shall extend an option to purchase to the Town. The terms of this condition shall be further defined in a MOU between the Town and applicant.
- C. The applicant shall establish standards encumbering future operators of the property that require said operators to employ highly qualified property management that demonstrates the capacity to maintain and manage the property as a Class A property. The terms of this condition shall be further defined in a MOU between the Town and applicant.
- D. At time of platting, a Property Owner's Association (POA) shall be established. The POA shall define access rights and maintenance responsibilities for the properties. In General, the multifamily component of the project shall be responsible for maintaining all paving, utilities, drainage, landscape, irrigation, and site furnishings

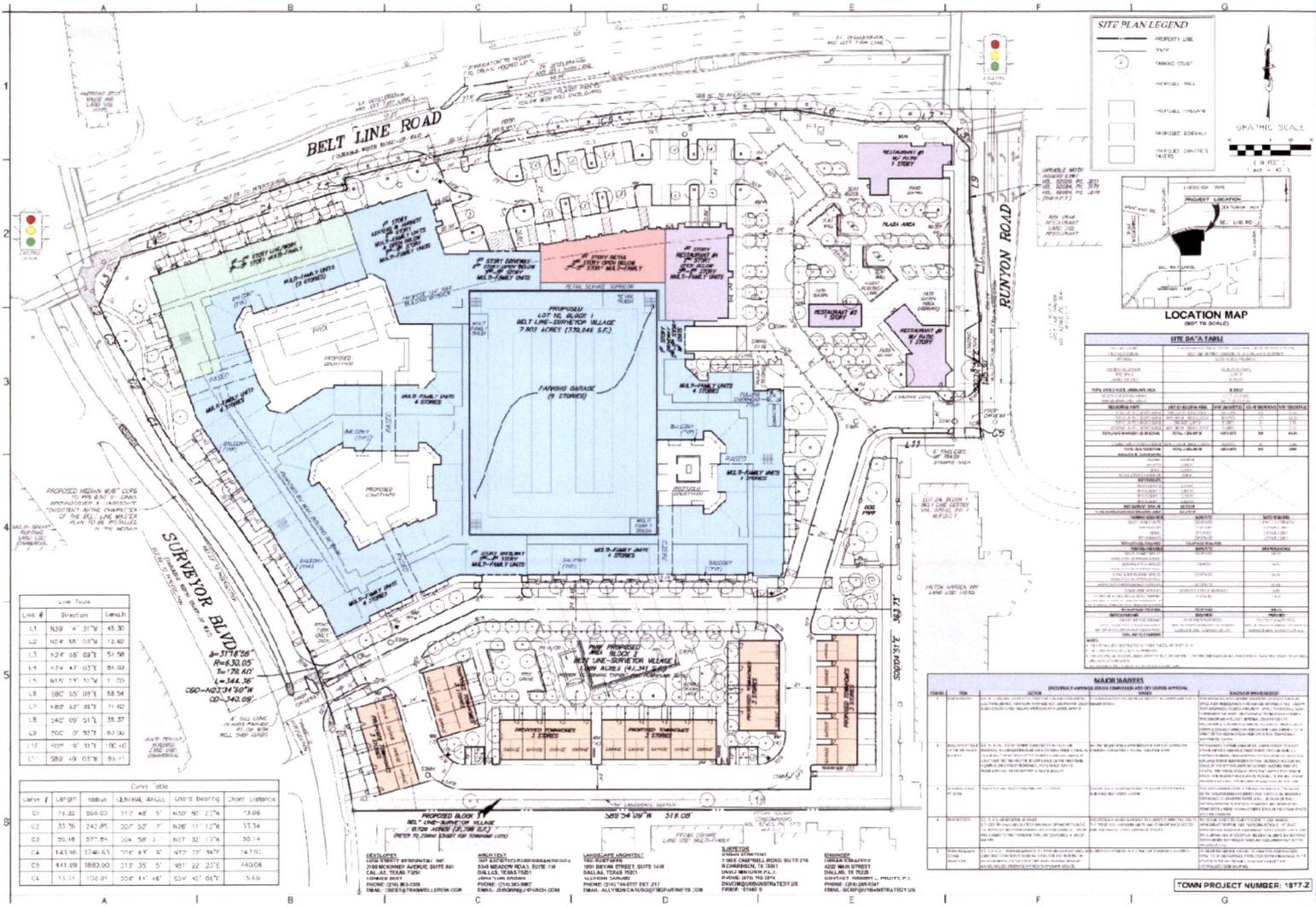
EXHIBIT B

on the property. Exceptions for those features that exclusively serve single-family or nonresidential POA members may be defined by the POA. Access to project common areas shall be granted to all residents and tenants of the project, and their authorized guests and customers. Use of on-street parking and designated retail parking within the parking structure, by multifamily residential tenants shall be prohibited and enforced by the property manager.

- E. The intent of this project is to periodically utilize project civic spaces (to include streets) for neighborhood compatible community events such as farmers markets. An option for the Town to utilize property features to host and/or to partner on the facilitation of said events shall be further defined in a MOU between the Town and applicant.

The applicant has requested to memorialize a position of support for the permanent existence of Beltway Drive access restrictions (bollards limiting access to emergency service access only) for the Addison Grove neighborhood. The terms of this request shall be further defined in a MOU between the Town and applicant.

EXHIBIT C CONCEPT PLAN



Line #	Direction	Length
L1	N59° 4' 37"W	45.30
L2	S04° 48' 03"W	13.80
L3	S04° 48' 03"W	51.58
L4	S74° 47' 03"E	51.03
L5	S16° 14' 51"W	1.03
L6	S80° 05' 09"E	58.54
L7	S80° 05' 09"E	71.42
L8	S40° 09' 01"E	35.37
L9	S00° 00' 00"E	83.80
L10	S00° 00' 00"E	100.40
L11	S80° 05' 09"E	85.71

Curve #	Length	Offset
C1	78.32	250.02
C2	33.76	242.85
C3	30.18	377.84
C4	143.16	1740.63
C5	641.09	1880.03
C6	15.21	152.01

www.urbansstrategy.com
TEL: 214.399.5339

PRELIMINARY
DESIGNED BY URBAN STRATEGY
DRAWN BY URBAN STRATEGY
DATE: 11/11/2011

4020 BELT LINE ROAD
LOT 1A, 2, 3A, BLOCK 11 - BELT LINE SUPERVISOR VILLAGE
LOT 1B, 2, 3A, BLOCK 12 - BELT LINE SUPERVISOR VILLAGE
TRACT 2, DARTS RESTAURANT'S TRACT
TOWN OF ADDISON, TARRANT COUNTY, TEXAS

CONCEPT PLAN

DATE: 11/11/2011

EXH. 1

EXHIBIT C

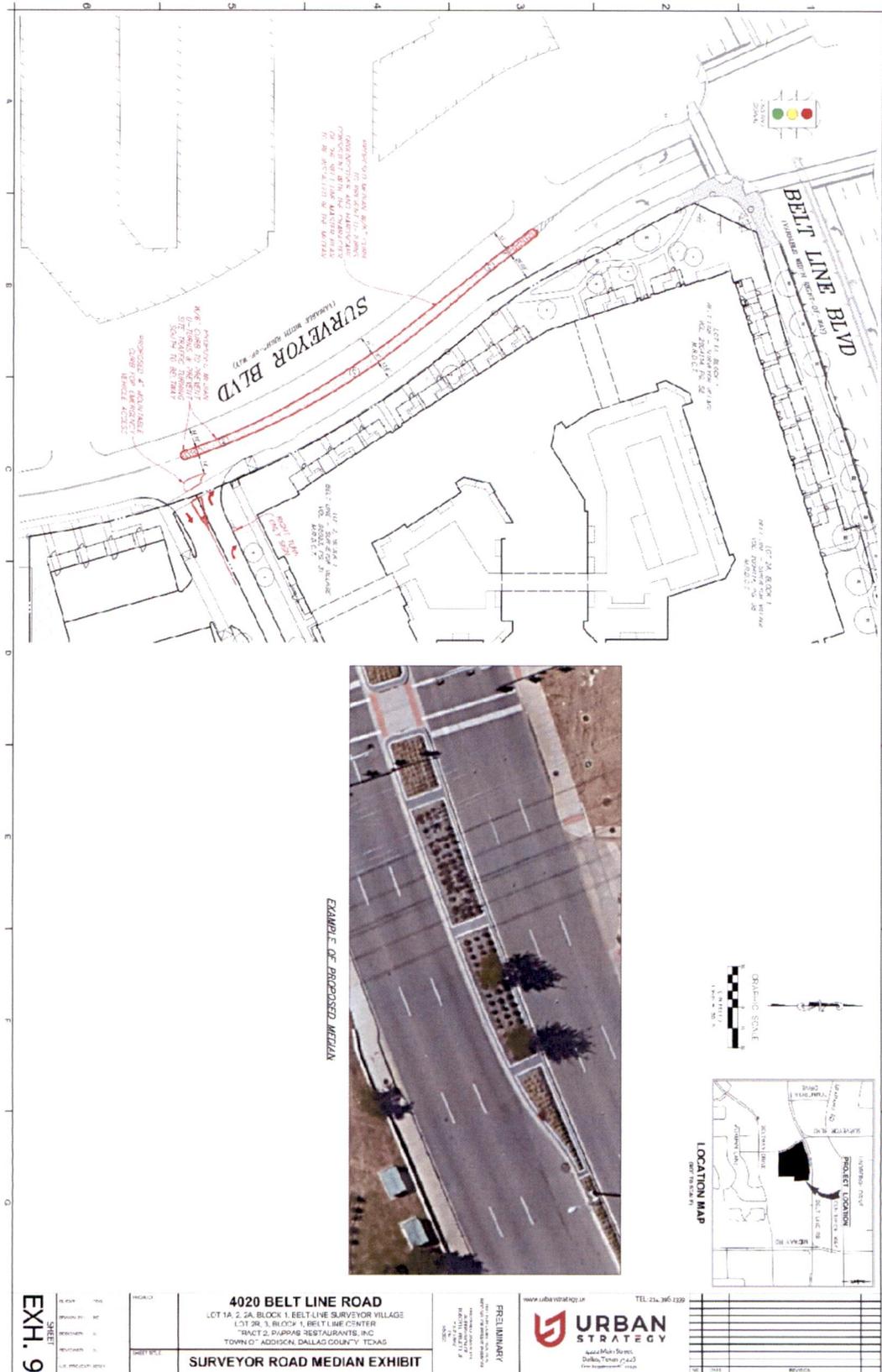
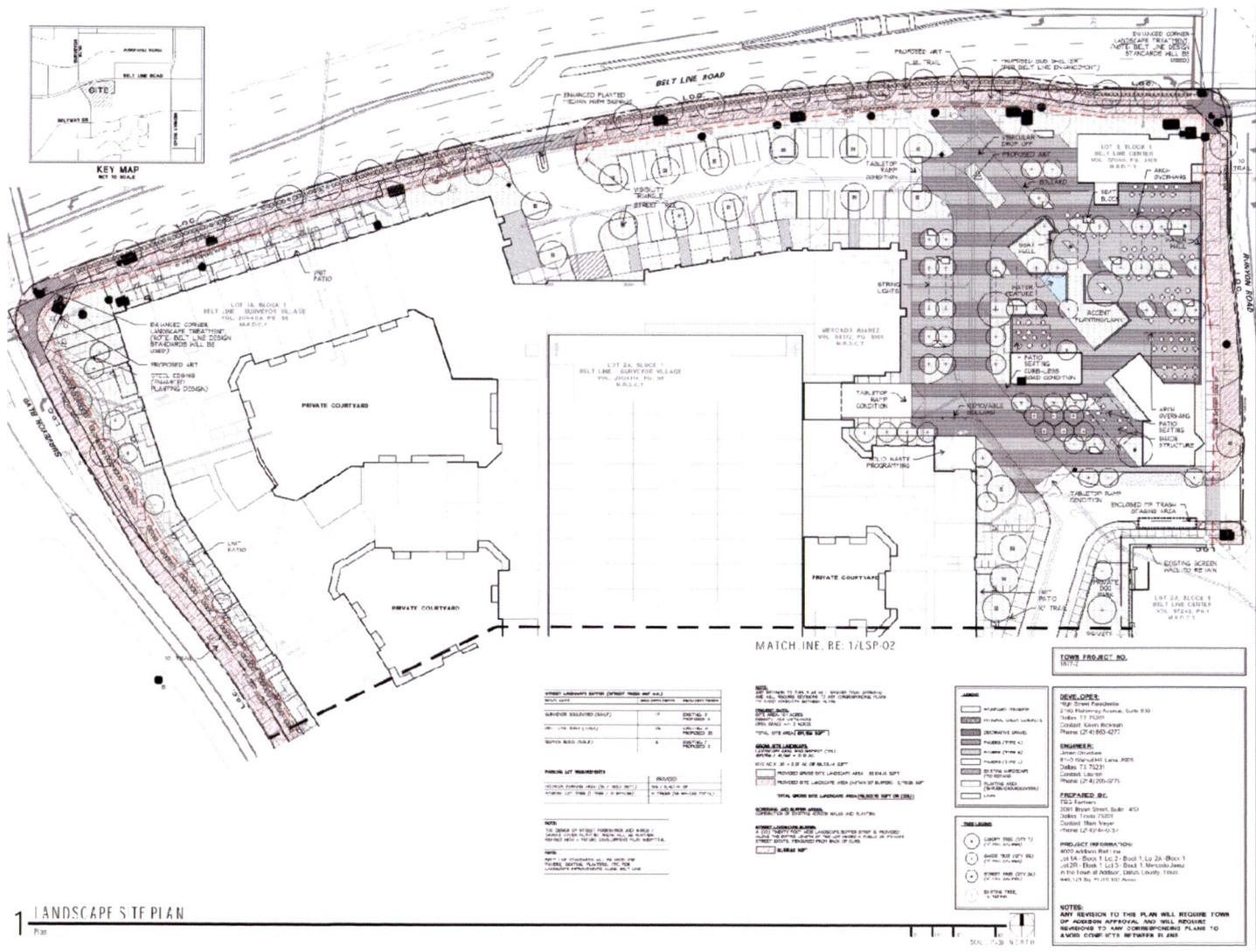


EXHIBIT C



T&G
TERRACE & GARDEN
2008 Frankford Blvd
Suite 100A
Addison, TX 75001
972.444.9111
www.tandg.com

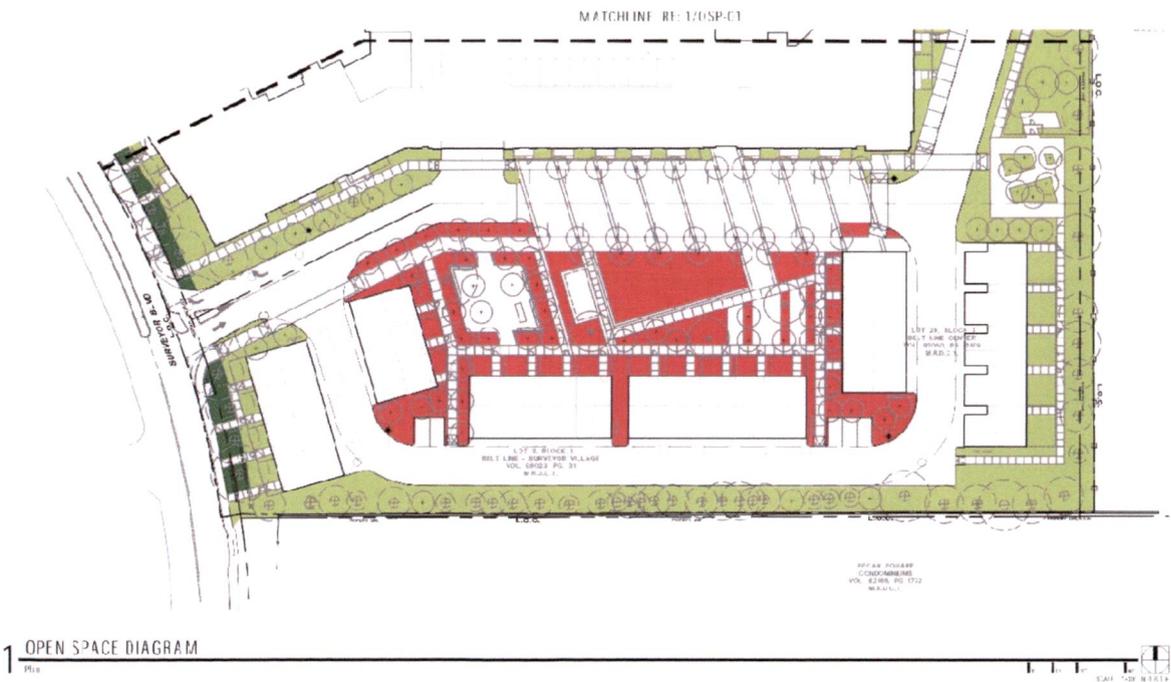
4020 Addison Belt Line Road

D22251

landscape site plan

LSP-01

EXHIBIT C



NOTES:
 1. SEE TOWN OF ADDISON PLAN NO. 023-38 FOR SITE SPECIFIC AND ALL OTHER INFORMATION TO BE CONSIDERED IN THE DEVELOPMENT OF THIS PROJECT.

GENERAL NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

LEGEND:

[Red Area]	OPEN SPACE (RESERVED)	10.0' - 10.0' W
[Green Area]	OPEN SPACE (RESERVED)	5.0' - 5.0' W
[Blue Area]	OPEN SPACE (RESERVED)	2.5' - 2.5' W
[Yellow Area]	OPEN SPACE (RESERVED)	1.25' - 1.25' W

TOWN PROJECT NO.
10777

DEVELOPER:
 1000 Small Residential
 2120 Sandstone Avenue, Suite 100
 Dallas, TX 75211
 Contact: Adam Hargrave
 Phone: (214) 600-2777

ENGINEER:
 Open Structure
 8740 Aldrich Hill Lane, #905
 Dallas, TX 75241
 Contact: Adam Hargrave
 Phone: (214) 386-0771

PREPARED BY:
 J211 Bryan Street, Suite 1400
 Dallas, Texas 75201
 Contact: Mark Hargrave
 Phone: (214) 600-2777

PROJECT INFORMATION:
 4020 Addison Belt Line
 Lot 1A, Block 1, Lot 2, Block 1, Lot 2A, Block 1,
 Lot 2B, Block 1, Lot 3, Block 1, Block 1, Block 1, Block 1,
 in the Town of Addison, Dallas County, Texas
 443,175 Sq Ft (10.93 Acres)

NOTES:
 ANY REVISIONS TO THIS PLAN WILL REQUIRE TOWN OF ADDISON APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

T&E
 10000 Preston Road, Suite 1000
 Dallas, TX 75241
 Phone: (214) 386-0771
 Fax: (214) 386-0772

PROJECT NO.
4020 Addison Belt Line Road

PROJECT NO.
D22251

TOWN PROJ.
10777

DATE
10/2014

DESIGNED BY
open space diagram

DATE
OSP-01

EXHIBIT C



EXHIBIT C



Level	Length	Perimeter	Area
1st Floor	216'	34.52'	7,458.72
2nd Floor	216'	34.52'	7,458.72
3rd Floor	216'	34.52'	7,458.72
4th Floor	216'	34.52'	7,458.72
5th Floor	216'	34.52'	7,458.72
6th Floor	216'	34.52'	7,458.72
7th Floor	216'	34.52'	7,458.72
8th Floor	216'	34.52'	7,458.72
9th Floor	216'	34.52'	7,458.72
10th Floor	216'	34.52'	7,458.72
11th Floor	216'	34.52'	7,458.72
12th Floor	216'	34.52'	7,458.72
13th Floor	216'	34.52'	7,458.72
Roof	216'	34.52'	7,458.72
Total	2,592'	414.72'	90,300.00

Level	Area	Perimeter
1st Floor	7,458.72	34.52'
2nd Floor	7,458.72	34.52'
3rd Floor	7,458.72	34.52'
4th Floor	7,458.72	34.52'
5th Floor	7,458.72	34.52'
6th Floor	7,458.72	34.52'
7th Floor	7,458.72	34.52'
8th Floor	7,458.72	34.52'
9th Floor	7,458.72	34.52'
10th Floor	7,458.72	34.52'
11th Floor	7,458.72	34.52'
12th Floor	7,458.72	34.52'
13th Floor	7,458.72	34.52'
Roof	7,458.72	34.52'
Total	90,300.00	414.72'



4020 Belt Line Road
Addison, Texas

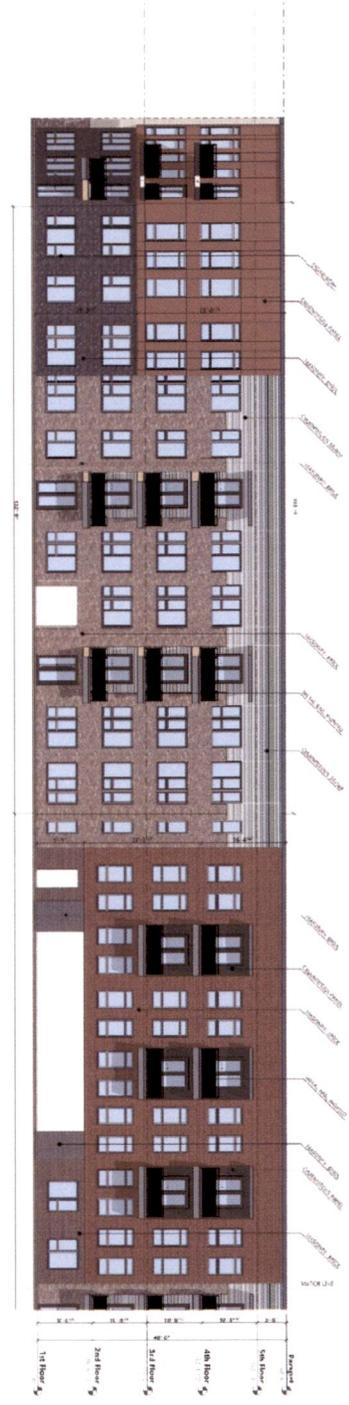
JHP
ARCHITECTS
PLANNERS

EXHIBIT C

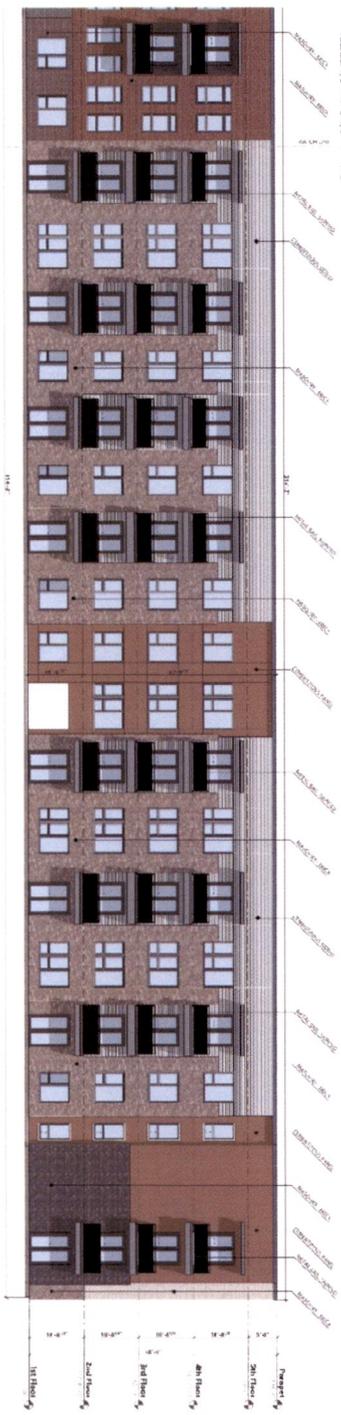
01 South Elevation
SCALE: 1/8" = 1'-0" / 1/16" = 1'-0"



13 South Elevation
SCALE: 1/8" = 1'-0" / 1/16" = 1'-0"



23 South Elevation
SCALE: 1/8" = 1'-0"



Item #	Quantity	Unit	Material
1	1	Sq. Ft.	Brick
2	5	Sq. Ft.	Window
3	5	Sq. Ft.	Door
4	5	Sq. Ft.	Panel
5	5	Sq. Ft.	Trim
6	5	Sq. Ft.	Handrail
7	5	Sq. Ft.	Stair
8	5	Sq. Ft.	Roof
9	5	Sq. Ft.	Foundation
10	5	Sq. Ft.	Interior
11	5	Sq. Ft.	Exterior
12	5	Sq. Ft.	Other
Total	260	Sq. Ft.	100%

Item #	Quantity	Unit	Material
1	1	Sq. Ft.	Brick
2	5	Sq. Ft.	Window
3	5	Sq. Ft.	Door
4	5	Sq. Ft.	Panel
5	5	Sq. Ft.	Trim
6	5	Sq. Ft.	Handrail
7	5	Sq. Ft.	Stair
8	5	Sq. Ft.	Roof
9	5	Sq. Ft.	Foundation
10	5	Sq. Ft.	Interior
11	5	Sq. Ft.	Exterior
12	5	Sq. Ft.	Other
Total	117	Sq. Ft.	100%

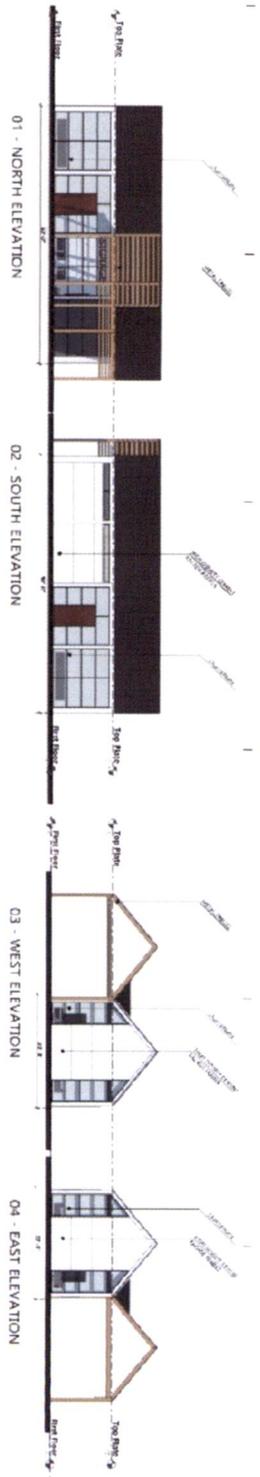


4020 Belt Line Road
Addison, Texas

JHP
 ARCHITECTURE
 10000 W. LAKOTA AVE. SUITE 100
 ADDISON, TX 75001
 TEL: 972.382.1111
 FAX: 972.382.1112
 WWW.JHPARCHITECTURE.COM

10000 W. LAKOTA AVE. SUITE 100
 ADDISON, TX 75001
 TEL: 972.382.1111
 FAX: 972.382.1112
 WWW.JHPARCHITECTURE.COM

EXHIBIT C

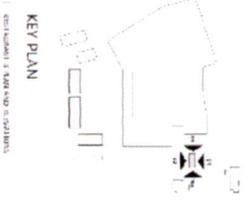
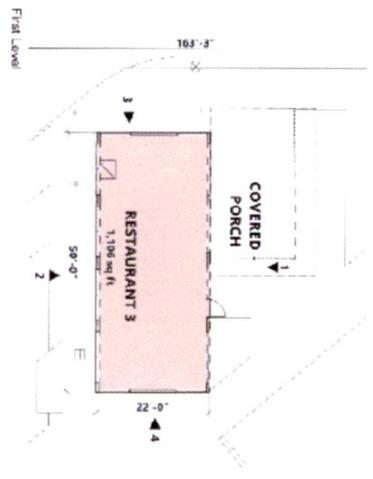


MAXIMUM PERMITTED RESTAURANT 3 - NORTH ELEVATION			
SECTION	NO. OF	PERCENTAGE	
MAXIMUM PERMITTED RESTAURANT 3 - NORTH ELEVATION	5	15%	
MAXIMUM PERMITTED RESTAURANT 3 - NORTH ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - NORTH ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - NORTH ELEVATION	204	30%	

MAXIMUM PERMITTED RESTAURANT 3 - SOUTH ELEVATION			
SECTION	NO. OF	PERCENTAGE	
MAXIMUM PERMITTED RESTAURANT 3 - SOUTH ELEVATION	5	15%	
MAXIMUM PERMITTED RESTAURANT 3 - SOUTH ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - SOUTH ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - SOUTH ELEVATION	204	30%	

MAXIMUM PERMITTED RESTAURANT 3 - WEST ELEVATION			
SECTION	NO. OF	PERCENTAGE	
MAXIMUM PERMITTED RESTAURANT 3 - WEST ELEVATION	5	15%	
MAXIMUM PERMITTED RESTAURANT 3 - WEST ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - WEST ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - WEST ELEVATION	204	30%	

MAXIMUM PERMITTED RESTAURANT 3 - EAST ELEVATION			
SECTION	NO. OF	PERCENTAGE	
MAXIMUM PERMITTED RESTAURANT 3 - EAST ELEVATION	5	15%	
MAXIMUM PERMITTED RESTAURANT 3 - EAST ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - EAST ELEVATION	204	30%	
MAXIMUM PERMITTED RESTAURANT 3 - EAST ELEVATION	204	30%	



Town of Addison, Texas
 4020 Belt Line Road
 Addison, Texas

JHP
 ARCHITECTURAL
 4020 BELT LINE ROAD
 ADDISON, TEXAS 75010
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ADD06



01 - ELEVATION 01

02 - ELEVATION 02

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03 - ELEVATION 03

04 - ELEVATION 04

MATERIAL PERCENTAGE BLDG 1 - ELEVATION 1

MATERIAL	SQ.FT.	PERCENTAGE
MASONRY BRICK AND CULTURED STONE	2516	37%
CERAMETIC TILE BOARDING	483	7%
TOTAL	2999	100%

MATERIAL PERCENTAGE BLDG 2 - ELEVATION 2

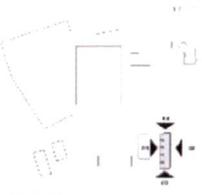
MATERIAL	SQ.FT.	PERCENTAGE
MASONRY BRICK AND CULTURED STONE	1361	37%
CERAMETIC TILE BOARDING	2248	63%
TOTAL	3609	100%

MATERIAL PERCENTAGE BLDG 3 - ELEVATION 3

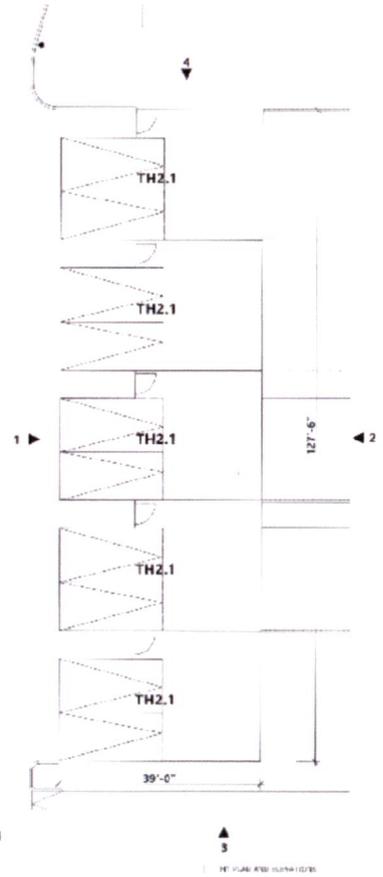
MATERIAL	SQ.FT.	PERCENTAGE
MASONRY BRICK AND CULTURED STONE	1682	100%
CERAMETIC TILE BOARDING	0	0%
TOTAL	1682	100%

MATERIAL PERCENTAGE BLDG 4 - ELEVATION 4

MATERIAL	SQ.FT.	PERCENTAGE
MASONRY BRICK AND CULTURED STONE	106	27%
CERAMETIC TILE BOARDING	283	73%
TOTAL	389	100%



KEY PLAN



First Level

4020 Belt Line Road
Addison, Texas

Plan Project Number: 1817-Z

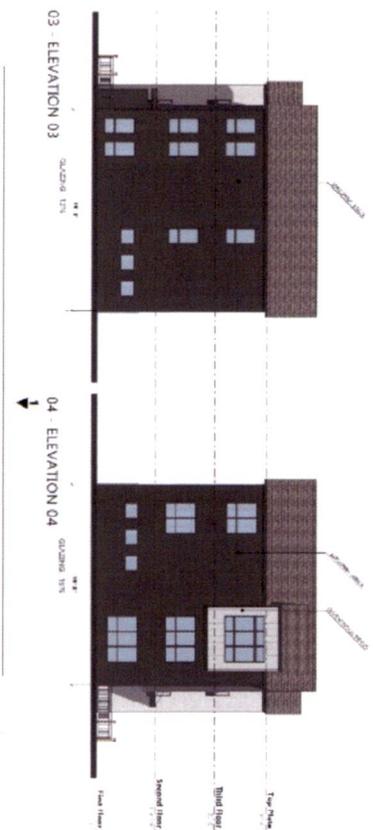


DATE: 11/15/2018
DRAWN BY: JHP
CHECKED BY: JHP

Scale: 1/8" = 1'-0"
This drawing is a preliminary design and is not to be used for construction without the approval of the architect. All dimensions and notes shall govern over the drawing. The architect shall be responsible for the accuracy of the information provided. The architect shall be responsible for the accuracy of the information provided.

A407

EXHIBIT C

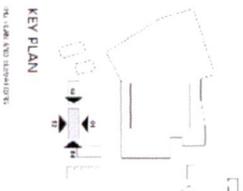
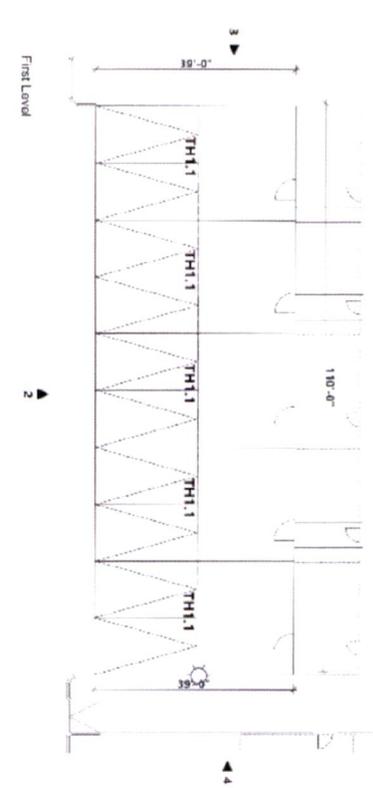


MATERIAL PRESCRIPTION LIST 1 - ELEVATION 1

MATERIAL	SQ FT	PERCENTAGE
BRICK (1/2" x 3 1/2" x 7 1/2")	250	8%
BRICK (1/2" x 3 1/2" x 7 1/2")	150	5%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%

MATERIAL PRESCRIPTION LIST 2 - ELEVATION 2

MATERIAL	SQ FT	PERCENTAGE
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%
BRICK (1/2" x 3 1/2" x 7 1/2")	100	3%



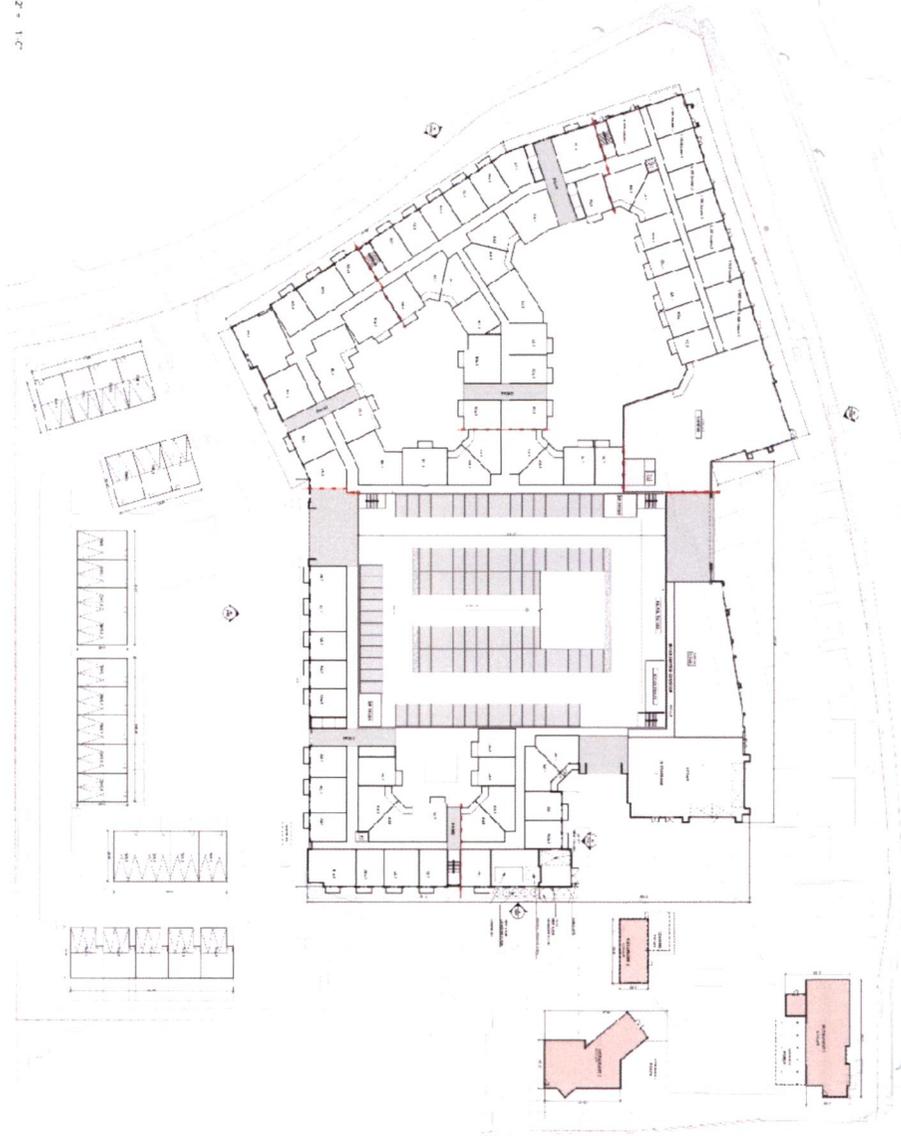
THE PEPPERHART GROUP
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 4020 Belt Line Road
 Addison, Texas 75001
 TEL: 972.440.1100
 WWW.TPPRGRP.COM

4020 Belt Line Road
 Addison, Texas

JHP
 ARCHITECTS
 10000 Preston Road, Suite 1000
 Dallas, Texas 75240
 TEL: 972.361.1100
 WWW.JHPARCHITECTS.COM

EXHIBIT C

9 First Area
SCALE 1/32" = 1'-0"



OVERALL FIRST FLOOR PLAN

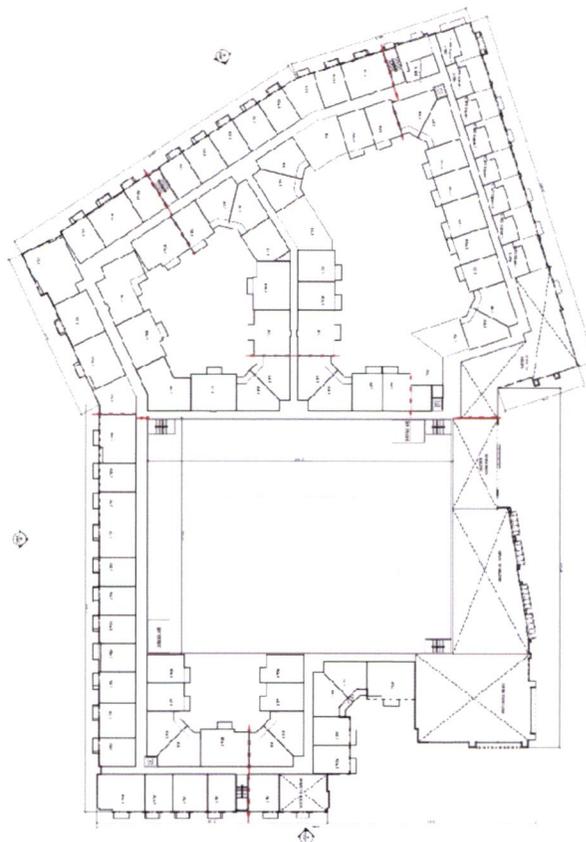
A301

1000 Project Number: 18774
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 972.440.1111
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 SPECIALTY FINISHES, PROJECT MANAGEMENT,
 CONSTRUCTION
 1411 W. 4th St. #100
 Fort Worth, Texas 76102
 817.335.2179
 www.jhparchitect.com

EXHIBIT C



Second Level
 SCALE 1/2" = 1'-0"

OPTIONAL SIGNING FLOOR PLAN

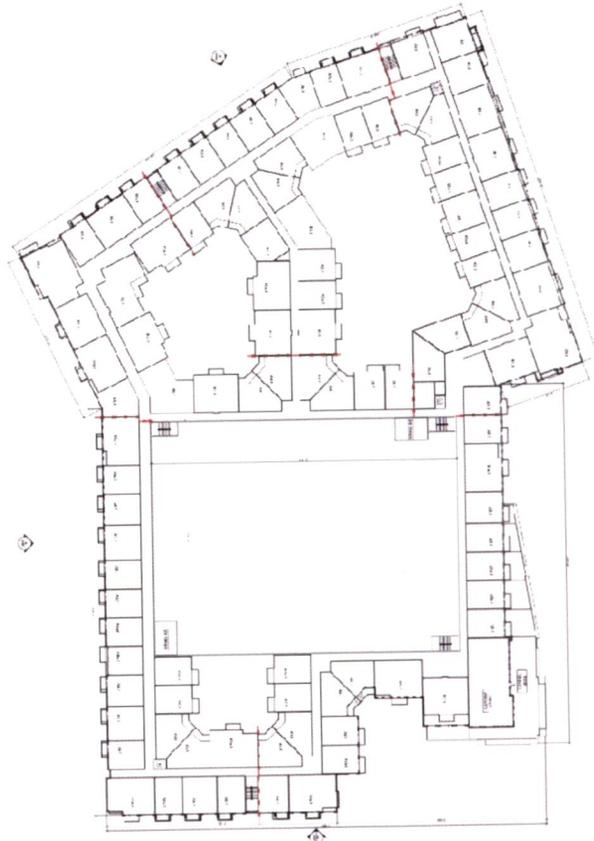
A302

New Project Address: 4020 Belt Line Road
 Addis, TX 75001
 Project Name: 4020 Belt Line Road
 Project Number: 1877-Z
 Date: 02/11/2019
 Scale: 1/2" = 1'-0"
 Drawing Title: Second Level
 Drawing Number: A302
 Designer: [Redacted]
 Checker: [Redacted]
 Approver: [Redacted]

4020 Belt Line Road
 Addison, Texas

JHP
 ARCHITECTS
 10000 WEST LOOP SOUTH, SUITE 1000
 HOUSTON, TEXAS 77042
 TEL: 281.416.4600
 FAX: 281.416.4601
 WWW.JHPARCHITECTS.COM

EXHIBIT C



19 | THE LAYER
SCALE: 1/2" = 1'-0"

OVERALL INTERIOR PLAN

A303

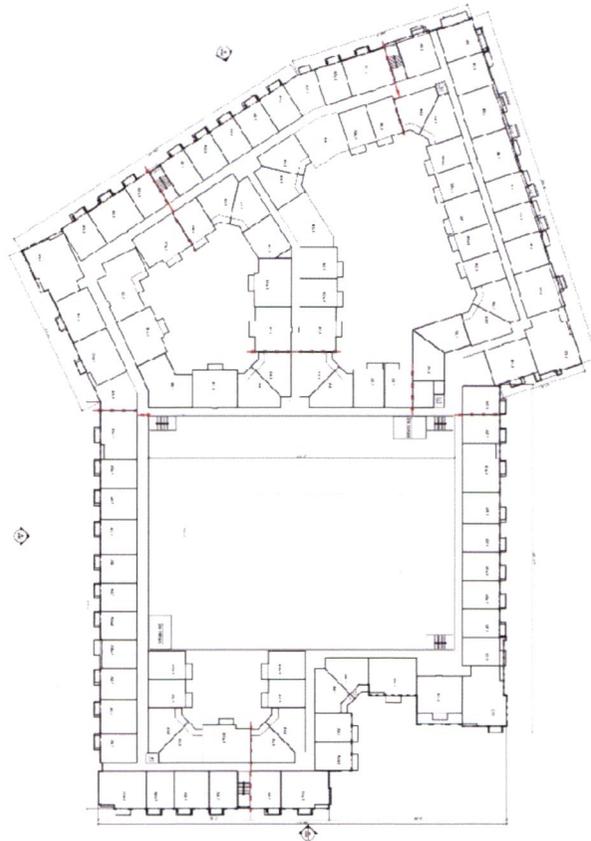
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Overland Park, KS 66213
Tel: 913.241.1111

HENK STOUT
ARCHITECTS P.C.

EXHIBIT C



19
 Southward
 SCALE: 1/8" = 1'-0"

OVERALL CAST-IRON PLAN

A304

1800 West University Avenue
 Suite 100
 Addison, Texas 75001
 Phone: 972.382.1111
 Fax: 972.382.1112
 www.hillstreet.com

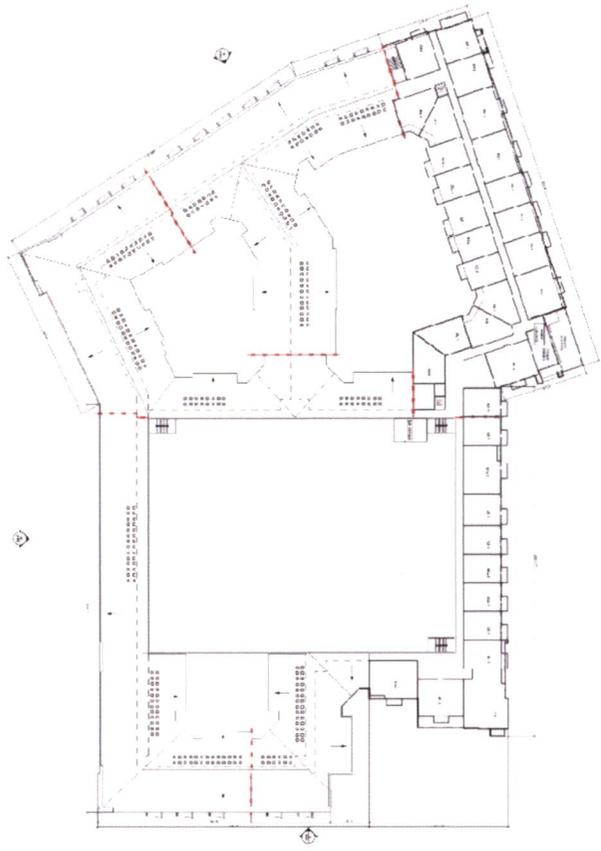
4020 Belt Line Road
 Addison, Texas

Hill Street
 ARCHITECTURAL FIRM

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 PHONE: 972.382.1111
 FAX: 972.382.1112
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EXHIBIT C

9 | First Level & Roof Plan
SCALE: 1/2" = 1'-0"



OVERALL FLOOR PLAN

A305

4020 Belt Line Road
Addison, Texas

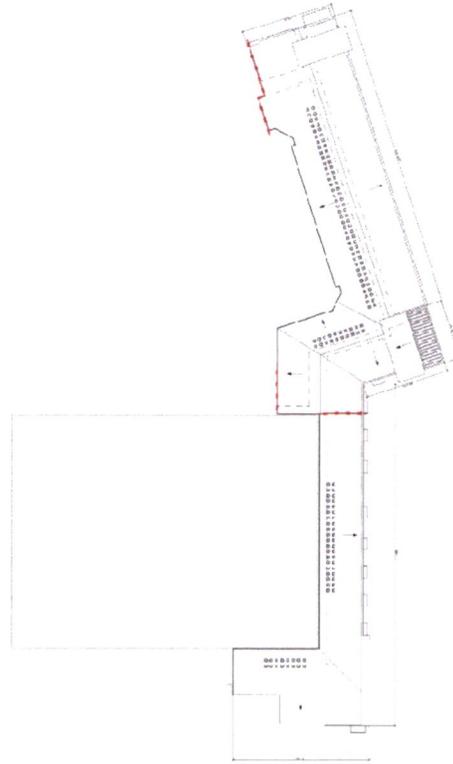


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TEL: 214.760.7300
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Project Number: 1877-Z
City: Addison, TX
Client: City of Addison
Date: 07/2018
Scale: 1/2" = 1'-0"
Sheet: A305
Title: First Level & Roof Plan

EXHIBIT C



3' | 1/4" = 1'-0"
SCALE: 1/4" = 1'-0"

OVERALL SITE PLAN

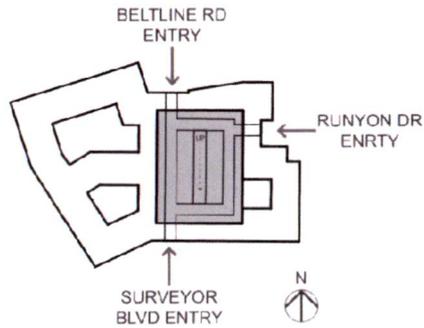
A306

4020 Belt Line Road
Addison, Texas

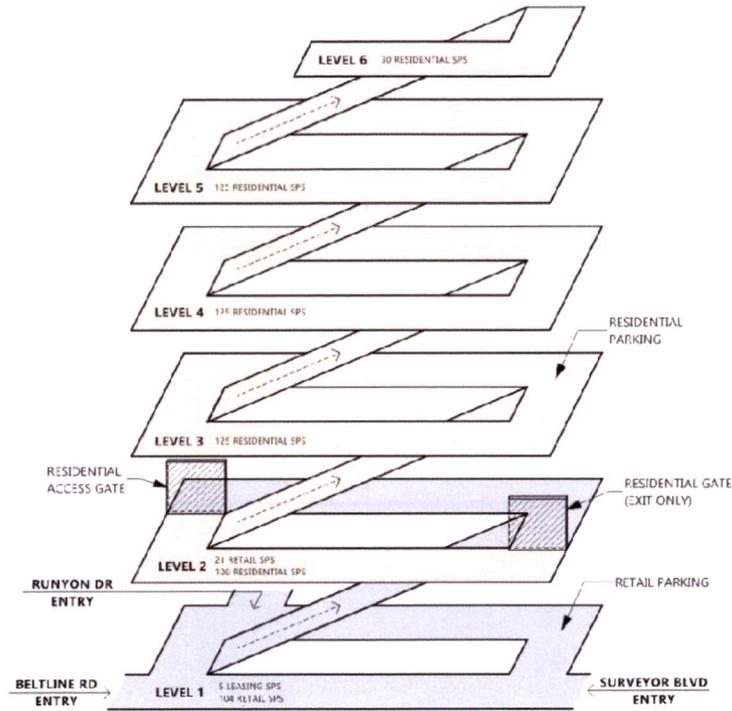


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EXHIBIT C



KEY PLAN



PARKING GARAGE AXONOMETRIC DIAGRAM



A FIRM WITH A VIBRANT & EXCITING CULTURE
RECOGNIZED FOR
ELEVATED DESIGN



4020 Belt Line Road
Addison, TEXAS

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Topology Apartment, Phase II or
Control No. 01
LAW NUMBER
Registered Architect of State of Texas,
Registration No. 23879

GARAGE

DIAGRAM

09.06.2023

01

#2019C27.00 1/1

EXHIBIT D

MAJOR WAIVERS

		REQUIREMENT	WAIVER
1	Block Length	Sec. III . E.1 Block length: The length of a block shall not be less than 200 feet, nor more than 600 feet. Greater or lesser block length shall require approval of a major waiver.	As depicted in the Concept Plan, block length at the Belt Line Road frontage may exceed 600 feet.
2	4 th Floor Building Setback	Sec. IV. B.2.a.: Except where adjacent to Belt Line or Arapaho, buildings which are greater than three stories in height must be set back at the fourth floor and above at least eight feet behind the building face of the first three floors along street frontages. Any change to this standard shall be considered a major waiver.	As depicted in the Concept Plan, the 4 th story setback at the Surveyor Road frontage may be omitted, provided that a larger setback of the entire building frontage is maintained.
3	Minimum Building Height	Table 1 Sub-district Standards: min. 2 stories	As depicted in the Concept Plan, free standing nonresidential buildings may be less than 2 stories in height.
4	Raised Stoops	Sec. IV.B.5.- Residential at grade: b. The entry shall be located a minimum of two feet above the sidewalk elevation and include a minimum 24 s.f. stoop. Any change to this standard shall be considered a major waiver.	As depicted in the Concept Plan, at grade yard access may be provided in lieu of a raised stoop condition.
5	Parking Garage Design	Sec. V.A.2.e.ii - Parking garages: All parking garages shall be constructed with flat parking decks for ease in reuse of all or portions of the structure when parking demand wanes, unless otherwise approved by major waiver.	As depicted in the Concept Plan, a sloped deck parking structure is permitted.