

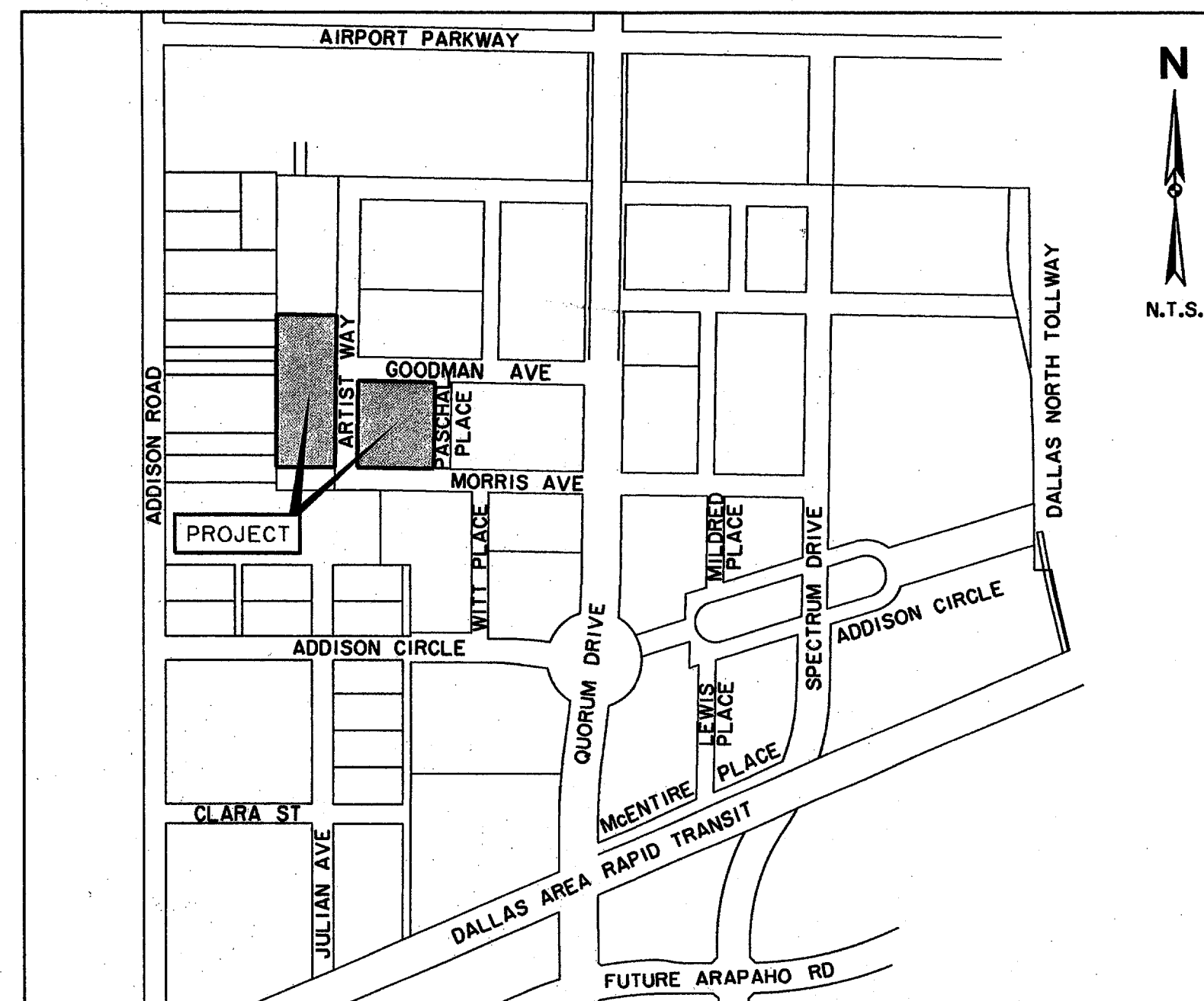
CIVIL PLANS FOR CONSTRUCTION OF PRIVATE ROUGH GRADING AND UTILITY IMPROVEMENTS

ADDISON CIRCLE APARTMENTS PHASE 3 PRIVATE



TOWN OF ADDISON

SHEET NO.	INDEX OF DRAWINGS
	COVER SHEET
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HC1	HORIZONTAL CONTROL PLAN
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GR2	GRADING PLAN BLDG. "3B"
D1	DRAINAGE AREA MAP
D2	BUILDING "3A" DRAINAGE PLAN
D3	BUILDING "3A" COURTYARD DRAINAGE PLAN
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D5	BUILDING "3B" COURTYARD DRAINAGE PLAN
PC1	POLLUTION CONTROL PLAN
PC2	POLLUTION CONTROL DETAILS
C1	COMMUNICATION CONDUIT PLAN



LOCATION MAP

OWNER:

POST PROPERTIES
 15851 N. DALLAS PARKWAY
 SUITE 855
 ADDISON, TEXAS 75001
 (972) 770-5151 FAX (972) 770-5129

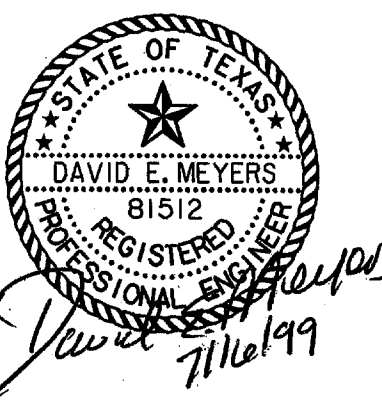
ENGINEER:

HUITT-ZOLLARS

3131 McKinney Ave., Ste. 600 Dallas, Texas 75204
 Phone (214) 871-3311 Fax (214) 871-0757

DAVID E. MEYERS, P.E.
 TEX. REG. NO. 81512

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99



PL1-PL2: 15851 N. DALLAS PARKWAY, SUITE 855, ADDISON, TEXAS 75001
 DATE: 7/16/99
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]
 APPROVED BY: [illegible]

LOT 1, BLOCK A
SHEPHERD ADDITION
VOL.97214 PG.04261

(TRACT 1)
CROSSROADS AVIATION, INC.
VOL.67044 PG.0213

(TRACT 2)
CROSSROADS AVIATION, INC.
VOL.67044 PG.0213

(TRACT 1)
D.A. CODY
HIS HEIRS & ASSIGNS
VOL.71165 PG.2799

(TRACT 2)
D.A. CODY
HIS HEIRS & ASSIGNS
VOL.71165 PG.2799

BARCO MIRROR & GLASS, INC.
VOL.79020 PG.0875

(TRACT 2)
AVIS RENT A CAR SYSTEM, INC.
VOL.98089 PG.03138

HAYES PROPERTIES ADDITION
VOL.83083 PG.1059

(TRACT 1)
AVIS RENT A CAR SYSTEM, INC.
VOL.98089 PG.03138

(TRACT 1)
TOWN OF ADDISON, TX
VOL.97247 PG.04072

(TRACT 2)
TOWN OF ADDISON, TX
VOL.97247 PG.04072

LOT 1, BLOCK 1
ADDISON CONFERENCE CENTER-
ADDISON CENTRE THEATRE
VOL.90241 PG.2807

GAYLORD PROPERTIES, LP
VOL.97045 PG.02872

GAYLORD PROPERTIES, LP
VOL.97045 PG.02872

GOODMAN AVENUE
(61' STREET RIGHT-OF-WAY DEDICATION)

GOODMAN AVENUE
(61' R.O.W. - VOL.97101, PG.05801 & VOL.97189, PG.01039)

BLOCK B
LOT 1
1.516 ACRES

BLOCK A
LOT 1
1.133 ACRES

LOT 4, BLOCK B
ADDISON CIRCLE PHASE I
VOL.97101 PG.05801
VOL.97189 PG.01039

ADDISON CIRCLE PHASE ONE, LTD.
VOL.95249 PG.01591

MORRIS AVENUE
(VARIABLE WIDTH STREET
RIGHT-OF-WAY DEDICATION)

MORRIS AVENUE (61' R.O.W. - VOL.97101, PG.05801 & VOL.97189, PG.01039)

POINT OF BEGINNING
1/2" IRON ROD FOUND w/ HUITT-ZOLLARS CAP
(CONTROL MONUMENT)

POINT OF COMMENCING
800 NAIL FOUND IN BASE OF FENCE POST

10' SETBACK, DRAINAGE &
UTILITY DRAINAGE EASEMENT
VOL.96180, PG.05233

LOT 1, BLOCK B
ADDISON CIRCLE PHASE I
VOL.97101 PG.05801
VOL.97189 PG.01039

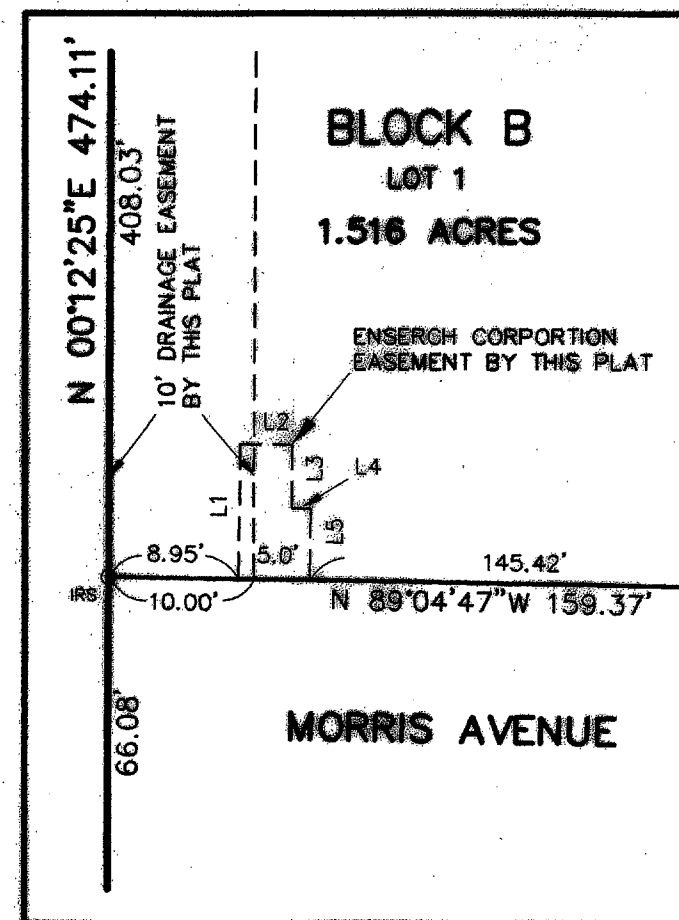
ADDISON CIRCLE PHASE ONE, LTD.
VOL.95249 PG.01591

EDWARD COOK SURVEY, ABST. NO. 326
G.W. FISHER SURVEY, ABST. NO. 482

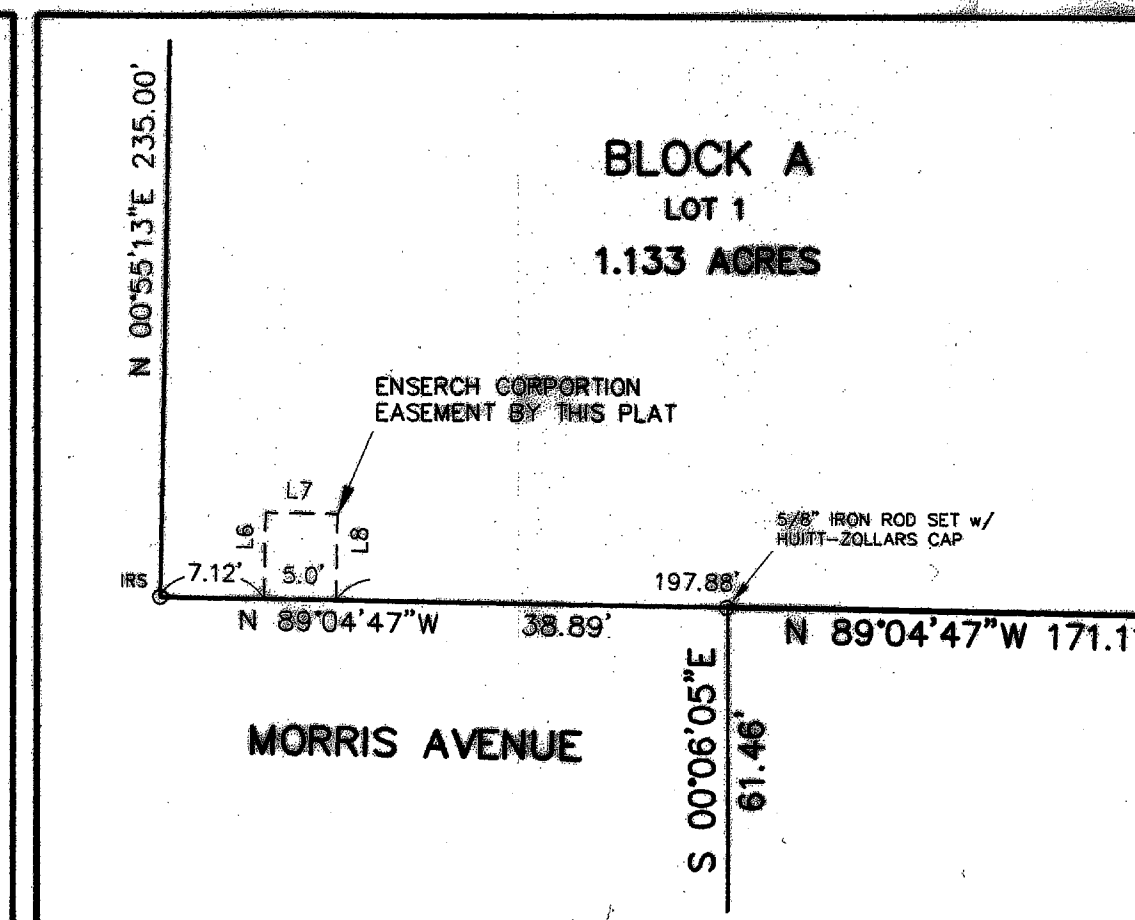
(DALLAS COUNTY - VOL.1987, PG.439)

(DALLAS COUNTY - VOL.2028, PG.215)

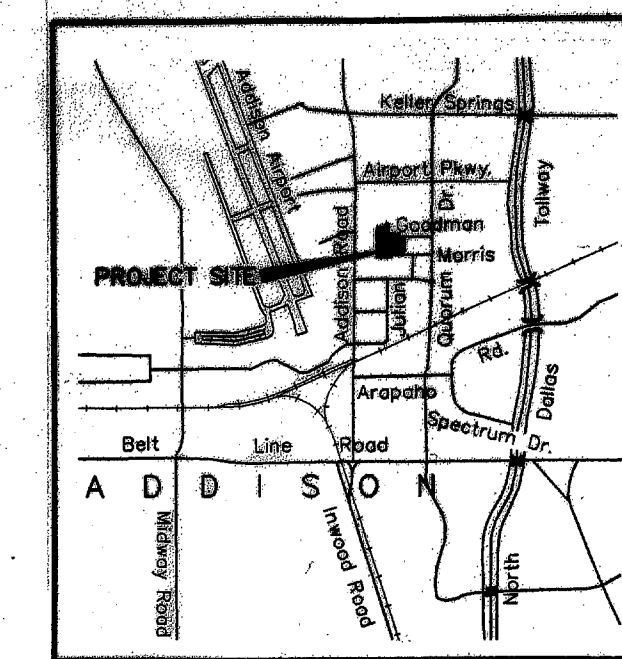
ADDISON ROAD
(60' R.O.W.)



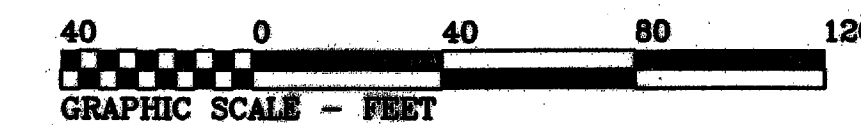
DETAIL 1



DETAIL 2



LOCATION MAP
NTS



BASIS OF BEARINGS / DIRECTIONAL CONTROL:

A BEARING OF S 89°53'55"W BETWEEN TWO 1/2 INCH IRON RODS FOUND WITH HUITT-ZOLLARS CAP ALONG THE SOUTH LINE OF TRACT II AS DESCRIBED IN INSTRUMENT TO GAYLORD PROPERTIES, LP AS RECORDED IN VOLUME 97045, PAGE 02872, DEED RECORDS OF DALLAS COUNTY, TEXAS.

COURSE	BEARING	DISTANCE
L1	N 00°55'13"E	9.50'
L2	S 89°04'47"E	3.64'
L3	S 00°55'13"W	4.50'
L4	S 89°04'47"E	1.36'
L5	S 00°55'13"W	5.00'
L6	N 00°55'13"E	6.00'
L7	S 89°04'47"E	5.00'
L8	S 00°55'13"W	6.00'

THIS PLAT INCLUDES CONTIGUOUS EASEMENT AREAS OUTSIDE THE LIMITS OF THE BLOCKS WHICH ARE BEING DEDICATED BY THIS PLAT.

ALL EASEMENTS INDICATED AS "TEMPORARY" SHOWN HEREON ARE TO REMAIN IN AFFECT UNTIL EXPRESSLY ABANDONED BY A NOTATION ON THIS PLAT OR FUTURE PLATS OR OTHER LEGAL DOCUMENTS.

FINAL PLAT
ADDISON CIRCLE PHASE III
3.923 ACRES SITUATED IN THE
G.W. FISHER SURVEY, ABSTRACT NO. 482
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

VOL 99140
PAGE 00096

99 JUL 20 PM 2:55
REAR BUILDING
DALLAS COUNTY
CLERK

WITT PLACE
(45' R.O.W. - VOL.97101, PG.05801 & VOL.97189, PG.01039)

PREPARED FOR
POST PROPERTIES, INC.
15851 DALLAS PARKWAY
SUITE 855
ADDISON, TEXAS 75001

MAY 1, 1999
Sheet No.
1 OF 2
Project No.
01-1932-33

HUITT-ZOLLARS
Huitt-Zollars, Inc. Engineering / Architecture
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204
Phone (214) 871-3311 Fax (214) 871-0757

OWNER'S CERTIFICATE

State of Texas
County of Dallas

WHEREAS, Gaylord Properties, LP (formerly Opubco Properties, Inc.) is the owner of a tract of land situated in the G.W. Fisher Survey, Abstract No. 482, Town of Addison, Dallas County, Texas, and being a portion of Tract II as described in instrument to Gaylord Properties, LP, a Texas limited partnership as recorded in Volume 97045, Page 02872 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

COMMENCING at a 60d nail found in fence post base for the northwest corner of Lot 1, Block B, Addison Circle Phase I, an addition to the Town of Addison, Texas as recorded in Volume 97101, Page 5801, and re-filed in Volume 97189, Page 01039, Deed Records, Dallas County, Texas, said point being on the platted south right-of-way line of Morris Avenue (variable width right-of-way at this point) as established by said plat, and being the most northerly northeast corner of Addison Conference Center - Addison Centre Theater, an addition to the Town of Addison as recorded in Volume 90241, Page 2807 of the Deed Records of Dallas County, Texas;

THENCE South 89 degrees 53 minutes 55 seconds West along the platted south right-of-way line of said Morris Avenue and platted north line of said Addison Conference Center plat a distance of 25.00 feet to a one-half inch iron rod found with Huitt-Zollars cap for the POINT OF BEGINNING on the platted west line of said Addison Circle Phase I;

THENCE continuing South 89 degrees 53 minutes 55 seconds West along the platted north line of said Addison Conference Center plat a distance of 259.57 feet to a one-half inch iron rod found with Huitt-Zollars cap for a corner on the west line of said Gaylord Properties, LP tract;

THENCE North 00 degrees 12 minutes 25 seconds East along the west line of said Gaylord Properties, LP tract a distance of 474.11 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 164.45 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE North 00 degrees 55 minutes 13 seconds East a distance of 84.73 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 61.00 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 196.73 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East a distance of 145.50 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner on platted west line of said Addison Circle Phase I and platted north right-of-way line of Goodman Avenue (61 foot wide right-of-way) as established by said plat of Addison Circle Phase I;

THENCE South 00 degrees 55 minutes 13 seconds West along the platted west line of said Addison Circle Phase I a distance of 61.00 feet to a one-half inch iron rod found with Huitt-Zollars cap for a corner on the platted south right-of-way line of said Goodman Avenue;

THENCE South 89 degrees 04 minutes 47 seconds East along the platted south right-of-way line of said Goodman Avenue a distance of 64.50 feet to a cut cross set in brick paved sidewalk at the intersection with the platted west right-of-way line of Paschal Place (45 foot wide right-of-way) as established by said plat of Addison Circle Phase I;

THENCE South 00 degrees 55 minutes 13 seconds West along the platted west right-of-way line of Paschal Place a distance of 235.00 feet to a cut cross set in brick paved sidewalk at the intersection with the platted north right-of-way line of said Morris Avenue (61 foot wide right-of-way at this point);

THENCE North 89 degrees 04 minutes 47 seconds West along the platted north right-of-way line of Morris Avenue a distance of 171.11 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner on the platted west line of said Addison Circle Phase I;

THENCE South 00 degrees 06 minutes 05 seconds East along the platted west line of said Addison Circle Phase I a distance of 61.46 feet to the POINT OF BEGINNING and containing 3.923 acres of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Gaylord Properties, L.P. ("Owner") does hereby adopt this plat designating the hereon property as ADDISON CIRCLE PHASE III, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of the services for which easements are granted.

The easements designated as "Texas Utilities Electric Company Easement" are subsurface easements reserved for the installation and maintenance of electric facilities. Owner shall have the right to use these easements, provided further that the Owner specifically reserves the right to construct improvements and structures over those easements designated as Texas Utilities Electric Company Easement (Under Structure).

The easements designated as "Enserch Corporation Easement" are easements reserved for the installation and maintenance of natural gas facilities. Owner shall have the right to use these easements.

Any "drainage and floodway" easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the "drainage and floodway" will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Buildings areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easements as shown; provided, however, that the owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

All street right-of-ways dedicated to the Town of Addison, Texas ("City") by virtue of this plat are subject to the provisions of that certain "RESERVATION AGREEMENT" between the "City", Gaylord Properties, Inc. and Owner dated July 23, 1996, as recorded in Volume 97084, Page 02866, Deed Records, Dallas County, Texas and the provisions of that certain "STREETS USE AND RENTAL AGREEMENT" between the "City" and Gaylord Properties, Inc. ("Owner") dated July 23, 1996, as recorded in Volume 97084, Page 02895, Deed Records, Dallas County, Texas.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

I (we), the undersigned, owner(s) of the land shown on this plat, and the designated herein as ADDISON CIRCLE PHASE III subdivision to the Town of Addison, Texas, and whose name subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown of the purpose and consideration therein expressed.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication or exactions made herein.

Gaylord Properties, L.P., a Texas limited partnership
By: Opubco International, Ltd.,
a Delaware Corporation, General partner

By: David C. Story
Name: DAVID C. STORY
Title: TREASURER

WITNESS MY HAND at Oklahoma City, Oklahoma this the 2nd day of JULY, 1999.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

Before me, the undersigned authority, on this day personally appeared DAVID C. STORY, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this 2nd day of JULY, 1999.

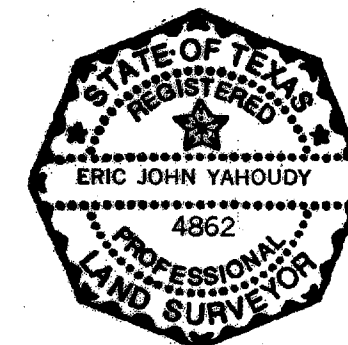
Notary Public in and for the State of Oklahoma

KNOW ALL MEN BY THESE PRESENTS:

I, Eric J. Yahoudy, a Registered Professional Land Surveyor, hereby certify that the foregoing plat was compiled from an accurate survey made on-the-ground, under my personal supervision.

For Huitt-Zollars, Inc.

Eric J. Yahoudy 6-28-99
Registered Professional Land Surveyor
Registration No. 4862

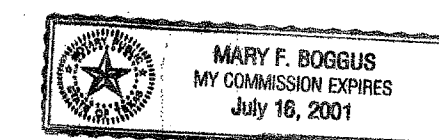


STATE OF TEXAS
COUNTY OF DALLAS

BEFORE the undersigned authority, a Notary Public in for the State of Texas on this day personally appeared, Eric J. Yahoudy, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of the office this 28th day of June, 1999.

Mary E. Bogbus
Notary Public in and for the State of Texas



CERTIFICATE OF APPROVAL

Approved this 8th day of June, 1999, by the Town Council of Addison, Texas.

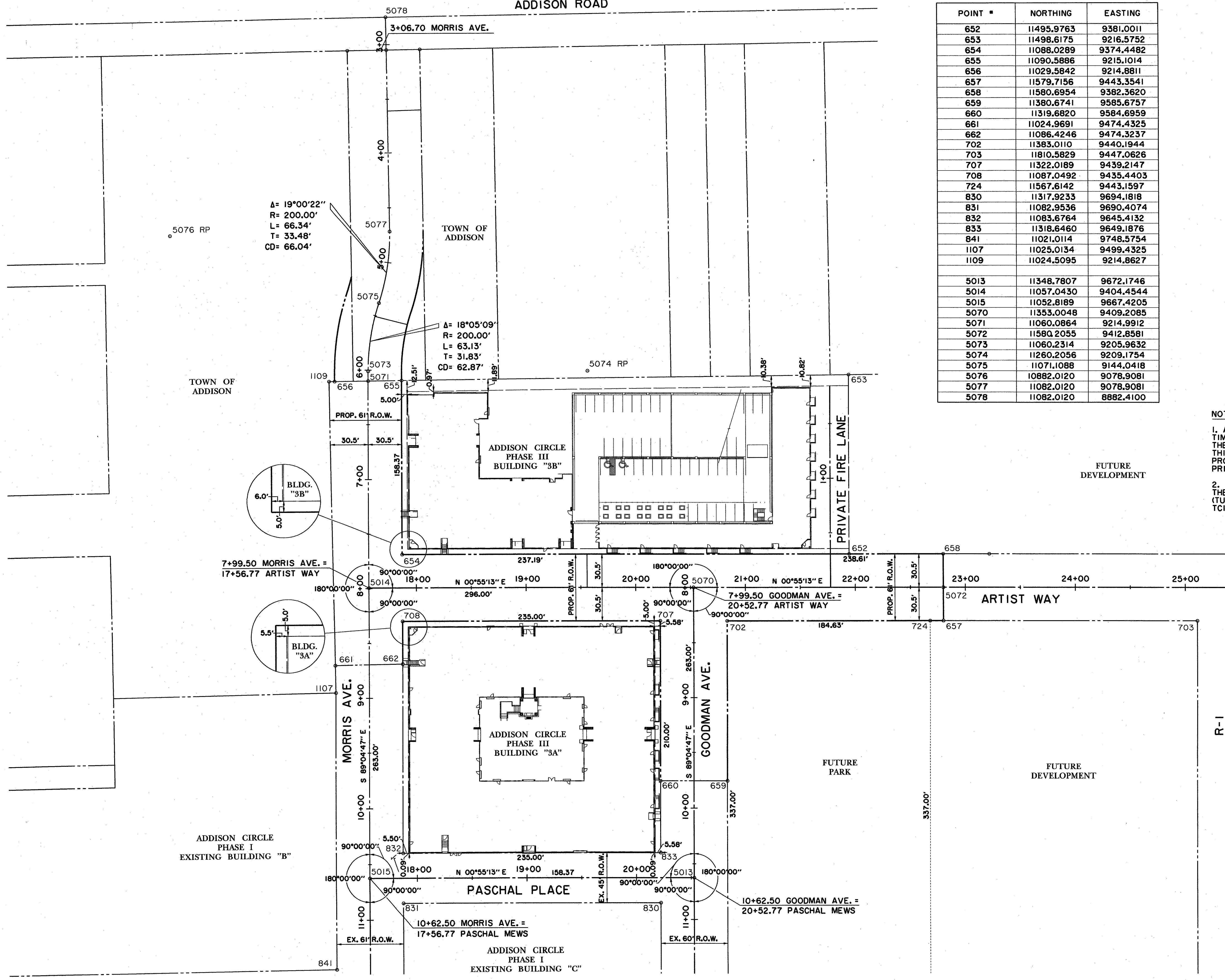
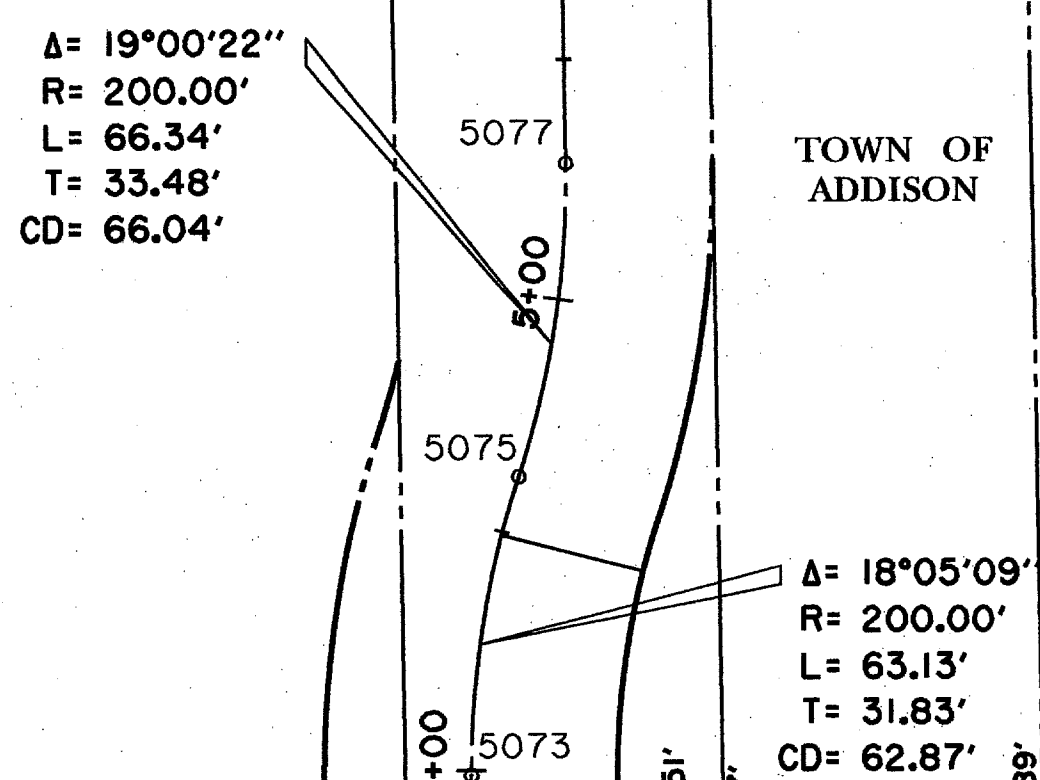
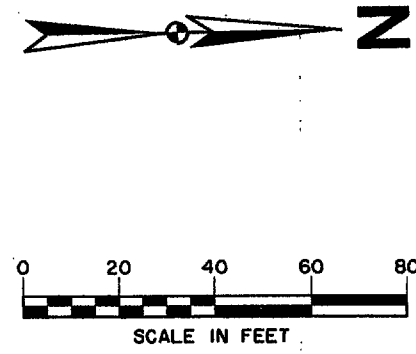
Mayor

Secretary

FINAL PLAT
ADDISON CIRCLE PHASE III
3.923 ACRES SITUATED IN THE
G.W. FISHER SURVEY, ABSTRACT NO. 482
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
PREPARED FOR
POST PROPERTIES, INC.
15851 DALLAS PARKWAY
SUITE 855
ADDISON, TEXAS 75001
MAY 1, 1999
Sheet No. 2 OF 2
Project No. 01-1932-33
HUITT-ZOLLARS
Huitt-Zollars, Inc. Engineering / Architecture
3131 McKinney Ave., Ste. 800 Dallas, Texas 75204
Phone (214) 871-8311 Fax (214) 871-0757

ADDISON ROAD

POINT #	NORTHING	EASTING
652	11495.9763	9381.0011
653	11498.6175	9216.5752
654	11088.0289	9374.4482
655	11090.5886	9215.1014
656	11029.5842	9214.8811
657	11579.7156	9443.3541
658	11580.6954	9382.3620
659	11380.6741	9585.6757
660	11319.6820	9584.6959
661	11024.9691	9474.4325
662	11086.4246	9474.3237
702	11383.0110	9440.1944
703	11810.5829	9447.0626
707	11322.0189	9439.2147
708	11087.0492	9435.4403
724	11567.6142	9443.1597
830	11317.9233	9694.1818
831	11082.9536	9690.4074
832	11083.6764	9645.4132
833	11318.6460	9649.1876
841	11021.0114	9748.5754
1107	11025.0134	9499.4325
1109	11024.5095	9214.8627
5013	11348.7807	9672.1746
5014	11057.0430	9404.4544
5015	11052.8189	9667.4205
5070	11353.0048	9409.2085
5071	11060.0864	9214.9912
5072	11580.2055	9412.8581
5073	11060.2314	9205.9632
5074	11260.2056	9209.1754
5075	11071.1088	9144.0418
5076	10882.0120	9078.9081
5077	11082.0120	9078.9081
5078	11082.0120	8882.4100



NOTES:

- ALL CENTERLINE PC'S, PT'S AND PI'S WILL BE SET ONE TIME FOR CONSTRUCTION HORIZONTAL CONTROL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THIS CONTROL. IN ADDITION, THE CONTRACTOR MAY FIND PROPERTY CORNERS FOR BLOCKS 3A & 3B AS PART OF THE PRIVATE DEVELOPMENT PLAN.
- CONTRACTOR SHALL MAINTAIN CONTROL POINTS FOR THE USE BY THE INSTALLERS OF THE PRIVATE UTILITIES. (TU ELECTRIC, SOUTHWESTERN BELL, LONE STAR GAS, TCI CABLEVISION ETC...)

BENCHMARKS:

BM#5
"I" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. 175' EAST OF PASCHAL PLACE. ELEV. 629.98

BM#6
"I" CUT AT C/O 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29

BM#7
"I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

HORIZONTAL CONTROL PLAN

ADDISON CIRCLE

PHASE 3 PRIVATE

TOWN OF ADDISON, TEXAS

Huitt - Zellers, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0257

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=40'	JUL 99	01-1932-30	HCI

DATE PLOTTED: 7/16/99 10:16:11 AM
 PLOT FILE: I:\ADDISON\ADDISON\ADDISON.DWG
 PLOT SCALE: 1"=40'
 PLOT SHEET: 1 OF 1
 PLOT TITLE: ADDISON CIRCLE PHASE 3 PRIVATE
 PLOT USER: D:\ADMIN\DAVID.MEYERS
 PLOT DEVICE: HPGLASER
 PLOT STATUS: OK
 PLOT MESSAGE:

NOTES-PAVING AND GRADING

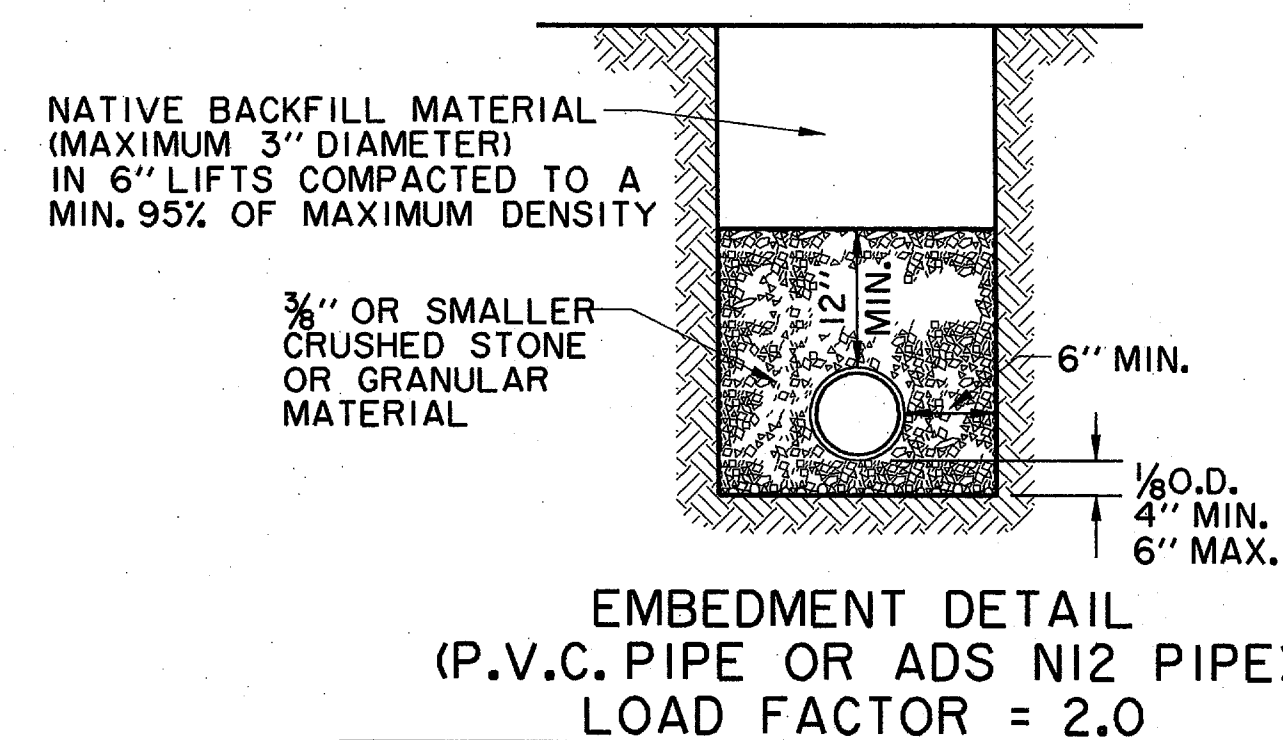
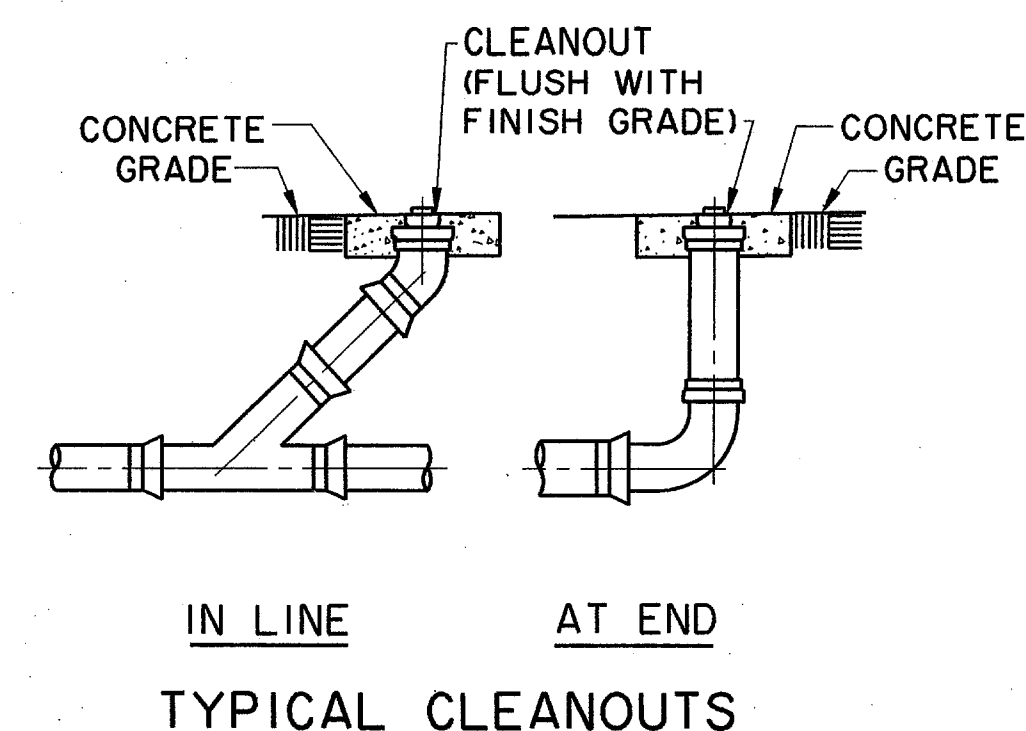
- UNLESS SPECIFICALLY STATED OTHERWISE IN PLANS OR CONTRACT DOCUMENTS, THE CONTROLLING SPECIFICATIONS FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY AND EASEMENTS SHALL BE THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECOND EDITION 1987, AS AMENDED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (THE "STANDARD SPECIFICATIONS"). COPIES OF THE STANDARD SPECIFICATIONS MAY BE PURCHASED BY MAIL OR OVER THE COUNTER FROM THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 616 SIX FLAGS DRIVE, P.O. BOX DRAWER COG, ARLINGTON, TEXAS 76005-5888, PHONE METRO 817/640-3300. BULK DISCOUNTS ARE AVAILABLE. THIS DOCUMENT IS COPYRIGHTED.
- ROUGH GRADING SHALL BE ACCOMPLISHED TO WITHIN +/- 0.10 FEET OF PLAN ELEVATION (AFTER ADJUSTMENT FOR FINISH THICKNESS).
- ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST ISSUE OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD)", AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.
- ALL FILL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS COMPACTED TO 95% OF STANDARD PROCTOR DENSITY BETWEEN 0% AND +3% OF OPTIMUM MOISTURE CONTENT.
- ALL TREES, STUMPS, BRUSH, GRASSES AND SURFACE ORGANICS WITHIN PROPOSED GRADING AREA ARE TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE. TREE REMOVAL PERMITS, IF REQUIRED, WILL BE OBTAINED BY THE OWNER.
- EXISTING UTILITY POLES, IF ANY, WILL BE REMOVED OR RELOCATED BY THE UTILITY COMPANIES THROUGH COORDINATION BY THE OWNER. CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY FACILITIES THAT APPEAR TO BE IN CONFLICT SO THAT THE OWNER HAS SUFFICIENT TIME TO ACCOMPLISH THE NECESSARY RELOCATIONS.
- TWO-WAY TRAFFIC MUST BE MAINTAINED AT ALL TIMES ON PUBLIC STREETS ADJACENT TO THIS PROJECT UNLESS SPECIFIED OTHERWISE IN THE PLANS AND SPECIFICATIONS. THE TRAVELWAY WIDTH SHALL NOT BE LESS THAN 11 FEET.

LIST OF ABBREVIATIONS

Q	at	PAR.	Parabolic
A	Area	P.C.	Point of Curvature
B-B	Back to Back	P.F.	Partial Flow
BM	Bench Mark	P.I.	Point of Intersection
BTM.	Bottom	P.R.C.	Point of Reverse Curvature
B.W.	Bottom of wall	P.R.C.	Point of Reverse Curvature
C	Capacity or Runoff Coefficient	PAV.	Paving
C.C.	Center to Center	PP	Power Pole
C.R.	Curb Return	PROP.	Proposed
CATV	Cable TV	P.T.	Point of Tangency
CD	Chord Distance	PB	Pull Box
CL	Centerline	P.V.I.	Point of Vertical Intersection
CLR.	Clear	P.V.C.	Point of Vertical Curvature
Conc.	Concrete	P.V.R.C.	Point of Vertical Reverse Curvature
CONST.	Construct	P.V.M.T.	Pavement
DIA.	Diameter	P.V.T.	Point of Vertical Tangency
DB	Direct Bury	Q100	100 year flow
E	East	R	Radius
E.P.	Edge of Pavement	REINF.	Reinforced
EQ.	Equal	REC.	Recessed
EX.	Existing	RCP	Reinforced Concrete Pipe
F.F.	Finished Floor	RCCP	Reinforced Concrete Cylinder Pipe
F.L.	Flowline	R.O.W.	Right of Way
FH	Fire Hydrant	RR	Railroad
GM	Gas Meter	RT.	Right
HG	Hydraulic Gradient	S	Slope or South
HV	Velocity Head	SCH.	Schedule
I.R.	Iron Rod	SS	Sanitary Sewer
I.R.F.	Iron Rod Found	STD.	Standard
I.R.S.	Iron Rod Set	STA.	Station
I100	100 Year Intensity	STAB.	Stabilized
L	Length	SW	Storm Water
L.F.	Linear Feet	SWBT	Southwestern Bell Telephone
LAT.	Lateral	T	Tangent
LT.	Left	T.C.	Top of Curb
m	Mid-ordinate	tc	Time of Concentration
MAX.	Maximum	T.P.	Top of Pavement
M.J.	Mechanical Joint	T.W.	Top of Wall
MH	Manhole or Metal Halide	Typ.	Typical
MIN.	Minimum	V	Velocity
MOD.	Modified	VP	Partial Flow Velocity
N	North	V.C.	Vertical Curve
NA	Not Applicable	W	West
N.T.S.	Not to Scale	W/	with
O.C.	On Center	WM	Water Meter
O.C.E.W.	On Center Each Way	W	Water
O.D.	Outside Diameter	WW	Waste Water
		Δ	Angle of Deflection

GENERAL NOTES (ALL DISCIPLINES)

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND PLANS INCLUDING ALL NOTES. THE TOWN OF ADDISON SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS AT ALL TIMES.
 - ALL WORK SHALL CONFORM TO THE TOWN OF ADDISON SPECIFICATIONS UNLESS OTHERWISE INDICATED ON APPROVED PLANS.
 - IN THE EVENT AN ITEM IS NOT COVERED IN THE TOWN OF ADDISON SPECIFICATIONS, THE CITY ENGINEER'S DECISION SHALL APPLY. IN CASE OF CONFLICT WITH TOWN OF ADDISON SPECIFICATIONS, THE DESIGN ENGINEER SHALL BE NOTIFIED TO PROVIDE CLARIFICATION.
 - CONSTRUCTION INSPECTION MAY BE PERFORMED BY REPRESENTATIVES OF THE OWNER, ENGINEER, GEOTECHNICAL ENGINEER, AND REVIEWING AUTHORITIES AND AGENCIES. UNRESTRICTED ACCESS SHALL BE PROVIDED TO THEM AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND SCHEDULING REQUIRED INSPECTIONS.
 - CONSTRUCTION STAKING SHALL BE PROVIDED BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
 - OTHER CONSTRUCTION WILL BE UNDERWAY AT THE SAME TIME AND IN THE SAME GENERAL AREA WHICH IS ENCOMPASSED BY THIS CONTRACT. THIS CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS TO ESTABLISH A CONSTRUCTION SEQUENCE WHICH WILL CAUSE THE LEAST HINDRANCE TO ALL.
 - IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
- TOWN OF ADDISON, WATER, SEWER & STORM 972-450-2886
 T.U. ELECTRIC 972-323-8913
 SOUTHWESTERN BELL TELEPHONE CO. 972-234-7085
 LONE STAR GAS COMPANY 972-235-4620
 TCI CABLEVISION OF DALLAS 214-320-7313
 HERRON CABLEVISION 972-938-0333
 MCI 972-918-7496
 EXPLORER PIPELINE 817-481-4040
 STORER CABLE
 PLANNED CABLE SYSTEMS
 SPRINT
 MFS
- ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS ONTO ADJACENT PROPERTIES WILL BE ALLOWED UNLESS SPECIFIED IN THE PLANS. ANY DAMAGE RESULTING THEREFROM SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON:
 - THE OWNER SHALL PROVIDE 1 REPRODUCIBLE SET OF RECORD DRAWINGS (SEALED BY A TEXAS REGISTERED ENGINEER) AND 2 BLUELINE SETS.
 - A TEXAS REGISTERED PROFESSIONAL ENGINEER SHALL CERTIFY THAT THE PROJECT WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF ADDISON.
 - CONTRACTOR SHALL DEMONSTRATE THAT THE WATER AND SANITARY SEWER SYSTEMS MEET THE PROPER PRESSURE, BACTERIA, AND MANDREL TESTS. IN ADDITION, THE OWNER SHALL PROVIDE A VHS FORMAT VIDEOTAPE OF THE SANITARY SEWER.
 - PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE TOWN OF ADDISON, CONSULTING ENGINEER, CONTRACTOR(S), UTILITY COMPANIES AND ANY OTHER AFFECTED PARTIES. NOTIFY DAVE WILDE AT (972) 450-2847 AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
 - ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
 - CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE TOWN OF ADDISON FOR WORKING WITHIN THE PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL ALSO OBTAIN AN EXCAVATION PERMIT FROM THE TOWN OF ADDISON.
 - THE UTILITY CONTRACTOR SHALL SUBMIT TO THE TOWN OF ADDISON FOR APPROVAL A TRENCH SAFETY PLAN SEALED BY A REGISTERED PROFESSIONAL ENGINEER FOR THE INSTALLATION OF UTILITIES GREATER THAN FIVE (5) FEET IN DEPTH.
 - A ONE YEAR 10% MAINTENANCE BOND IS REQUIRED FOR THE PUBLIC INFRASTRUCTURE.
 - CONTRACTOR SHALL DEMONSTRATE THAT THE WATER AND SANITARY SEWER SYSTEMS MEET THE PROPER PRESSURE, BACTERIA AND MANDREL TESTS. IN ADDITION, THE OWNER SHALL PROVIDE A VHS FORMAT VIDEO TAPE OF THE SANITARY SEWER.
 - DURING CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION.
 - THE CONTRACTOR SHALL SUBMIT MATERIAL SHEETS TO THE TOWN OF ADDISON FOR APPROVAL PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
 - ALL EXISTING AND PROPOSED IMPROVEMENTS (VALVES, MANHOLES, FIRE HYDRANTS, WATER METERS, ETC.) SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.



TYPICAL NATIVE MATERIAL COMPACTED TO:
 95% OF STANDARD PROCTOR DENSITY AT
 OPTIMUM MOISTURE 0 TO +3% UNDER PAVEMENT
 95% OF STANDARD PROCTOR DENSITY AT
 OPTIMUM MOISTURE 0 TO +3% OUTSIDE CURB LINES
 JETTING IS NOT ALLOWED
 BACKFILL TO BE COMPACTED IN 6" +/- LIFTS
 TYPICAL NATIVE MATERIAL (MAX. 3" DIA.)

PVC DRAINS SHALL BE SDR 35 SIZED AS NOTED ON THE PLANS. ADS PIPE SHALL BE N12 SIZED AS NOTED ON THE PLANS.

BENCHMARKS:

BM#5
 "I" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. 475' EAST OF PASCHAL PLACE. ELEV. 629.98

BM#6
 "I" CUT AT C/O 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29

BM#7
 "I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

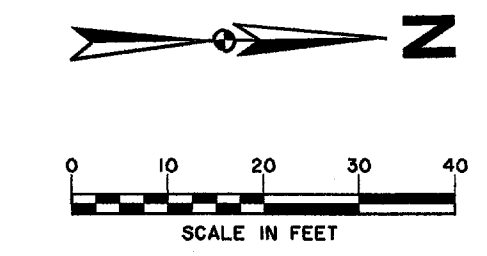
MISC. DETAILS AND GENERAL NOTES

ADDISON CIRCLE

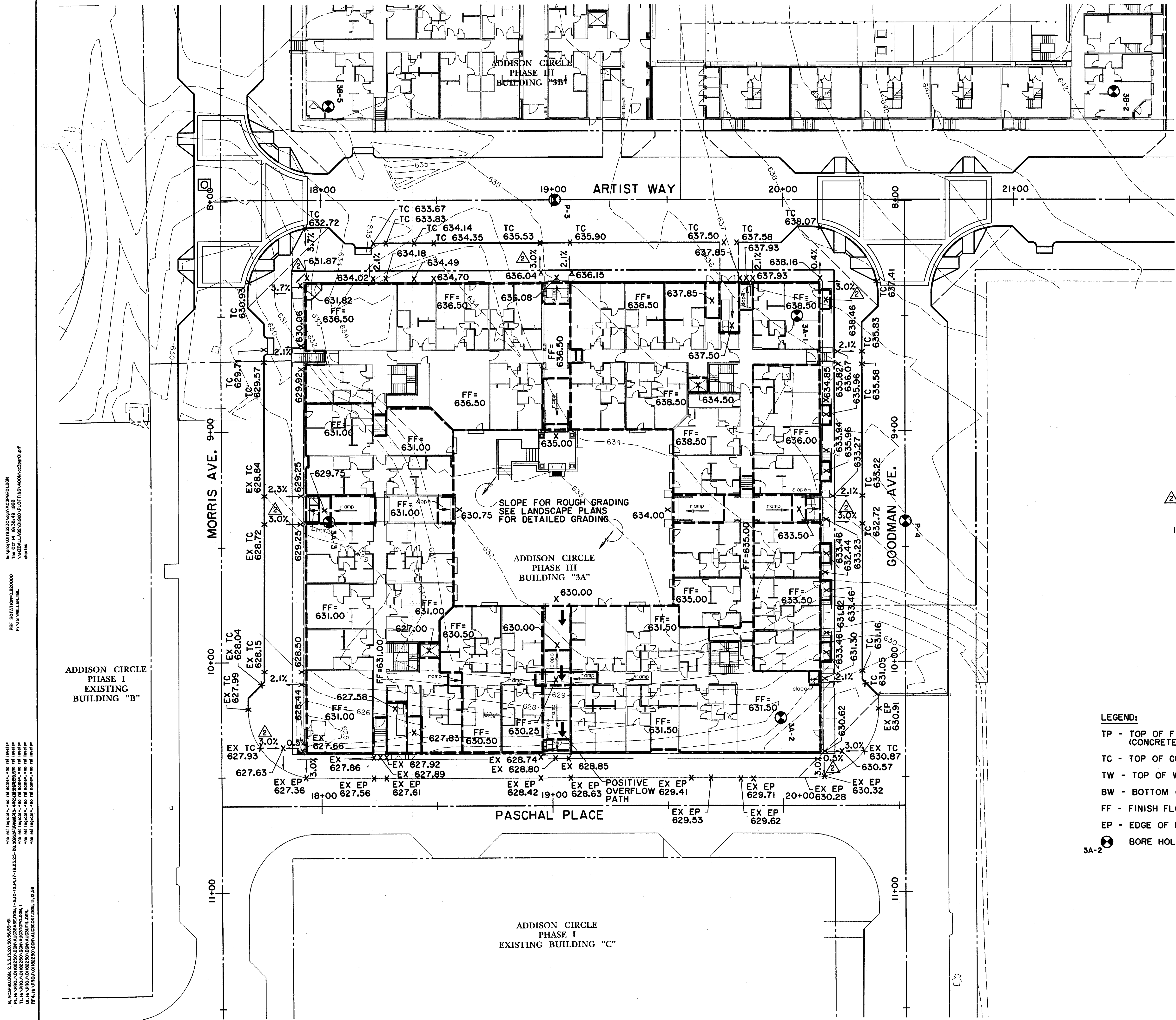
PHASE 3 PRIVATE

TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	N.T.S.	JUN 99	01-1932-30	MI



THIS PLAN IS FOR SITE ROUGH GRADING ONLY. SEE ARCHITECT'S PLANS FOR BUILDING FOUNDATIONS, DETAILED FINISHED FLOOR ELEVATIONS AND DIMENSIONS. SEE PUBLIC INFRASTRUCTURE PLANS FOR STREET GRADES.



- PLAN ELEVATIONS ARE TO FINISHED BUILDING SLAB, PAVEMENT OR PLANTING AREA. ADJUSTMENTS FOR SLAB, PAVEMENT AND PLANTING BED THICKNESS MUST BE MADE FOR THE PURPOSES OF EARTHWORK. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ELEMENTS NOT DETAILED IN THESE PLANS.
- ROUGH GRADING SHALL BE ACCOMPLISHED TO WITHIN +0.10 FEET OF PLAN ELEVATION (AFTER ADJUSTMENT FOR FINISH THICKNESS).
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- ALL FILL IN PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN 6-INCH TO 8-INCH LOOSE LIFTS COMPACTED TO BETWEEN 95% AND 100% OF ITS MAXIMUM DRY DENSITY BETWEEN 0% AND +3% OF OPTIMUM MOISTURE CONTENT. ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY OTHERS.
- ALL TREES, STUMPS, BRUSH, GRASSES AND SURFACE ORGANICS ARE TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE. TREE REMOVAL PERMITS, IF REQUIRED, WILL BE OBTAINED BY THE OWNER.
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- THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER THE PLANS AND MAINTAIN STREETS FREE OF MUD, DIRT AND DEBRIS FOR THE DURATION OF THIS WORK.
- CONTRACTOR SHALL ASSUME MAINTENANCE OF EROSION CONTROL MEASURES UPON THE DEPARTURE OF THE UTILITY CONTRACTOR OR THE COMMENCEMENT OF PAVING, WHICHEVER IS LATER. OWNER WILL MAINTAIN EROSION CONTROL MEASURES WHEN NO CONTRACTORS ARE ACTIVE ON THE SITE (UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS).
- SPOT GRADES AT R.O.W. ARE BASED ON 1/4" / FT. CROSS SLOPE UNLESS OTHERWISE NOTED. THIS CROSS SLOPE MAY BE VARIED FROM 1/2" TO 3/4" TO MAXIMIZE ACCESSIBILITY WITHIN THE BUILDING.
- NO PRIVATE ENCROACHMENTS INTO PUBLIC RIGHT-OF-WAY SHALL BE ALLOWED EXCEPT AS FOLLOWS: 0' - 10' HEIGHT, NONE; 10' - 20' HEIGHT, ONE FOOT; 20' PLUS, EIGHT FEET UNLESS SPECIFICALLY PRE-APPROVED. THIS INCLUDES ALL WINDOWS, DOORS, HANDRAILS, BALCONIES, LIGHTS, GUTTERS ETC.

- LEGEND:**
- TP - TOP OF FINISHED PAVEMENT; (CONCRETE OR BRICK)
 - TC - TOP OF CURB
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL
 - FF - FINISH FLOOR
 - EP - EDGE OF PAVEMENT
 - 3A-2 BORE HOLE LOCATIONS

BENCHMARKS:

BM#5
"C" CUT ON 8' INLET ON NORTH CURB LINE OF GOODMAN AVE. 175' EAST OF PASCHAL PLACE. ELEV. 629.98

BM#6
"C" CUT AT E. OF 8' INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29

BM#7
"C" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 10/15/99

DATE	DESCRIPTION	REF. NO.
10/13/99	GRADE REVISED PER TDLR REVIEW	2
7/27/99	REMOVED GRADE BREAK EAST SIDE	1
7/16/99	ISSUED FOR CONSTRUCTION	N/A
7/14/99	FINAL COORDINATION W/ ARCH. SLAB PLANS	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

BLDG. "3A" ROUGH GRADING PLAN

ADDISON CIRCLE

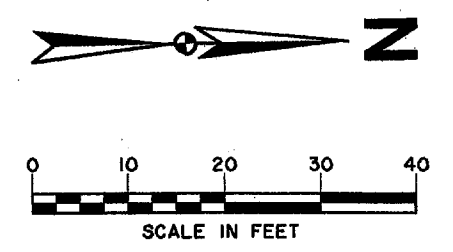
PHASE 3 PRIVATE

TOWN OF ADDISON, TEXAS

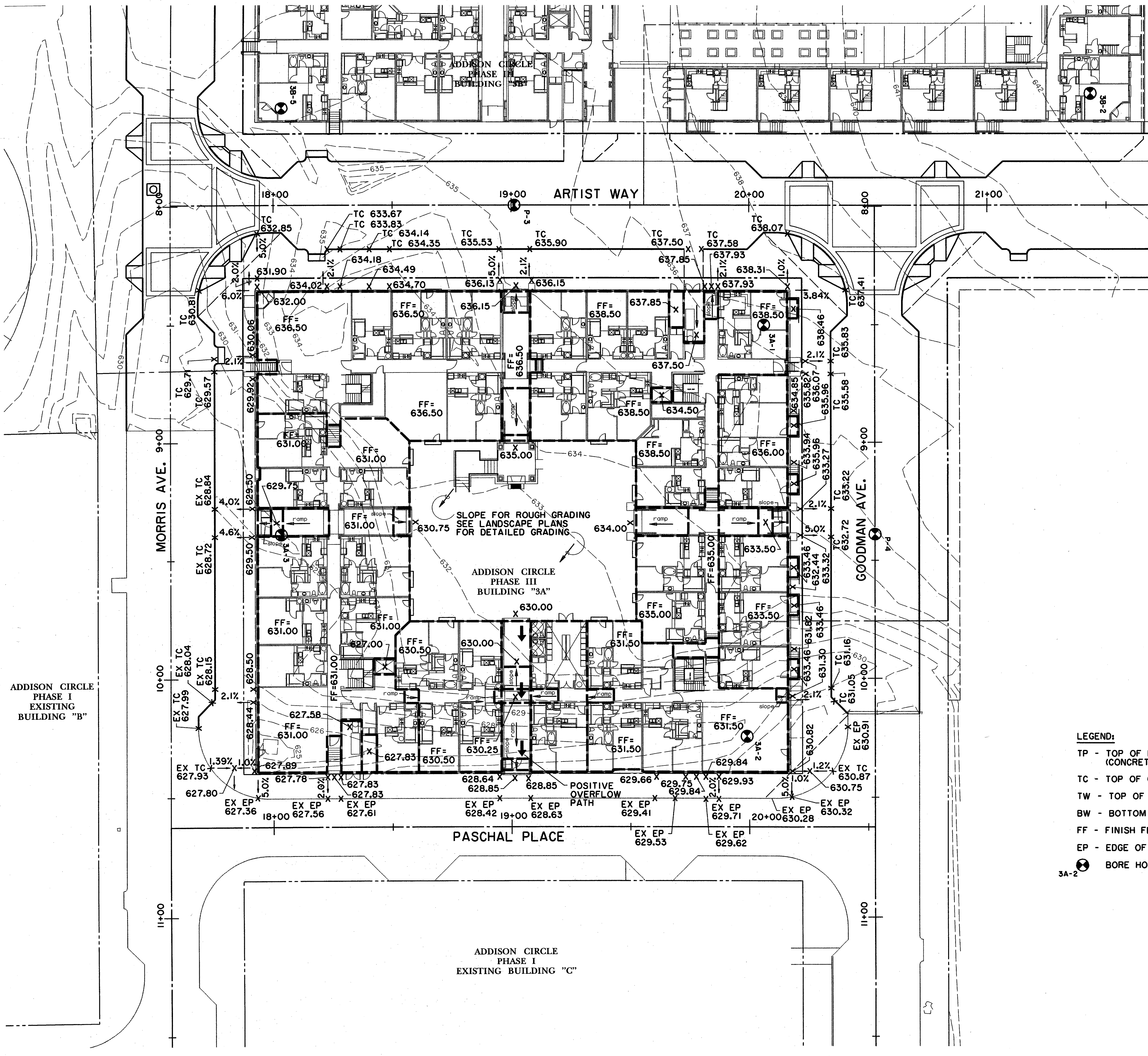
HUIH - 2010rs, Inc.
 3131 McKinney Ave., Suite 600, Dallas, TX 75204
 Phone (214) 871-3311 / Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	H:1"=20'	JUL 99	01-1932-30	GRI

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 PLAN NUMBER: 01



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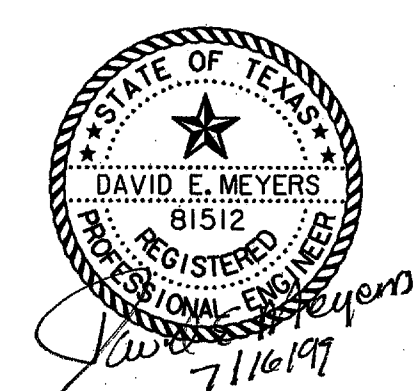
GRADING NOTES

1. SEE "GENERAL NOTES - ALL DISCIPLINES" ON SHEET M1.
2. PLAN ELEVATIONS ARE TO FINISHED BUILDING SLAB, PAVEMENT OR PLANTING AREA. ADJUSTMENTS FOR SLAB, PAVEMENT AND PLANTING BED THICKNESS MUST BE MADE FOR THE PURPOSES OF EARTHWORK. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ELEMENTS NOT DETAILED IN THESE PLANS.
3. ROUGH GRADING SHALL BE ACCOMPLISHED TO WITHIN +0.10 FEET OF PLAN ELEVATION (AFTER ADJUSTMENT FOR FINISH THICKNESS).
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10. SPOT GRADES AT R.O.W. ARE BASED ON 1/4" / FT. CROSS SLOPE UNLESS OTHERWISE NOTED. THIS CROSS SLOPE MAY BE VARIED FROM 1% TO 5% TO MAXIMIZE ACCESSIBILITY WITHIN THE BUILDING.
11. NO PRIVATE ENCROACHMENTS INTO PUBLIC RIGHT-OF-WAY SHALL BE ALLOWED EXCEPT AS FOLLOWS: 0' - 10' HEIGHT, NONE; 10' - 20' HEIGHT, ONE FOOT; 20' PLUS, EIGHT FEET UNLESS SPECIFICALLY PRE-APPROVED. THIS INCLUDES ALL WINDOWS, DOORS, HANDRAILS, BALCONIES, LIGHTS, GUTTERS ETC.

BENCHMARKS:

- BM#5
"C" CUT ON 8' INLET ON NORTH CURB LINE OF GOODMAN AVE. ±75' EAST OF PASCHAL PLACE. ELEV. 629.98
- BM#6
"C" CUT AT E OF 8' INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29
- BM#7
"C" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 8152 ON 7/16/99



LEGEND:

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- TC - TOP OF CURB
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- FF - FINISH FLOOR
- EP - EDGE OF PAVEMENT
- 3A-2 (with circle and crosshair) - BORE HOLE LOCATIONS

DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
7/14/99	FINAL COORDINATION W/ ARCH. SLAB PLANS	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

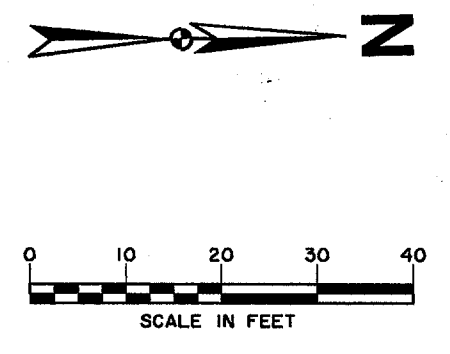
BLDG. "3A" ROUGH GRADING PLAN

**ADDISON CIRCLE
PHASE 3 PRIVATE
TOWN OF ADDISON, TEXAS**

Hull - Zollars, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	H:1"=20'	JUL 99	01-1932-30	01

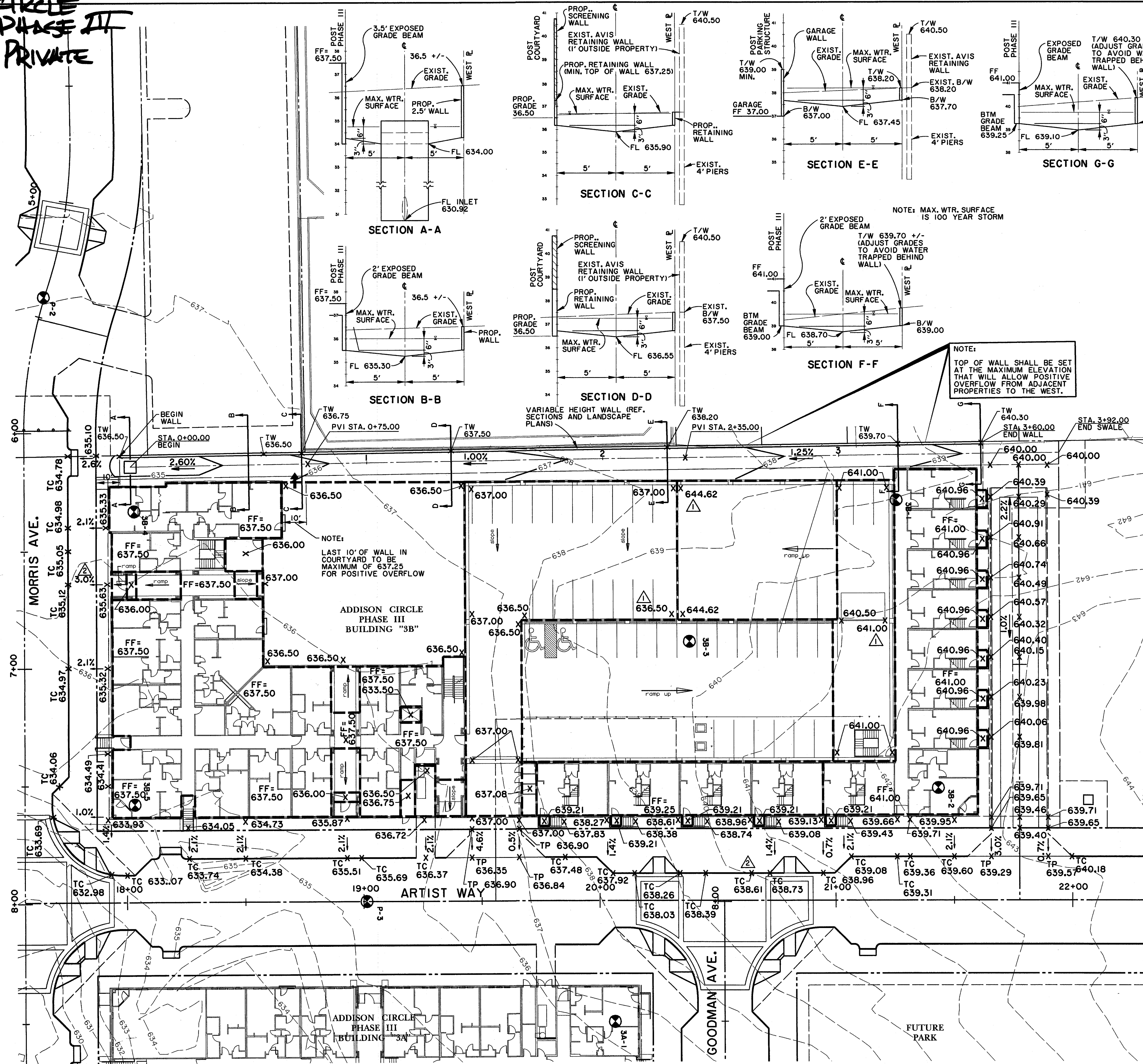
**ADDITION
CIRCLE
PHASE III
PRIVATE**



THIS PLAN IS FOR SITE ROUGH GRADING ONLY. SEE ARCHITECT'S PLANS FOR BUILDING FOUNDATIONS, DETAILED FINISHED FLOOR ELEVATIONS AND DIMENSIONS. SEE PUBLIC INFRASTRUCTURE PLANS FOR STREET GRADES.

GRADING NOTES

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- SPOT GRADES AT R.O.W. ARE BASED ON 1/4" / FT. CROSS SLOPE UNLESS OTHERWISE NOTED. THIS CROSS SLOPE MAY BE VARIED FROM 1% TO 3% TO MAXIMIZE ACCESSIBILITY WITHIN THE BUILDING.
- NO PRIVATE ENCROACHMENTS INTO PUBLIC RIGHT-OF-WAY SHALL BE ALLOWED EXCEPT AS FOLLOWS: 0' - 10' HEIGHT, NONE; 10' - 20' HEIGHT, ONE FOOT; 20' PLUS, EIGHT FEET UNLESS SPECIFICALLY PRE-APPROVED. THIS INCLUDES ALL WINDOWS, DOORS, HANDRAILS, BALCONIES, LIGHTS, GUTTERS ETC.



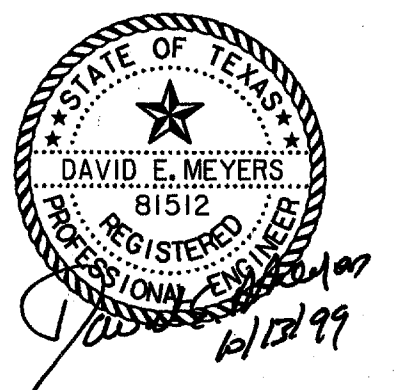
LEGEND:

- TP - TOP OF FINISHED PAVEMENT; (CONCRETE OR BRICK)
- TC - TOP OF CURB
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- FF - FINISH FLOOR
- EP - EDGE OF PAVEMENT
- BORE HOLE LOCATIONS

BENCHMARKS:

- BM#5
"I" CUT ON 8' INLET ON NORTH CURB LINE OF GOODMAN AVE. 175' EAST OF PASCHAL PLACE. ELEV. 629.98
- BM#6
"I" CUT AT C/C OF 8' INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29
- BM#7
"I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 10/13/99



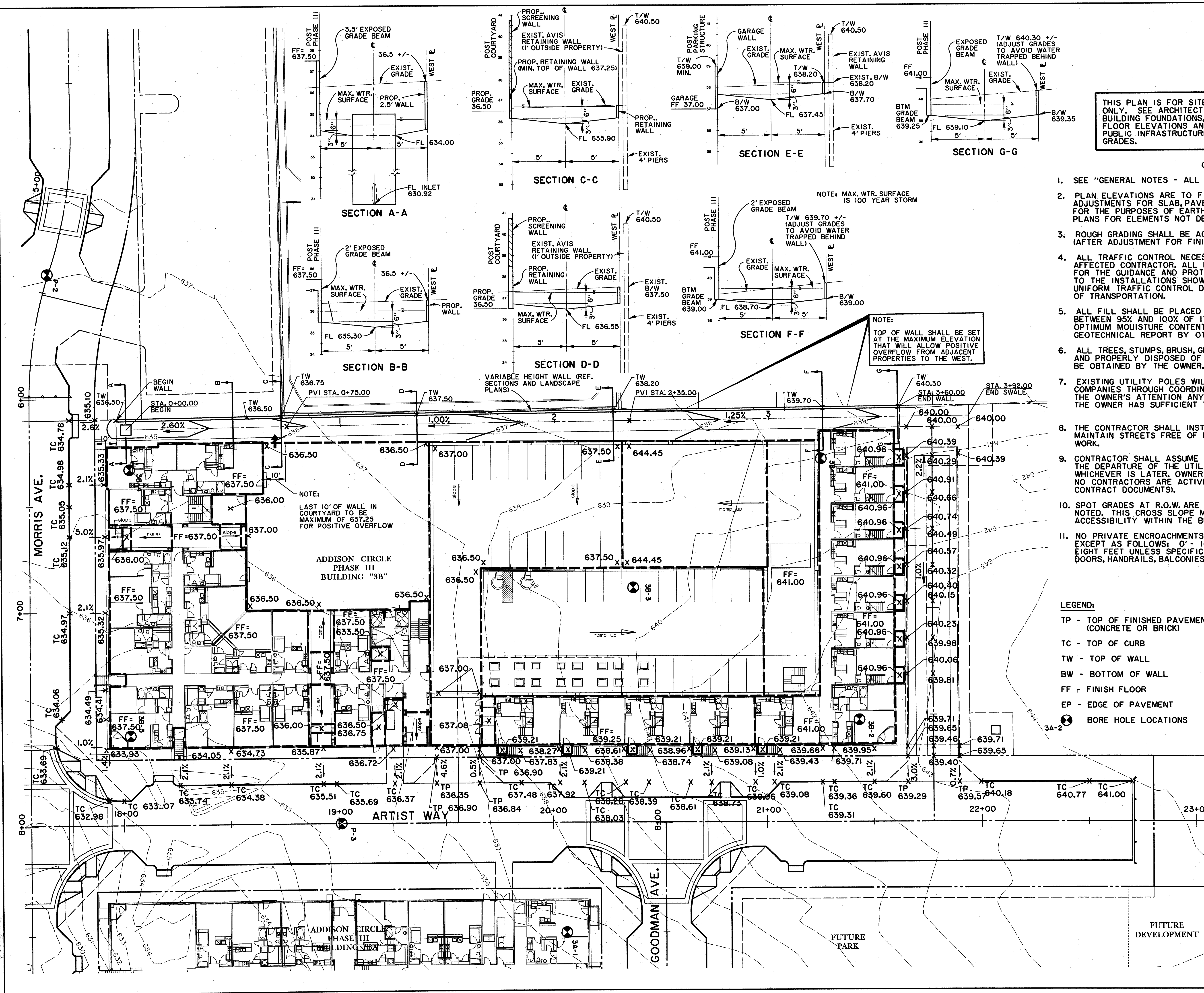
DATE	DESCRIPTION	REF. NO.
10/13/99	GRADE REVISED PER TDLR REVIEW	2
7/23/99	REVISED GARAGE GRADES	1
7/16/99	ISSUED FOR CONSTRUCTION	N/A
7/14/99	FINAL COORDINATION W/ ARCH. SLAB PLANS	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

BLDG. "3B" ROUGH GRADING PLAN

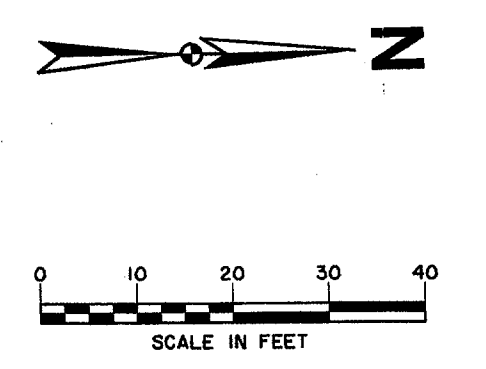
**ADDISON CIRCLE
PHASE 3 PRIVATE
TOWN OF ADDISON, TEXAS**

HUTT - ZOTTE, INC.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	H=1"=20'	JUL 99	01-1932-30	GR2



THIS PLAN IS FOR SITE ROUGH GRADING ONLY. SEE ARCHITECT'S PLANS FOR BUILDING FOUNDATIONS, DETAILED FINISHED FLOOR ELEVATIONS AND DIMENSIONS. SEE PUBLIC INFRASTRUCTURE PLANS FOR STREET GRADES.



GRADING NOTES

- SEE "GENERAL NOTES - ALL DISCIPLINES" ON SHEET MI.
- PLAN ELEVATIONS ARE TO FINISHED BUILDING SLAB, PAVEMENT OR PLANTING AREA. ADJUSTMENTS FOR SLAB, PAVEMENT AND PLANTING BED THICKNESS MUST BE MADE FOR THE PURPOSES OF EARTHWORK. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ELEMENTS NOT DETAILED IN THESE PLANS.
- ROUGH GRADING SHALL BE ACCOMPLISHED TO WITHIN +0.10 FEET OF PLAN ELEVATION (AFTER ADJUSTMENT FOR FINISH THICKNESS).
- ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.
- ALL FILL SHALL BE PLACED IN 6-INCH TO 8-INCH LOOSE LIFTS COMPACTED TO BETWEEN 95% AND 100% OF ITS MAXIMUM DRY DENSITY BETWEEN 0% AND +5% OF OPTIMUM MOISTURE CONTENT. ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY OTHERS.
- ALL TREES, STUMPS, BRUSH, GRASSES AND SURFACE ORGANICS ARE TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE. TREE REMOVAL PERMITS, IF REQUIRED, WILL BE OBTAINED BY THE OWNER.
- EXISTING UTILITY POLES WILL BE REMOVED OR RELOCATED BY THE UTILITY COMPANIES THROUGH COORDINATION BY THE OWNER. CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY FACILITIES THAT APPEAR TO BE IN CONFLICT SO THAT THE OWNER HAS SUFFICIENT TIME TO ACCOMPLISH THE NECESSARY RELOCATIONS.
- THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER THE PLANS AND MAINTAIN STREETS FREE OF MUD, DIRT AND DEBRIS FOR THE DURATION OF THIS WORK.
- CONTRACTOR SHALL ASSUME MAINTENANCE OF EROSION CONTROL MEASURES UPON THE DEPARTURE OF THE UTILITY CONTRACTOR OR THE COMMENCEMENT OF PAVING, WHICHEVER IS LATER. OWNER WILL MAINTAIN EROSION CONTROL MEASURES WHEN NO CONTRACTORS ARE ACTIVE ON THE SITE (UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS).
- SPOT GRADES AT R.O.W. ARE BASED ON 1/4" FT. CROSS SLOPE UNLESS OTHERWISE NOTED. THIS CROSS SLOPE MAY BE VARIED FROM 1% TO 5% TO MAXIMIZE ACCESSIBILITY WITHIN THE BUILDING.
- NO PRIVATE ENCROACHMENTS INTO PUBLIC RIGHT-OF-WAY SHALL BE ALLOWED EXCEPT AS FOLLOWS: 0' - 10' HEIGHT, NONE; 10' - 20' HEIGHT, ONE FOOT; 20' PLUS, EIGHT FEET UNLESS SPECIFICALLY PRE-APPROVED. THIS INCLUDES ALL WINDOWS, DOORS, HANDRAILS, BALCONIES, LIGHTS, GUTTERS ETC.

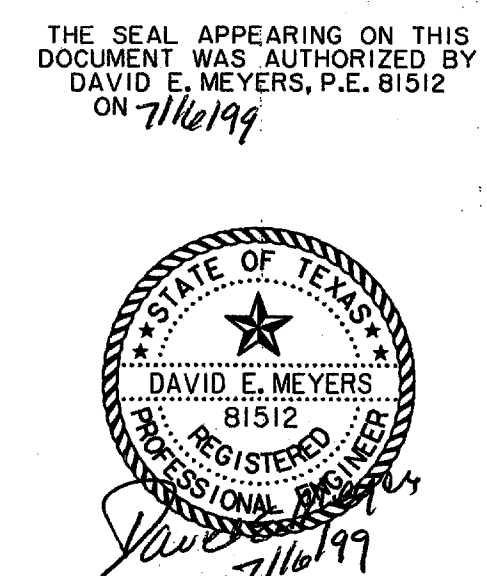
NOTE: TOP OF WALL SHALL BE SET AT THE MAXIMUM ELEVATION THAT WILL ALLOW POSITIVE OVERFLOW FROM ADJACENT PROPERTIES TO THE WEST.

NOTE: MAX. WTR. SURFACE IS 100 YEAR STORM

LEGEND:

- TP - TOP OF FINISHED PAVEMENT; (CONCRETE OR BRICK)
- TC - TOP OF CURB
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- FF - FINISH FLOOR
- EP - EDGE OF PAVEMENT
- ⊙ - BORE HOLE LOCATIONS

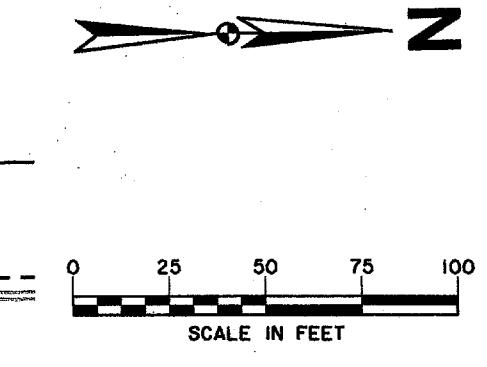
BENCHMARKS:
 BM#5
 "I" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. +75' EAST OF PASCHAL PLACE. ELEV. 629.98
 BM#6
 "I" CUT AT E OF 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29
 BM#7
 "I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66



DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
7/14/99	FINAL COORDINATION W/ ARCH. SLAB PLANS	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

BLDG. "3B" ROUGH GRADING PLAN					
ADDISON CIRCLE					
PHASE 3 PRIVATE					
TOWN OF ADDISON, TEXAS					
<small>Hull - Zolters, Inc. 3131 McKinney Ave., Suite 600, Dallas, TX 75204 Phone (214) 871-3311/Fax (214) 871-0757</small>					
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.
HZI	HZI	DEM	H:1"=20'	JUL 99	01-1932-30
					NO. 3

NOTE:
1. ALL AREAS OUTSIDE OF BUILDING WILL SURFACE DRAIN TO THE PUBLIC STORM SEWER SYSTEM. SEE ADDISON CIRCLE PHASE II PUBLIC INFRASTRUCTURE PLANS FOR DETAILED INFORMATION.



AREA NO.	RUNOFF COEFFICIENT 'C'	I 100 (IN/HR)	AREA (ACRES)	Q 100 (CF/S)
1	0.90	8.74	0.12	0.94
2	0.90	8.74	0.31	2.44
3	0.90	8.74	0.12	0.94
4	0.90	8.74	0.52	4.09
5	0.90	8.74	0.10	0.79
6	0.90	8.74	0.14	1.10
7	0.90	8.74	0.15	1.18
8	0.90	8.74	0.16	1.26
9	0.90	8.74	0.13	1.02
10	0.90	8.74	0.16	1.25
11	0.90	8.74	0.51	4.00

— DRAINAGE AREA DIVIDE
 → DIRECTION OF SURFACE FLOW

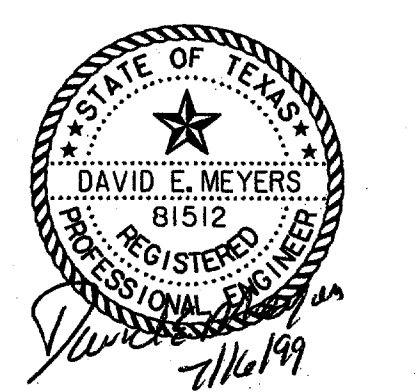
RUNOFF CRITERIA

C=0.90
 MINIMUM t_c=10.00 MINUTES
 I₁₀₀=8.74 in/hr

○ A-1 DRAINAGE AREA DESIGNATION
 ○ 0.32 TOTAL DRAINAGE AREA (ACRES) AT POINT OF CONCENTRATION
 ○ 2.52 Q100 (cfs)

BENCHMARKS:
 BM#5
 "C" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. 275' EAST OF PASCHAL PLACE. ELEV. 629.98
 BM#6
 "C" CUT AT 6" OF 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29
 BM#7
 "C" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

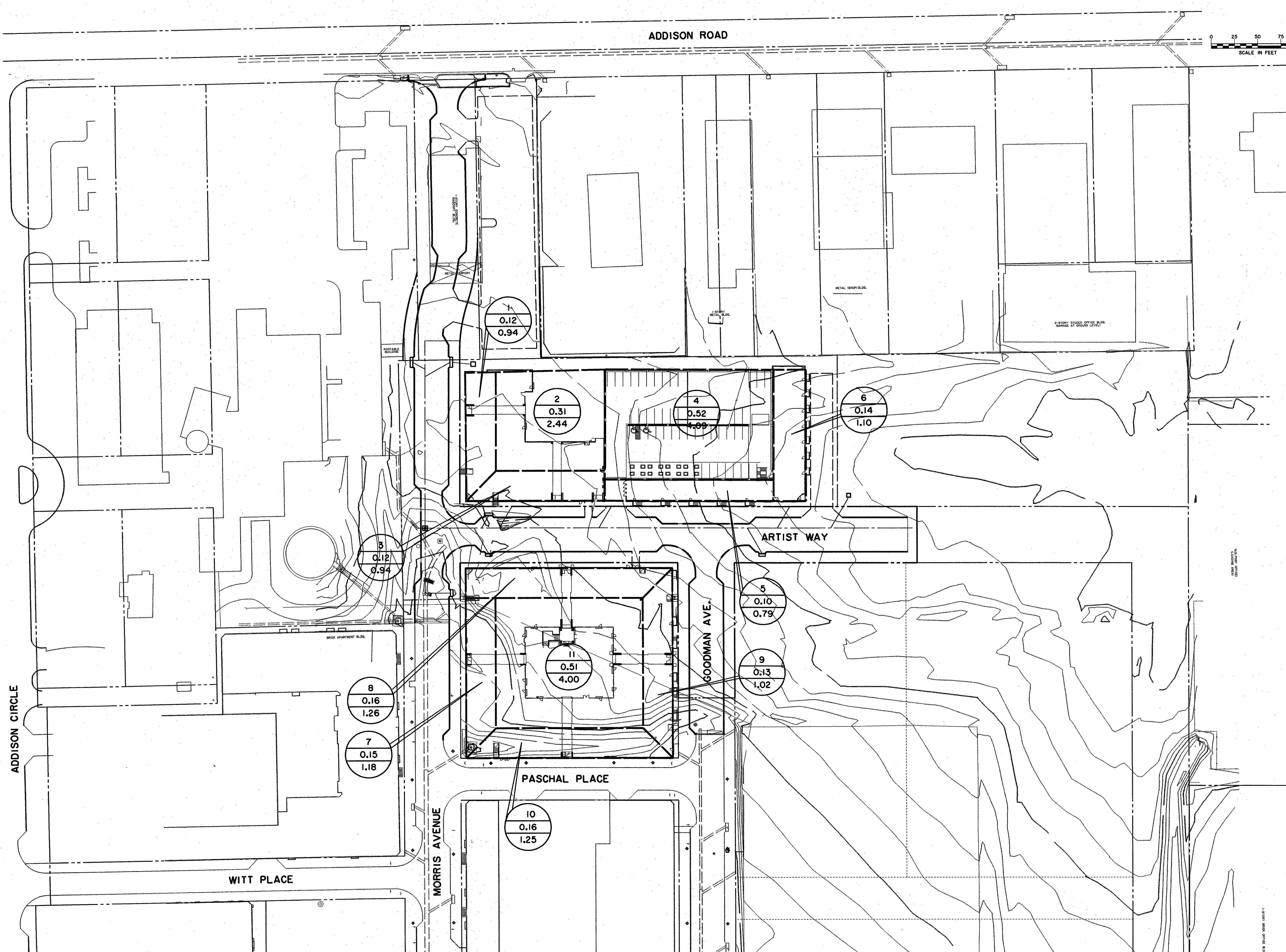


DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

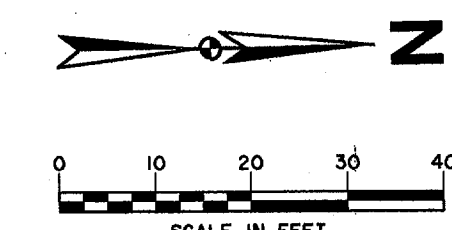
DRAINAGE AREA MAP
ADDISON CIRCLE
PHASE 3 PRIVATE
TOWN OF ADDISON, TEXAS

Huff 201ers, Inc.
 3131 McKinney Ave., Suite 800, Dallas, TX 75204
 Phone (214) 871-3311/Fax (214) 871-0757

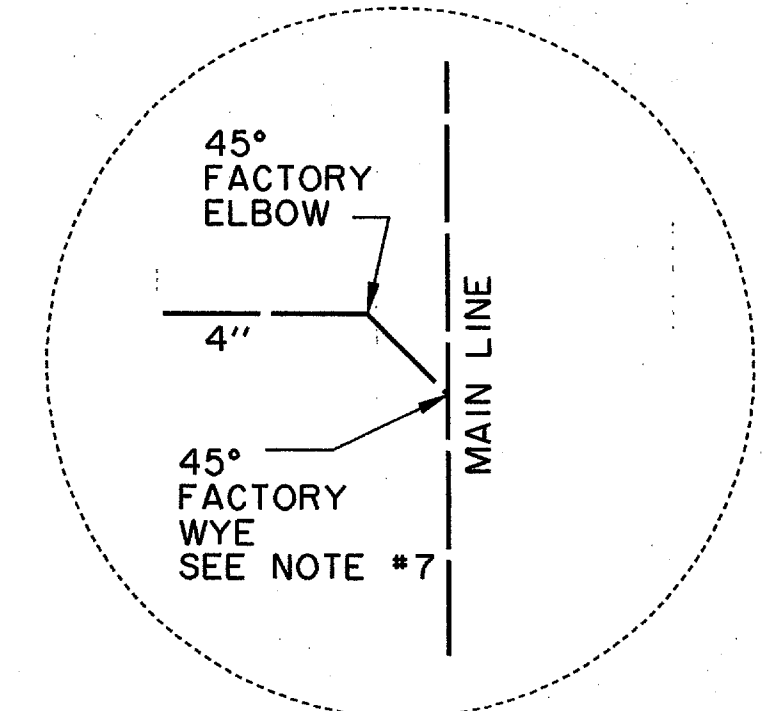
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HZI	HZI	DEM	1"=50'	JUL 99	01-1932-30	DI



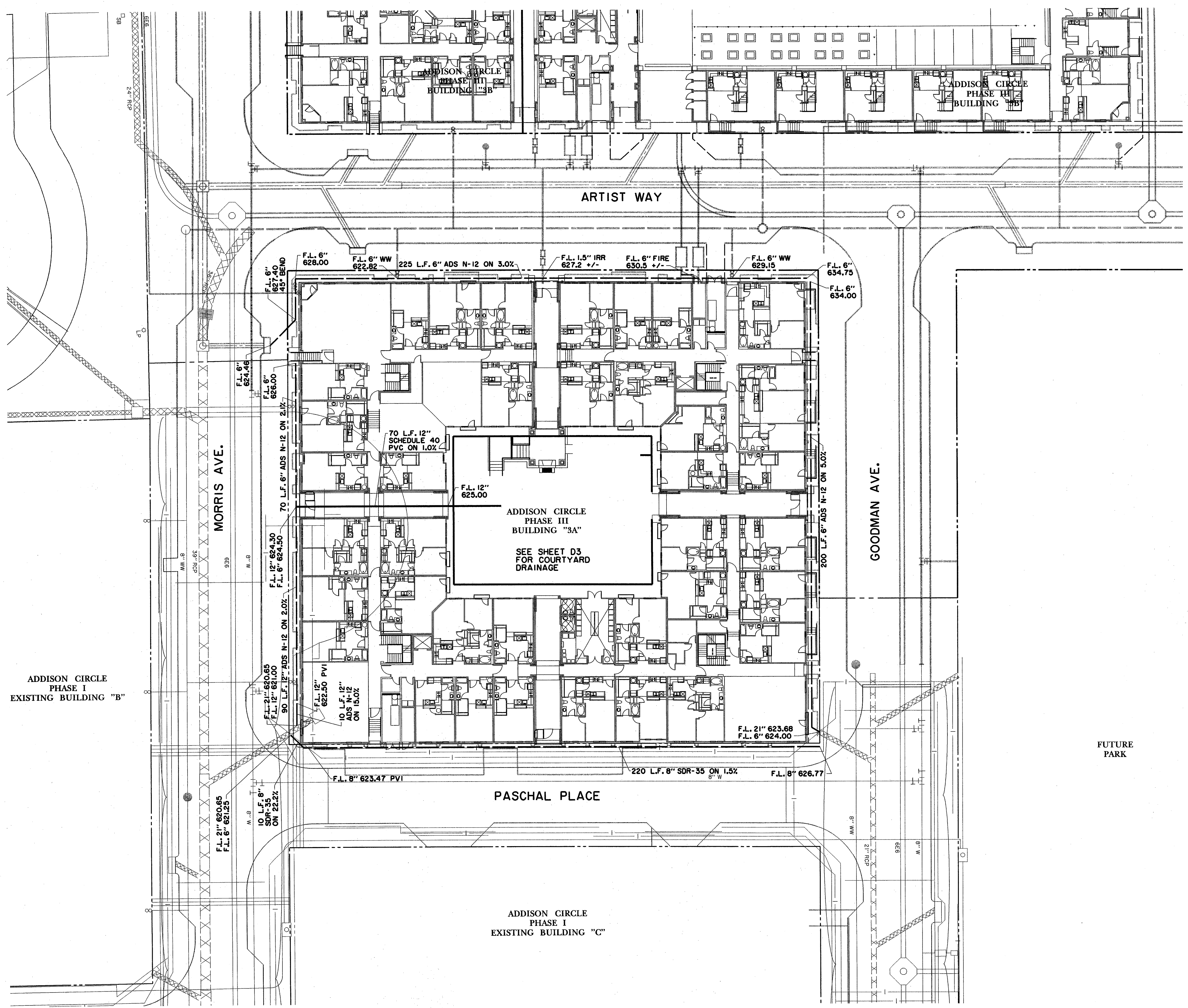
THE INFORMATION CONTAINED ON THIS DRAWING IS THE PROPERTY OF HUFF 201ERS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF HUFF 201ERS, INC. IS STRICTLY PROHIBITED.



- NOTES:**
1. PRIVATE DRAINS ARE TO BE LOCATED BETWEEN THE PROPERTY LINE AND THE BUILDING AS SHOWN IN TYPICAL SECTIONS. THE HORIZONTAL LOCATION SHOWN IS A GUIDE AND MAY BE ADJUSTED ON PRIVATE PROPERTY AS NEEDED TO AVOID CONFLICTS.
 2. SEE ADDISON CIRCLE PHASE III PUBLIC INFRASTRUCTURE PLANS FOR PUBLIC STORM DRAINAGE SYSTEM.
 3. SEE LANDSCAPE AND ARCHITECTURAL PLANS FOR DETAILED LOCATIONS OF PRIVATE DRAIN INLETS AND ROOF DOWNSPOUTS. INSTALL WYES AND RISERS FOR DOWNSPOUTS AT THE TIME THE MAIN IS INSTALLED.
 4. ALL PRIVATE DRAINS UNDER BUILDINGS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCALLY RECOGNIZED BUILDING CODE. ALTERNATE MATERIALS MAY BE REQUIRED.
 5. SPECIFIC ROUTING OF DRAINS MAY BE MODIFIED IN THE FIELD AT THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT AS LONG AS THE INDICATED SIZES AND SLOPES ARE MAINTAINED.
 6. CLEANOUTS SHALL BE INSTALLED AT APPROXIMATELY 100' INTERVALS AND AT ALL CHANGES IN ALIGNMENT. LOCATE CLEANOUTS IN PLANTING AREAS TO THE EXTENT POSSIBLE.
 7. ALL CONNECTIONS BETWEEN DRAINS SHALL BE FACTORY WYES. ALL BENDS SHALL BE 45 DEGREE FACTORY ELBOWS.
 8. PRIVATE DRAINS IN PUBLIC RIGHT-OF-WAY TO BE TESTED PER NCTCOG STANDARD SPECIFICATIONS.



TYPICAL DRAIN CONNECTION

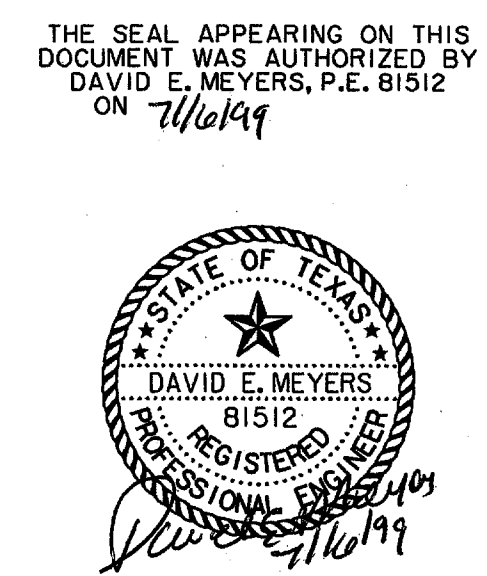


BENCHMARKS:

BM#5
"I" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. ±75' EAST OF PASCHAL PLACE. ELEV. 629.98

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BM#7
"I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66



DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

BLDG. "3A" DRAINAGE PLAN
ADDISON CIRCLE
 PHASE 3 PRIVATE
 TOWN OF ADDISON, TEXAS

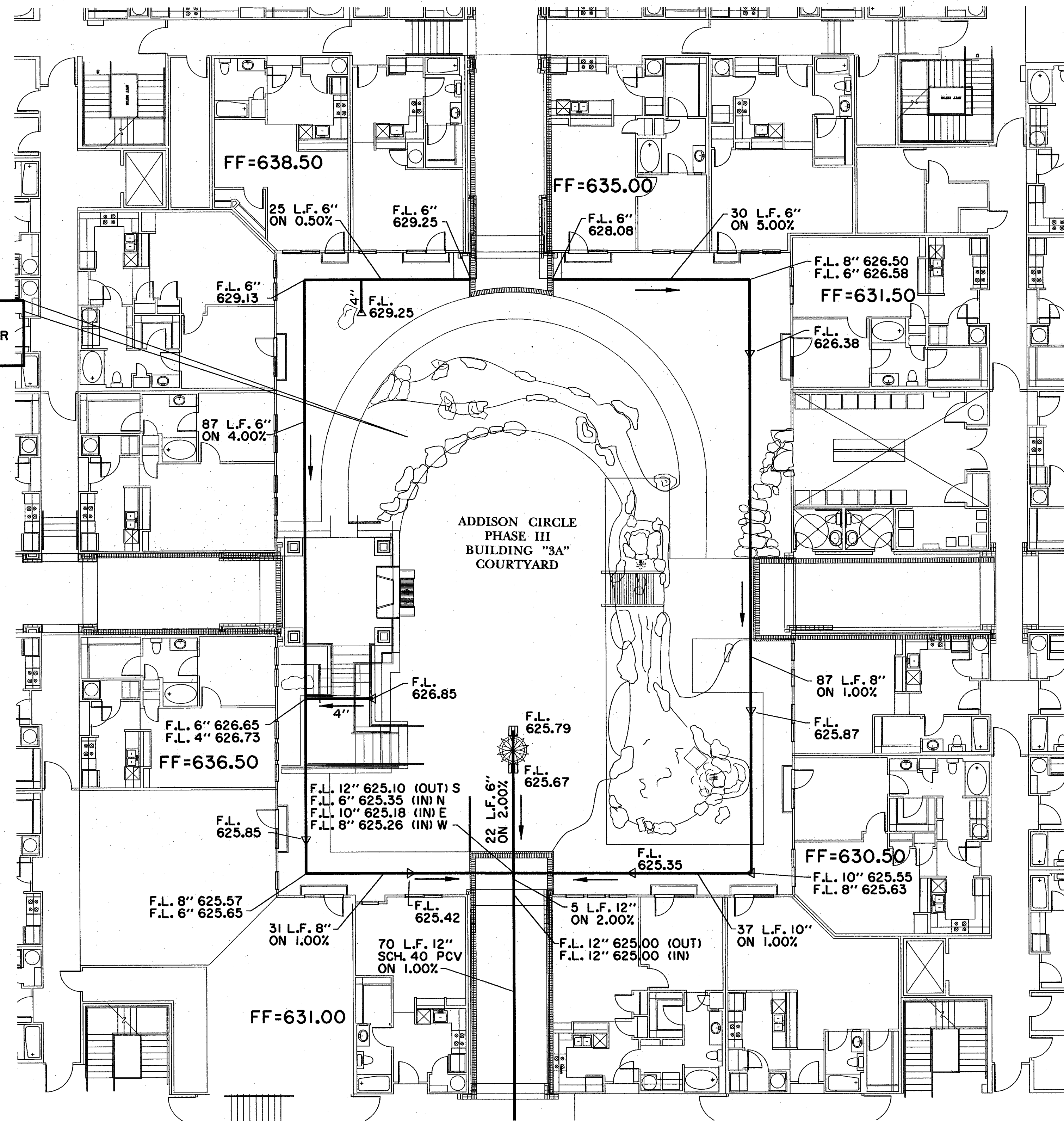
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	H ₁ 1"=20'	JUL 99	01-1932-30	D2

PREPARED BY: DAVID E. MEYERS, P.E., 81512
 DRAWN BY: HZI
 CHECKED BY: DEM
 DATE: JUL 99
 PROJECT NO: 01-1932-30
 SHEET NO: D2
 TOWN OF ADDISON, TEXAS
 ADDISON CIRCLE PHASE III BUILDING "3A" DRAINAGE PLAN

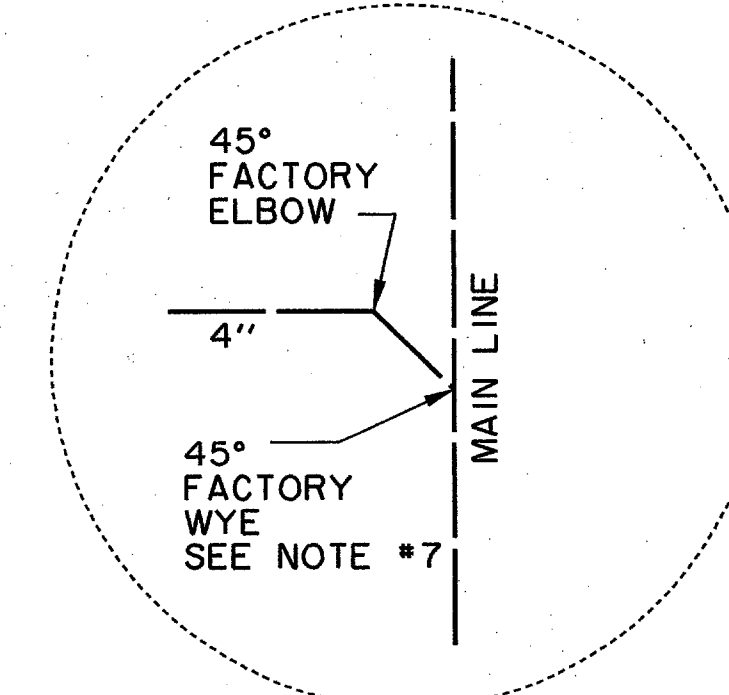
REF. NO. 110302000000
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 Thu Jul 20 12:14:37 1999
 DATE

TITLE BLOCK, 3.5x11.5 INCHES (91.4x292.1 mm)
 THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE ENGINEER OR ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT.
 P.O. BOX 110302, DALLAS, TEXAS 75240
 TEL: (214) 383-3333 FAX: (214) 383-3334
 WWW.HUNTGROUPS.COM
 HUNT GROUPS, INC.
 REGISTERED PROFESSIONAL ENGINEERS
 STATE OF TEXAS
 NO. 1116199

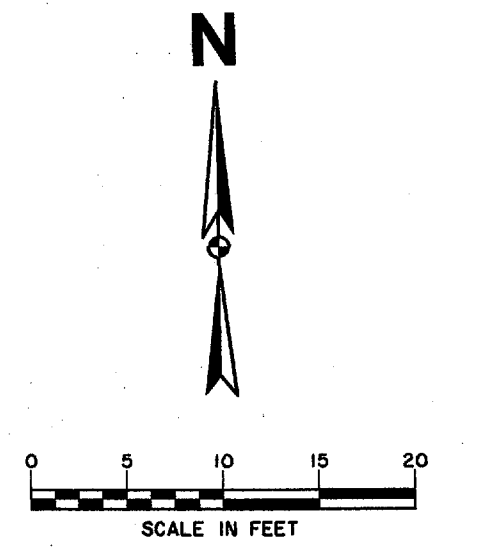
REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR FINISHED GRADING



SEE SHEET D2 FOR CONTINUATION OF ROOF DRAINAGE LAYOUT



TYPICAL DRAIN CONNECTION



- NOTES:**
- PRIVATE DRAINS ARE TO BE LOCATED BETWEEN THE PROPERTY LINE AND THE BUILDING AS SHOWN IN TYPICAL SECTIONS. THE HORIZONTAL LOCATION SHOWN IS A GUIDE AND MAY BE ADJUSTED ON PRIVATE PROPERTY AS NEEDED TO AVOID CONFLICTS.
 - SEE ADDISON CIRCLE PHASE III PUBLIC INFRASTRUCTURE PLANS FOR PUBLIC STORM DRAINAGE SYSTEM.
 - SEE LANDSCAPE AND ARCHITECTURAL PLANS FOR DETAILED LOCATIONS OF PRIVATE DRAIN INLETS AND ROOF DOWNSPOUTS. INSTALL WYES AND RISERS FOR DOWNSPOUTS AT THE TIME THE MAIN IS INSTALLED.
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 - CLEANOUTS SHALL BE INSTALLED AT APPROXIMATELY 100' INTERVALS AND AT ALL CHANGES IN ALIGNMENT. LOCATE CLEANOUTS IN PLANTING AREAS TO THE EXTENT POSSIBLE.
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 - PRIVATE DRAINS IN PUBLIC RIGHT-OF-WAY TO BE TESTED PER NCTCOG STANDARD SPECIFICATIONS.

LEGEND

- OUTFLOW TO PUBLIC SYSTEM
- 8" SQUARE DECORATIVE BRONZE DRAIN INLET
- BLACK BEEHIVE PLANTER DRAIN
- DIRECTION OF FLOW

BENCHMARKS:

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 "I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

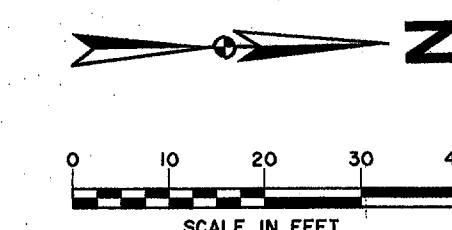
**BUILDING "3A"
 COURTYARD DRAINAGE PLAN**

PHASE 3 PRIVATE

TOWN OF ADDISON, TEXAS

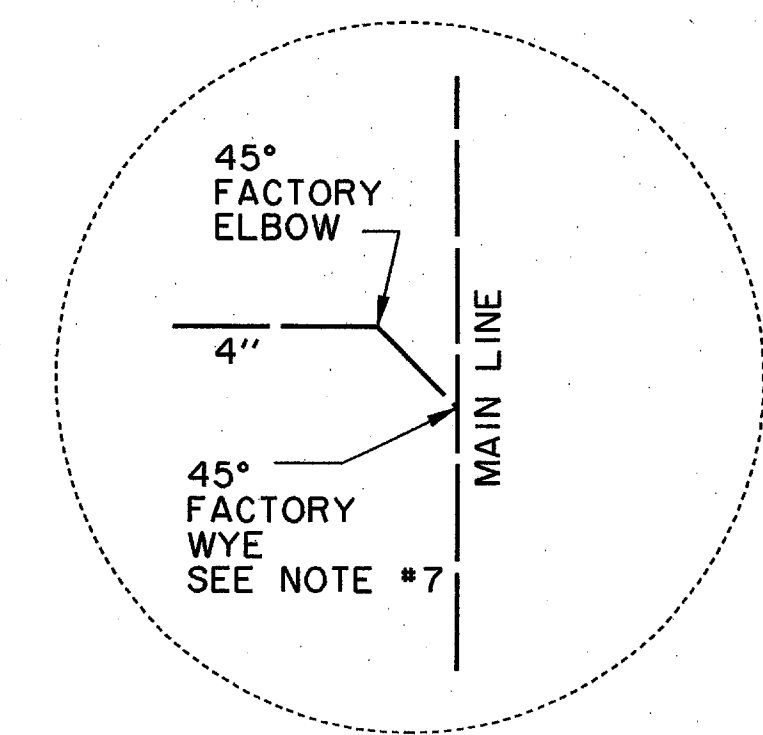
HUNT - ZOTTERS, INC.
 3131 McKinney Ave., Suite 600, Dallas, TX 75204
 Phone (214) 871-3311 / Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=10'	JUL 99	01-1932-30	D3



NOTES:

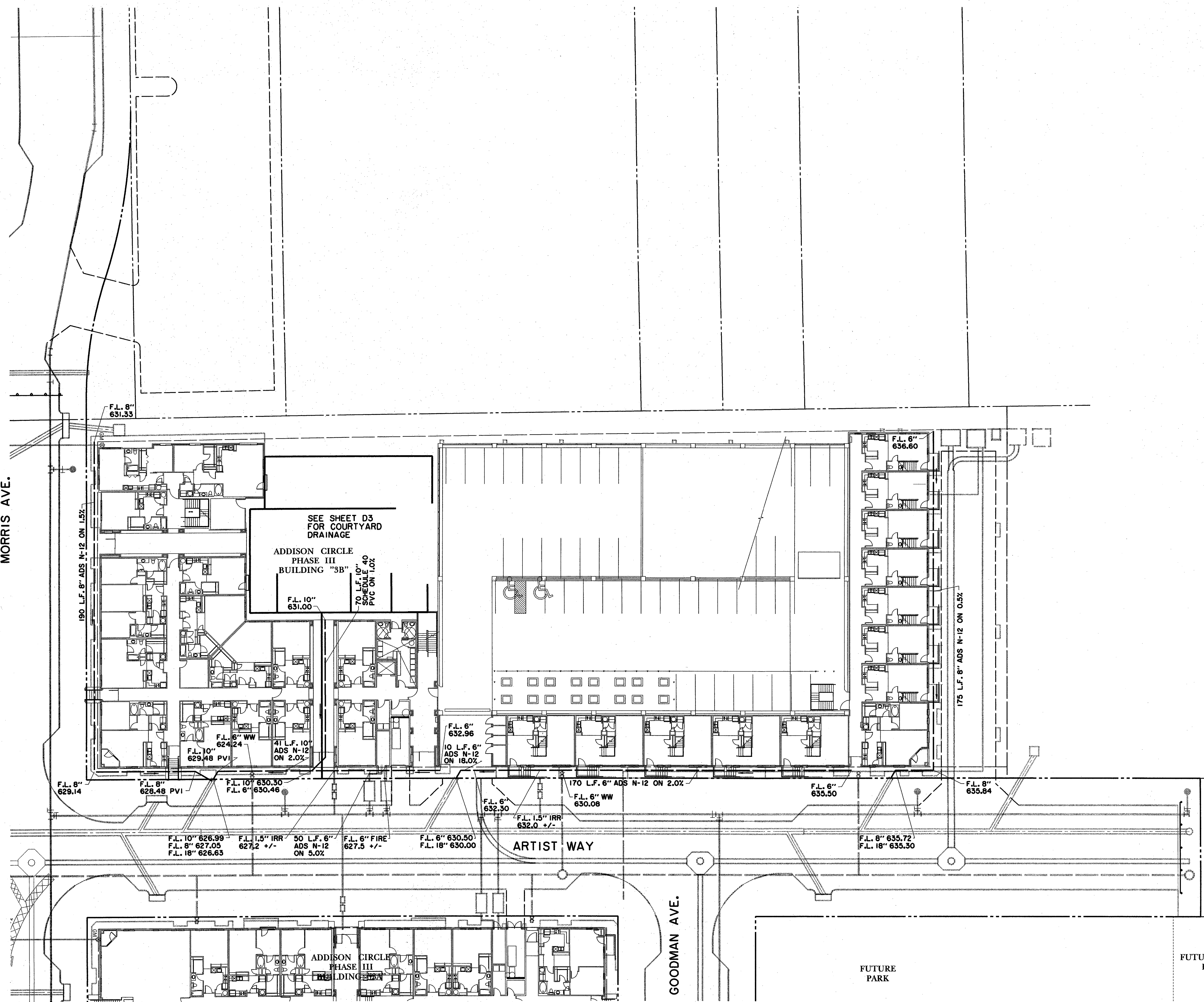
1. PRIVATE DRAINS ARE TO BE LOCATED BETWEEN THE PROPERTY LINE AND THE BUILDING AS SHOWN IN TYPICAL SECTIONS. THE HORIZONTAL LOCATION SHOWN IS A GUIDE AND MAY BE ADJUSTED ON PRIVATE PROPERTY AS NEEDED TO AVOID CONFLICTS.
2. SEE ADDISON CIRCLE PHASE III PUBLIC INFRASTRUCTURE PLANS FOR PUBLIC STORM DRAINAGE SYSTEM.
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8. PRIVATE DRAINS IN PUBLIC RIGHT-OF-WAY TO BE TESTED PER NCTCOG STANDARD SPECIFICATIONS.



TYPICAL DRAIN CONNECTION

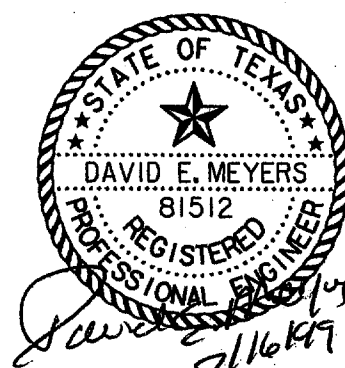
MORRIS AVE.

GOODMAN AVE.



BENCHMARKS:
 BM#5
 "I" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. ±75' EAST OF PASCHAL PLACE. ELEV. 629.98
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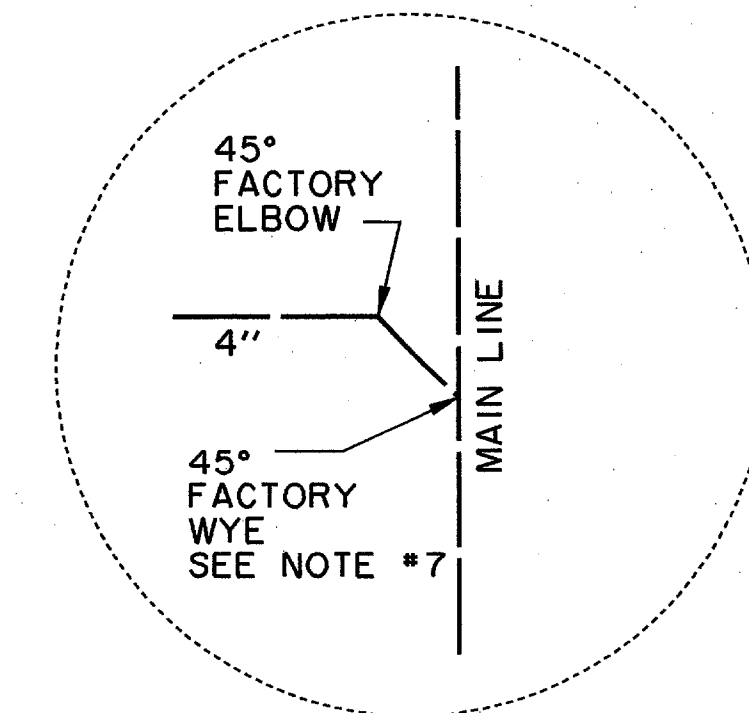
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99



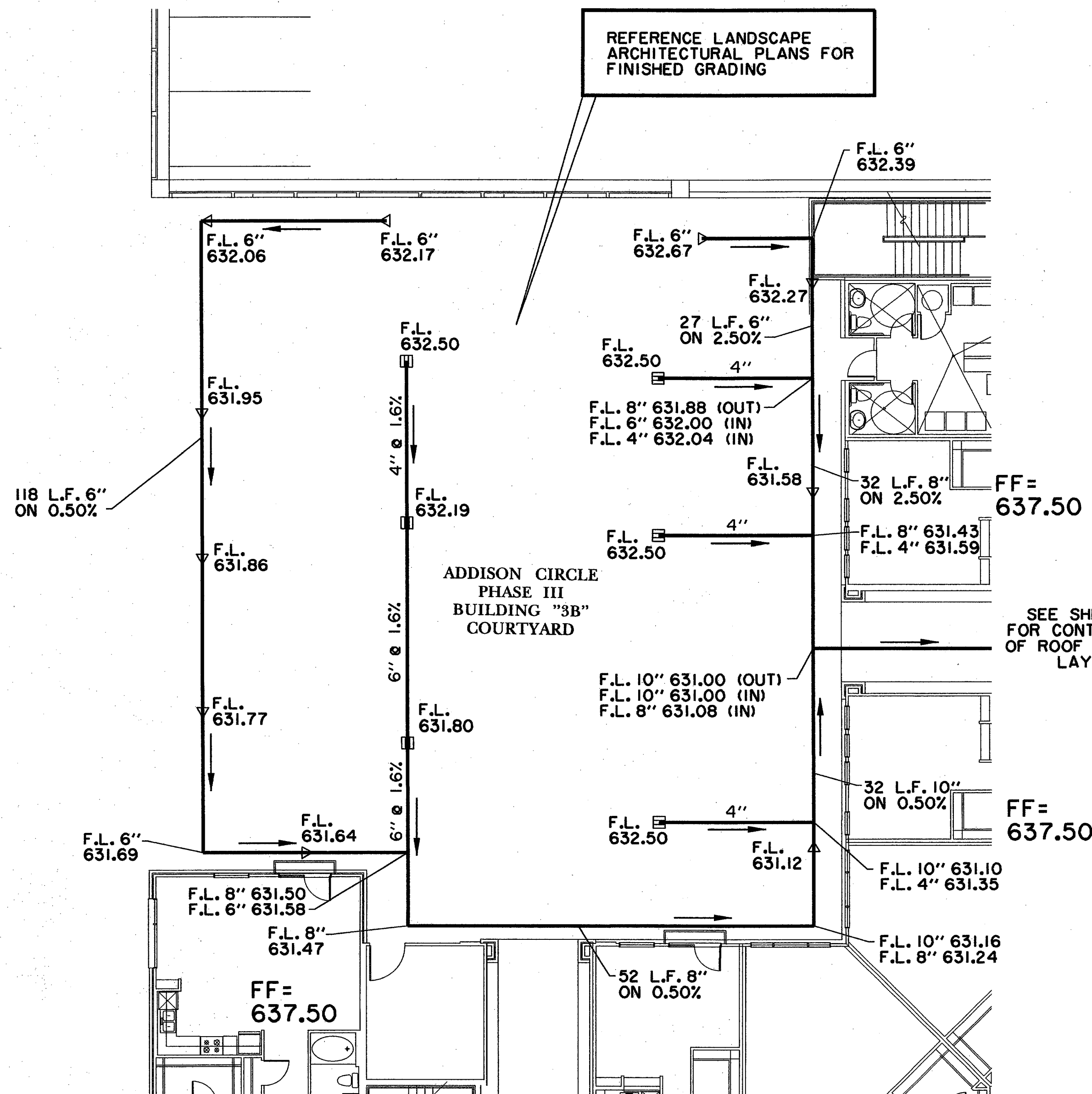
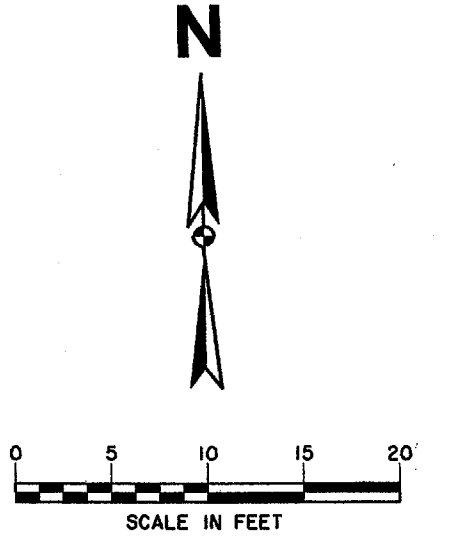
DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

BLDG. "3B" DRAINAGE PLAN
ADDISON CIRCLE
 PHASE 3 PRIVATE
 TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	H=1'=20'	JUL 99	01-1932-30	D4



TYPICAL DRAIN CONNECTION



NOTES:

1. PRIVATE DRAINS ARE TO BE LOCATED BETWEEN THE PROPERTY LINE AND THE BUILDING AS SHOWN IN TYPICAL SECTIONS. THE HORIZONTAL LOCATION SHOWN IS A GUIDE AND MAY BE ADJUSTED ON PRIVATE PROPERTY AS NEEDED TO AVOID CONFLICTS.
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LEGEND

- OUTFLOW TO PUBLIC SYSTEM
- ⊞ 8" SQUARE DECORATIVE BRONZE DRAIN INLET
- ▷ BLACK BEEHIVE PLANTER DRAIN
- ← DIRECTION OF FLOW

BENCHMARKS:

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"C" CUT ON 8' INLET ON NORTH CURB LINE OF GOODMAN AVE. ±75' EAST OF PASCHAL PLACE. ELEV. 629.98

BM*6
"C" CUT AT E. OF 8' INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29

BM*7
"C" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

**BUILDING "3B"
COURTYARD DRAINAGE PLAN**

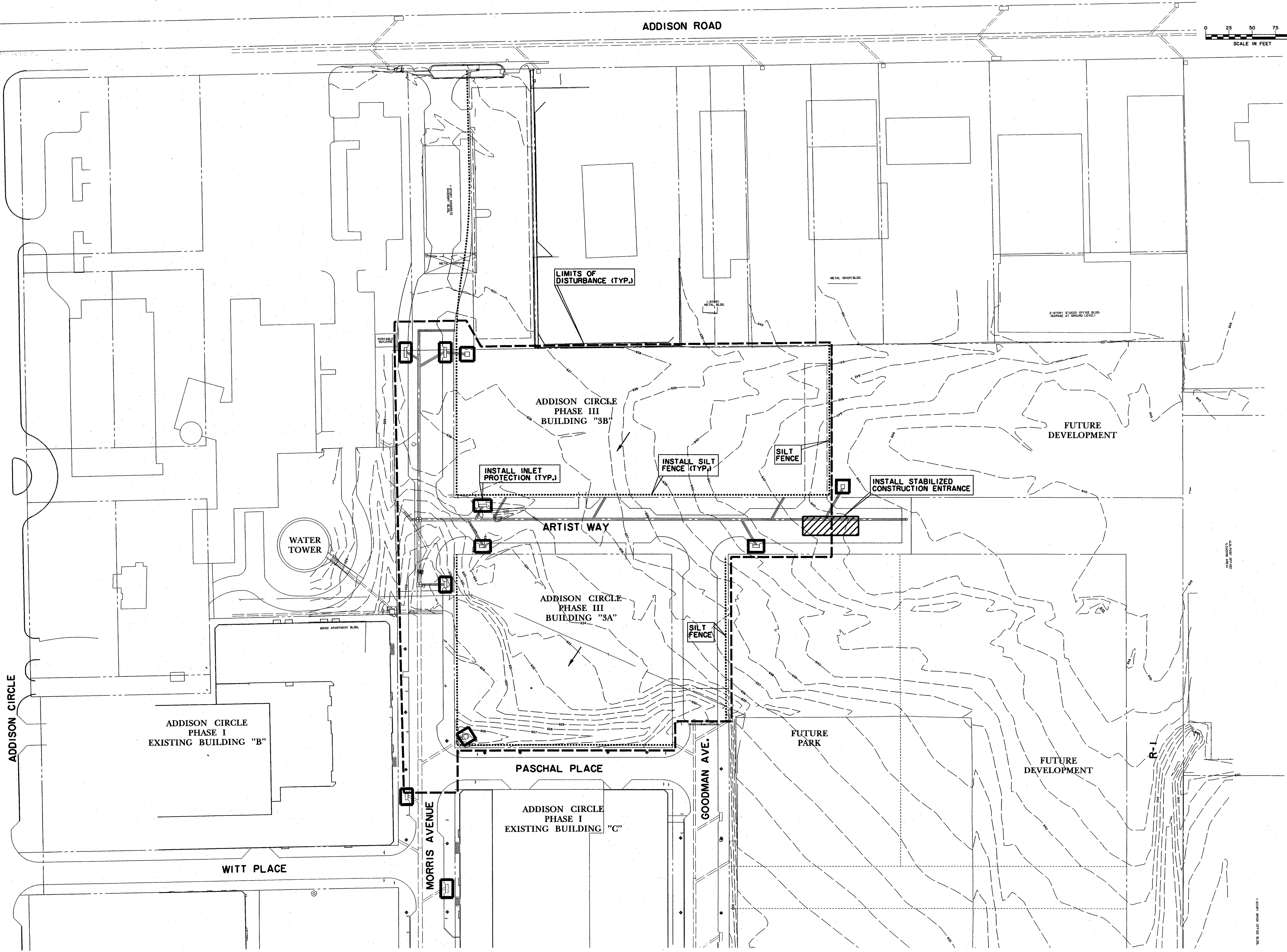
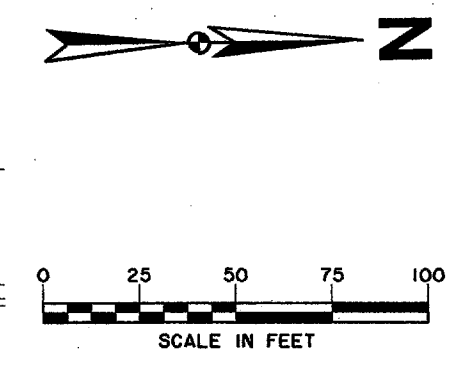
ADDISON CIRCLE

PHASE 3 PRIVATE

TOWN OF ADDISON, TEXAS

Hull - Zollers, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone: (214) 871-3311/Fax: (214) 871-0787

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=10'	JUL 99	01-1932-30	D5

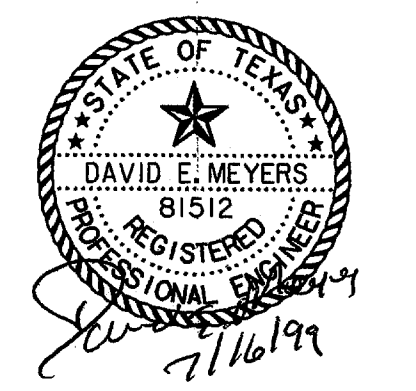


AREA OF DISTURBANCE
4.2 ACRES

- NOTES:**
- SEE DRAINAGE AREA MAP FOR DRAINAGE AREAS AND CALCULATIONS.
 - SEE POLLUTION CONTROL DETAILS FOR TYPES OF INLET PROTECTION.

- LEGEND:**
- SILT FENCE
 - INLET PROTECTION
 - EXISTING CONTOURS
 - DIRECTION OF RUNOFF
 - - - LIMITS OF DISTURBANCE
 - ▨ STABILIZED CONSTRUCTION ENTRANCE/EXIT

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99



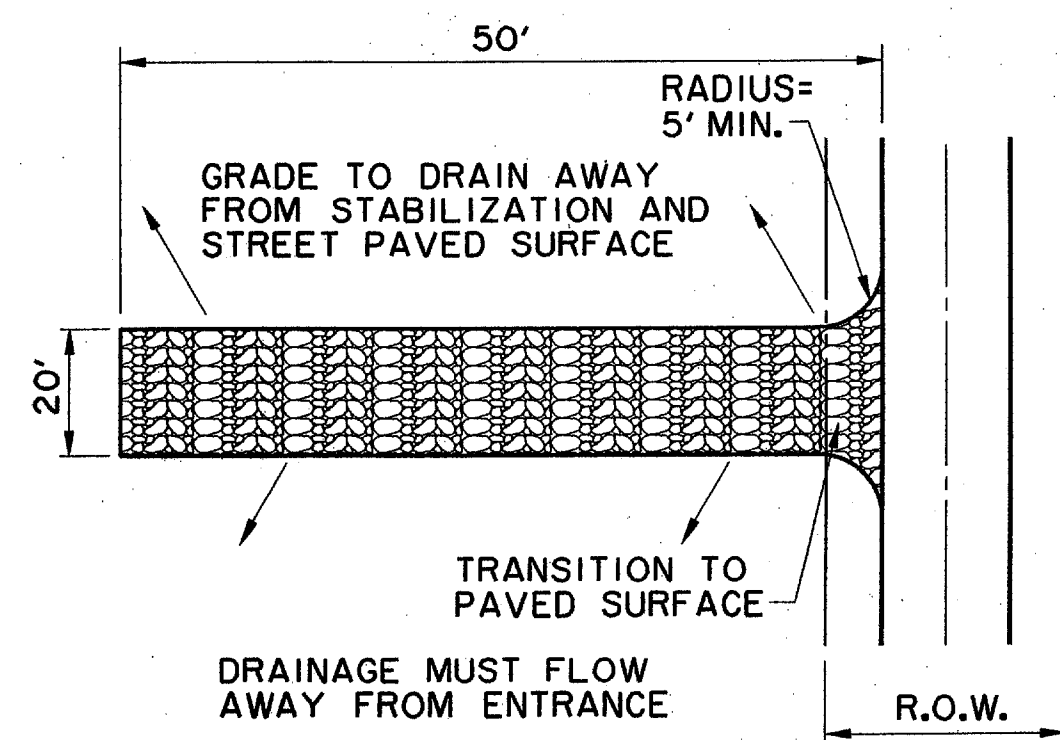
DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

POLLUTION CONTROL PLAN
ADDISON CIRCLE
PHASE 3 PRIVATE
TOWN OF ADDISON, TEXAS

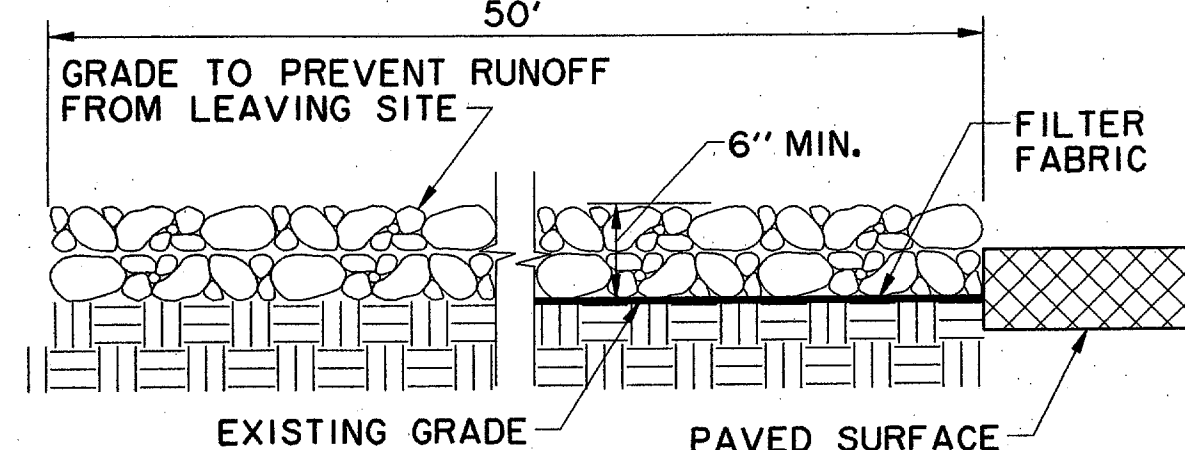
Hull - Zottlers, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=50'	JUL 99	01-1932-30	PCI

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PLAN

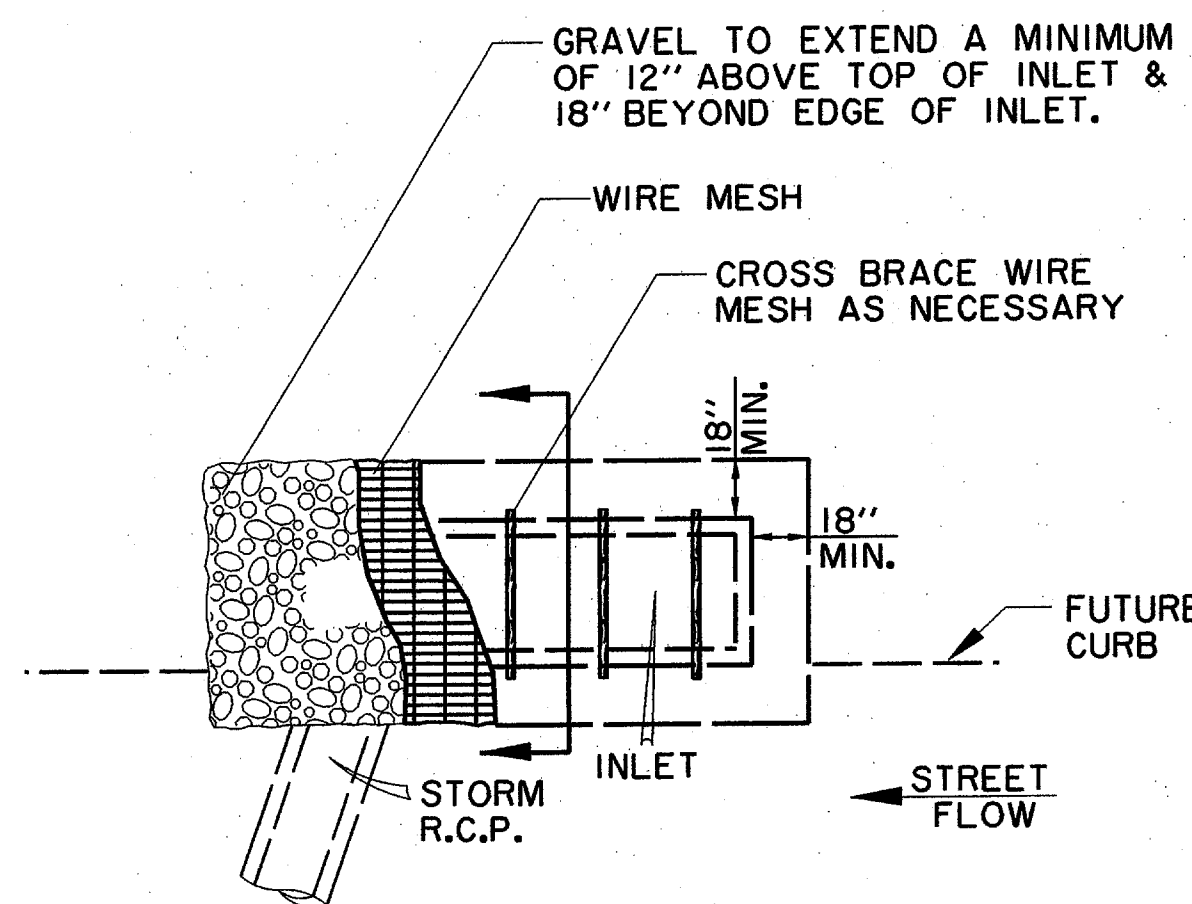


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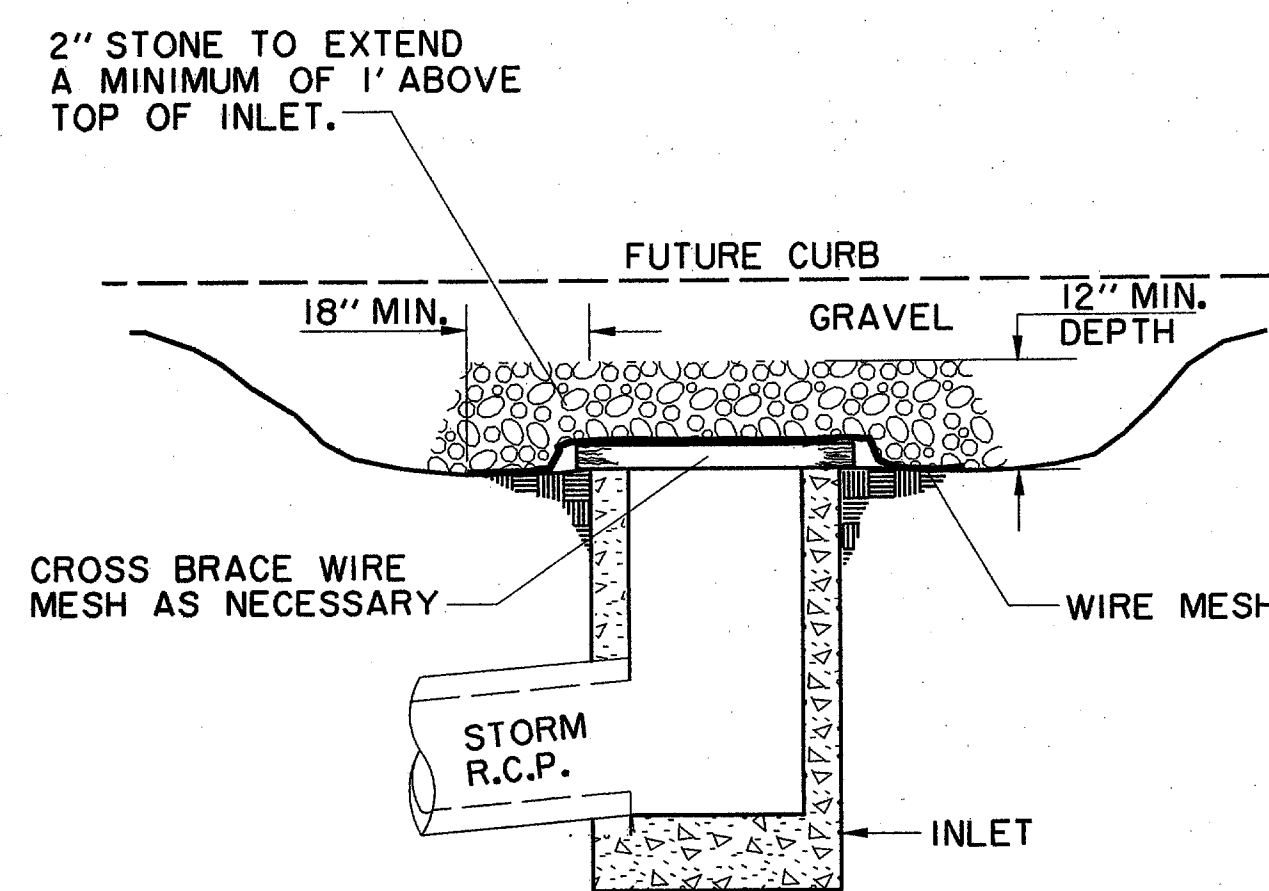
STABILIZED CONSTRUCTION ENTRANCE / EXIT

NCTCOG 02270.G
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'A'
N.T.S.



PLAN

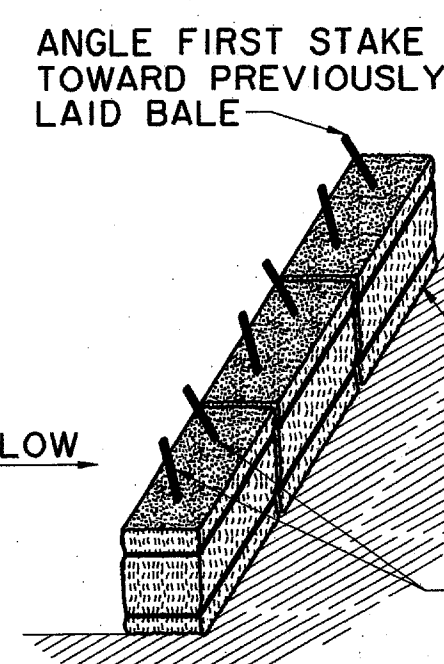


CROSS-SECTION

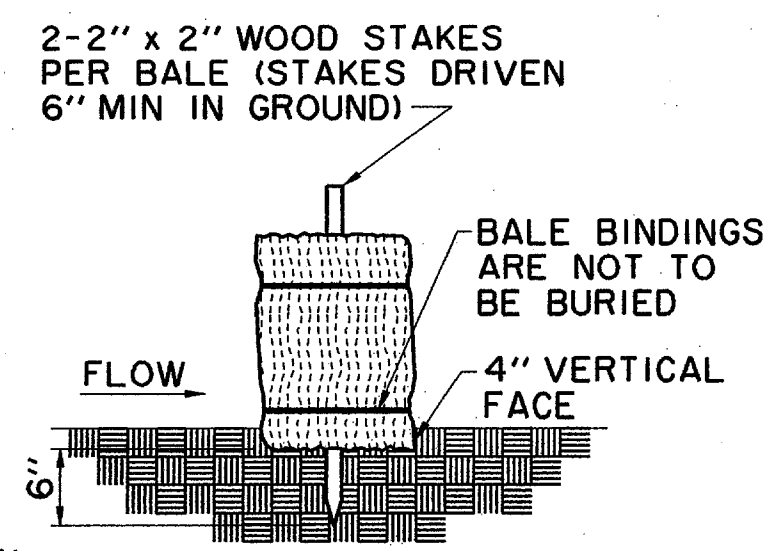
INLET PROTECTION WIRE MESH & GRAVEL

NCTCOG 02270.G
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'E'
N.T.S.



ANCHORING DETAIL



EMBEDDING DETAIL

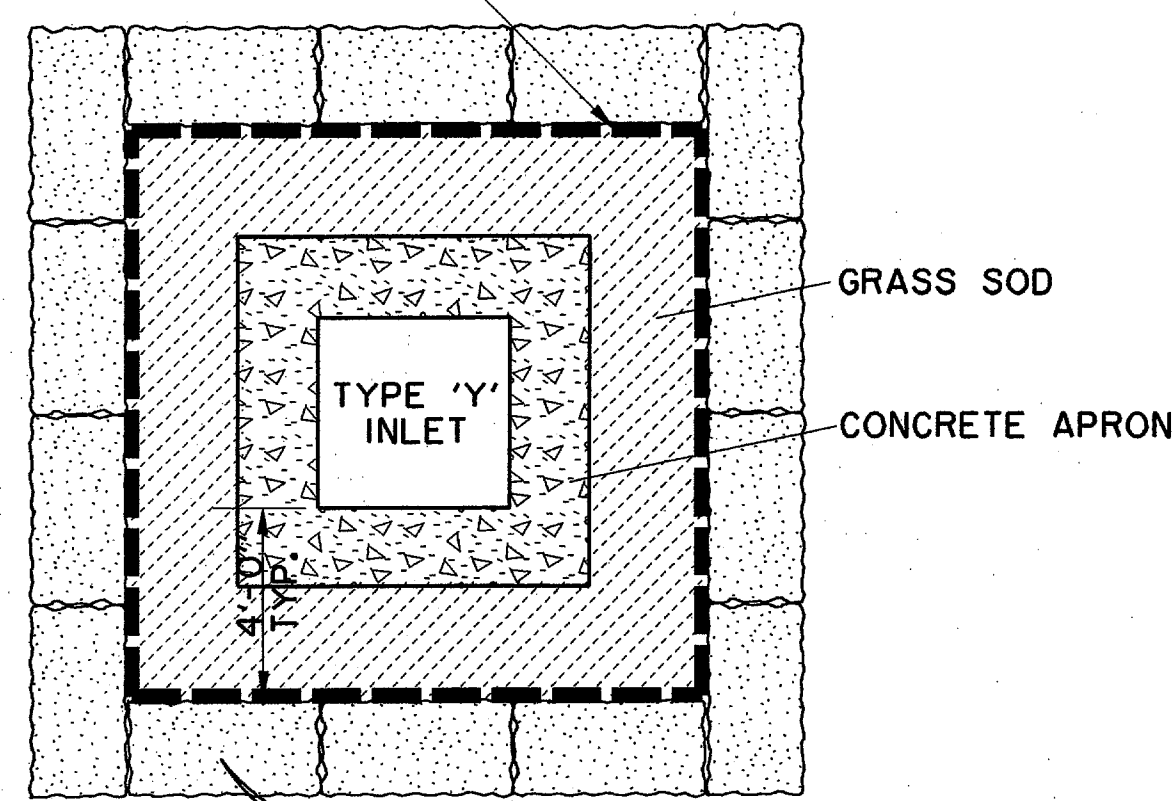
NOTE: HAY BALES TO BE PLACED AROUND ALL INLETS DURING CONSTRUCTION.

DETAIL 'C' TEMPORARY STRAW BALE DIKE (CHECK DAM)

NCTCOG 02270.A
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES
N.T.S.

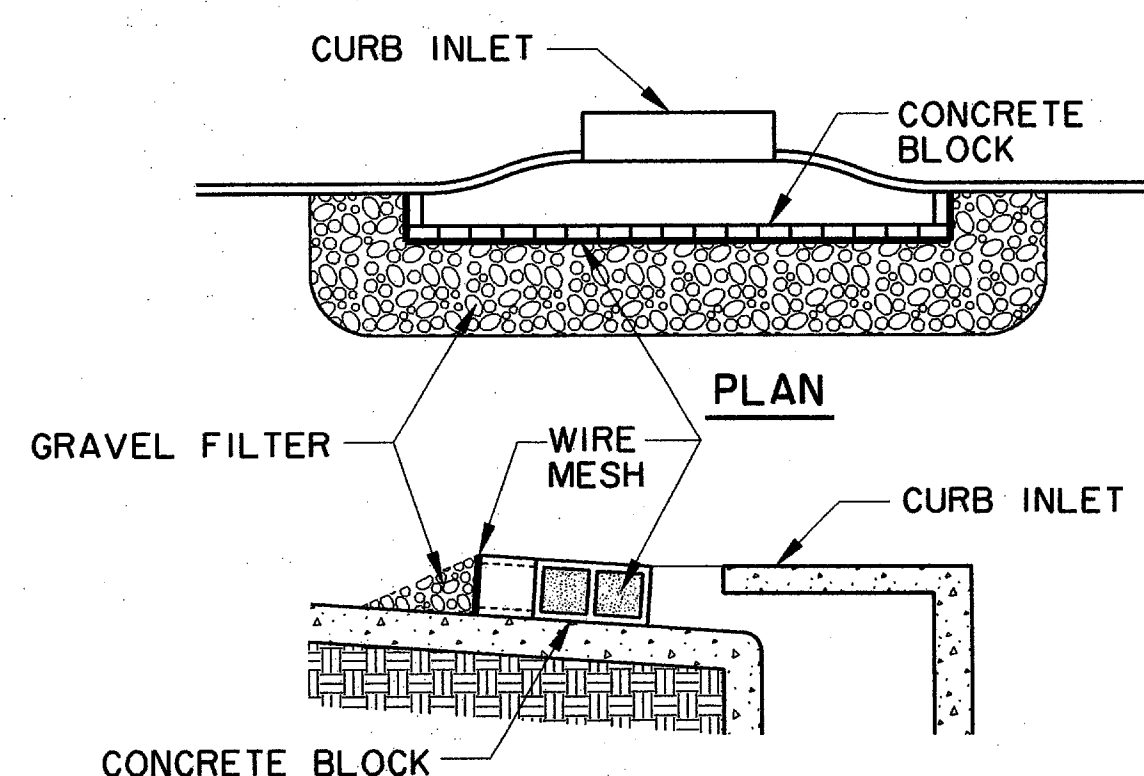
STRAW BALES SHALL BE PLACED IN A ROW WITH TIGHTLY ABUTTING ENDS. EMBED BALES IN THE SOIL A MINIMUM OF FOUR INCHES. STRAW BALES SHALL BE REPLACED IF THEY ARE DAMAGED OR HAVE DEGRADED TO A POINT OF INEFFECTIVENESS. REPLACEMENT OF STRAW BALES SHALL OCCUR NO LESS OFTEN THAN 90 DAYS, UNLESS NOTIFIED BY ENGINEER.

PLACE SILT FENCE PER DETAIL 'B' BETWEEN INLET & STRAW BALES.



TYPE 'Y' PROTECTION (TYP.)

DETAIL 'F'
N.T.S.

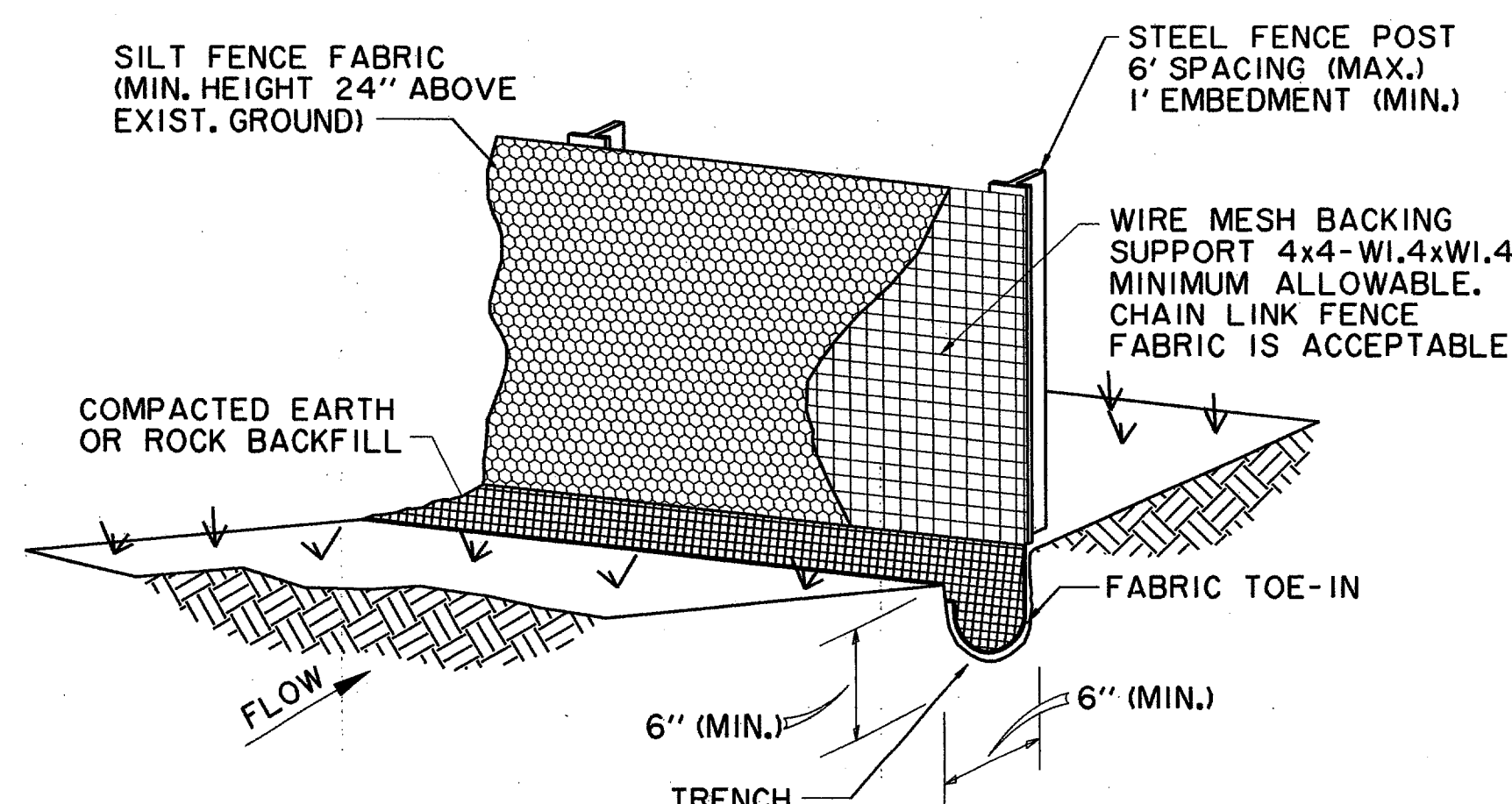


CROSS-SECTION

INLET PROTECTION BLOCK & GRAVEL

NCTCOG 02270.G
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'G'
N.T.S.



SILT FENCE SHOULD BE SECURELY FASTENED TO BACKING SUPPORT AND POSTS.

SILT FENCE

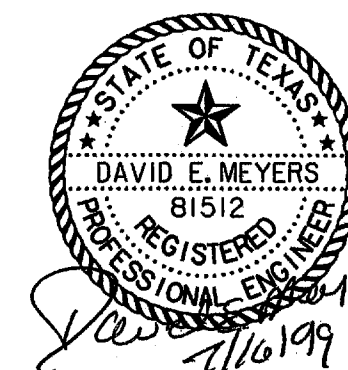
NCTCOG 02270.B
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'B'
N.T.S.

NOTES:

1. A NOTICE OF INTENT (N.O.I.) WILL BE PREPARED BY THE CONTRACTOR FOR THIS PROJECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION.
2. ALL CONTRACTORS WILL COMPLY WITH THE REQUIREMENTS AND INTENT OF THE N.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES.
3. EACH CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) FOR STORM WATER DISCHARGE PERMIT COVERAGE. THIS SUBMITTAL SHALL BE COORDINATED WITH THE TOWN AND SHALL OCCUR NO LESS THAN 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. EACH CONTRACTOR SHALL OBTAIN AND SUBMIT TO TOWN A POLLUTION PREVENTION CERTIFICATION FROM EACH SUBCONTRACTOR WHOSE WORK IMPACTS THE STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.) PRIOR TO THE PERFORMANCE OF ANY WORK BY SAID SUBCONTRACTOR. THESE CERTIFICATIONS SHALL BECOME A PART OF THE STORM WATER POLLUTION PREVENTION PLAN.
5. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES, AS INDICATED ON THE PLANS AND AS FIELD CONDITIONS WARRANT, PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. REPAIRS OR MODIFICATIONS TO THE MEASURES WILL BE MADE BY THE CONTRACTOR IF THE CONTROL MEASURES PROVE INEFFECTIVE OR IF ADDITIONAL CONTROL MEASURES ARE NECESSARY.
6. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT TRACKING OF MUD AND/OR SOILS ONTO EXISTING AND/OR NEW PAVEMENT. ANY TRACKING THAT OCCURS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
7. CONTRACTOR SHALL CONSTRUCT INLET PROTECTION FOR ALL INCOMPLETE CURB INLETS AND SHALL TAKE EVERY MEASURE TO KEEP SOILS AND SEDIMENTS FROM ENTERING THE STORM SEWER SYSTEM.
8. CONTRACTOR SHALL CONSTRUCT DROP INLET PROTECTION FOR ALL INCOMPLETE DROP INLETS AND SHALL TAKE EVERY MEASURE TO KEEP SOILS AND SEDIMENTS FROM ENTERING THE STORM SEWER SYSTEM.
9. AT A MINIMUM, PERIMETER CONTROLS SUCH AS SILT FENCE OR STRAW BALES SHALL BE INSTALLED AT ALL DOWN SLOPE BOUNDARIES AND AS WARRANTED WHERE PAVEMENT REMOVAL, UTILITY CONSTRUCTION, GRADING, OR OTHER CONSTRUCTION ACTIVITIES ARE TO BE PERFORMED. THE CONTRACTOR SHALL AT ALL TIMES TAKE SUCH MEASURES AS NECESSARY TO MINIMIZE OFFSITE TRACKING OR TRANSPORT OF SEDIMENT AND DEBRIS.
10. DAMAGE TO ADJACENT PROPERTY AND/OR TO RECEIVING WATERS CAUSED BY IMPROPERLY INSTALLED OR POORLY MAINTAINED EROSION CONTROL MEASURES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY SILTATION CAUSED BY HIS OPERATIONS AND/OR FAILURE OF THE EROSION CONTROL MEASURES.
12. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND SEDIMENT FROM EROSION CONTROL MEASURES WHEN IT REACHES A DEPTH OF SIX (6) INCHES OR IMPAIRS THE EFFECTIVENESS OF THE MEASURES.
13. THE TOWN'S REPRESENTATIVE MAY INSPECT THE PROJECT EVERY SEVEN DAYS, AT A MINIMUM, AND AFTER EVERY RAINFALL OF ONE-HALF INCHES OR GREATER TO DETERMINE THE INTEGRITY AND EFFECTIVENESS OF THE EROSION CONTROL MEASURES. A WRITTEN INSPECTION REPORT MAY BE FILED WITH THE POLLUTION PREVENTION PLAN. THIS INSPECTION DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES OR HIS DUTY TO COMPLY WITH THE INTENT AND CONDITIONS OF THE N.P.D.E.S. GENERAL PERMIT.
14. ALL STOCKPILED SOILS WILL BE SURROUNDED BY A STRAW BALE DIKE, SILT FENCE, SEDIMENT CONTROL SWALE, OR EQUIVALENT MEASURE TO PROPERLY CONTROL SEDIMENT RUNOFF, AS APPROVED BY THE TOWN.
15. CONTRACTOR SHALL STABILIZE ANY AREA WHERE CONSTRUCTION ACTIVITY IS TO BE TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E., 81512 ON 7/16/99



DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

POLLUTION CONTROL DETAILS

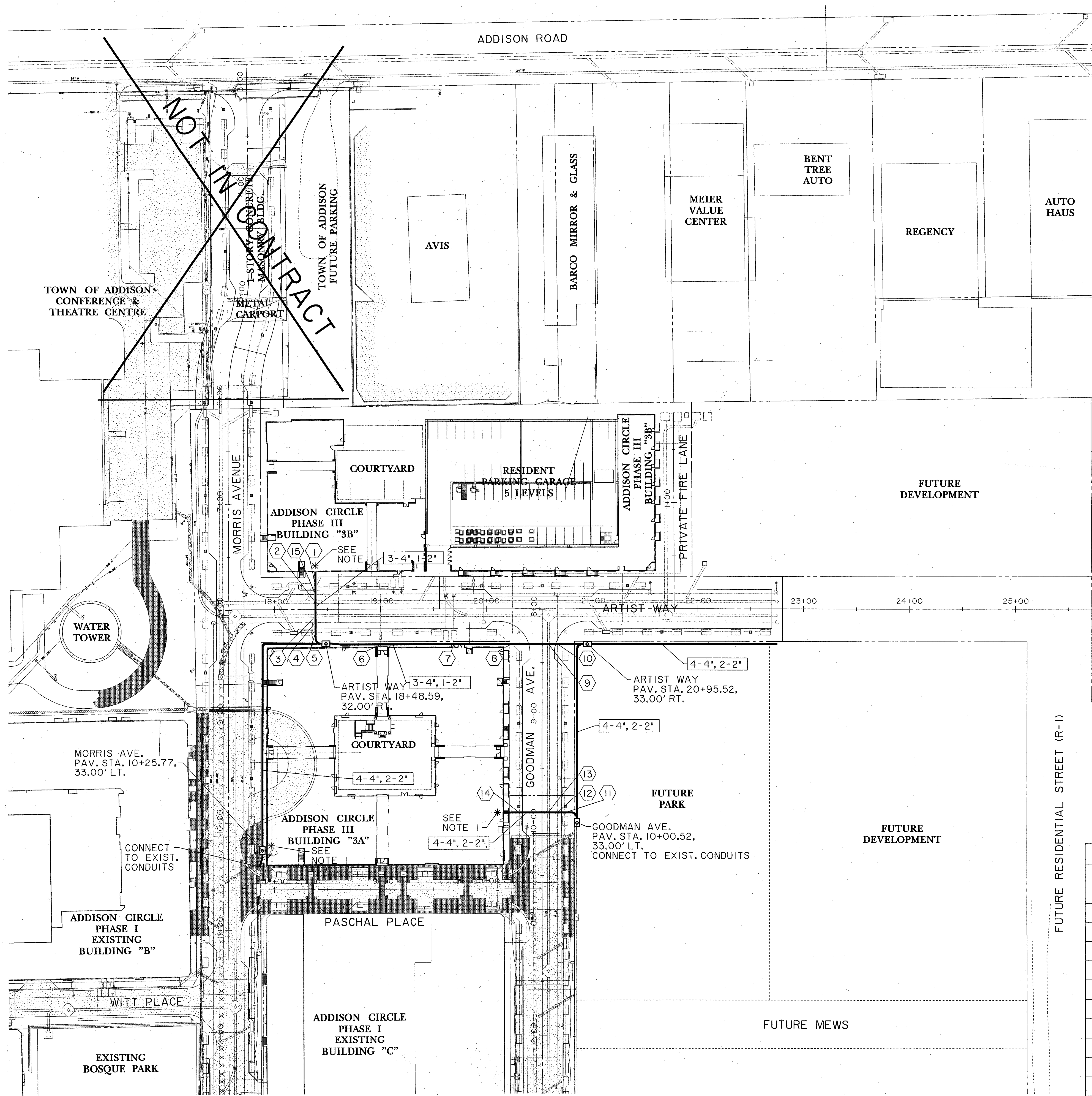
ADDISON CIRCLE

PHASE 3 PRIVATE

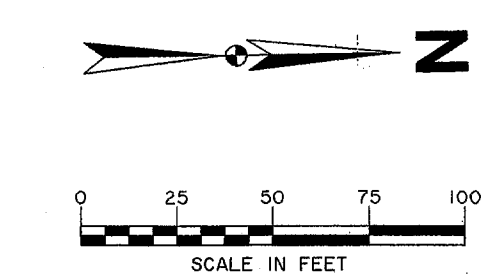
TOWN OF ADDISON, TEXAS

Hull - Zallars, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	N.T.S.	JUL 99	01-1932-30	PC2

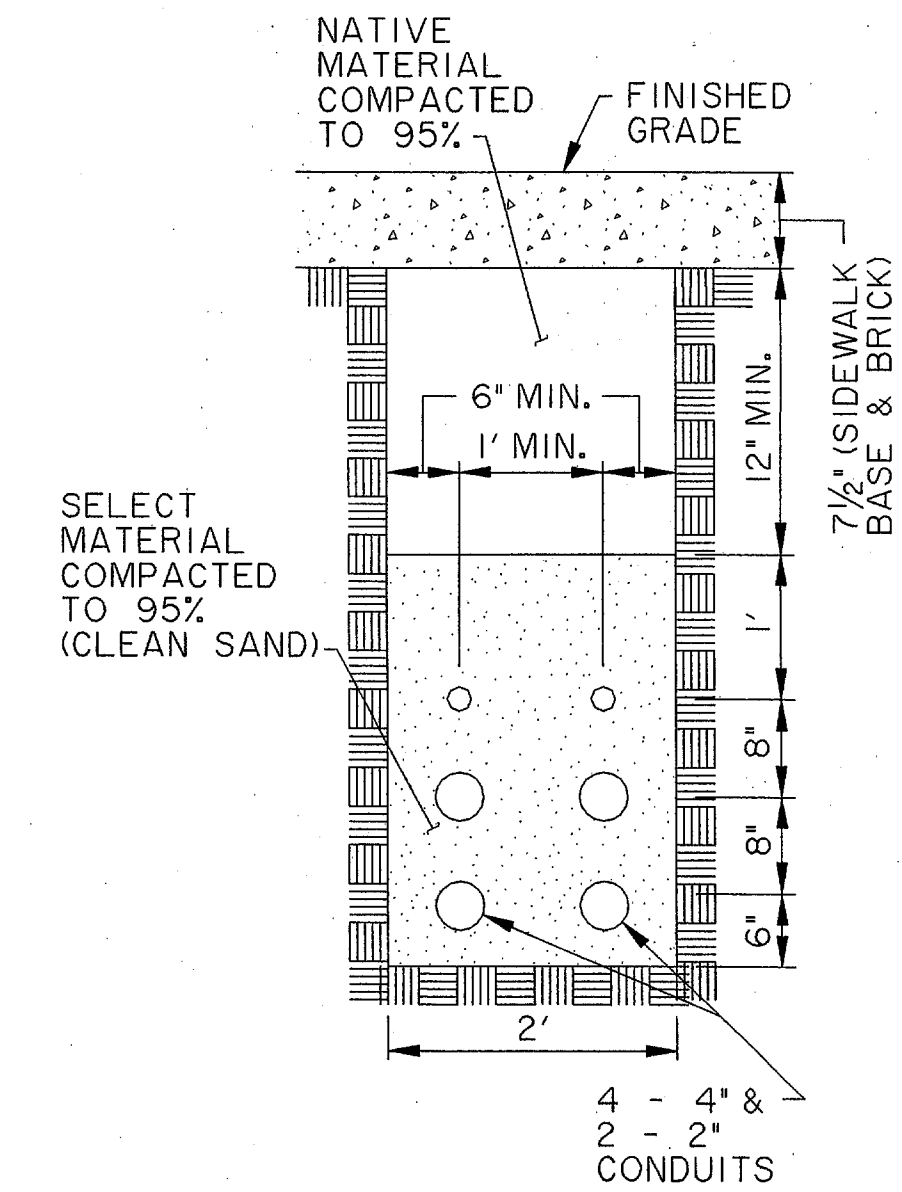


NOT IN CONTRACT



- LEGEND:**
- SCHEDULE 40 PVC CONDUITS
 - ⊠ MANHOLE
 - ⊙ UTILITY CROSSING LOCATION
 - * APPROXIMATE ENTRANCE TO BUILDING

- NOTES:**
- SEE MEP SITE ELECTRICAL PLAN AND ARCHITECTURAL PLANS TO VERIFY EXACT LOCATION OF PHONE EQUIPMENT ROOMS AND ROUTINGS WITHIN BUILDING.
 - SEE SPECIFICATIONS (BY OWNER) FOR MANHOLE DETAILS AND SWEEP REQUIREMENTS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE ADDISON CIRCLE PHASE III PUBLIC INFRASTRUCTURE AND ADDISON CIRCLE APARTMENT CONSTRUCTION. NOTED UTILITY CROSSINGS MUST BE CLOSELY COORDINATED TO PREVENT CONFLICTS. THE TOWN OF ADDISON WILL DETERMINE WHAT, IF ANY, ADJUSTMENTS CAN BE MADE TO SERVICE LINES FROM PUBLIC MAINS.
 - MANY OF THE UTILITIES HAVE BEEN INSTALLED WITH THE PUBLIC INFRASTRUCTURE CONSTRUCTION. SUCCESSFUL BIDDER SHALL OBTAIN ACTUAL UTILITY CROSSING F.L.'S FROM POST PROPERTIES PRIOR TO CONSTRUCTION.
 - THIS PLAN IS FOR COMMUNICATION CONDUIT INSTALLATION ONLY. ALL FIBER, COPPER ETC... WILL BE INSTALLED PER PLANS AND SPECIFICATIONS BY OWNER.



TYPICAL CONDUIT/SLEEVE EMBEDMENT
N.T.S.

U.S. POST OFFICE

FUTURE RESIDENTIAL STREET (R-1)

BENCHMARKS:

BM*5
"□" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. 175' EAST OF PASCHAL PLACE. ELEV. 629.98

BM*6
"□" CUT AT C OF 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29

BM*7
"□" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

UTILITY CROSSING TABLE			
LOCATION	UTILITY	APPROX. FINISHED GRADE	APPROX. UTILITY F.L.
1	18" RCP STORM SEWER	634.1	626.5
2	24" RCP STORM SEWER	634.1	626.4
3	6E6 ELECTRIC DUCTBANK	634.1	616.0
4	8" PVC WASTEWATER	634.1	622.3
5	4" PVC SUBDRAIN	634.1	628.0
6	2" COPPER WATER SERVICE	636.1	627.1
7	4" & 6" WATER	637.7	628.8
8	4" PVC SUBDRAIN	637.5	631.3
9	6E6 ELECTRIC DUCTBANK	637.5	624.0
10	8" PVC WATER	637.5	631.0
11	4" PVC SUBDRAIN	631.4	625.3
12	8" PVC WATER	631.4	626.4
13	6E6 ELECTRIC DUCTBANK	631.4	616.8
14	4" PVC SUBDRAIN	631.4	626.7
15	8" PVC WATER	634.1	627.6

DATE	DESCRIPTION	REF NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

COMMUNICATION CONDUIT PLAN

ADDISON CIRCLE

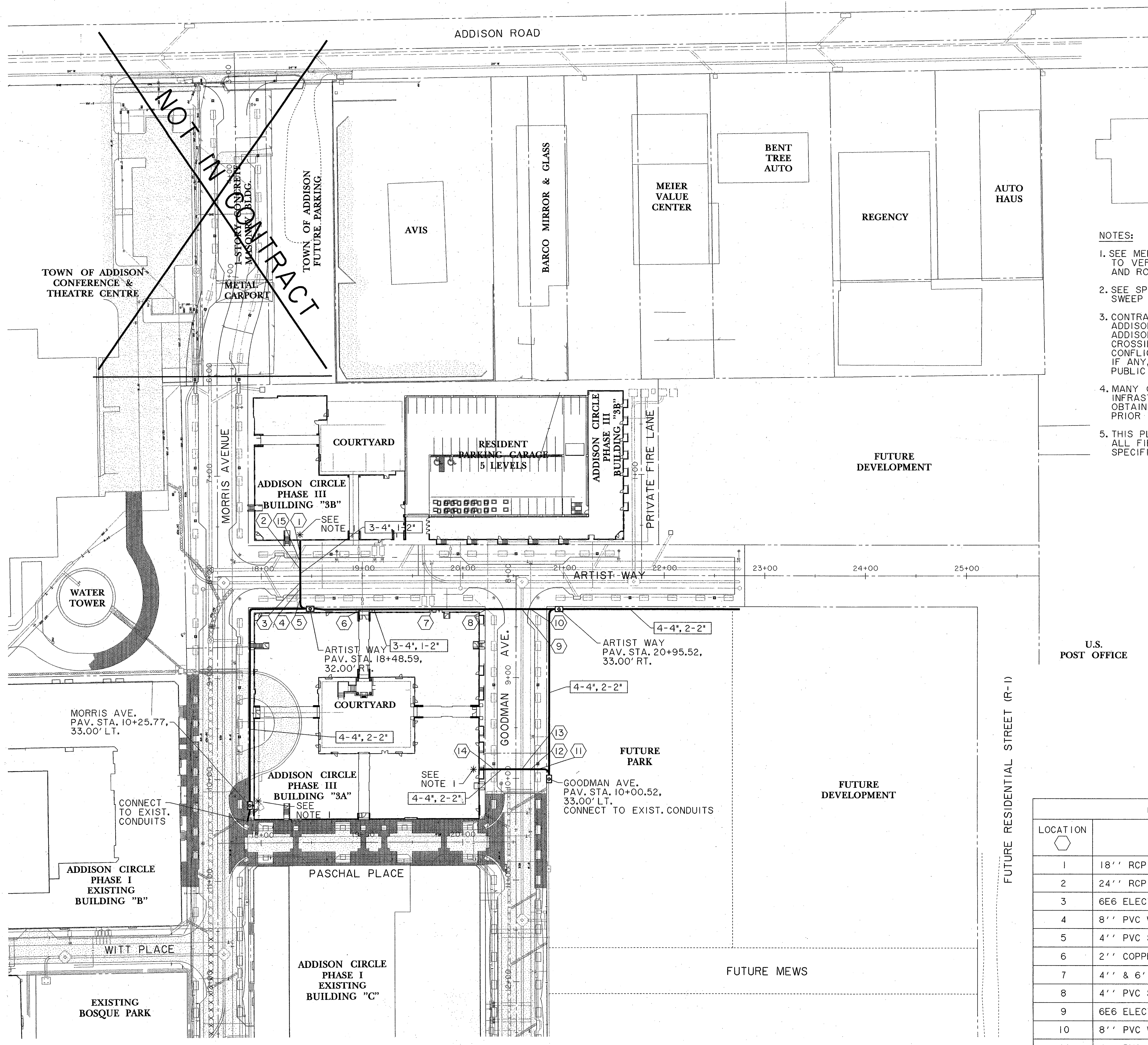
PHASE 3 PRIVATE

TOWN OF ADDISON, TEXAS

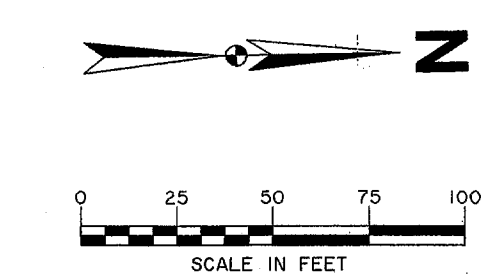
Hutti - Zellers, Inc.
313 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 671-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
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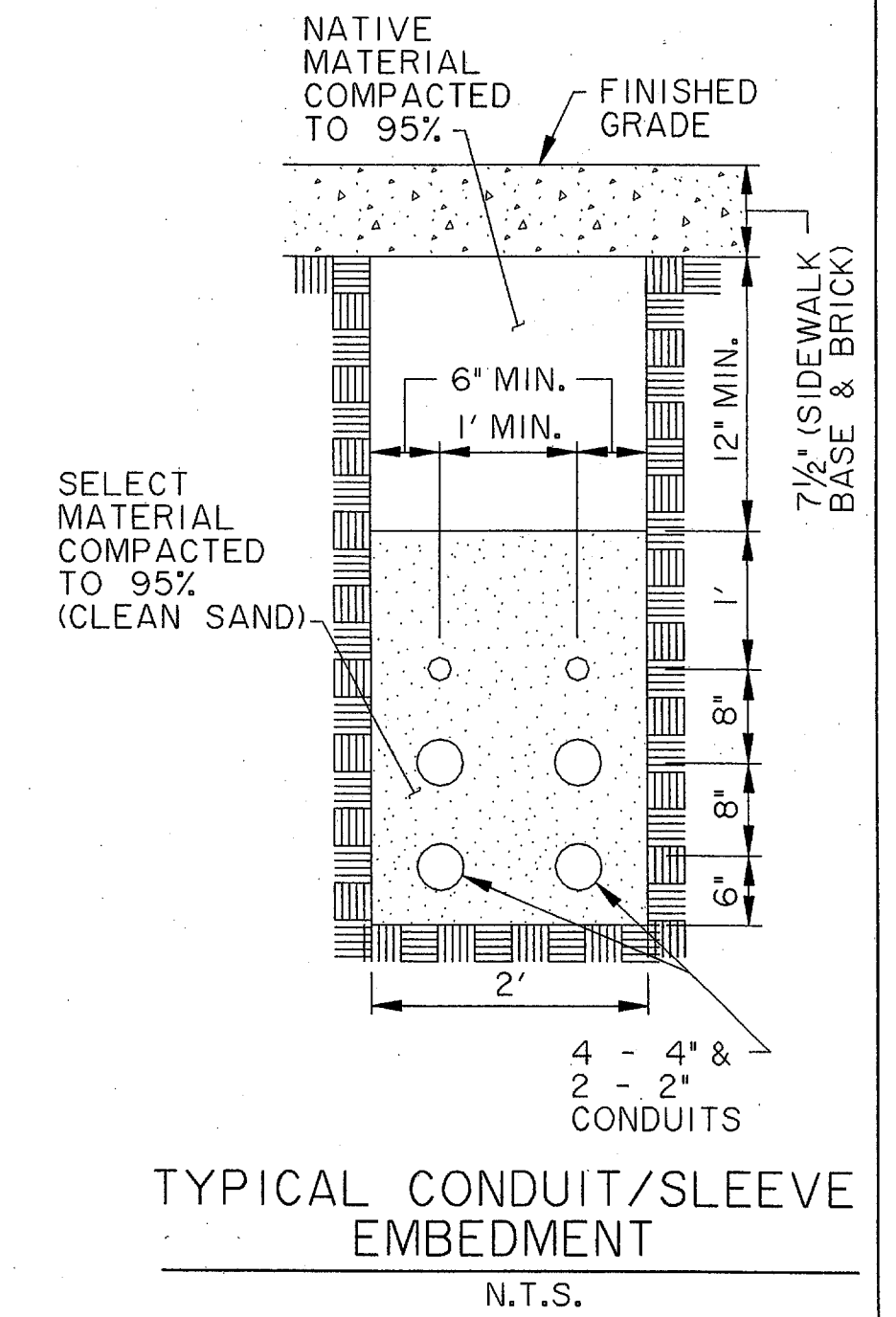
NOT IN CONTRACT



- LEGEND:**
- SCHEDULE 40 PVC CONDUITS
 - ⊠ MANHOLE
 - ⊕ UTILITY CROSSING LOCATION
 - * APPROXIMATE ENTRANCE TO BUILDING

NOTES:

1. SEE MEP SITE ELECTRICAL PLAN AND ARCHITECTURAL PLANS TO VERIFY EXACT LOCATION OF PHONE EQUIPMENT ROOMS AND ROUTINGS WITHIN BUILDING.
2. SEE SPECIFICATIONS (BY OWNER) FOR MANHOLE DETAILS AND SWEEP REQUIREMENTS.
3. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE ADDISON CIRCLE PHASE III PUBLIC INFRASTRUCTURE AND ADDISON CIRCLE APARTMENT CONSTRUCTION. NOTED UTILITY CROSSINGS MUST BE CLOSELY COORDINATED TO PREVENT CONFLICTS. THE TOWN OF ADDISON WILL DETERMINE WHAT, IF ANY, ADJUSTMENTS CAN BE MADE TO SERVICE LINES FROM PUBLIC MAINS.
4. MANY OF THE UTILITIES HAVE BEEN INSTALLED WITH THE PUBLIC INFRASTRUCTURE CONSTRUCTION. SUCCESSFUL BIDDER SHALL OBTAIN ACTUAL UTILITY CROSSING F.L.'S FROM POST PROPERTIES PRIOR TO CONSTRUCTION.
5. THIS PLAN IS FOR COMMUNICATION CONDUIT INSTALLATION ONLY. ALL FIBER, COPPER ETC... WILL BE INSTALLED PER PLANS AND SPECIFICATIONS BY OWNER.



U.S. POST OFFICE

- BENCHMARKS:**
- BM*5
"⊠" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. 175' EAST OF PASCHAL PLACE. ELEV. 629.98
 - BM*6
"⊠" CUT AT Ⓞ OF 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29
 - BM*7
"⊠" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512 ON 7/16/99

UTILITY CROSSING TABLE			
LOCATION	UTILITY	APPROX. FINISHED GRADE	APPROX. UTILITY F.L.
1	18" RCP STORM SEWER	634.1	626.5
2	24" RCP STORM SEWER	634.1	626.4
3	6E6 ELECTRIC DUCTBANK	634.1	616.0
4	8" PVC WASTEWATER	634.1	622.3
5	4" PVC SUBDRAIN	634.1	628.0
6	2" COPPER WATER SERVICE	636.1	627.1
7	4" & 6" WATER	637.7	628.8
8	4" PVC SUBDRAIN	637.5	631.3
9	6E6 ELECTRIC DUCTBANK	637.5	624.0
10	8" PVC WATER	637.5	631.0
11	4" PVC SUBDRAIN	631.4	625.3
12	8" PVC WATER	631.4	626.4
13	6E6 ELECTRIC DUCTBANK	631.4	616.8
14	4" PVC SUBDRAIN	631.4	626.7
15	8" PVC WATER	634.1	627.6

DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
6/4/99	ISSUED FOR BID	N/A

COMMUNICATION CONDUIT PLAN
ADDISON CIRCLE
PHASE 3 PRIVATE
TOWN OF ADDISON, TEXAS

Huitt - Zellers, Inc.
313 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 671-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
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