

TOWN OF ADDISON

CIVIL CONSTRUCTION PLANS FOR

ADDISON ATHLETIC CLUB

EXPANSION & LEISURE POOL

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MAYOR

R. SCOTT WHEELER

CITY COUNCIL

DIANE MALLORY	GLYNDA TURNER	FREDRIC M. SILVER
CATHY WAYS	BOB BARRETT	FRANK R. KLEIN

CITY MANAGER

RON WHITEHEAD

CITY ENGINEER

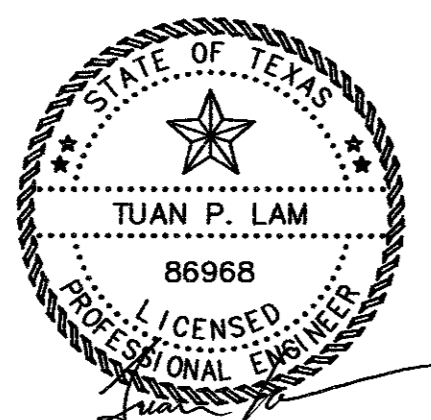
MICHAEL E. MURPHY P.E.

OWNER:

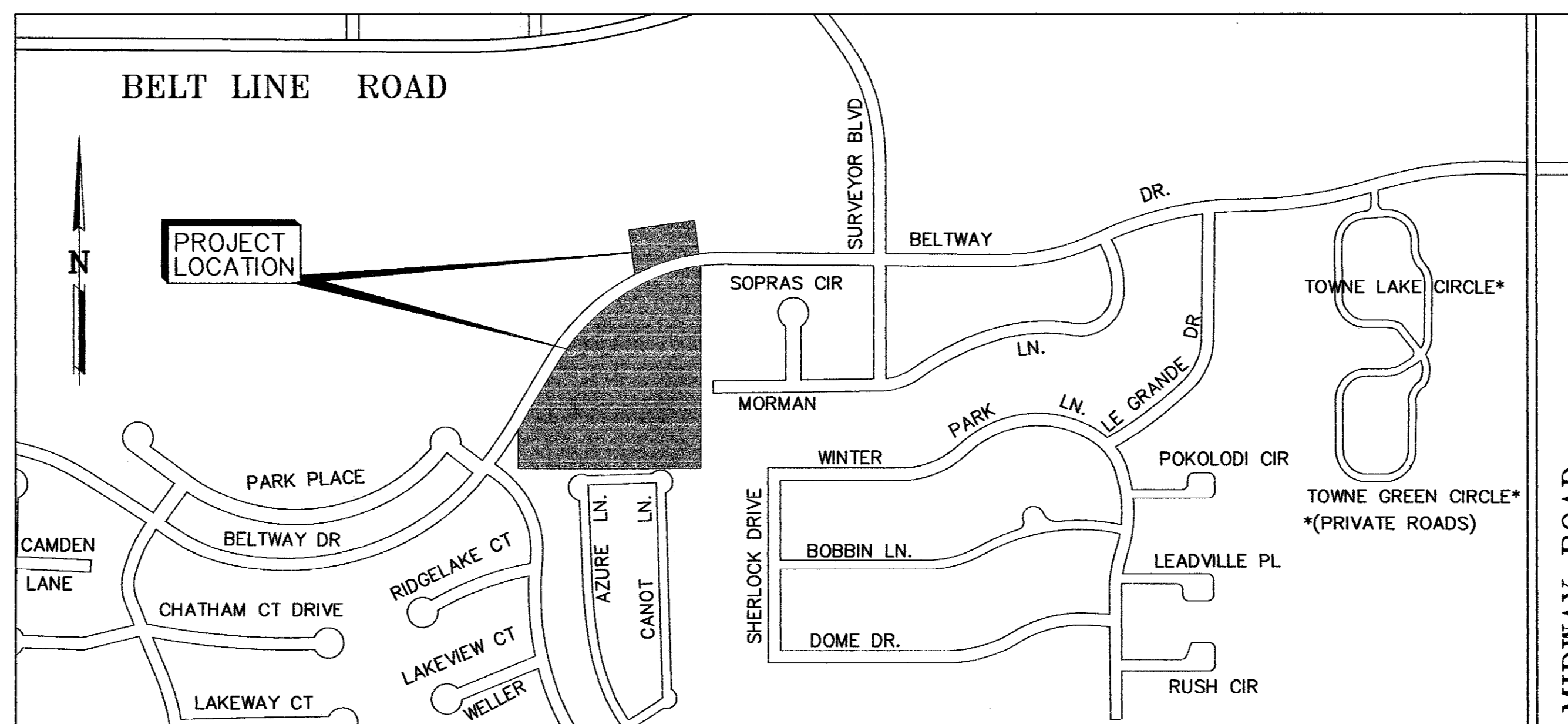
TOWN OF ADDISON
3900 BELTWAY DRIVE
ADDISON, TX 75001

ENGINEER :

R-DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TX. 75040
PHONE: (972) 494-5031
www.rdelta.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 02-20-02. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

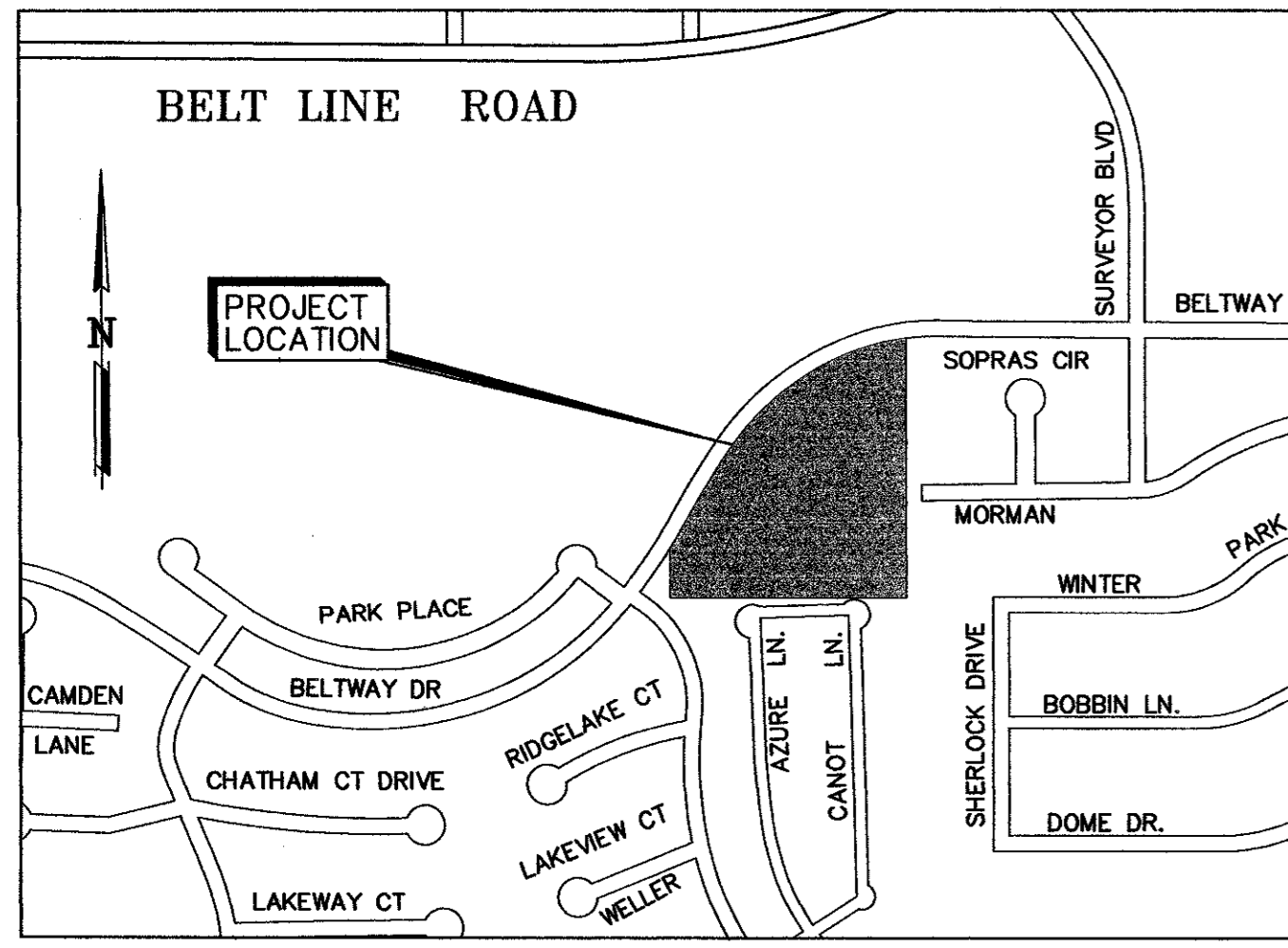


VICINITY MAP

N.T.S.

MAPSCO 14-A,E

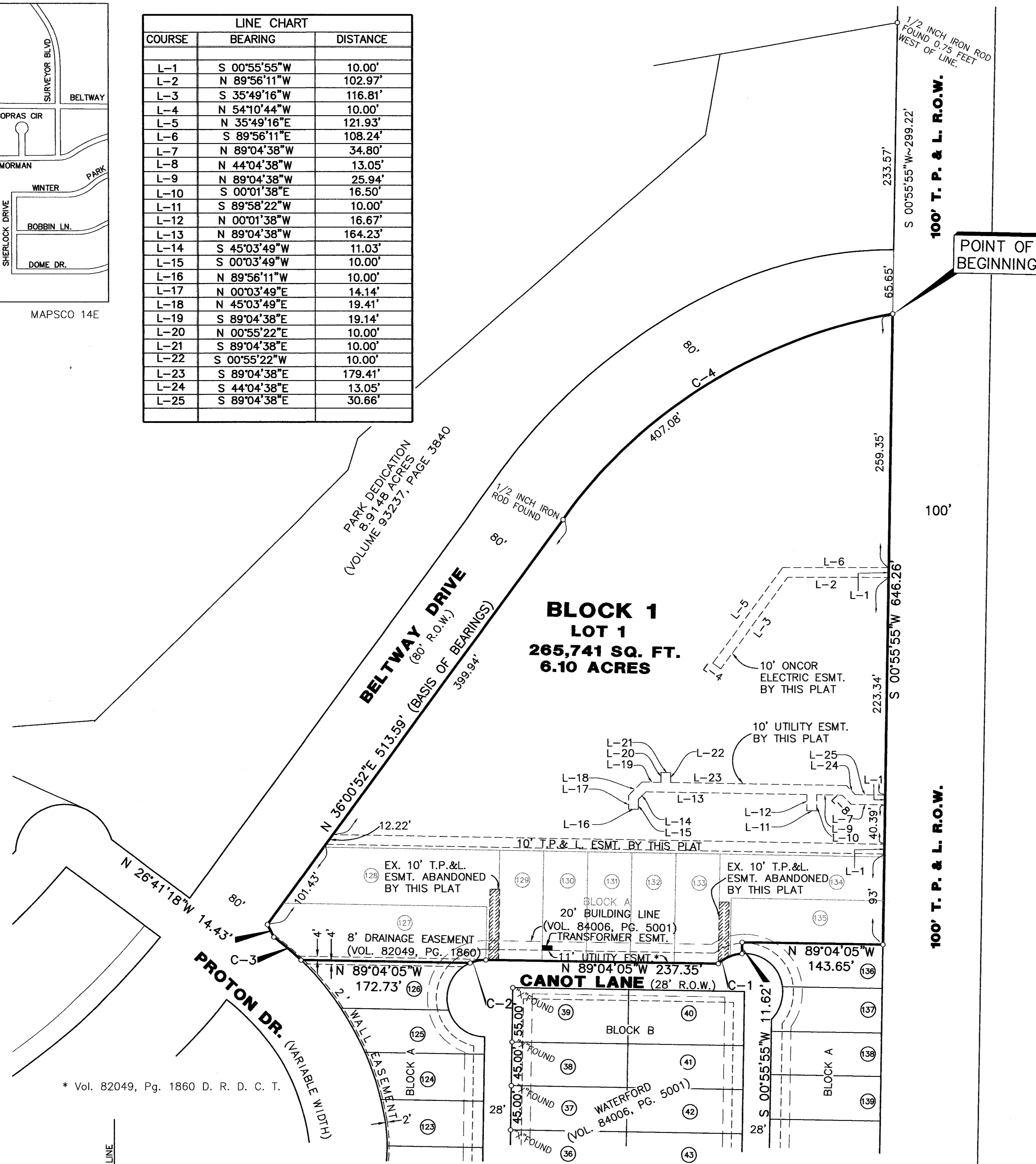
B22-13
 ADDISON ATHLETIC CLUB
 EXPANSION & LEISURE POOL
 ADDISON, TEXAS
 3900 BELTWAY
 R-DELTA ENGINEERS, INC.
 RDE #982-01



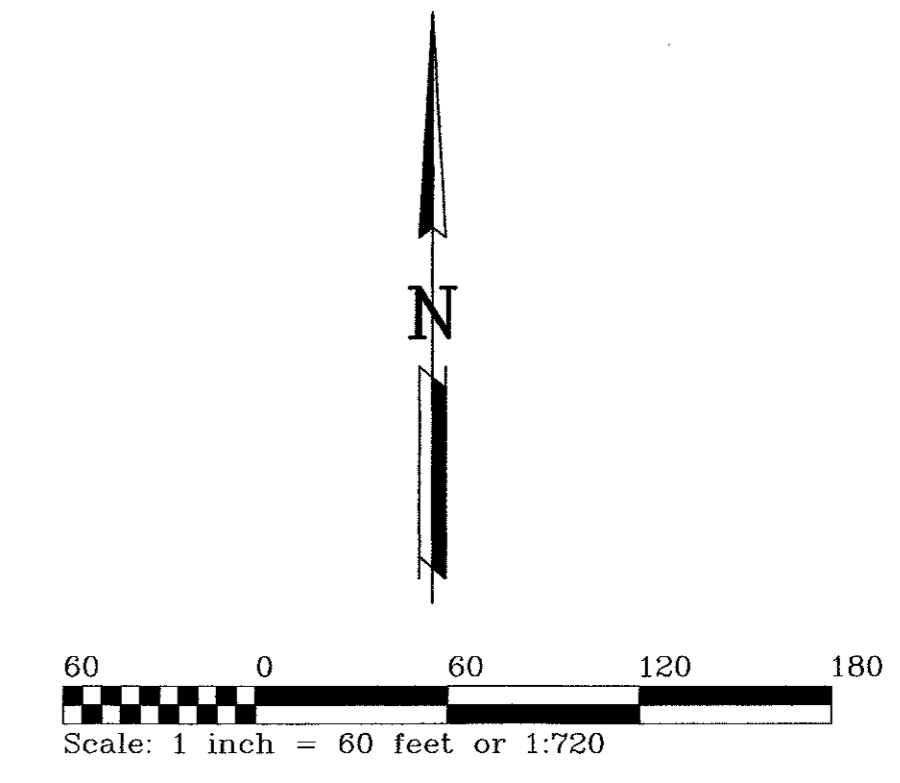
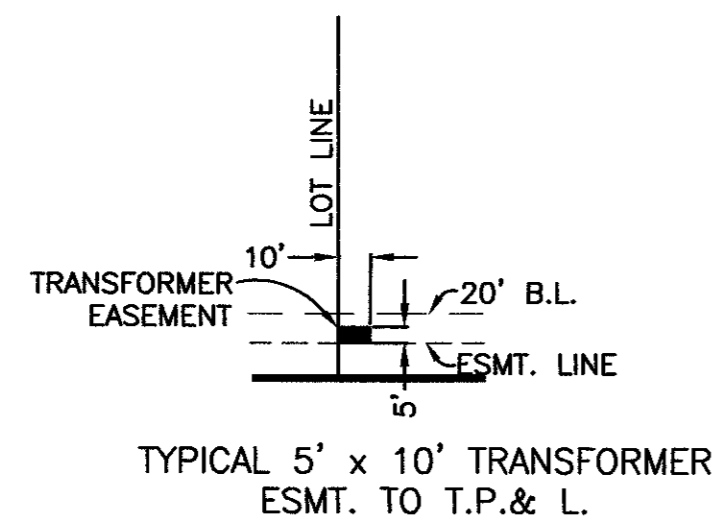
VICINITY MAP
N.T.S.

COURSE	BEARING	DISTANCE
L-1	S 00°55'55"W	10.00'
L-2	N 89°56'11"W	102.97'
L-3	S 35°49'16"W	116.81'
L-4	N 54°10'44"W	10.00'
L-5	N 35°49'16"E	121.93'
L-6	S 89°56'11"E	108.24'
L-7	N 89°04'38"W	34.80'
L-8	N 44°04'38"W	13.05'
L-9	N 89°04'38"W	25.94'
L-10	S 00°01'38"E	16.50'
L-11	S 89°58'22"W	10.00'
L-12	N 00°01'38"W	16.67'
L-13	N 89°04'38"W	164.23'
L-14	S 45°03'49"W	11.03'
L-15	S 00°03'49"W	10.00'
L-16	N 89°56'11"W	10.00'
L-17	N 00°03'49"E	14.14'
L-18	N 45°03'49"E	19.41'
L-19	S 89°04'38"E	19.14'
L-20	N 00°55'22"E	10.00'
L-21	S 89°04'38"E	10.00'
L-22	S 00°55'22"W	10.00'
L-23	S 89°04'38"E	179.41'
L-24	S 44°04'38"E	13.05'
L-25	S 89°04'38"E	30.66'

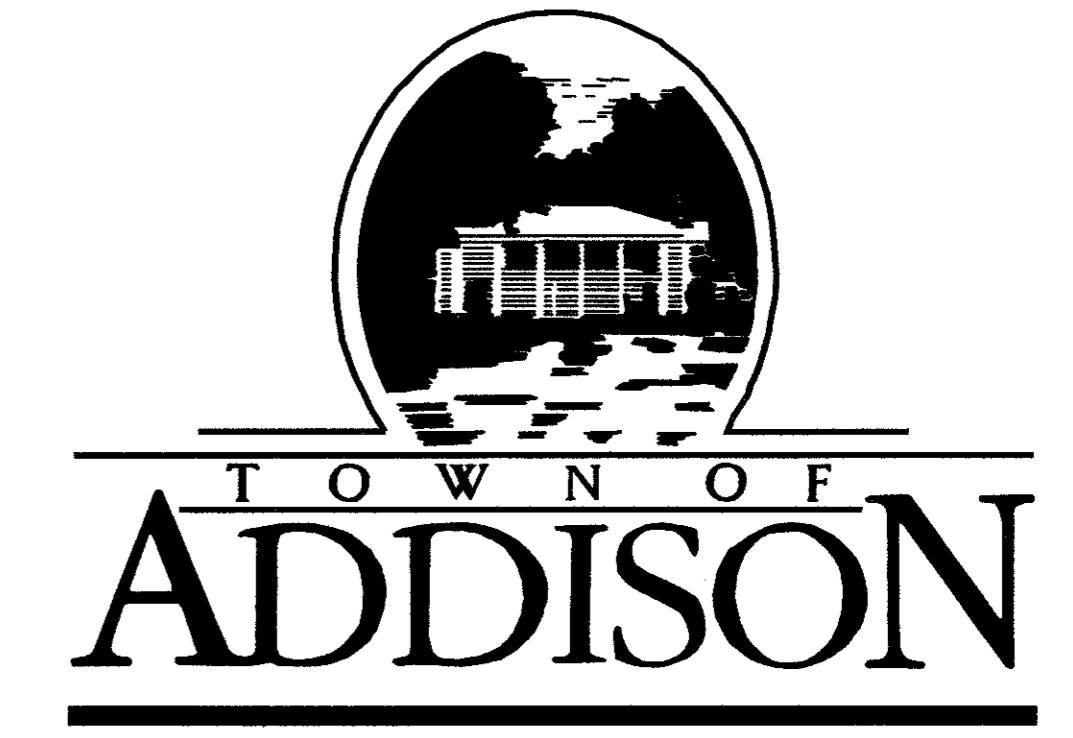
NOTE:
ALL CORNERS WITH OPEN CIRCLE ARE
1/2 INCH IRON RODS SET WITH A PLASTIC
CAP STAMPED "R-DELTA ENGINEERS"
UNLESS OTHERWISE NOTED.



CURVE	RADIUS	TANGENT	LENGTH	DELTA	CHORD	CH.BEARING
C-1	39.00'	14.00'	26.88'	39°29'48"	26.36'	S 66°33'56"W
C-2	39.00'	8.35'	16.44'	24°09'23"	16.32'	S 78°51'13"W
C-3	294.50'	18.32'	36.59'	7°07'10"	36.57'	N 49°30'26"W
C-4	530.00'	214.17'	407.08'	44°00'27"	397.15'	N 58°01'05"E



LEGEND	
D.R.D.C.T.	Deed Records of Dallas County, Texas
N	North
S	South
E	East
W	West
C	Curve
L	Line
°	Degrees
'	Minutes or Feet
"	Seconds
*	Indicates Footnote
ESMT	Easement
EX.	Existing



FINAL PLAT
LOT 1, BLOCK 1
ADDISON ATHLETIC CLUB
A PARTIAL REPLAT OF LES LACS
GARDEN HOMES
AND LOTS 127 THROUGH 135, BLOCK A OF
WATERFORD

An Addition to the City of Addison,
Dallas County, Texas.

OWNER:
Town of Addison
16801 Westgrove Rd.
Addison, TX. 75248

PREPARED BY:
R-DELTA ENGINEERS, INC.
618 MAIN STREET GARLAND TX. 75040
Phone: (972) 494-5031 Fax: (972) 487-2270
www.rdelta.com
RDE #982-01

OWNERS CERTIFICATE

BEING a 265,741 square foot or 6.101 acre tract of land in the City of Addison, Dallas County, Texas and being all of the 4.6000 acre tract dedicated for park purposes as part of the Les Lacs Garden Homes a subdivision of the City of Addison according to the plat thereof recorded in Volume 82049, at Page 1860 of the Deed Records of Dallas County, Texas, and also being lots 127, 128, 129, 130, 131, 132, 133, 134, and 135 in Block A of Waterford, a partial replat of Les Lacs Garden Homes, a subdivision of the City of Addison, according to the plat thereof recorded in Volume 84006, at Page 5001 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" in the west right-of-way line of a 100-foot Texas Power & Light Company right-of-way at its intersection with the southerly right-of-way line of Beltway Drive (a variable width right-of-way at this point), said point being the northeast corner of the aforementioned 4.6000 acre tract;

THENCE, South 00 degrees 55 minutes 55 seconds West with common line between the west right-of-way line of the 100-foot Texas Power & Light Company right-of-way and the east line of the aforementioned 4.6000 acre tract, at a distance of 556.26 feet (plat: 556.07 feet) pass the southeast corner of said 4.6000 acre tract and the northeast corner of said Lot 134 in Block A of Waterford and continuing on the same course an additional distance of 90.00 feet for a total distance of 646.26 feet to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" for the southeast corner of said Lot 135 and the northeast corner of Lot 136 in Block A of Waterford;

THENCE, North 89 degrees 04 minutes 05 seconds West with the common line between said Lot 135 and Lot 136, for a distance of 143.65 feet to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" an interior ell corner of said Lot 135 and for the northwest corner of Lot 136 in Block A of Waterford;

THENCE, South 00 degrees 55 minutes 55 seconds West continuing with a common line between said Lot 135 and Lot 136, for a distance of 1.62 feet to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" on the northerly right-of-way line of Canot Lane, said point being on a curve concave to the south having a radius of 39.00 feet, a central angle of 39 degrees 29 minutes 48 seconds and a chord that bears South 66 degrees 33 minutes 56 seconds West for a distance of 26.36 feet;

THENCE, in a westerly direction with the northerly right-of-way line of said Canot Lane and with the arc of said curve 26.88 feet to an 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" for the end of said curve;

THENCE, North 89 degrees 04 minutes 05 seconds West with the north right-of-way line of said Canot Lane (28-foot right-of-way at this point) for a distance of 237.35 feet to an 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" for the point of curvature of a curve concave to the south having a radius of 39.00 feet, a central angle of 24 degrees 09 minutes 23 seconds and a chord that bears South 78 degrees 51 minutes 13 seconds West for a distance of 16.32 feet;

THENCE, in a westerly direction with the northerly right-of-way line of said Canot Lane and with the arc of said curve for a distance of 16.44 feet to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" for the northeast corner of Lot 126 in Block A of said Waterford and an angle point in the south line of the aforementioned Lot 127;

THENCE, North 89 degrees 04 minutes 05 seconds West with the common line between said Lot 126 and Lot 127 for a distance of 172.73 feet to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" at the beginning of a curve concave to the southwest having a radius of 294.50 feet, a central angle of 7 degrees 07 minutes 10 seconds and a chord that bears North 49 degrees 30 minutes 26 seconds West for a distance of 36.57 feet said point being in the northeast right-of-way line of Proton Drive (a variable width right-of-way at this point);

THENCE, in a northwesterly direction with northerly right-of-way line of said Proton Drive and with the arc of said curve for a distance of 36.59 feet to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" at the corner clip between said Proton Drive and Beltway Drive (80-foot right-of-way);

THENCE, North 26 degrees 41 minutes 18 seconds West with said corner clip for a distance of 14.43 feet (plat: 14.31 feet) to a 1/2 inch iron rod set with a cap stamped "R-DELTA ENGINEERS" in the southeast right-of-way line of said Beltway Drive;

THENCE, North 36 degrees 00 minutes 52 seconds East (Basis of Bearings) with the southeast right-of-way line of said Beltway Drive at a distance of 97.68 feet pass the northwest corner of the aforementioned Lot 128, Block A and the southwest corner of the aforementioned 4.6000 acre tract, and continuing on the same course an additional distance of 415.91 feet (plat: 415.81 feet) to a 1/2 inch iron rod found for the point of curvature of a curve concave to the southeast having a radius of 530.00 feet, a central angle of 44 degrees 00 minutes 27 seconds and a chord that bears North 58 degrees 01 minute 05 seconds East for a distance of 397.15 feet;

THENCE continuing with the southeasterly right-of-way line of said Beltway Drive and with the arc of said curve for a distance of 407.08 feet to the POINT OF BEGINNING and containing 265,741 square feet or 6.101 acres of land.

Areas indicated hereon are the results of calculations from reported positions and are subject to the minimum standards of surveying precision. The variation from the reported area may be up to 53 square feet.

The bearings reported hereon are based on the record bearing for Beltway Drive as constructed through a 1/2 inch iron rod found for the southwest point of curvature of the curve having a 530.00 foot radius on the southeasterly right-of-way line of Beltway Drive in the 4.6000 acre tract and an "X" found cut in concrete for the southwest corner of Lot 37, in Block B of the Waterford plat.

NOW THEREFOR, KNOW ALL MEN BY THESE PRESENTS:

That The Town Of Addison is the Owner of the above described property and does hereby adopt this plat designating the herein above property as Addison Athletic Club, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

SURVEYOR'S CERTIFICATE

I, Wayne C. Terry, A Registered Professional Land Surveyor in the State of Texas, Do certify that I have prepared this plat from an actual on the ground survey of the land, and the monuments shown thereon were found and/or placed under my personal supervision in accordance with the platting rules and regulations of the City Plan Commission of the City of Addison, Dallas County, Texas.



Wayne C. Terry
Registered Professional Land Surveyor
Registration No. 4184

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Wayne C. Terry, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS
THE _____ DAY OF _____, 2002.

Notary Public in and for the State of Texas

My Commission Expires _____

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS
THE _____ DAY OF _____, 2002.

Notary Public in and for the State of Texas

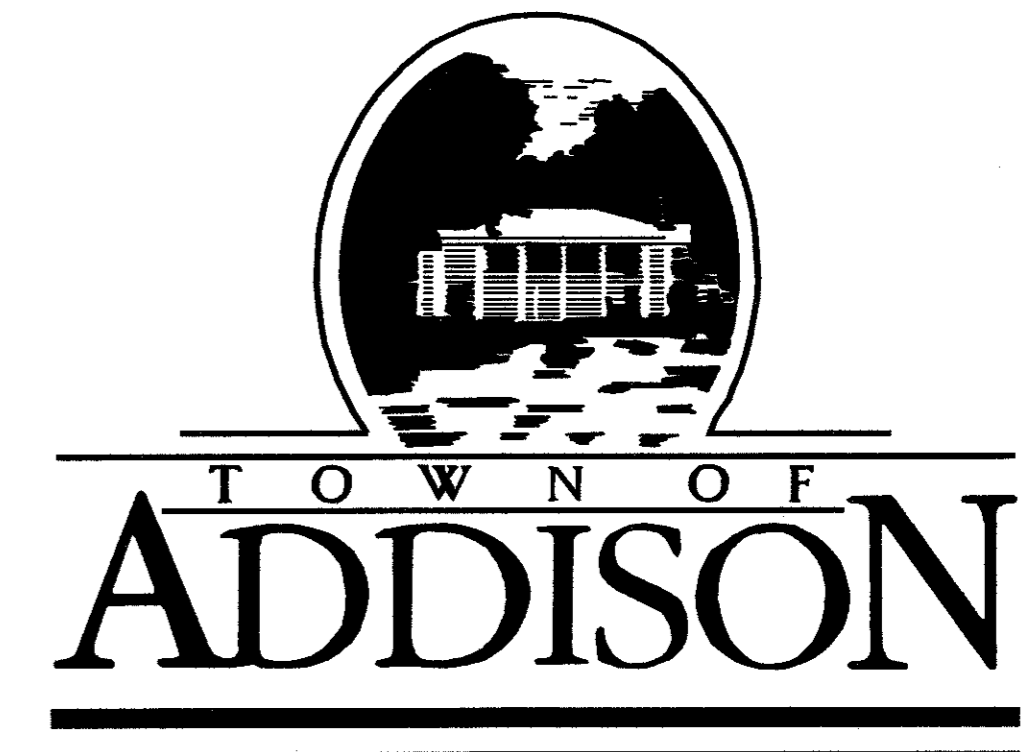
My Commission Expires _____

APPROVED and ACCEPTED for the City of Addison this _____ day of _____, 2002.

The approval of this plat is contingent upon the plat being filed for record with the County Clerk of Dallas County within 180 days from the above date.

Mayor: R. Scott Wheeler

City Secretary

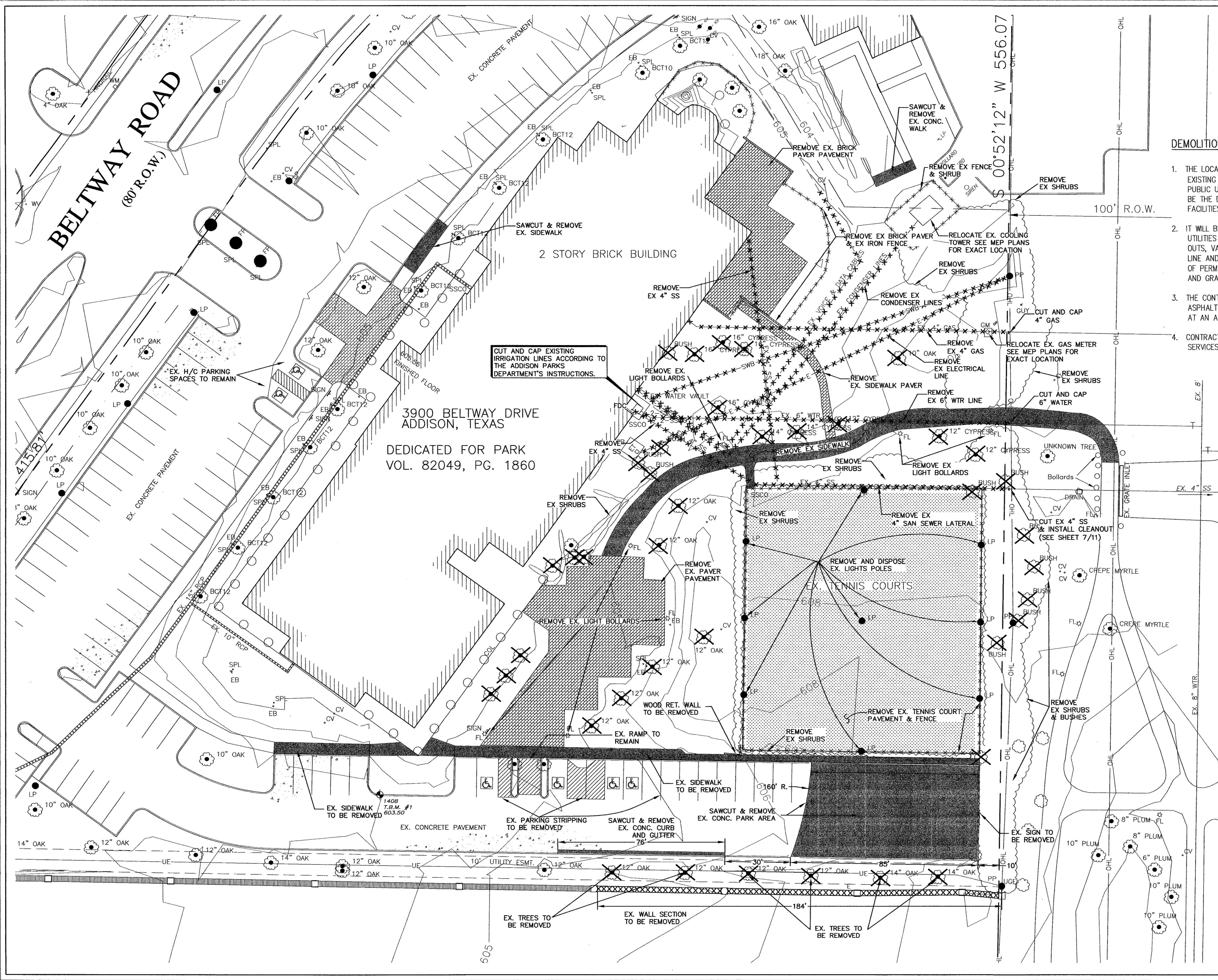


**FINAL PLAT
LOT 1, BLOCK 1
ADDISON ATHLETIC CLUB
A PARTIAL REPLAT OF LES LACS
GARDEN HOMES
AND LOTS 127 THROUGH 135, BLOCK A OF
WATERFORD**

An Addition to the City of Addison,
Dallas County, Texas.

OWNER:
Town of Addison
16801 Westgrove Rd.
Addison, TX. 75248

PREPARED BY:
R-DELTA ENGINEERS, INC.
618 MAIN STREET GARLAND TX. 75040
Phone: (972) 494-5031 Fax: (972) 487-2270
www.rdelta.com
RDE #982-01

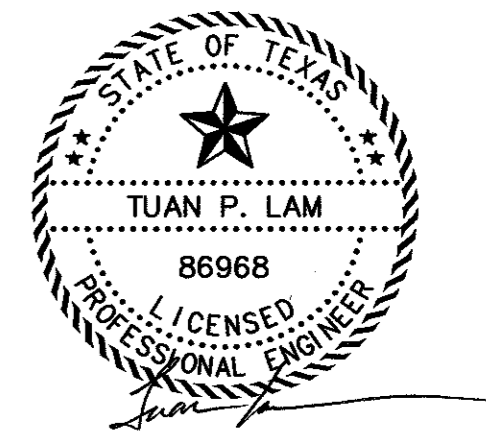


DEMOLITION NOTES:

1. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE LOCATED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
3. THE CONTRACTOR SHALL DISPOSE OF ALL REMOVED CONCRETE PAVEMENT, ASPHALT PAVEMENT, AND ITEMS SHOWN AS REMOVED IN A LAWFUL MANNER AND AT AN APPROVED DUMP SITE.
4. CONTRACTOR MUST PROVIDE WATER, SEWER, GAS, PHONE, AND ELECTRICAL SERVICES TO THE EXISTING BUILDING AT ALL TIMES.

LEGEND:

- * Light Bollard
- Tree
- Area Drain
- Water Meter
- Telephone Riser
- Signal Box
- T Water Valve
- Remove Concrete Pavement
- Brick Paver
- Tree To Be Removed
- Concrete Pavement
- Ex. Concrete Pavement To Be Removed
- Ex. Utility To Be Removed
- ⊙ Manhole
- Cleanout
- PK Nail
- Electric Box
- | Sign
- Fire Hydrant
- Bush/Shrub



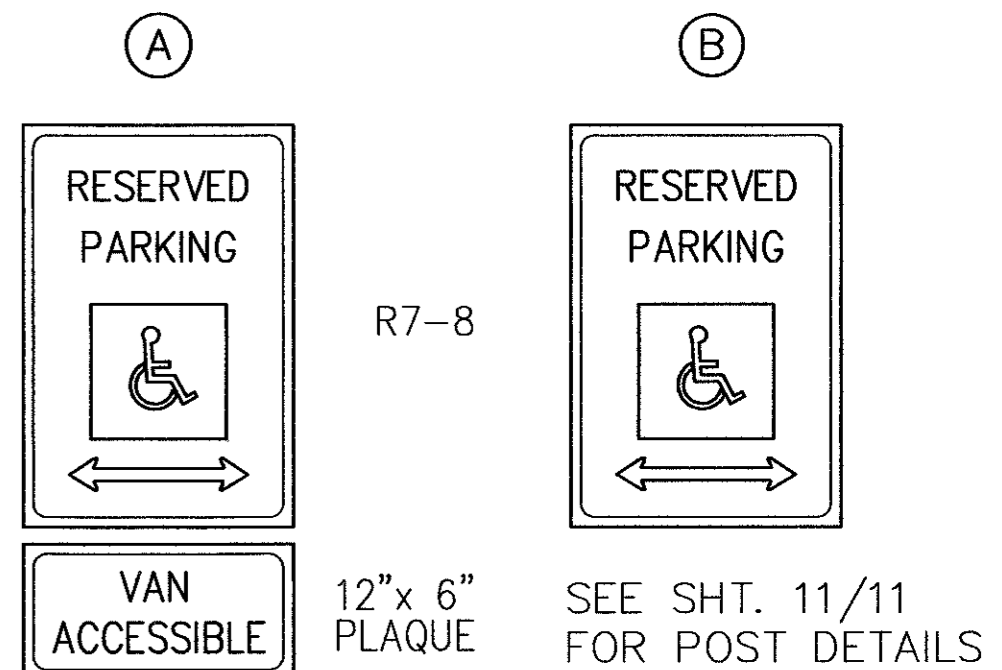
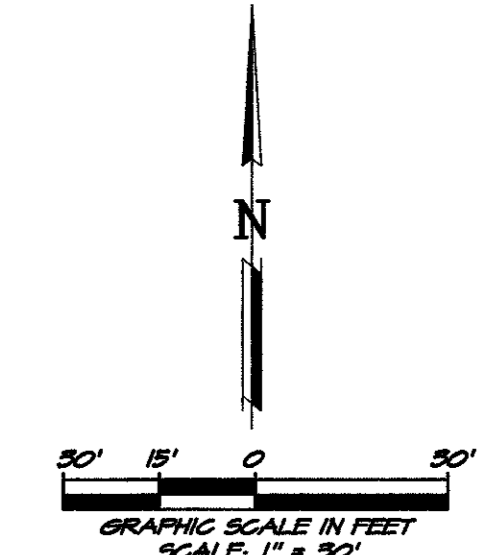
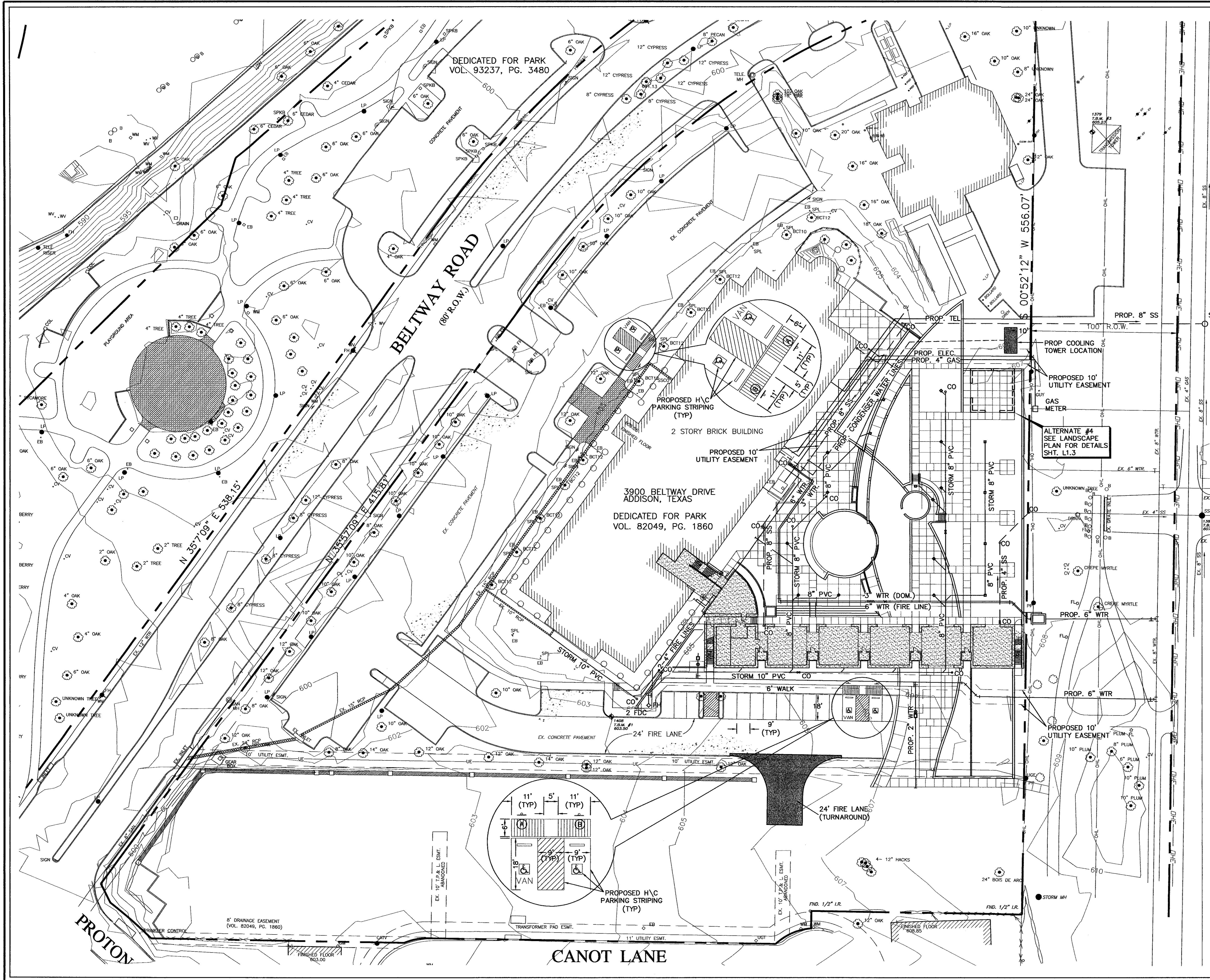
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MAPSCO 14-A-E

DEMOLITION PLAN
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
ADDISON, TEXAS

R-DELTA ENGINEERS, INC.
 618 MAIN STREET GARLAND, TEXAS 75040
 Phone (972) 494-5031 www.rdelta.com

DESIGN: CTL	CHECK: JRP	SCALE: 1"=20'	2 of 11
DRAWN: CTL	DATE: FEBRUARY, 2002	PROJECT: 982-01	

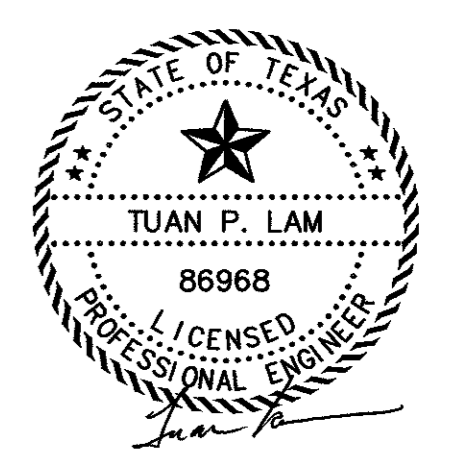


HANDICAPPED ACCESSIBLE SIGN DETAIL

PARKING:

EXISTING & PROPOSED HANDICAP	121 SPACES
FUTURE HANDICAP	156 SPACES

- LEGEND:**
- * Light Bollard
 - Proposed Manhole
 - Existing Manhole
 - Tree
 - Cleanout
 - Area Drain
 - Water Meter
 - PK Nail
 - Water Meter
 - Telephone Riser
 - Electric Box
 - Signal Box
 - Sign
 - T Water Valve
 - ◇ Fire Hydrant
 - 8" SS Sanitary Sewer Line
 - 6" WTR Water Line
 - 8" PVC Storm Drain Pipe
 - Bush/Shrub
 - E Underground Electric

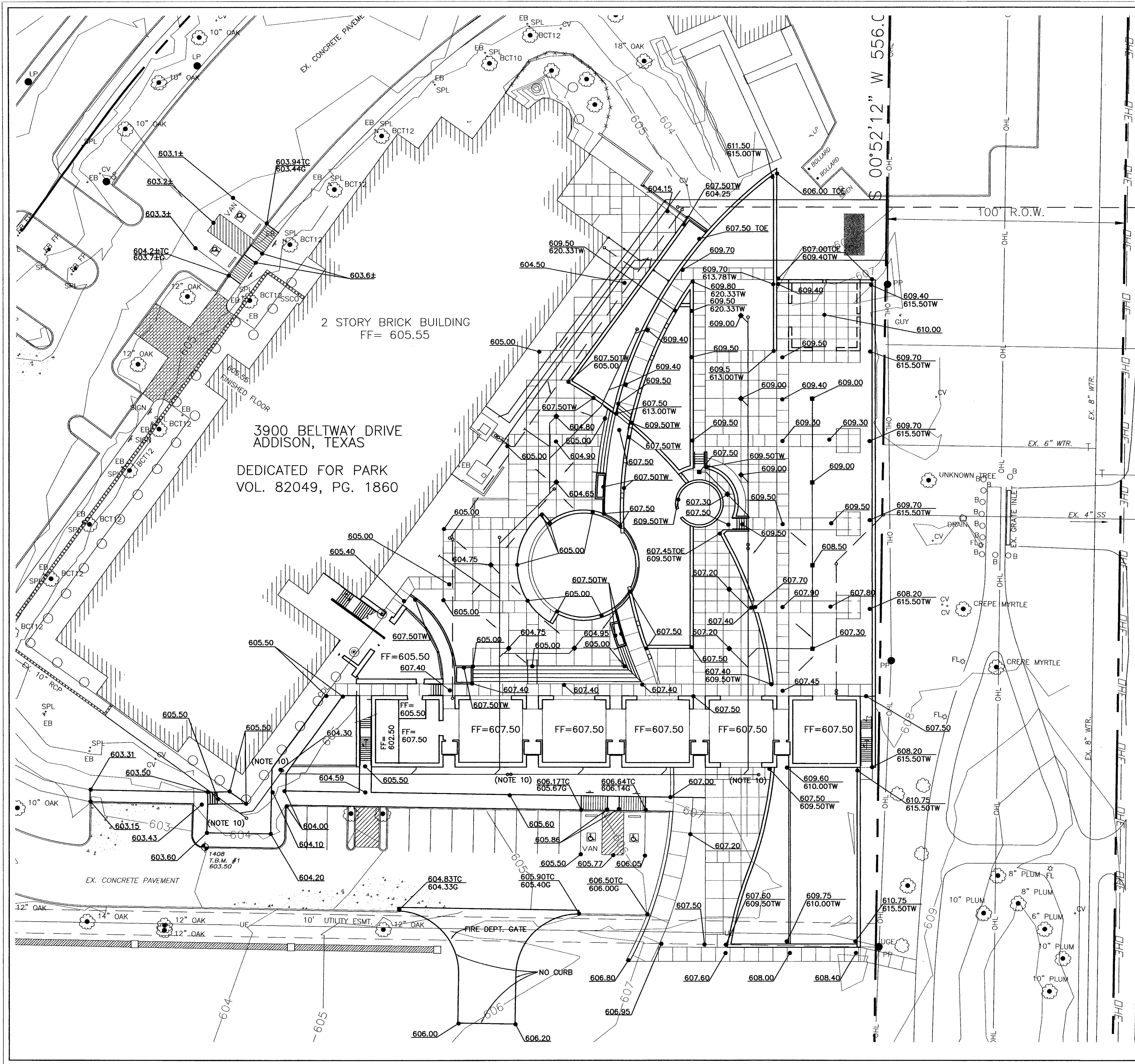


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**SITE PLAN - LEISURE POOL
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
ADDISON, TEXAS**

R-DELTA ENGINEERS, INC.
618 MAIN STREET GARLAND, TEXAS 75040
Phone (972) 494-5031 www.rdelta.com

DESIGN: CTL	CHECK: JRP	SCALE: 1"=30'	3 of 11
DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	



GRADING NOTES:

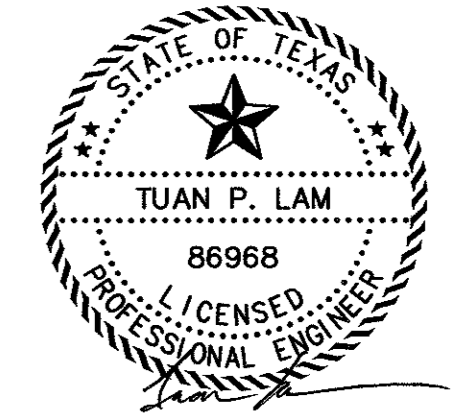
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN AND APPROVED BY THE TOWN OF ADDISON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH TOWN STANDARDS, TEXAS LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HRS. PRIOR TO ANY EXCAVATION ALONG WITH EITHER DIG TESS 1-800-545-6005 OR LONE STAR NOTIFICATION 1-800-669-8344
- DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE BUILDING FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
- BACKFILL FOR UTILITY LINES SHOULD BE PLACED PER GEOTECHNICAL REPORT RECOMMENDATIONS. WHERE UTILITY LINES PASS THROUGH THE PARKING LOT, THE TOP 6" SHOULD BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHOULD BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
- ALL PROPOSED SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS FOUND IN THE GEOTECHNICAL REPORT PREPARED BY FURGO SOUTH, INC., # 0701-1049, DATED APRIL 26, 2001.
- SET ALL CLEANOUT TOPS FLUSH WITH FINISHED GRADE.

LEGEND:

- * Light Bollard
 - Proposed Manhole
 - Existing Manhole
 - Area Drain
 - Cleanout
 - PK Nail
 - Water Meter
 - Telephone Riser
 - Electric Box
 - Signal Box
 - ↑ Sign
 - ⊥ Water Valve
 - ◇ Fire Hydrant
 - Bush/Shrub
- 607.80 TOP PAVEMENT
 607.50TC TOP CURB
 607.00G GUTTER
 607.50TOE TOE OF WALL
 609.50TW TOP OF WALL

BENCH MARKS:

- T.B.M. #1
 SQUARE CUT IN THE NORTH CURB, 34'± SOUTH OF THE SOUTHEAST CORNER OF THE EXISTING BUILDING.
 ELEVATION..... 603.50
 N: 5865.8609
 E: 6716.7591
- T.B.M. #2
 SQUARE CUT ON THE SOUTH 10' CURB INLET OF MORMAN LANE, 125'± WEST OF THE CENTERLINE OF SOPRAS CIRCLE AND MORMON LANE.
 ELEVATION..... 607.84
 N: 5990.5190
 E: 7128.7696
- T.B.M. #3
 SQUARE CUT ON THE NORTHWEST CORNER OF TXU ELECTRIC TOWER, ON ON THE PARKING LOT AND 35'± EAST OF THE EXISTING FIRE STATION.
 ELEVATION..... 605.23
 N: 6266.8409
 E: 7045.2937

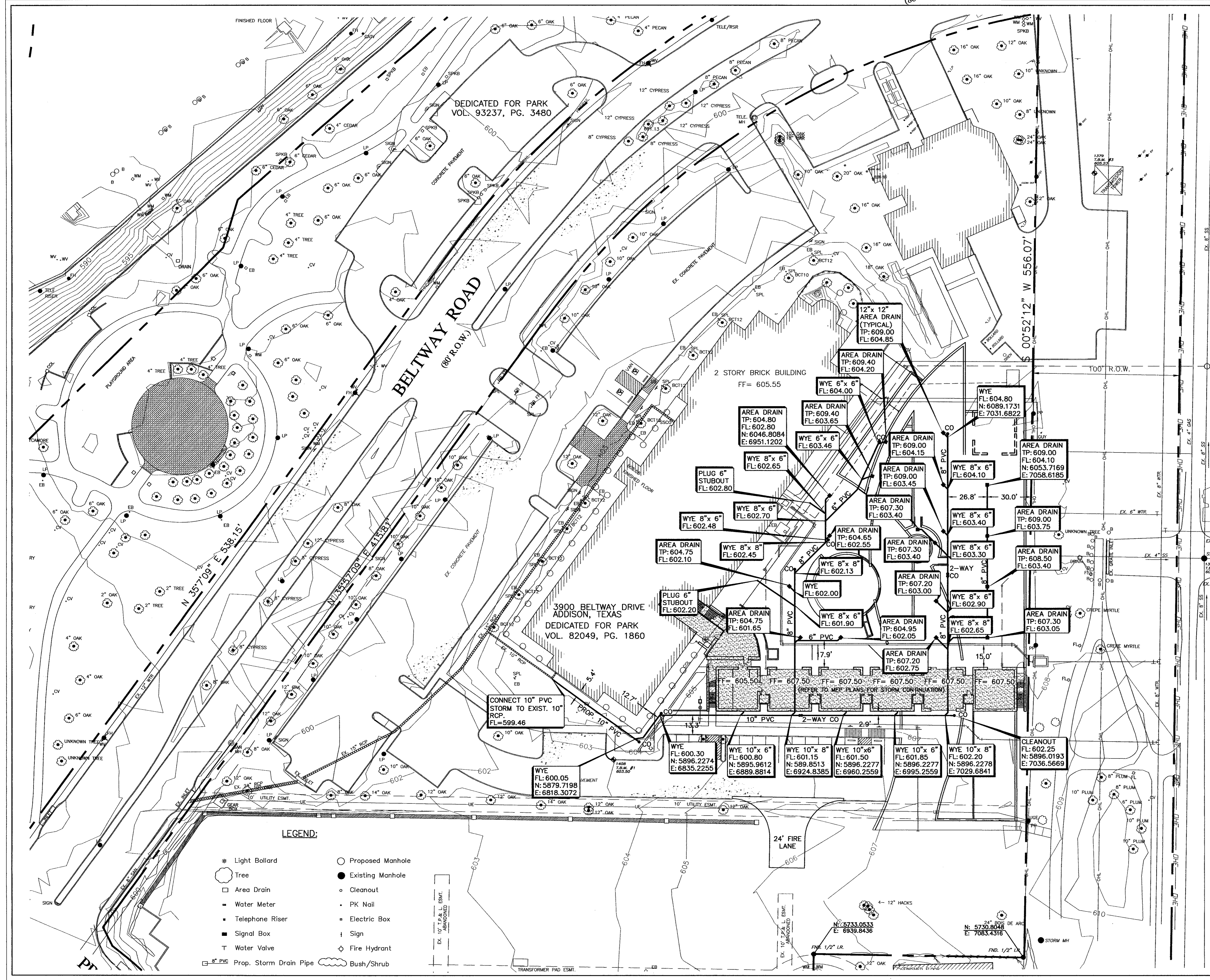


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**GRADING PLAN
 ADDISON ATHLETIC CLUB
 EXPANSION & LEISURE POOL
 ADDISON, TEXAS**

R-DELTA ENGINEERS, INC.
 618 MAIN STREET GARLAND, TEXAS 75040
 Phone (972) 494-5031 www.rdelta.com

DESIGN: CTL	CHECK: JRP	SCALE: 1"=20'	4 of 11
DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	

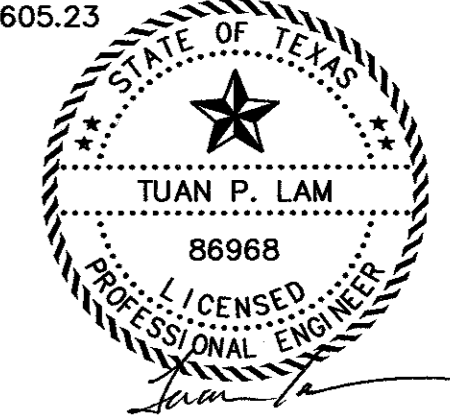


DRAINAGE NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO STANDARD CONSTRUCTION SPECIFICATIONS OF N.C.T.C.O.G., LATEST EDITION & THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS; EXCEPT AS NOTED HEREIN.
2. ALL STORM SEWER PIPE 18" AND LARGER SHALL BE CLASS III RCP. ALL STORM SEWER PIPE 15" AND SMALLER SHALL BE SDR-35 PVC, ADS N-12 PIPE OR APPROVED EQUAL.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH TOWN STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
4. CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL BE 3600 PSI AT 28 DAYS.
5. CONSTRUCTION SHALL BEGIN AT DOWNSTREAM END OF PROJECT AND CONTINUE UPSTREAM WITH PIPE GROOVES FACING UPSTREAM.
6. CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
7. THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
8. IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET FOOT OF TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE FILLED WITH BACKFILLED MATERIAL PER GEOTECHNICAL REPORT RECOMMENDATIONS.
9. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION RELATED TO OTHER UTILITY CONSTRUCTION.
10. ALL TRENCH BACKFILL FOR STORM SEWER SHALL BE COMPACTED AS REQUIRED BY THE TOWN OF ADDISON CONSTRUCTION STANDARDS AND SPECIFICATIONS & N.C.T.C.O.G.
11. REFER TO LANDSCAPE PLAN FOR AREA DRAINAGE MANUFACTURE & DETAILS.

BENCH MARKS:

- T.B.M. #1**
 SQUARE CUT IN THE NORTH CURB, 34'± SOUTH OF THE SOUTHEAST CORNER OF THE EXISTING BUILDING.
 ELEVATION..... 603.50
 N: 5865.8609
 E: 6716.7591
- T.B.M. #2**
 SQUARE CUT ON THE SOUTH 10' CURB INLET OF MORMAN LANE, 125'± WEST OF THE CENTERLINE OF SOPRAS CIRCLE AND MORMON LANE.
 ELEVATION..... 607.84
 N: 5990.5190
 E: 7128.7696
- T.B.M. #3**
 SQUARE CUT ON THE NORTHWEST CORNER OF TXU ELECTRIC TOWER, ON ON THE PARKING LOT AND 35'± EAST OF THE EXITING FIRE STATION.
 ELEVATION..... 605.23
 N: 6266.8409
 E: 7045.2937



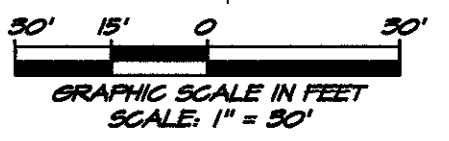
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ALTERATION O.E. 86968 ON 02-22-22. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

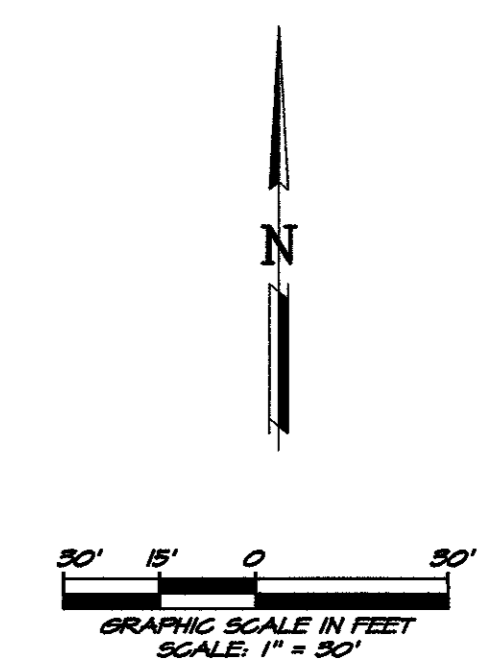
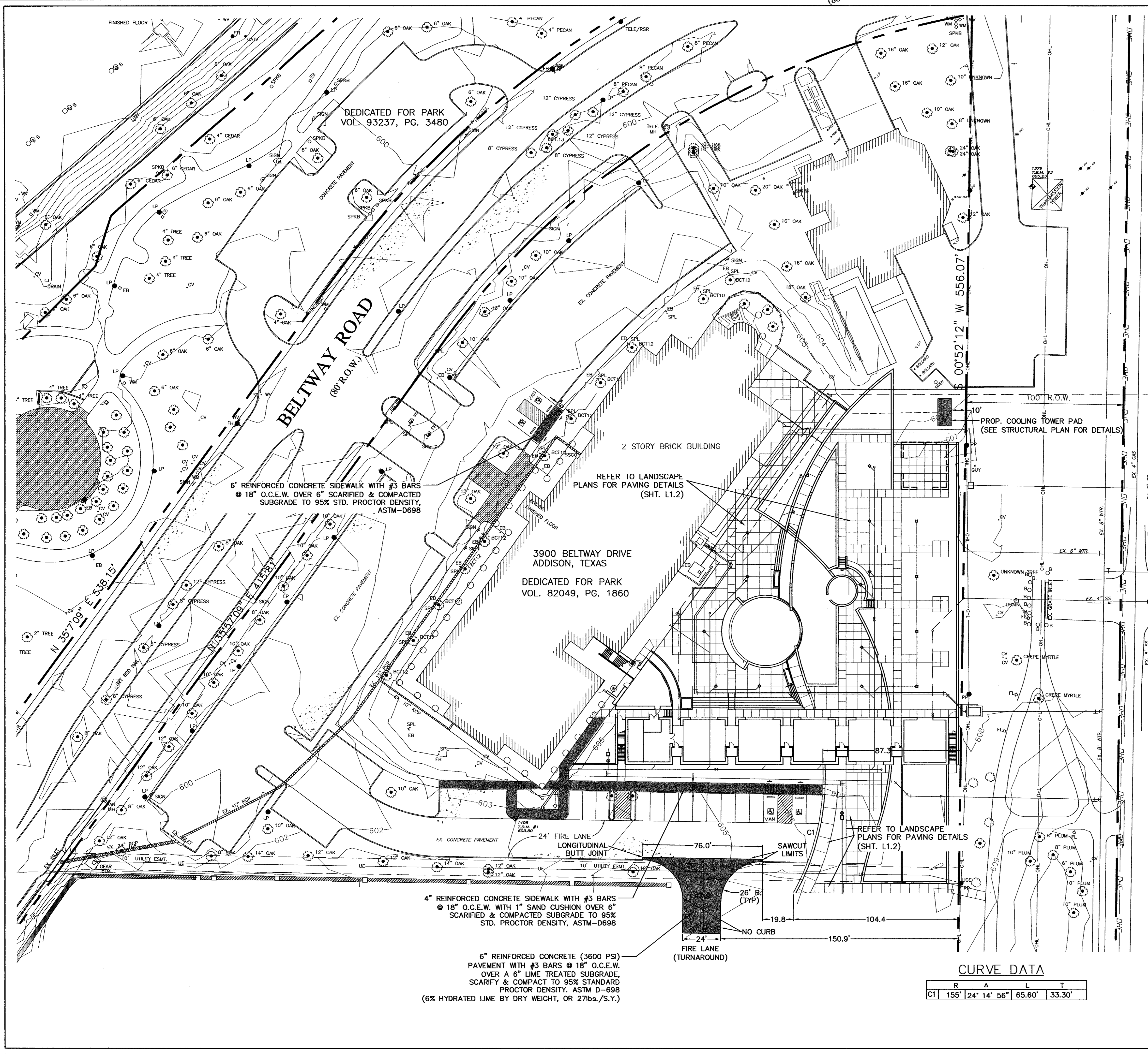
STORM SEWER PLAN
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
 ADDISON, TEXAS

R-DELTA ENGINEERS, INC.
 618 MAIN STREET GARLAND, TEXAS 75040
 Phone (972) 494-5031 www.rdelta.com

DESIGN: CTL	CHECK: JRP	SCALE: 1"=30'	5 of 11
DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	

- LEGEND:**
- * Light Bollard
 - Tree
 - Area Drain
 - Water Meter
 - Telephone Riser
 - Signal Box
 - T Water Valve
 - 8" PVC Prop. Storm Drain Pipe
 - Proposed Manhole
 - Existing Manhole
 - Cleanout
 - PK Nail
 - Electric Box
 - Sign
 - ◇ Fire Hydrant
 - Bush/Shrub





PAVING NOTES

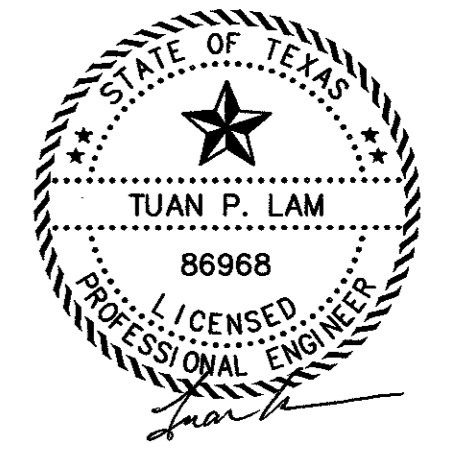
1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND NCTCOG, LATEST EDITION, AND THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
4. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE UTILITY CONTRACTOR TO INSURE ALL CONDUITS FOR IRRIGATION, ELECTRICAL WATER AND SEWER HAVE BEEN INSTALLED PRIOR TO PLACEMENT OF PERMANENT PAVING. REFER TO LANDSCAPE AND MEP PLANS FOR LOCATION AND SIZE OF PROPOSED CONDUITS.
5. ALL PAVING AND EARTHWORK OPERATIONS SHALL COMPLY WITH THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT, PREPARED BY FUGRO SOUTH INC. REPORT #0701-1049 DATED 4-26-01.
6. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 PSI FOR PAVEMENT, AND CURBS IN 28 DAYS. SIDEWALKS (3000 PSI).
7. CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS.

LEGEND:

- * Light Bollard
- Tree
- Area Drain
- Proposed Manhole
- Existing Manhole
- Cleanout
- Water Meter
- PK Nail
- Telephone Riser
- Electric Box
- Signal Box
- Sign
- T Water Valve
- Fire Hydrant
- Bush/Shrub

BENCH MARKS:

- T.B.M. #1
 SQUARE CUT IN THE NORTH CURB, 34'± SOUTH OF THE SOUTHEAST CORNER OF THE EXISTING BUILDING.
 ELEVATION..... 603.50
 N: 5865.8609
 E: 6716.7591
- T.B.M. #2
 SQUARE CUT ON THE SOUTH 10' CURB INLET OF MORMAN LANE, 125'± WEST OF THE CENTERLINE OF SOPRAS CIRCLE AND MORMON LANE.
 ELEVATION..... 607.84
 N: 5990.5190
 E: 7128.7696



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 2/22/02. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PAVING PLAN
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
 ADDISON, TEXAS

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 618 MAIN STREET GARLAND, TEXAS 75040
 Phone (972) 494-5031 www.rdelta.com

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DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	

CURVE DATA

R	Δ	L	T
C1	155'	24' 14' 56"	65.60' 33.30'

6" REINFORCED CONCRETE SIDEWALK WITH #3 BARS @ 18" O.C.E.W. WITH 1" SAND CUSHION OVER 6" SCARIFIED & COMPACTED SUBGRADE TO 95% STD. PROCTOR DENSITY, ASTM-D698

6" REINFORCED CONCRETE (3600 PSI) PAVEMENT WITH #3 BARS @ 18" O.C.E.W. OVER A 6" LIME TREATED SUBGRADE, SCARIFY & COMPACT TO 95% STANDARD PROCTOR DENSITY, ASTM D-698 (6% HYDRATED LIME BY DRY WEIGHT, OR 27lbs./S.Y.)

6" REINFORCED CONCRETE SIDEWALK WITH #3 BARS @ 18" O.C.E.W. OVER 6" SCARIFIED & COMPACTED SUBGRADE TO 95% STD. PROCTOR DENSITY, ASTM-D698

3900 BELTWAY DRIVE
 ADDISON, TEXAS
 DEDICATED FOR PARK
 VOL. 82049, PG. 1860

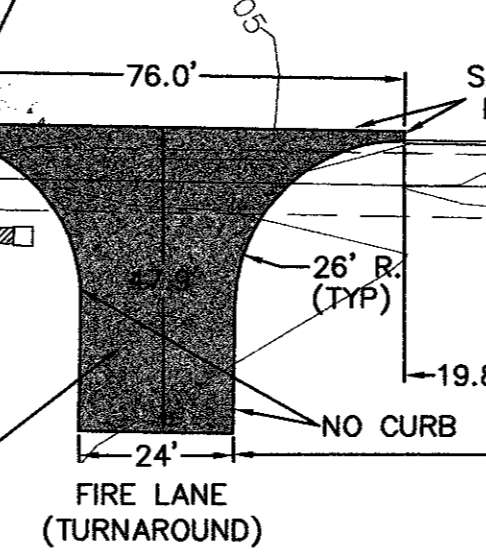
DEDICATED FOR PARK
 VOL. 93237, PG. 3480

REFER TO LANDSCAPE PLANS FOR PAVING DETAILS (SHT. L1.2)

REFER TO LANDSCAPE PLANS FOR PAVING DETAILS (SHT. L1.2)

PROP. COOLING TOWER PAD
 (SEE STRUCTURAL PLAN FOR DETAILS)

2 STORY BRICK BUILDING



FIRE LANE (TURNAROUND)

SAWCUT LIMITS

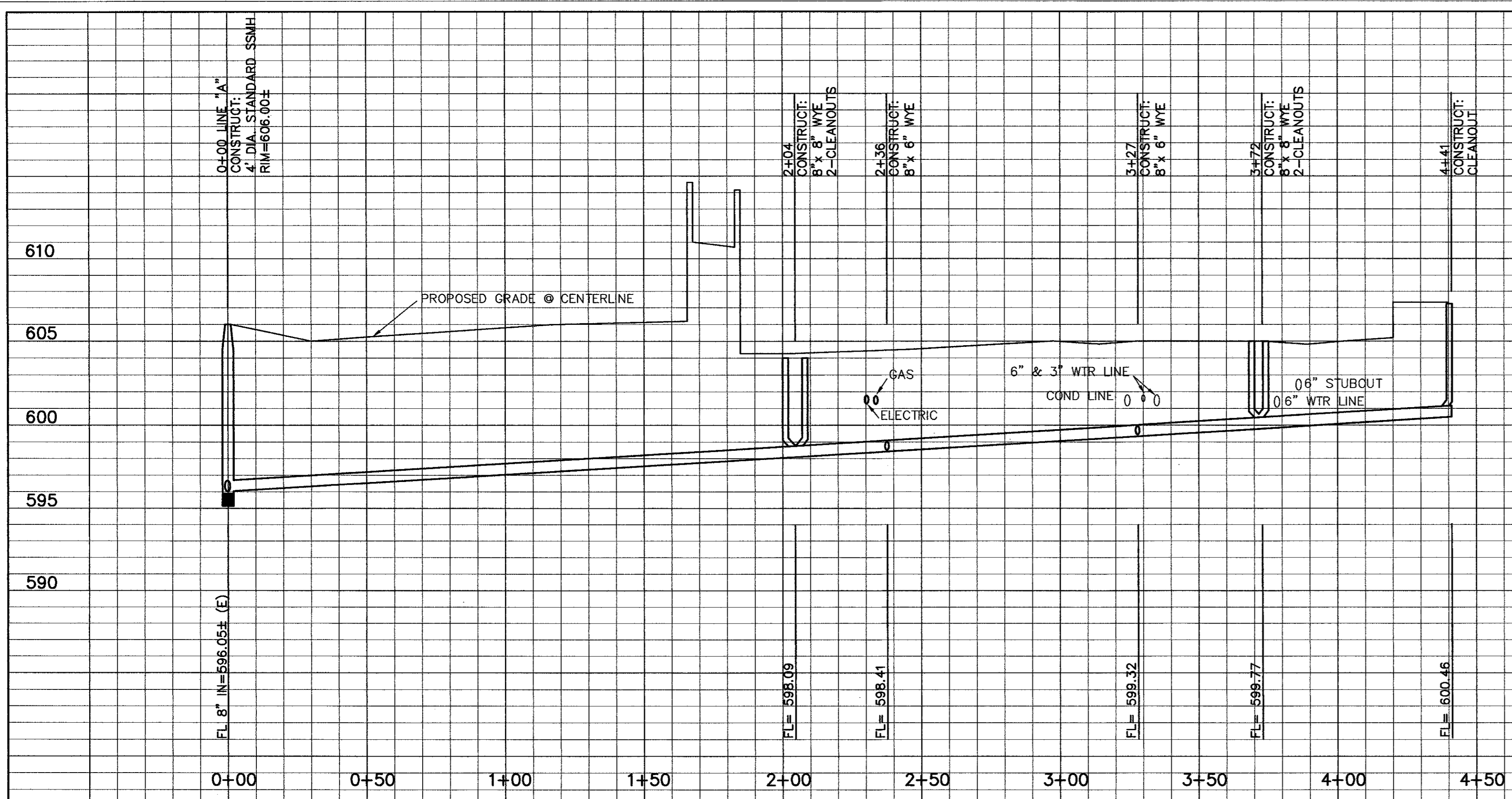
NO CURB

26" R. (TYP)

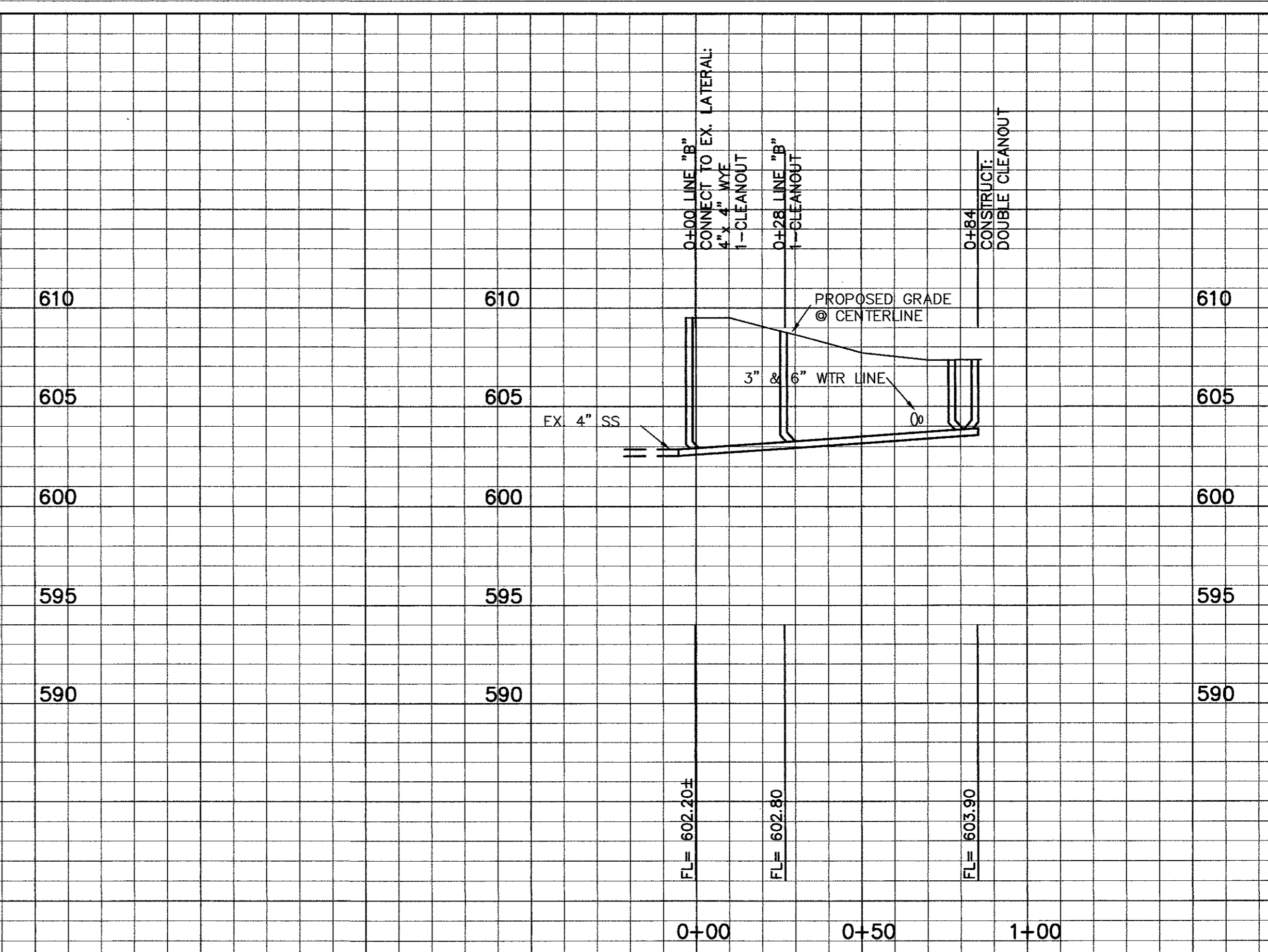
19.8'

104.4'

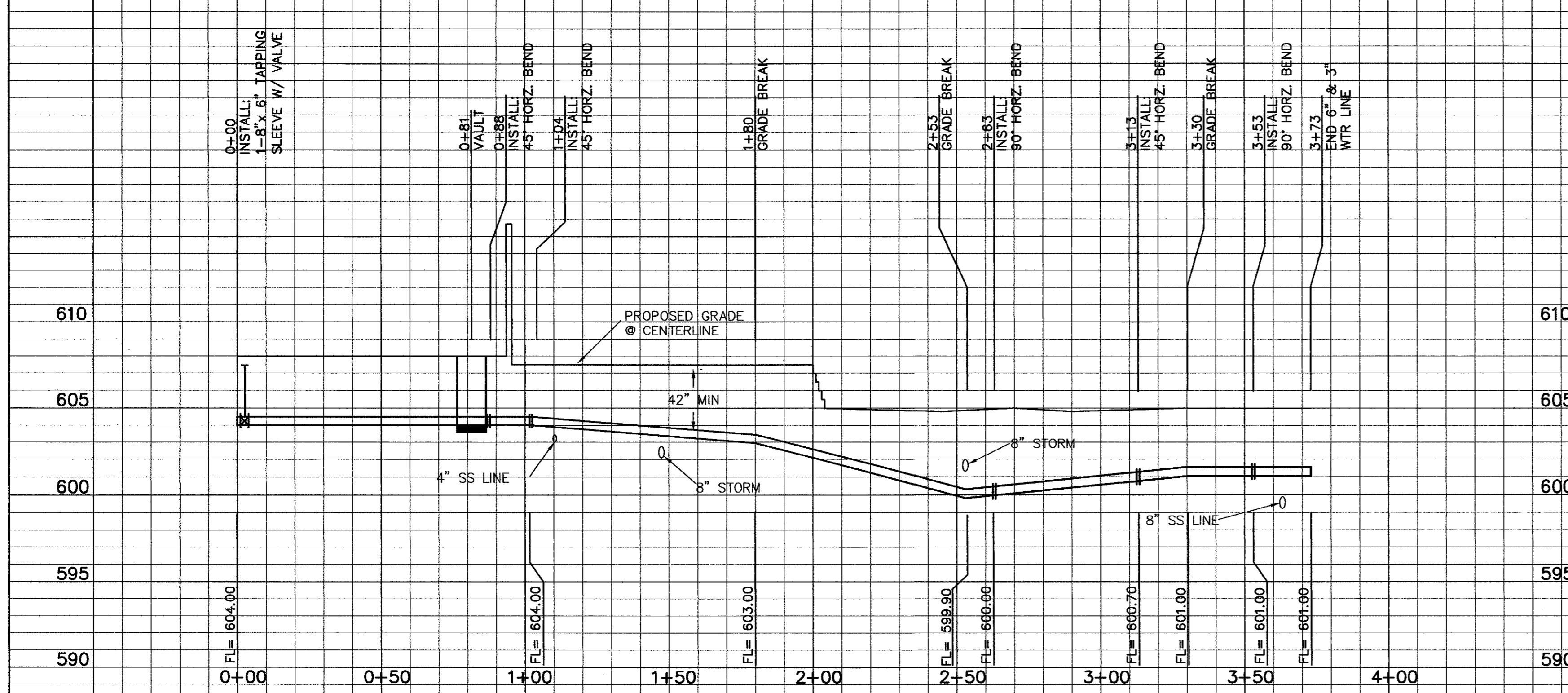
150.9'



PROPOSED 8" SANITARY SEWER (LINE "A")
SCALE: H=30', V=5"

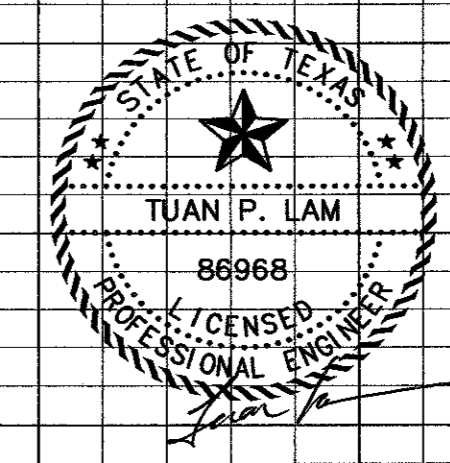


PROPOSED 4" SANITARY SEWER (LINE "B")
SCALE: H=30', V=5"



PROP. 6" WTR LINE "C"
SCALE: H=30', V=5"

- BENCH MARKS:**
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SQUARE CUT ON THE NORTHWEST CORNER OF TXU ELECTRIC TOWER, ON THE PARKING LOT AND 35'± EAST OF THE EXISTING FIRE STATION.
ELEVATION..... 605.23
N: 6266.8409
E: 7045.2937



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UTILITY PROFILE
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
ADDISON, TEXAS

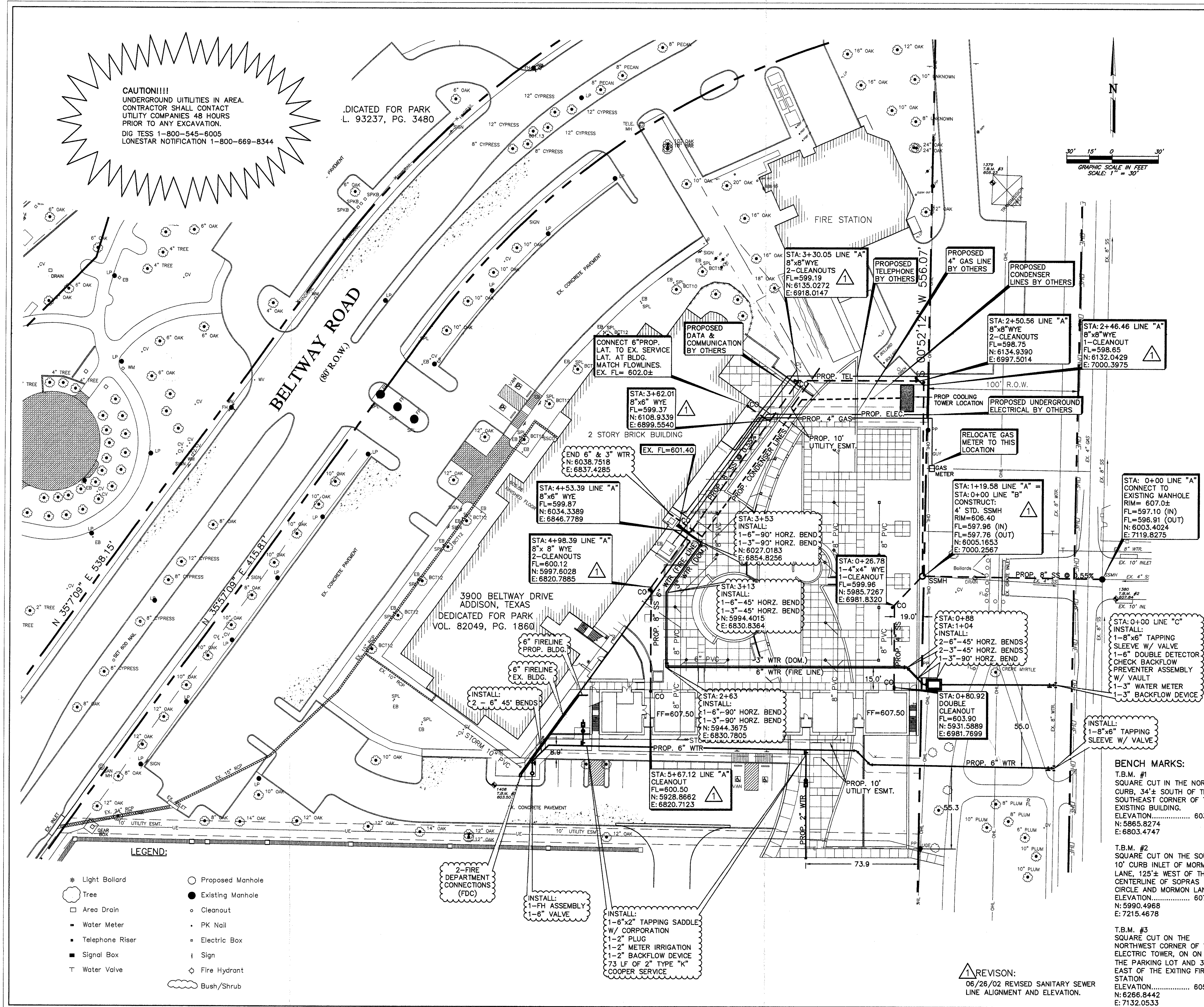
R-DELTA ENGINEERS, INC.
618 MAIN STREET GARLAND, TEXAS 75040
Phone (972) 494-5031 www.rdelta.com

DESIGN: CTL	CHECK: JRP	SCALE: NOTED	7A of 11
DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	

ISSUE DATE	FEB. 20, 2002
REVISIONS	

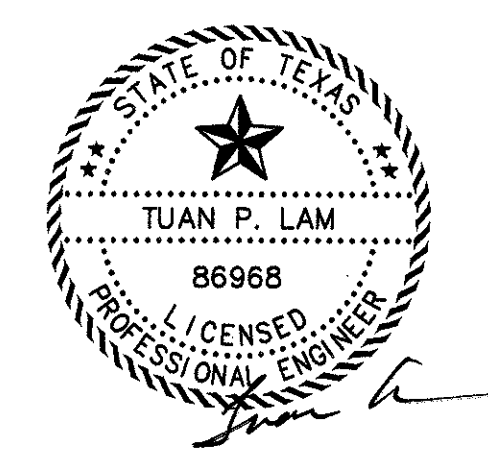
ADDISON ATHLETIC CLUB EXPANSION AND LEISURE POOL
 ADDISON, TEXAS

RON HOBBS ARCHITECTS
 614 W. MAIN ST. SUITE #200 GARLAND, TEXAS 75040
 (972) 494-0774 FAX (972) 494-0722



CAUTION!!!
 UNDERGROUND UTILITIES IN AREA.
 CONTRACTOR SHALL CONTACT
 UTILITY COMPANIES 48 HOURS
 PRIOR TO ANY EXCAVATION.
 DIG TESS 1-800-545-6005
 LONESTAR NOTIFICATION 1-800-669-8344

- WATER & SANITARY SEWER NOTES:**
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO STANDARD CONSTRUCTION SPECIFICATIONS OF N.C.T.C.O.G., LATEST EDITION & THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH TOWN STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
 - THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
 - ANY WATER & SANITARY SEWER INSTALLED OUTSIDE OF AN EASEMENT SHALL BE INSTALLED BY A LICENSED PLUMBER AND INSPECTED BY CODE ENFORCEMENT.
 - BACKFILL FOR UTILITY LINES SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITH 0 TO +3 OPT. MOISTURE. BACKFILL SHALL BE IN 8" MAX. LOOSE LIFTS, NO ROCKS OR CLODS GREATER THAN 3" DIAMETER, WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6" SHOULD BE COMPACTED SIMILARLY TO THE REMAINDER OF THE PARKING LOT.
 - IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET FOOT OF TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE FILLED WITH BACKFILLED MATERIAL PER GEOTECHNICAL REPORT RECOMMENDATIONS.
 - ALL WATER LINES SHALL MEET AWWA C900-75, PVC PRESSURE PIPE, PC 150.
 - ALL DUCTILE IRON FITTINGS SHALL BE OF THE MECHANICAL JOINT TYPE AND SHALL BE CLASS D, OR CLASS 250 ON SIZES 12" AND SMALLER IN ACCORDANCE WITH AWWA SPECIFICATION C-110-64 AND C-111-64. ALL FITTINGS WILL BE POLYWRAPPED (SMIL).
 - ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42" OR SUFFICIENT COVER TO CLEAR OTHER UTILITIES AS MEASURED FROM TOP OF PIPE TO EXISTING GROUND LEVEL OR FINISHED GRADE, WHICHEVER IS GREATER.
 - FIRE HYDRANTS SHALL BE PLACED 3' FROM BACK OF CURB LOCATED AS SHOWN ON THE PLANS. GRADE-LOK HYDRANT LEAD.
 - FIRE HYDRANTS SHALL BE TOWN APPROVED.
 - ALL GATE VALVES SHALL BE TOWN APPROVED.
 - ALL WATER AND SANITARY MAINS AND SERVICES SHALL HAVE A 10' MIN. LATERAL SEPARATION. ALL WATER AND SEWER CROSSINGS SHALL COMPLY WITH TEXAS NATURAL RESOURCE CONSERVATION COMMISSION REG.
 - CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, FIRE HYDRANTS, AND BENDS PER TOWN OF ADDISON STANDARDS. PAYMENT FOR CONCRETE BLOCKING SHALL BE SUBSIDIARY TO PIPE INSTALLATION AND SHALL BE INCLUDED IN THE BID PRICE THEREOF IN ADDITION TO RESTRAINING GLANDS - "MEGA-LUG" OR APPROVED EQUAL.
 - EMBEDMENT PVC WATER MAIN SHALL COMPLY WITH THE TOWN DETAILS AND SPECIFICATIONS.
 - ALL WATER METERS TO BE PLACED IN A NON-TRAFFIC AREA.
 - FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
 - SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED OF CAST-IN-PLACE CONCRETE WITH CAST IRON RING AND COVER PER TOWN OF ADDISON DETAILS.
 - THE SLOPE FOR SANITARY SEWER LATERALS SHALL BE 2% OR 1/4" PER FOOT, OR AS SHOWN ON PLANS.
 - REFER TO MECHANICAL PLANS FOR EXACT WATER AND SEWER SERVICE LOCATIONS.
 - ALL SANITARY SEWER LINES SHALL MEET ASTM-D 3034, PVC SEWER PIPE DR35 OVER 10" IN DEPTH, USE ASTM D 2241, PVS PIPE, SDR26 (160). PIPE SHALL HAVE INTERGRAL WALL BELL AND SPIGOT JOINTS.
 - ALL WATER SERVICES SHALL BE TYPE "K" COPPER PIPE.



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 A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO
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WATER & SANITARY SEWER PLAN
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
 ADDISON, TEXAS

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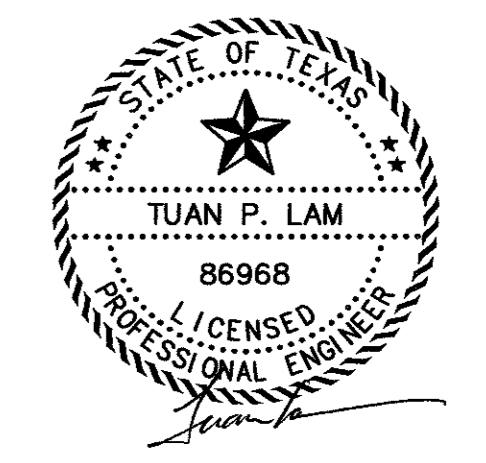
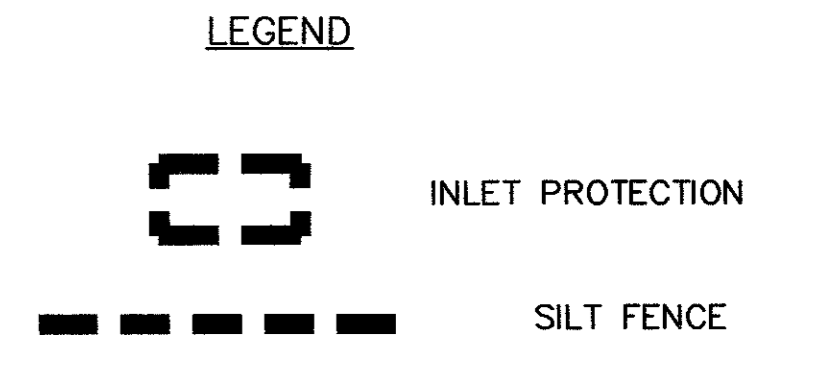
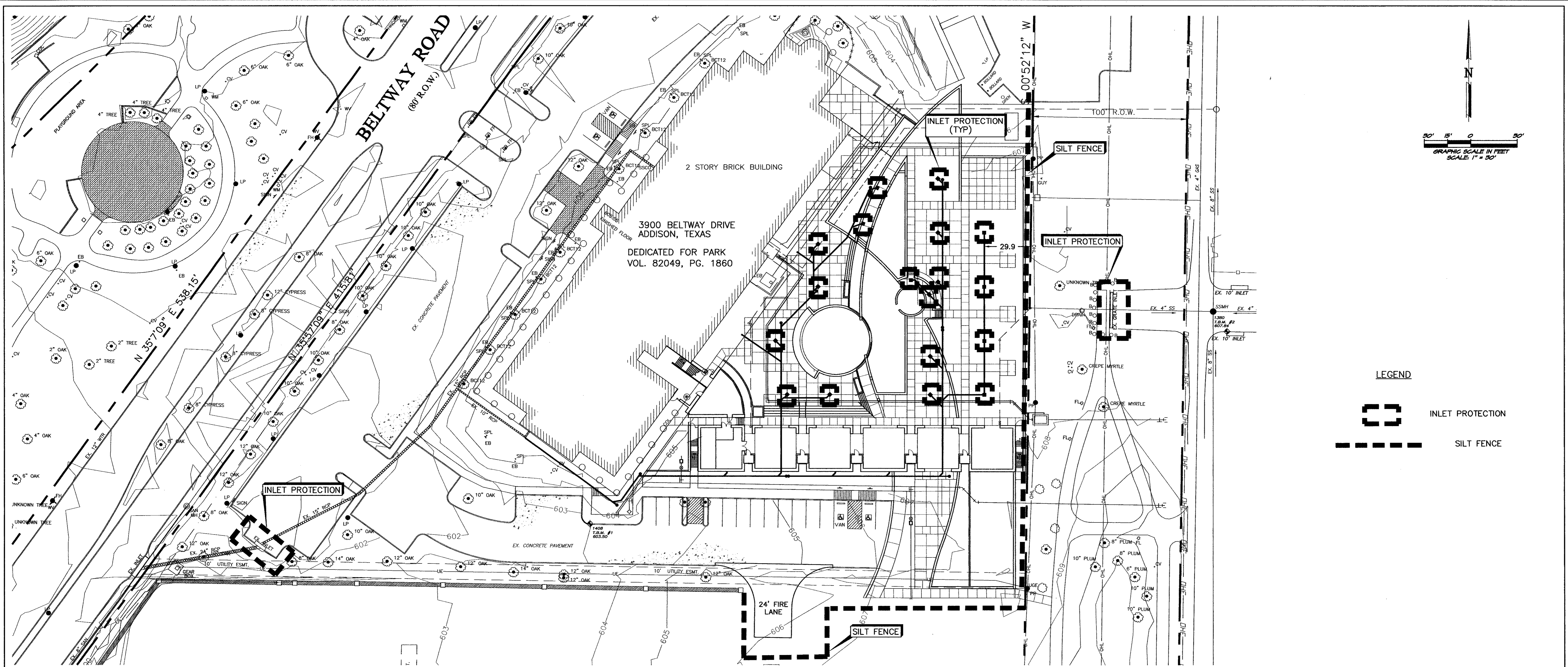
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REVISION:
 06/26/02 REVISED SANITARY SEWER
 LINE ALIGNMENT AND ELEVATION.

LEGEND:

Light Bollard	Proposed Manhole
Tree	Existing Manhole
Area Drain	Cleanout
Water Meter	PK Nail
Telephone Riser	Electric Box
Signal Box	Sign
Water Valve	Fire Hydrant
	Bush/Shrub

JOB NUMBER	0012
SHEET NAME	WATER & SANITARY SEWER PLAN
SHEET NUMBER	C107



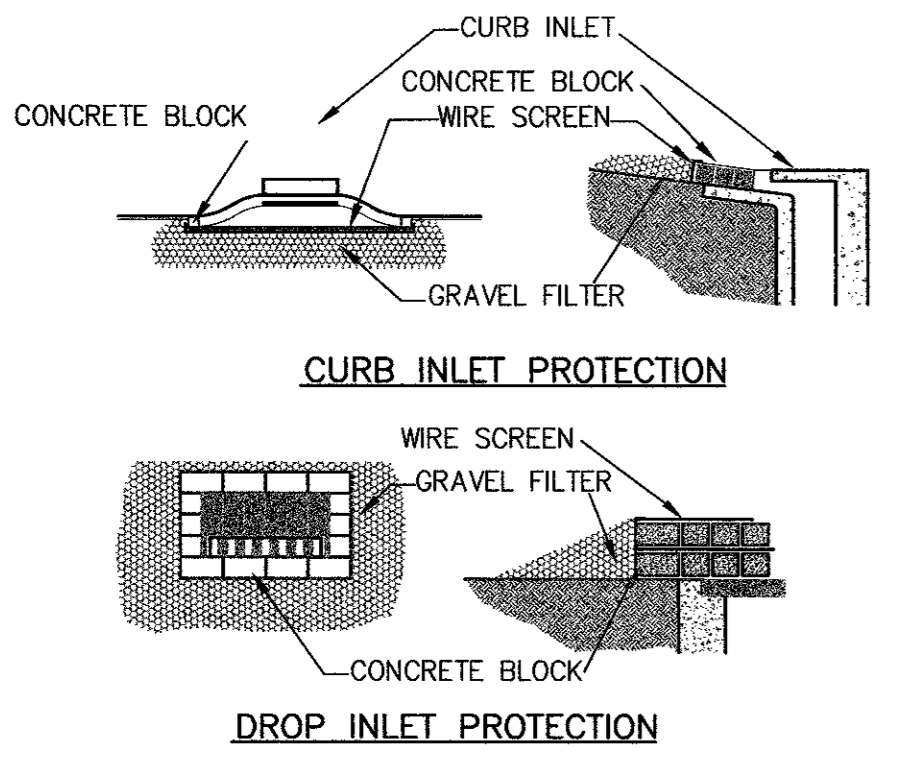
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EROSION CONTROL PLAN
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
 ADDISON, TEXAS

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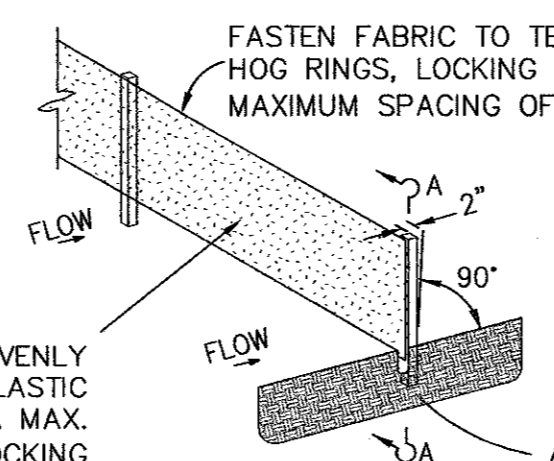
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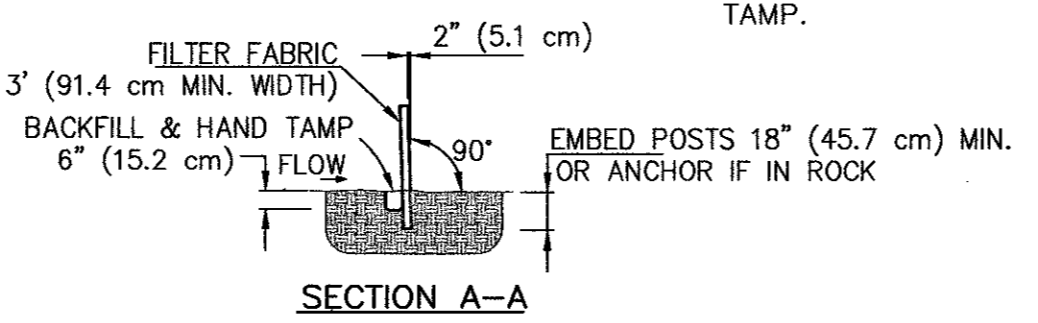


BLOCK AND GRAVEL PROTECTION CONCRETE BLOCKS ARE TO BE PLACED ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET. WITH ENDS ABUTTING. OPENING IN THE BLOCKS SHOULD FACE OUTWARD, NOT UPWARD. WIRE MESH SHALL THEN BE PLACED OVER THE OUTSIDE FACE OF THE BLOCKS COVERING THE HOLES. FILTER STONE SHALL THEN BE PILED AGAINST THE WIRE MESH TO THE TOP OF THE BLOCKS WITH THE BASE OF THE STONE BEING A MINIMUM OF 18 INCHES FROM THE BLOCKS. PERIODICALLY, WHEN THE STONE FILTER BECOMES CLOGGED, THE STONE MUST BE REMOVED AND CLEANED IN A PROPER MANNER OR REPLACED WITH NEW STONE AND PILED BACK AGAINST THE WIRE MESH.

4' (1.2 m) MIN. STEEL OR WOOD POSTS SPACED AT 5' (1.8 m) TO 8' (2.4 m) SOFTWOOD POSTS SHALL BE 3" (7.6 cm) MIN. IN. DIA. OR NOMINAL 2"x4" (5.1 cm x 10.2 cm). HARDWOOD POSTS SHALL HAVE A MIN. CROSS SECTION OF 1.5"x1.5" (3.8 cm x 3.8 cm).



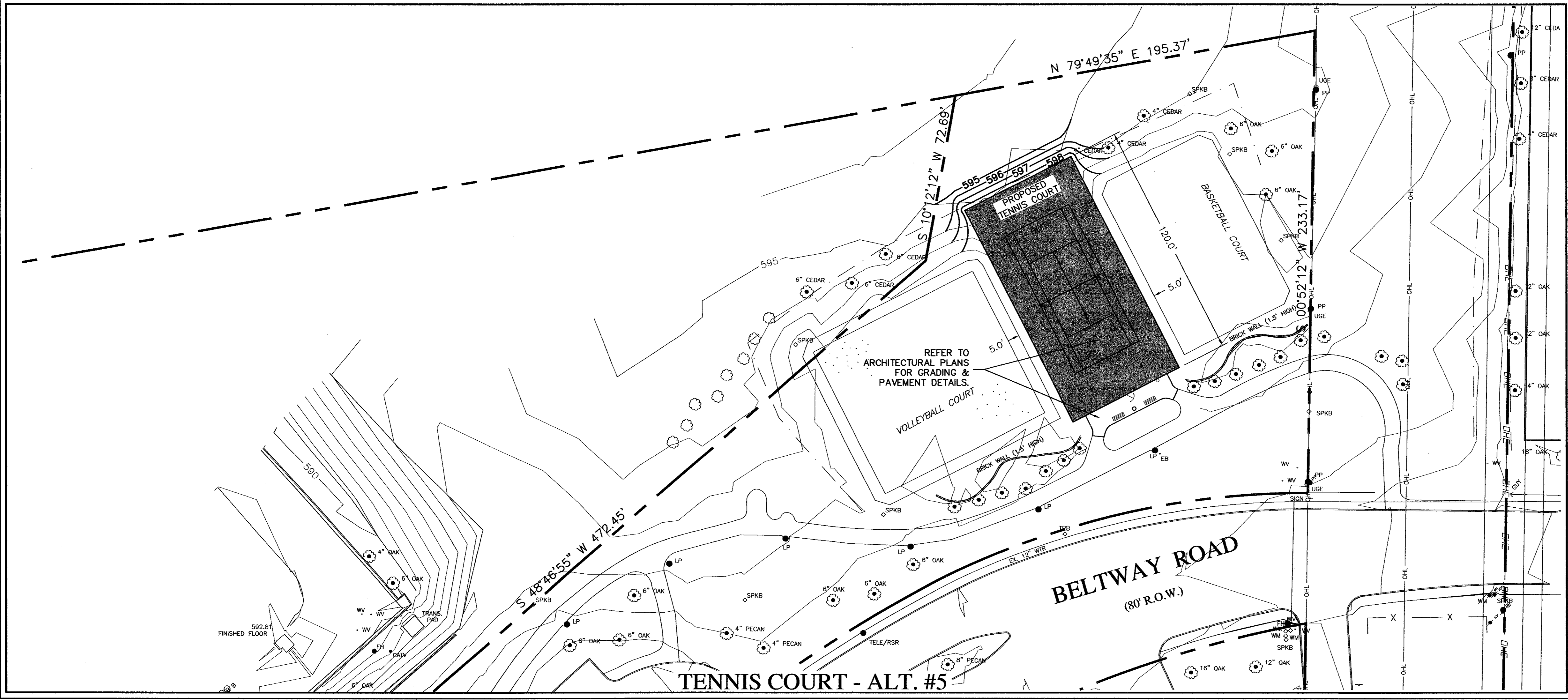
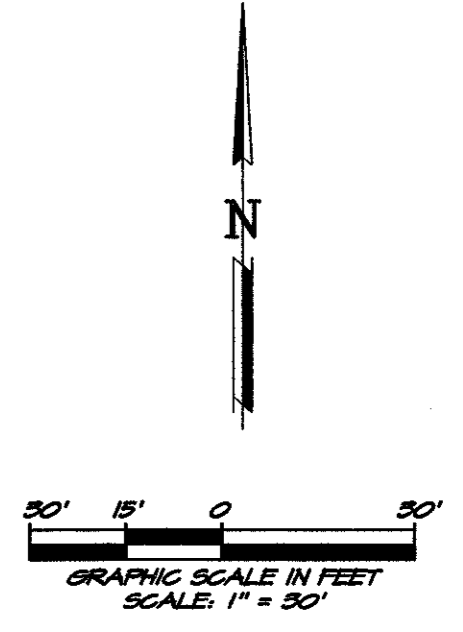
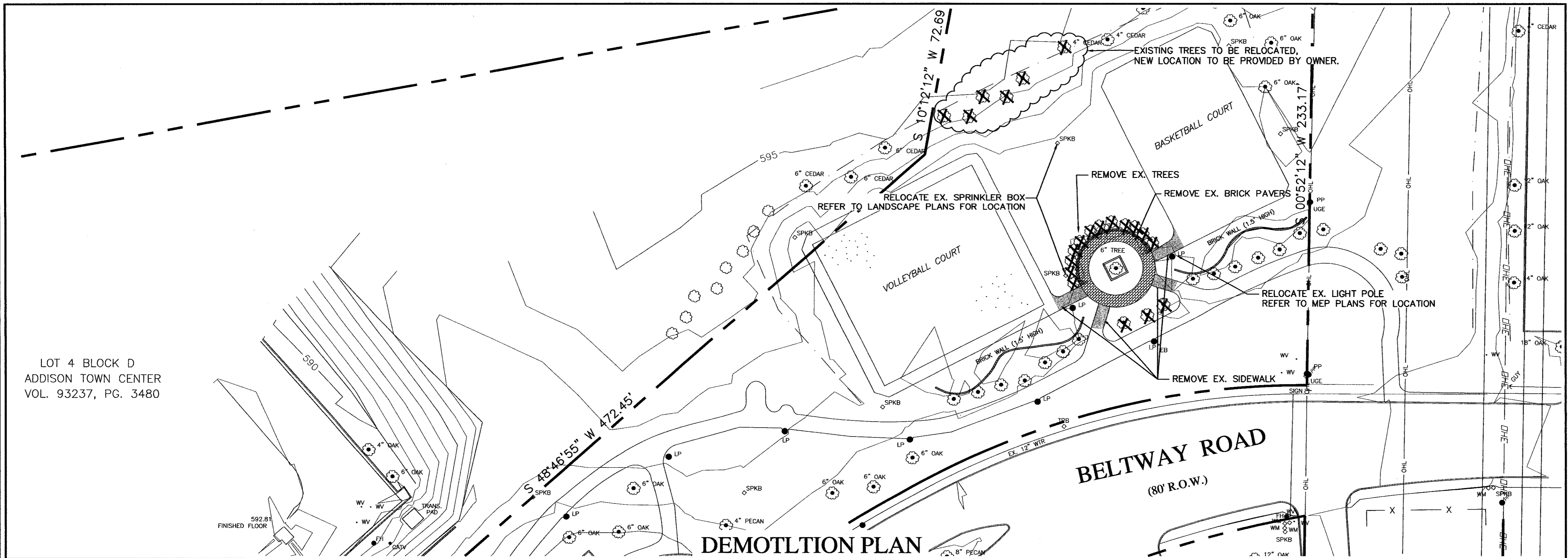
ATTACH THE WOVEN FABRIC USING EVENLY SPACED STAPLES OR LOCKING PLASTIC TIES FOR WOODEN POSTS AT A MAX. SPACING OF 6" (15.2 cm). USE LOCKING PLASTIC TIES OR SEWN VERTICAL POCKETS FOR STEEL POSTS AT SAME SPACING.



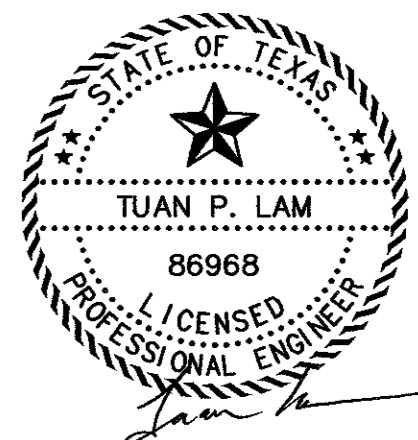
- CONSTRUCTION NOTES - SILT FENCE**
- POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF 18 INCHES.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
 - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - SILT FENCE SHALL BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE SUPPORT POST. THERE SHALL BE A 6 INCH DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 - INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

NOTES:

THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION OR POLLUTION CONTROL DEVICES AS REQUIRED DURING THE CONSTRUCTION PHASE IN ORDER TO COMPLETELY CONFORM TO THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY AND ALL OTHER AGENCIES HAVING JURISDICTION. CONTRACTOR AND OWNER SHALL FILE N.O.I. PER EPA REQUIREMENTS.



- LEGEND:**
- * Light Bollard
 - Proposed Manhole
 - Tree
 - Existing Manhole
 - Area Drain
 - o Cleanout
 - Water Meter
 - PK Nail
 - Telephone Riser
 - ▨ Electric Box
 - Signal Box
 - † Sign
 - T Water Valve
 - ◇ Fire Hydrant
 - 8" SS Sanitary Sewer Line
 - ~ Bush/Shrub
 - 6" WTR Water Line
 - E Underground Electric
 - 8" PVC Storm Drain Pipe
 - ✗ Ex. Tree To Be Removed

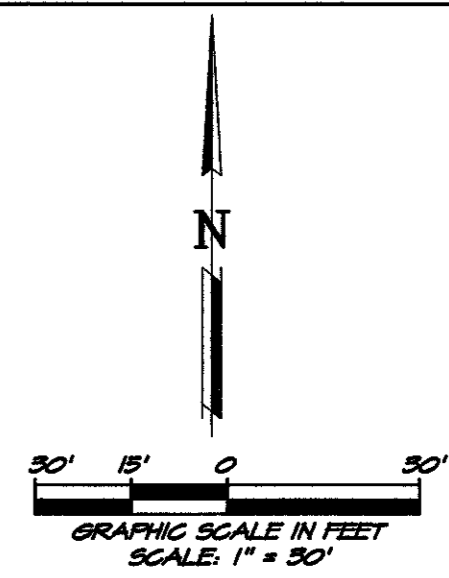
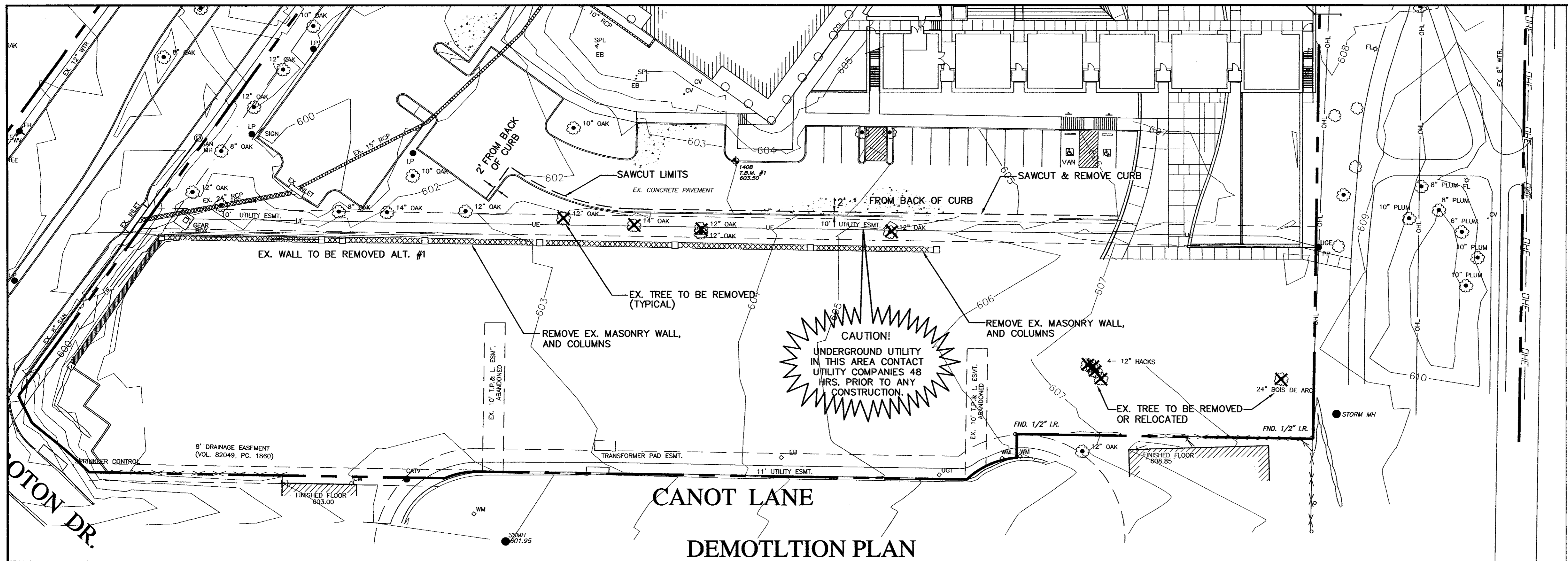


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TENNIS COURT ALT. # 5
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
ADDISON, TEXAS

R-DELTA ENGINEERS, INC.
618 MAIN STREET GARLAND, TEXAS 75040
Phone (972) 494-5031 www.rdelta.com

DESIGN: CTL	CHECK: JRP	SCALE: 1"=30'	9 of 11
DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	

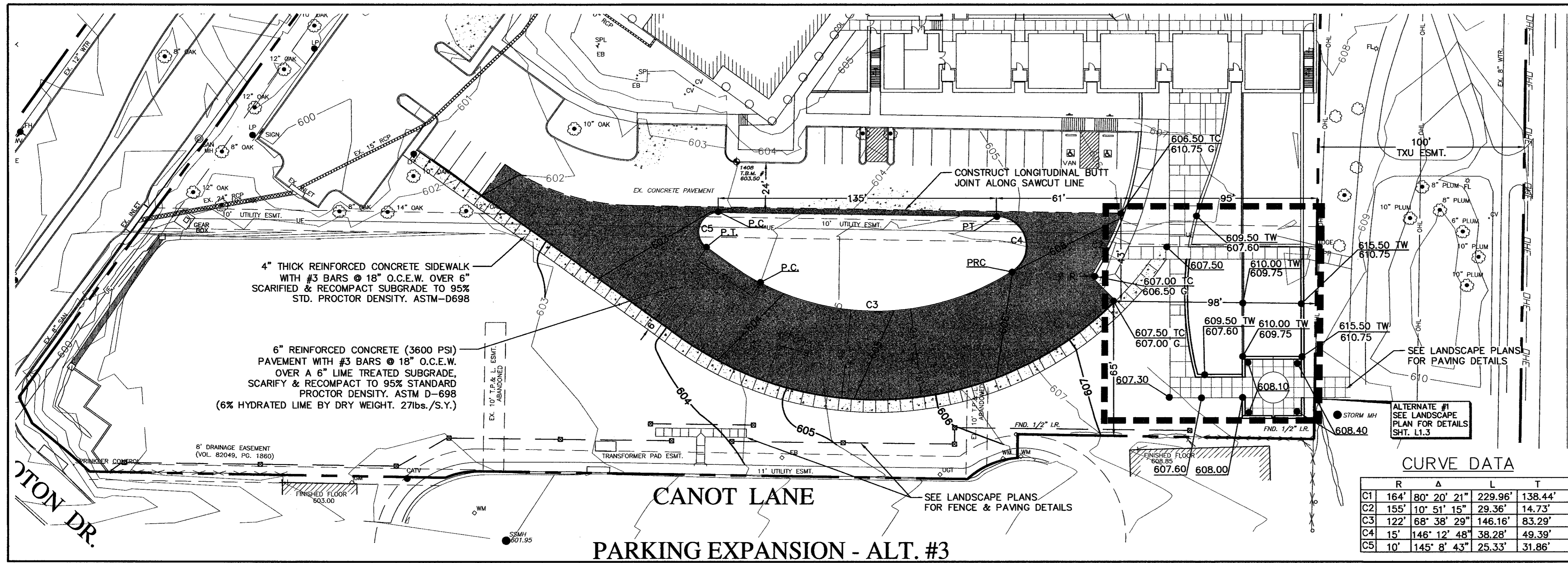


PAVING NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND N.C.T.C.O.G., LATEST EDITION, AND THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL THE APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
4. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE UTILITY CONTRACTOR TO INSURE ALL CONDUIT FOR IRRIGATION, ELECTRICAL WATER AND SEWER HAS BEEN INSTALLED PRIOR TO PLACEMENT OF PERMANENT PAVING. REFER TO LANDSCAPE AND MEP PLANS FOR LOCATION AND SIZE.
5. ALL PAVING AND EARTHWORK OPERATIONS SHALL COMPLY WITH THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT, PREPARED BY FUGRO SOUTH INC. REPORT #0701-1049 DATED 4-26-01.
6. TRAFFIC BARRICADES WILL BE REQUIRED FOR PAVING AND STORM SEWER CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN IN THE "1980 TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.
7. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 PSI FOR PAVEMENT, CURBS AND SIDEWALK IN 28 DAYS.
8. CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS AS SHOWN IN THE DRAWINGS. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS.

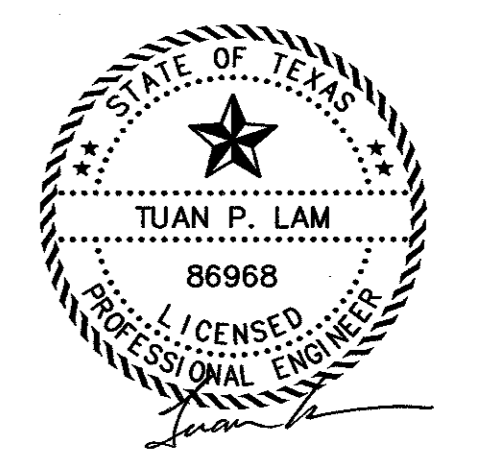
**CANOT LANE
DEMOTLTIION PLAN**

- LEGEND:**
- 609.50 TW TOP OF WALL
 - 609.50 TC TOP CURB
 - 609.50 G GUTTER
 - 609.50 TOP PAVEMENT
 - * Light Ballard
 - Tree
 - Area Drain
 - Water Meter
 - Telephone Riser
 - Signal Box
 - T Water Valve
 - 8" SS Sanitary Sewer Line
 - 6" WTR Water Line
 - 8" PVC Storm Drain Pipe
 - E Underground Electric
 - Ex. Tree To Be Removed Or Relocated By Others
 - Proposed Manhole
 - Existing Manhole
 - Cleanout
 - PK Nail
 - Electric Box
 - Sign
 - Fire Hydrant
 - Bush/Shrub
- BENCH MARKS:**
- T.B.M. #1
SQUARE CUT IN THE NORTH CURB, 34'± SOUTH OF THE SOUTHEAST CORNER OF THE EXISTING BUILDING. ELEVATION..... 603.50
N: 5865.8609
E: 6716.7591
 - T.B.M. #2
SQUARE CUT ON THE SOUTH 10' CURB INLET OF MORMAN LANE, 125'± WEST OF THE CENTERLINE OF SOPRAS CIRCLE AND MORMON LANE. ELEVATION..... 607.84
N: 5990.5190
E: 7128.7696
 - T.B.M. #3
SQUARE CUT ON THE NORTHWEST CORNER OF TXU ELECTRIC TOWER, ON ON THE PARKING LOT AND 35'± EAST OF THE EXISTING FIRE STATION. ELEVATION..... 605.23
N: 6266.8409
E: 7045.2937



CURVE DATA

	R	Δ	L	T
C1	164'	80° 20' 21"	229.96'	138.44'
C2	155'	10° 51' 15"	29.36'	14.73'
C3	122'	68° 38' 29"	146.16'	83.29'
C4	15'	146° 12' 48"	38.28'	49.39'
C5	10'	145° 8' 43"	25.33'	31.86'

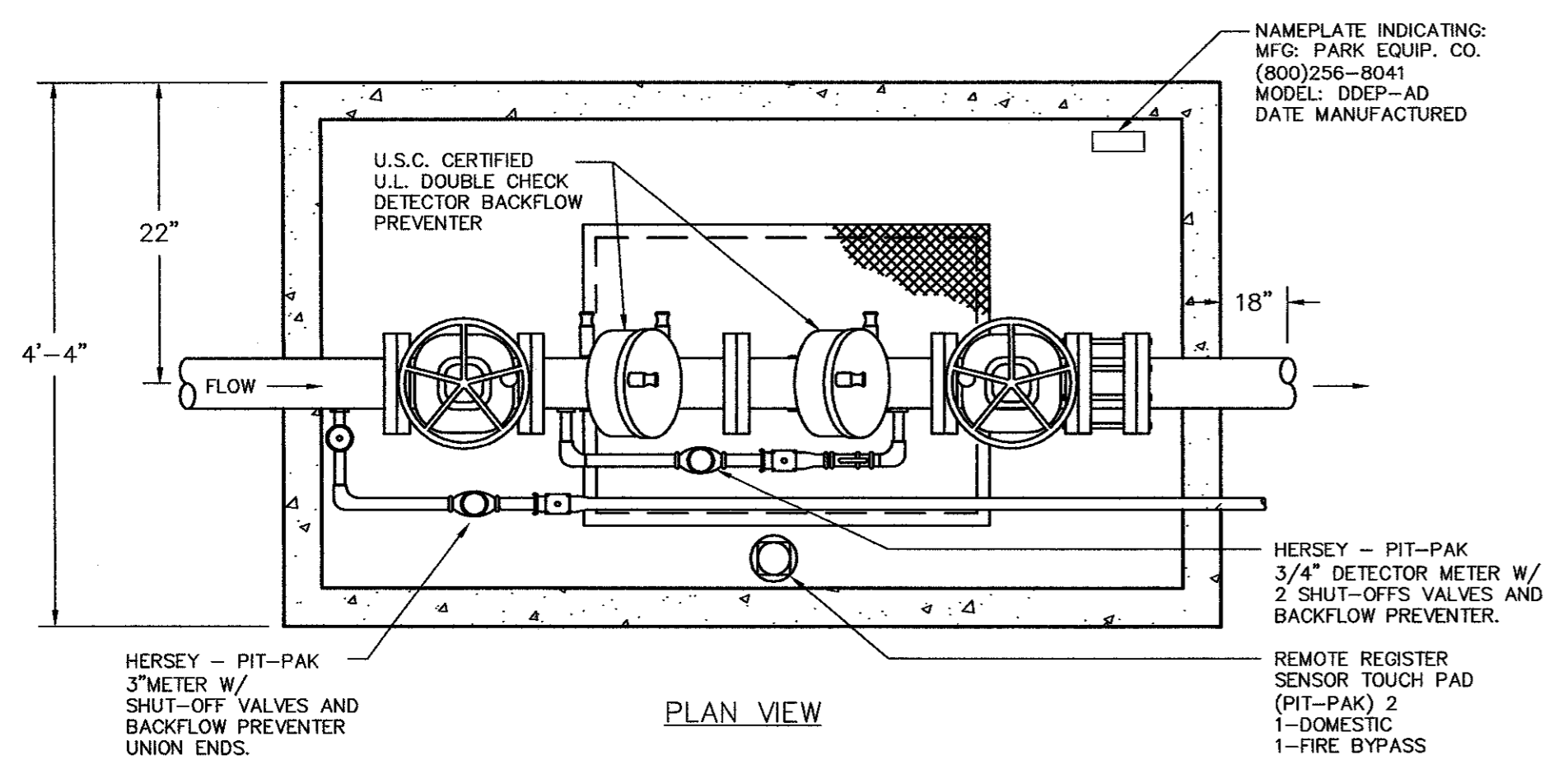


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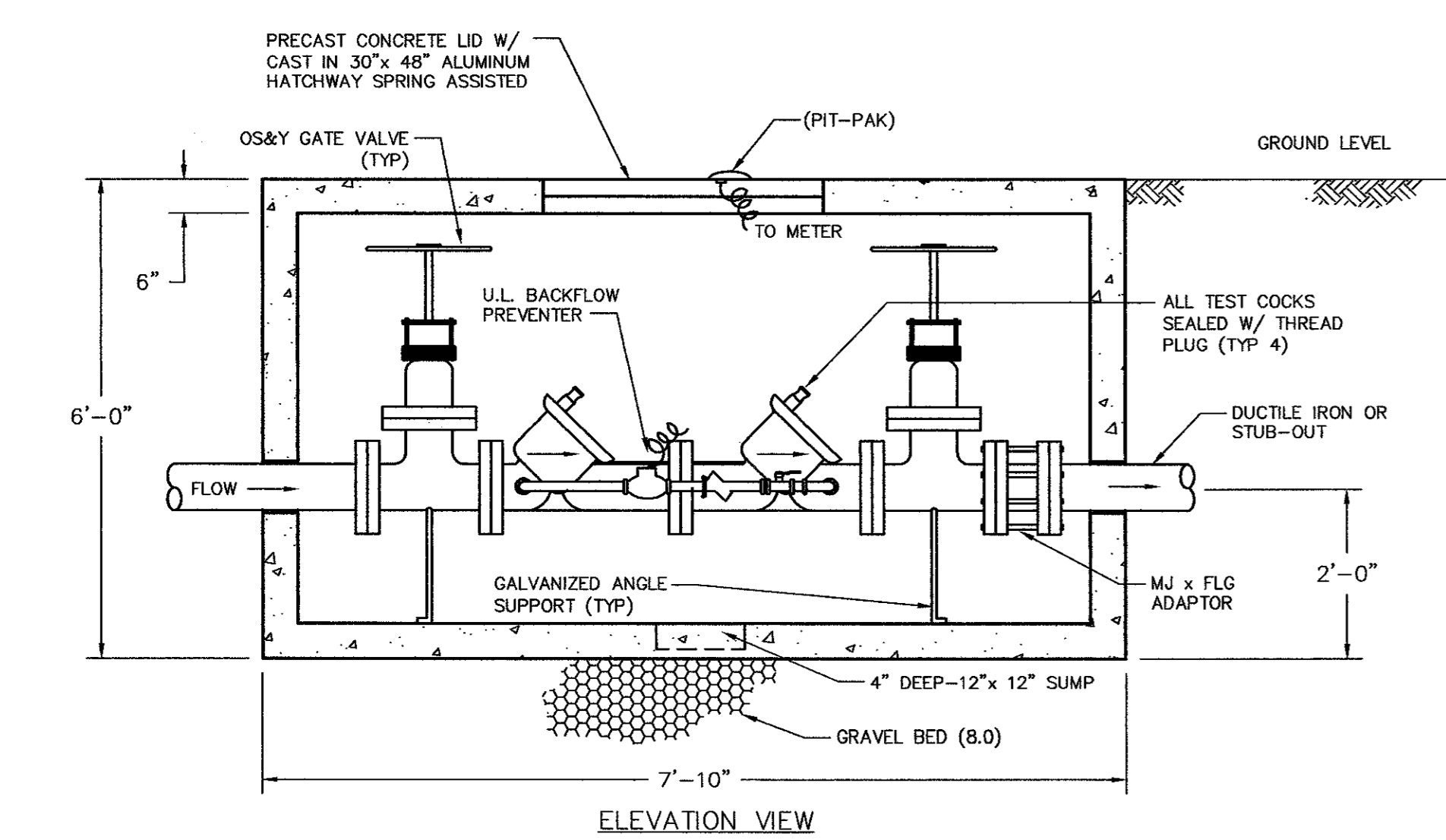
**PARKING EXPANSION ALT. # 3
ADDISON ATHLETIC CLUB
EXPANSION & LEISURE POOL
ADDISON, TEXAS**

R-DELTA ENGINEERS, INC.
618 MAIN STREET GARLAND, TEXAS 75040
Phone (972) 494-5031 www.rdelta.com

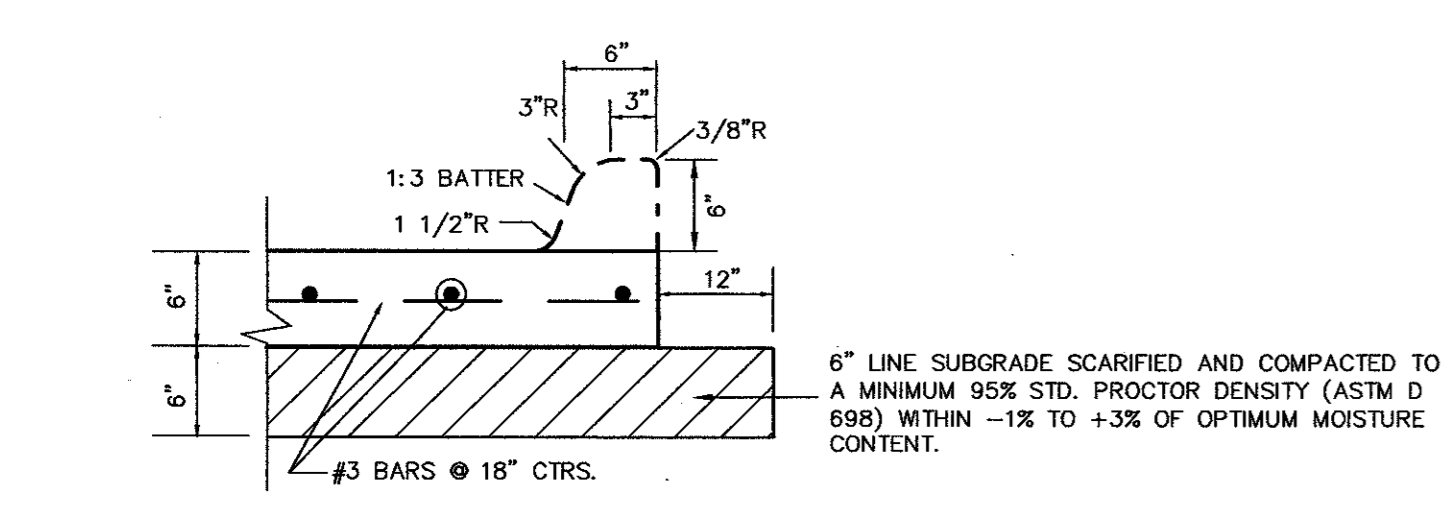
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DRAWN: CEM	DATE: FEBRUARY, 2002	PROJECT: 982-01	



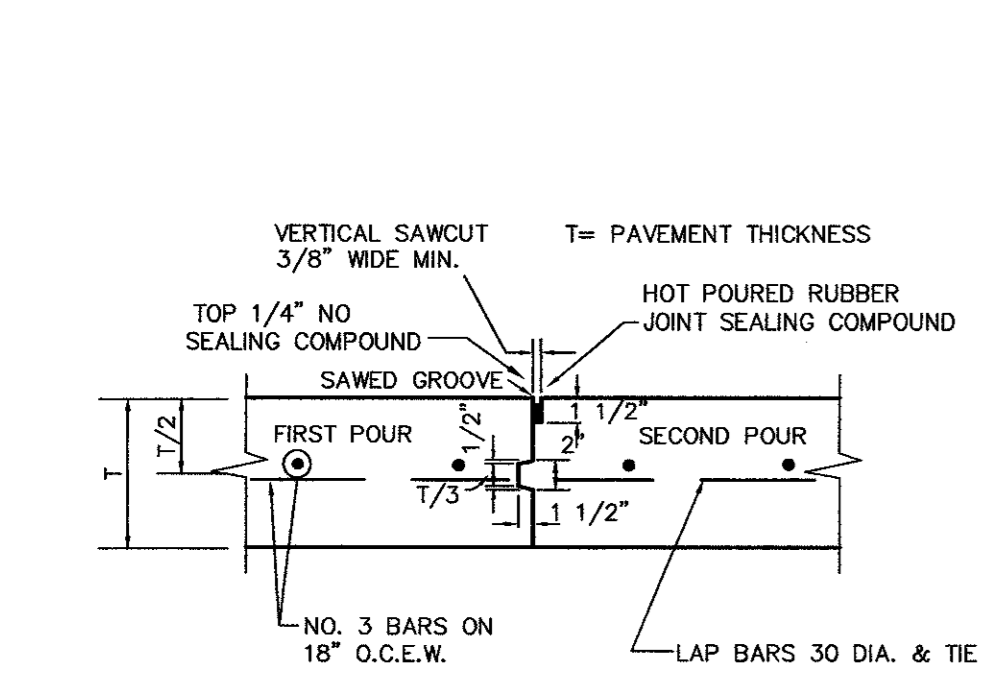
PLAN VIEW



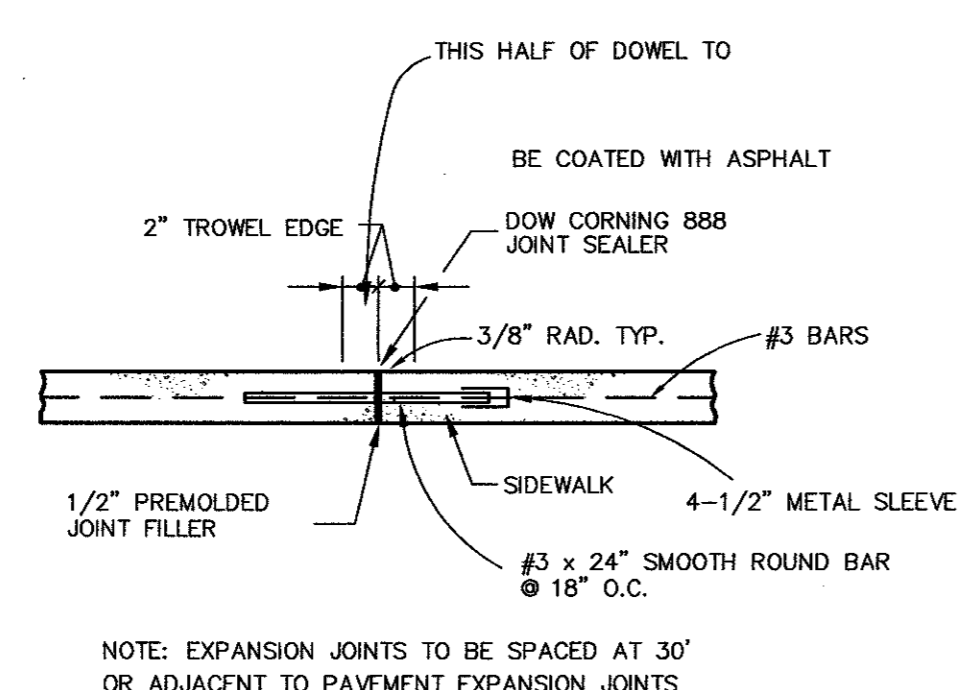
DOUBLE DETECTOR CHECK BACKFLOW PREVENTER ASSEMBLY
N.T.S.



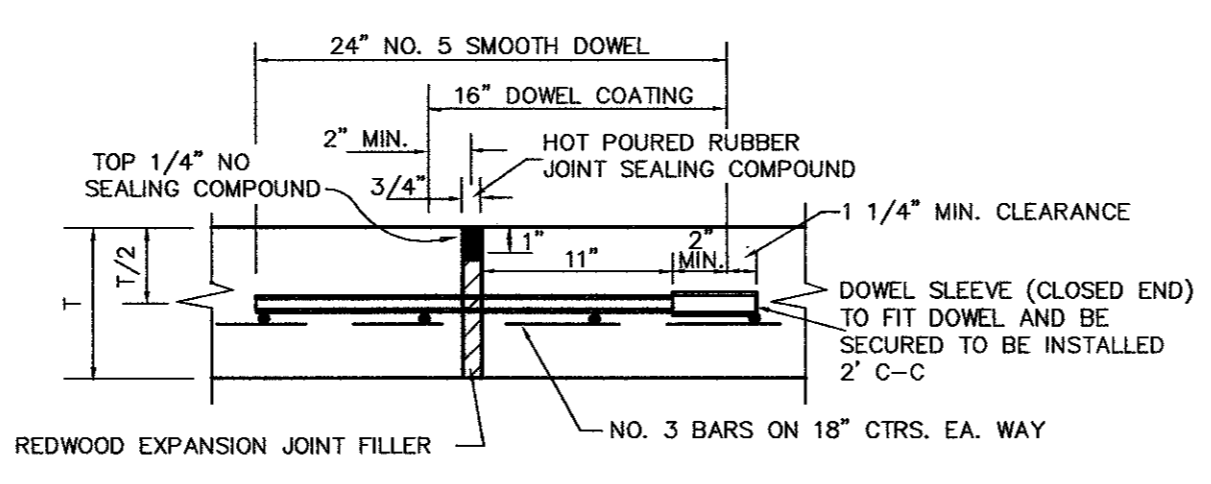
CONCRETE PAVEMENT SECTION
N.T.S.



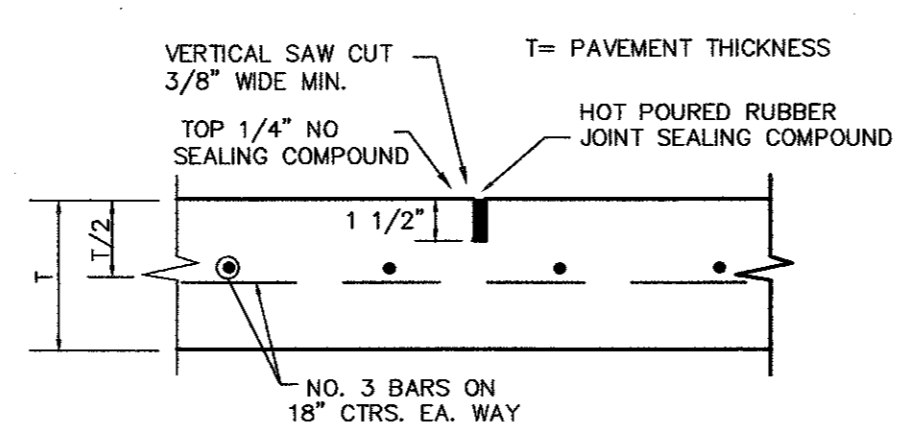
CONSTRUCTION JOINT
N.T.S.



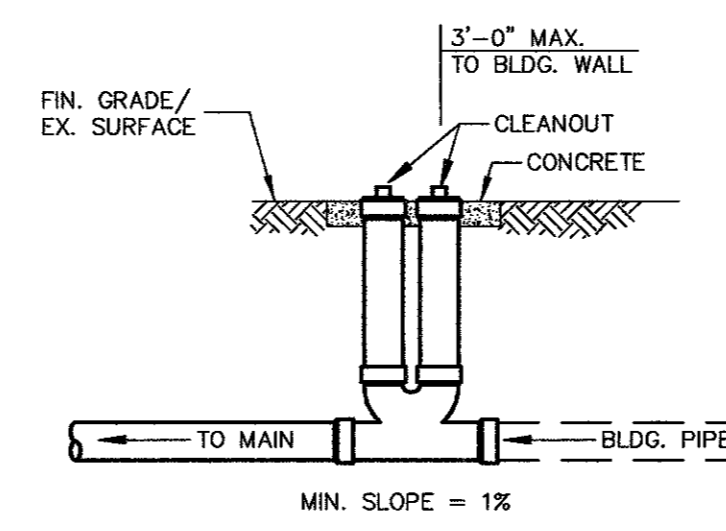
EXPANSION JOINT-SIDEWALK
N.T.S.



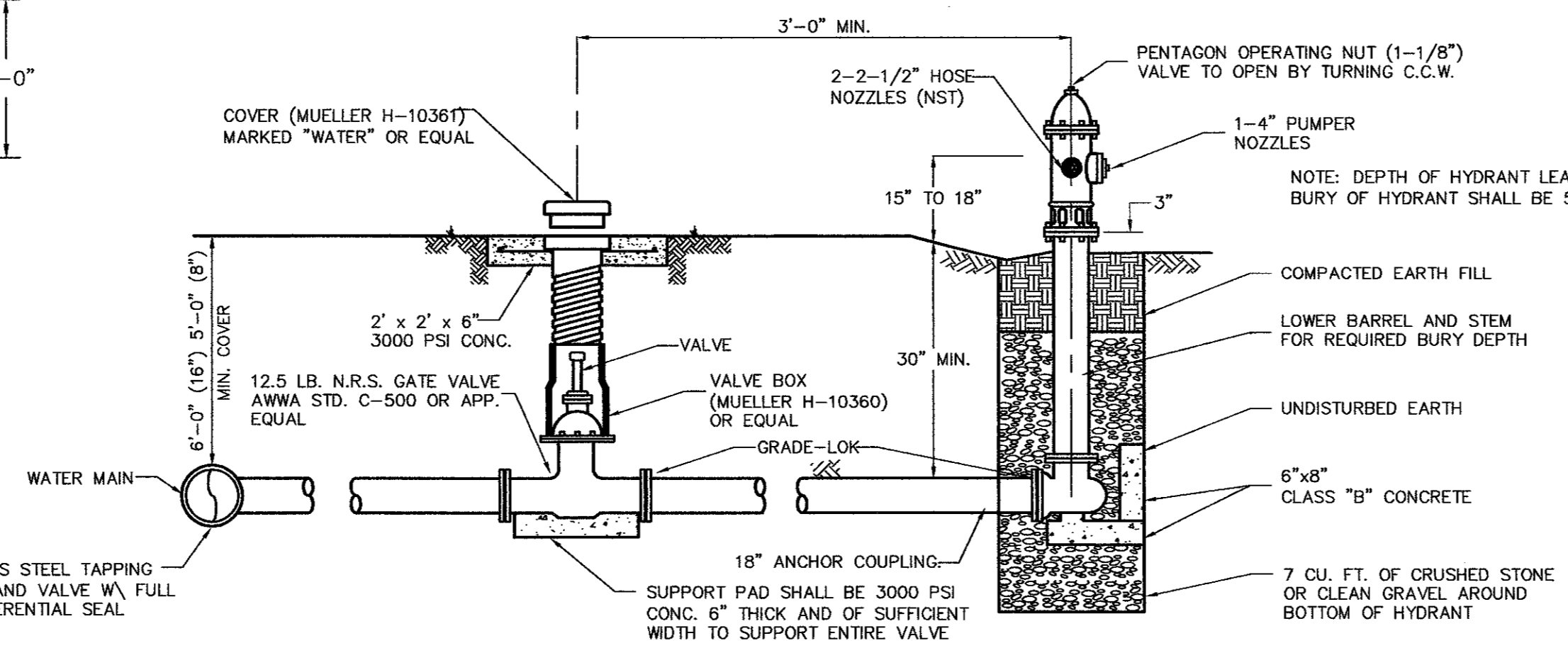
EXPANSION JOINT
N.T.S. LOCATED AS INDICATED.



SAWED DUMMY (CONTROL) JOINT
N.T.S. MAXIMUM SPACING IS 20' CTRS. (TYP.)

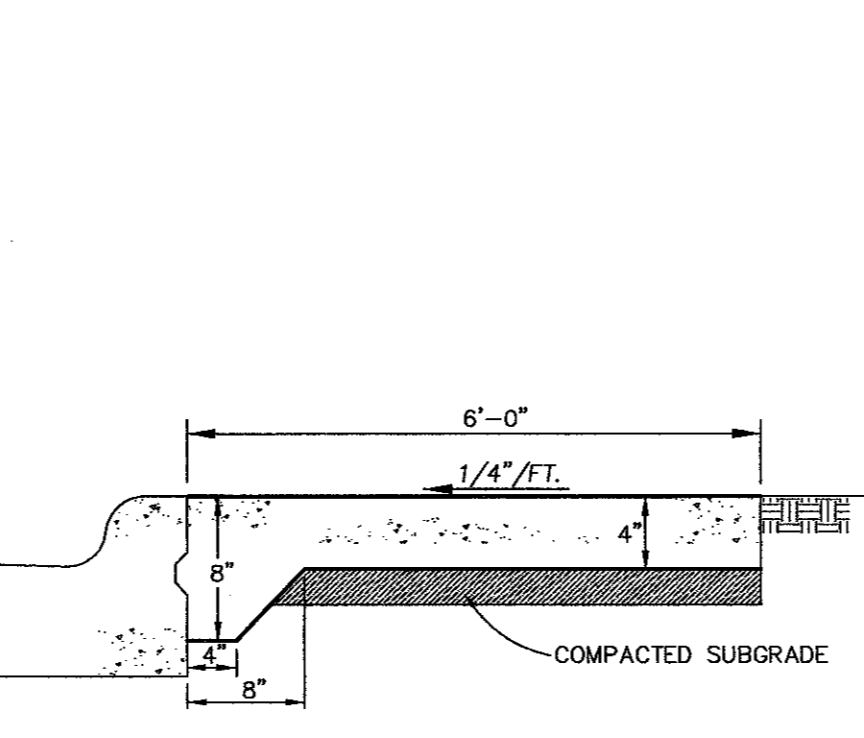


DOUBLE CLEANOUT
N.T.S.

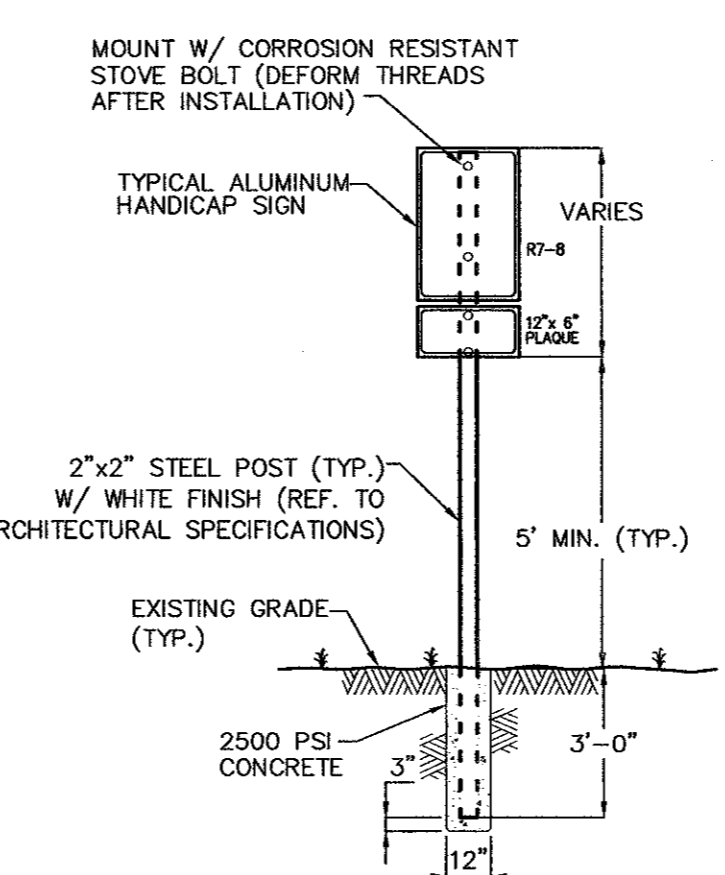


VALVE BOX DETAIL
N.T.S.

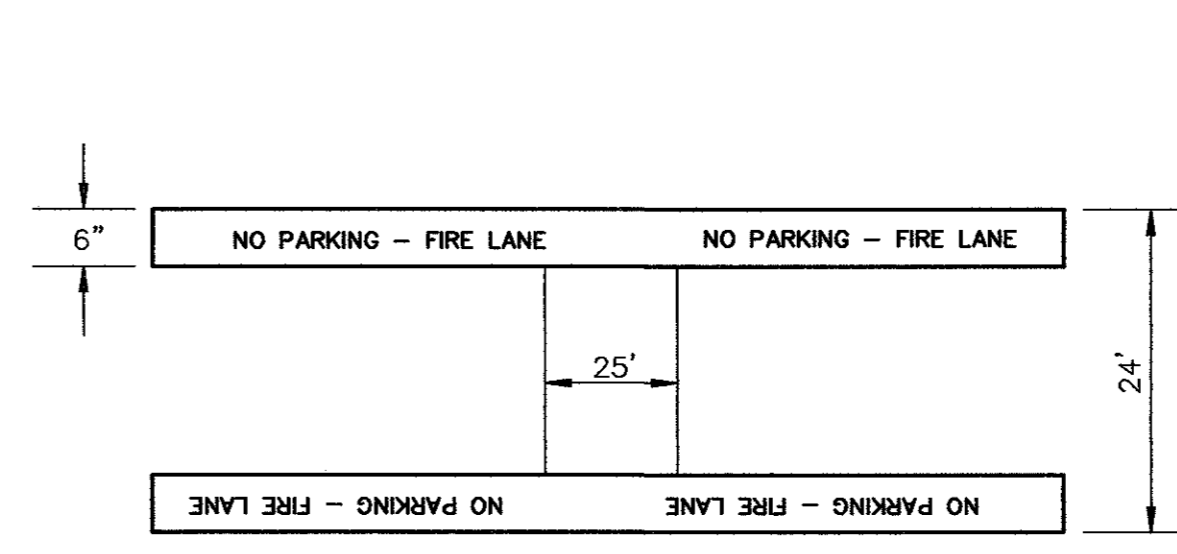
FIRE HYDRANT INSTALLATION
N.T.S.



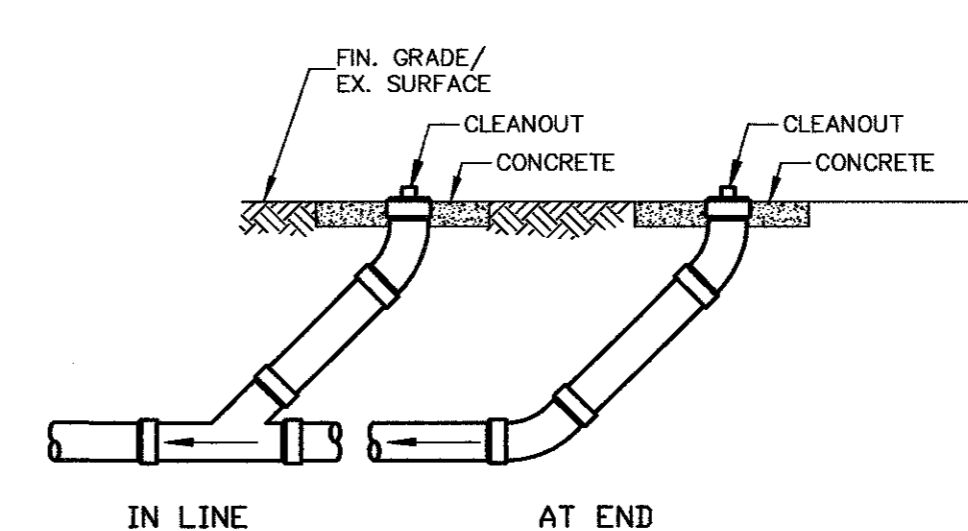
SIDEWALK DETAILS
N.T.S.



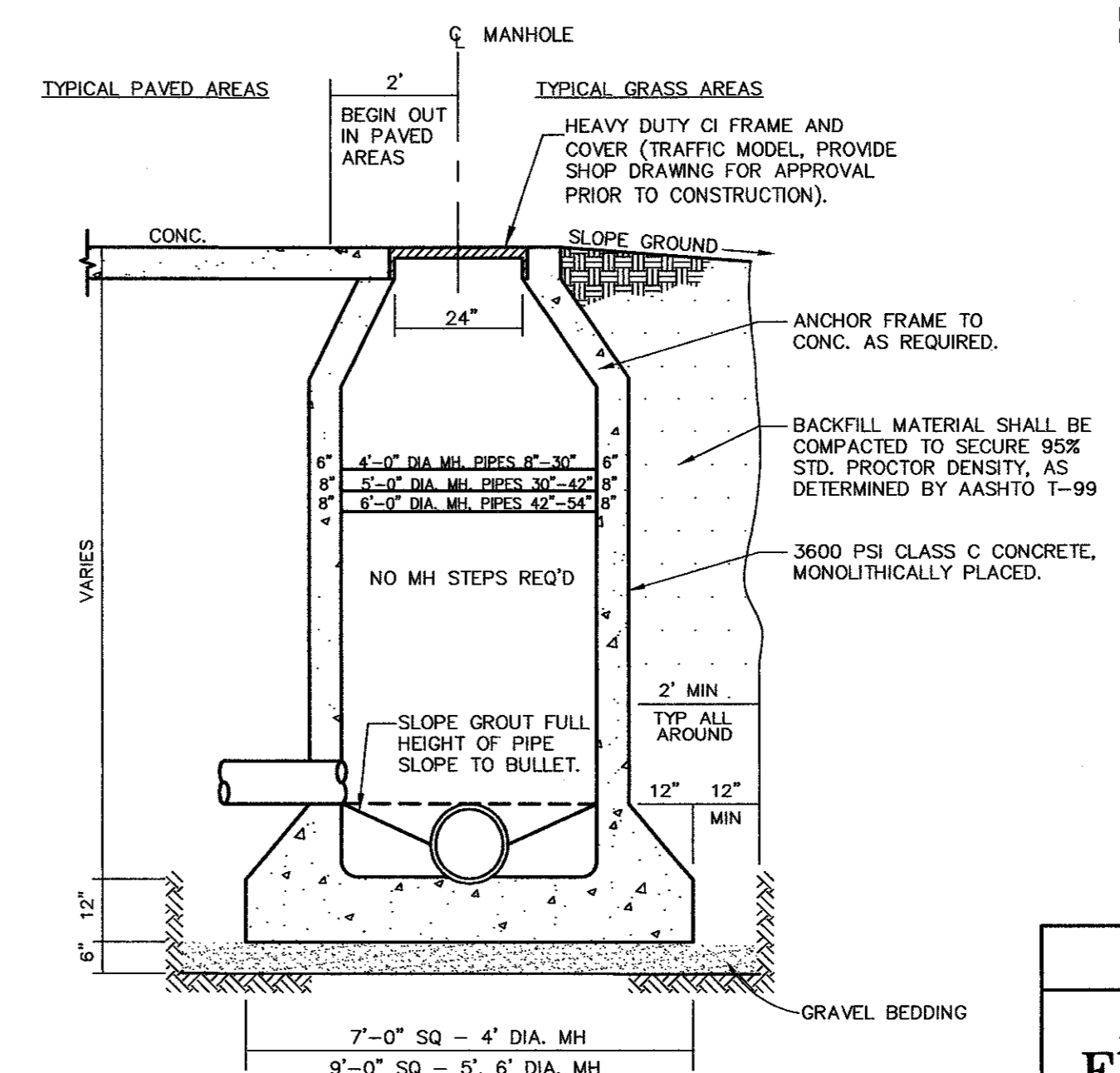
TYPICAL SIGNAGE MOUNTING DETAIL
N.T.S.



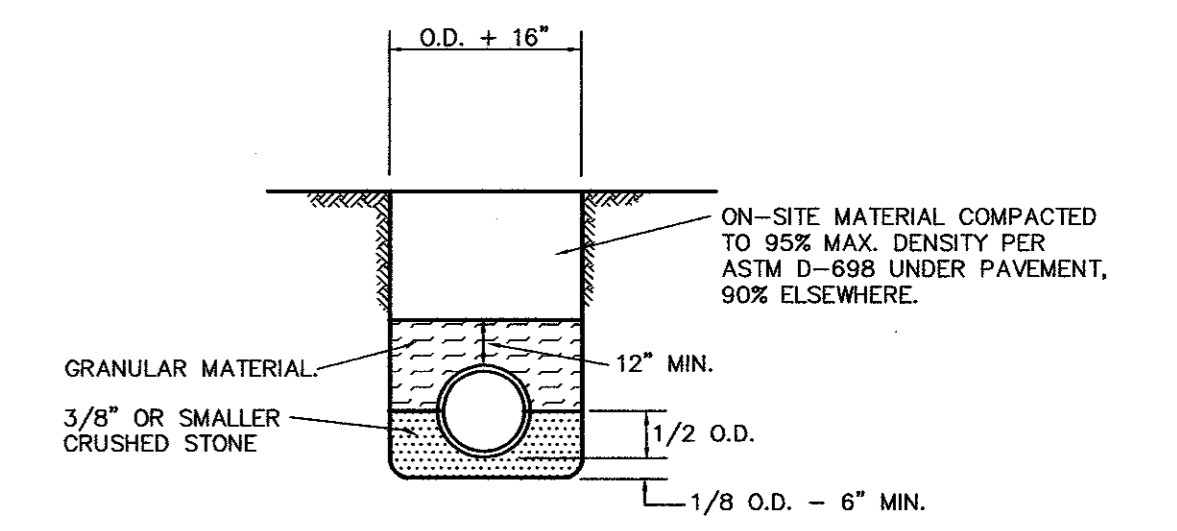
FIRE LANE PAVEMENT MARKING DETAIL
N.T.S.



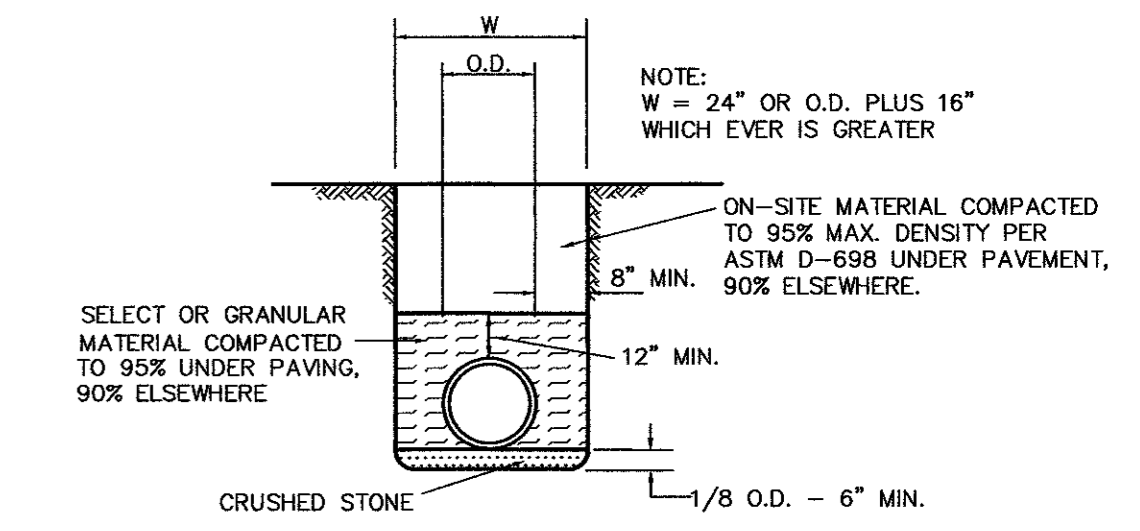
TYPICAL CLEANOUT
N.T.S.



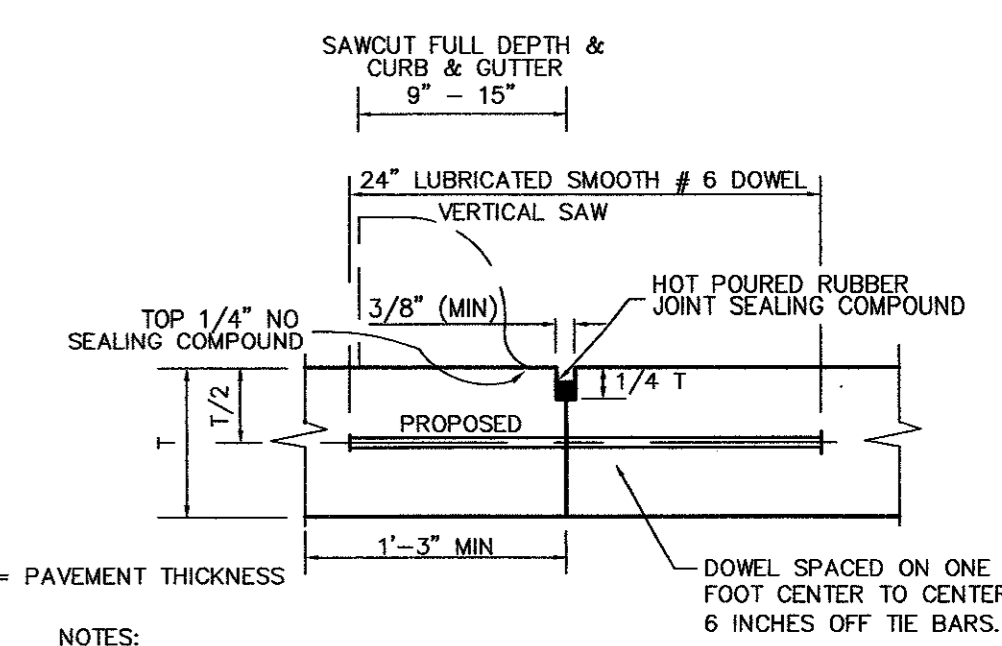
CAST IN PLACE MANHOLE
N.T.S.



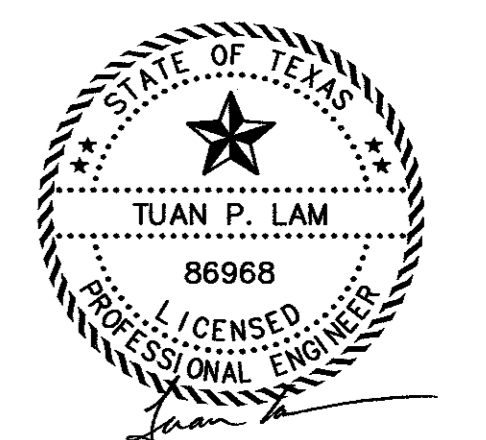
STORM AND SANITARY SEWER PIPE EMBEDMENT-PVC AND POLYETHYLENE
N.T.S.



RCP & PVC 6\"/>



LONGITUDINAL BUTT JOINT
N.T.S. LOCATED AS INDICATED.



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