

THIS PLAN IS FOR SITE ROUGH GRADING ONLY. SEE ARCHITECT'S PLANS FOR BUILDING FOUNDATIONS, DETAILED FINISHED FLOOR ELEVATIONS AND DIMENSIONS. SEE PUBLIC INFRASTRUCTURE PLANS FOR STREET GRADES.

**GRADING NOTES**

- SEE "GENERAL NOTES - ALL DISCIPLINES" ON SHEET MI.
- PLAN ELEVATIONS ARE TO FINISHED BUILDING SLAB, PAVEMENT OR PLANTING AREA. ADJUSTMENTS FOR SLAB, PAVEMENT AND PLANTING BED THICKNESS MUST BE MADE FOR THE PURPOSES OF EARTHWORK. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ELEMENTS NOT DETAILED IN THESE PLANS.
- ROUGH GRADING SHALL BE ACCOMPLISHED TO WITHIN +0.10 FEET OF PLAN ELEVATION (AFTER ADJUSTMENT FOR FINISH THICKNESS).
- ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.
- ALL FILL SHALL BE PLACED IN 6-INCH TO 8-INCH LOOSE LIFTS COMPACTED TO BETWEEN 95% AND 100% OF ITS MAXIMUM DRY DENSITY BETWEEN 0% AND +5% OF OPTIMUM MOISTURE CONTENT. ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY OTHERS.
- ALL TREES, STUMPS, BRUSH, GRASSES AND SURFACE ORGANICS ARE TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE. TREE REMOVAL PERMITS, IF REQUIRED, WILL BE OBTAINED BY THE OWNER.
- EXISTING UTILITY POLES WILL BE REMOVED OR RELOCATED BY THE UTILITY COMPANIES THROUGH COORDINATION BY THE OWNER. CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY FACILITIES THAT APPEAR TO BE IN CONFLICT SO THAT THE OWNER HAS SUFFICIENT TIME TO ACCOMPLISH THE NECESSARY RELOCATIONS.
- THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER THE PLANS AND MAINTAIN STREETS FREE OF MUD, DIRT AND DEBRIS FOR THE DURATION OF THIS WORK.
- CONTRACTOR SHALL ASSUME MAINTENANCE OF EROSION CONTROL MEASURES UPON THE DEPARTURE OF THE UTILITY CONTRACTOR OR THE COMMENCEMENT OF PAVING, WHICHEVER IS LATER. OWNER WILL MAINTAIN EROSION CONTROL MEASURES WHEN NO CONTRACTORS ARE ACTIVE ON THE SITE (UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS).
- SPOT GRADES AT R.O.W. ARE BASED ON 1/4" FT. CROSS SLOPE UNLESS OTHERWISE NOTED. THIS CROSS SLOPE MAY BE VARIED FROM 1% TO 5% TO MAXIMIZE ACCESSIBILITY WITHIN THE BUILDING.
- NO PRIVATE ENCROACHMENTS INTO PUBLIC RIGHT-OF-WAY SHALL BE ALLOWED EXCEPT AS FOLLOWS: 0' - 10' HEIGHT, NONE; 10' - 20' HEIGHT, ONE FOOT; 20' PLUS, EIGHT FEET UNLESS SPECIFICALLY PRE-APPROVED. THIS INCLUDES ALL WINDOWS, DOORS, HANDRAILS, BALCONIES, LIGHTS, GUTTERS ETC.

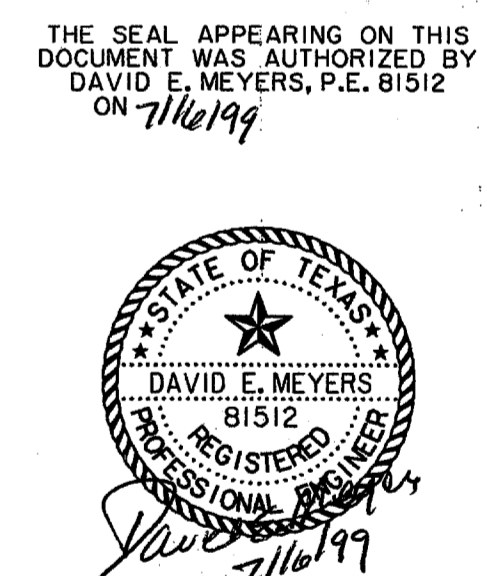
NOTE: TOP OF WALL SHALL BE SET AT THE MAXIMUM ELEVATION THAT WILL ALLOW POSITIVE OVERFLOW FROM ADJACENT PROPERTIES TO THE WEST.

NOTE: MAX. WTR. SURFACE IS 100 YEAR STORM

**LEGEND:**

- TP - TOP OF FINISHED PAVEMENT; (CONCRETE OR BRICK)
- TC - TOP OF CURB
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- FF - FINISH FLOOR
- EP - EDGE OF PAVEMENT
- ⊙ - BORE HOLE LOCATIONS

**BENCHMARKS:**  
 BM#5  
 "I" CUT ON 8" INLET ON NORTH CURB LINE OF GOODMAN AVE. +75' EAST OF PASCHAL PLACE. ELEV. 629.98  
 BM#6  
 "I" CUT AT E OF 8" INLET AT THE SOUTHWEST CORNER OF MORRIS AVE. AND WITT PLACE. ELEV. 627.29  
 BM#7  
 "I" CUT AT WEST CORNER OF ADDISON THEATRE CENTRE PARKING LOT, SECOND ENTRANCE NORTH OF ADDISON RD. ELEV. 637.66



DATE	DESCRIPTION	REF. NO.
7/16/99	ISSUED FOR CONSTRUCTION	N/A
7/14/99	FINAL COORDINATION W/ ARCH. SLAB PLANS	N/A
6/4/99	ISSUED FOR BID	N/A
2/23/99	BUDGET PACKAGE	N/A

<b>BLDG. "3B" ROUGH GRADING PLAN</b>					
<b>ADDISON CIRCLE</b>					
PHASE 3 PRIVATE					
TOWN OF ADDISON, TEXAS					
<small>Hull - Zolters, Inc.          3131 McKinney Ave., Suite 600, Dallas, TX 75204          Phone (214) 871-3311/Fax (214) 871-0757</small>					
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.
HZI	HZI	DEM	H:1"=20'	JUL 99	01-1932-30
					NO.