

**Stone Cottage  
Parking Lot Project**

Town of Addison

**Talley Associates**

Landscape Architecture  
Planning  
Urban Design  
1825 San Jacinto, Suite 400  
Dallas, Texas 75201  
Tel: 214-671-7000  
Fax: 214-671-7995

**ZINSER / GROSSMAN STRUCTURAL LLC**

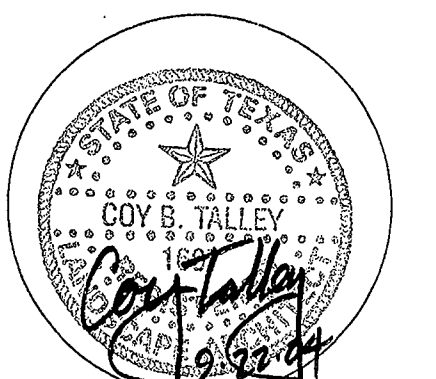
Structural Engineering  
#701 N. Market St. Suite #310  
Dallas, Texas 75202  
Tel: 469-227-9883  
Fax: 469-227-9881

**MEP SYSTEMS DESIGN AND ENGINEERING, INC.**

918 Dragon Street  
Dallas, Texas 75207  
Tel: 214-615-0209  
Fax: 214-615-0918

**JAMES POLE LANDSCAPE IRRIGATION SPECIALIST**

Landscape Irrigation Consulting, Design, Specifications  
2815 Woodhaven  
Denton, Texas 76201  
Tel: 940-245-2894



Project No. 4030

Drawn By: C/J JP

Checked By: KB/ CT

Date: SEPTEMBER 22, 2004

Revisions:

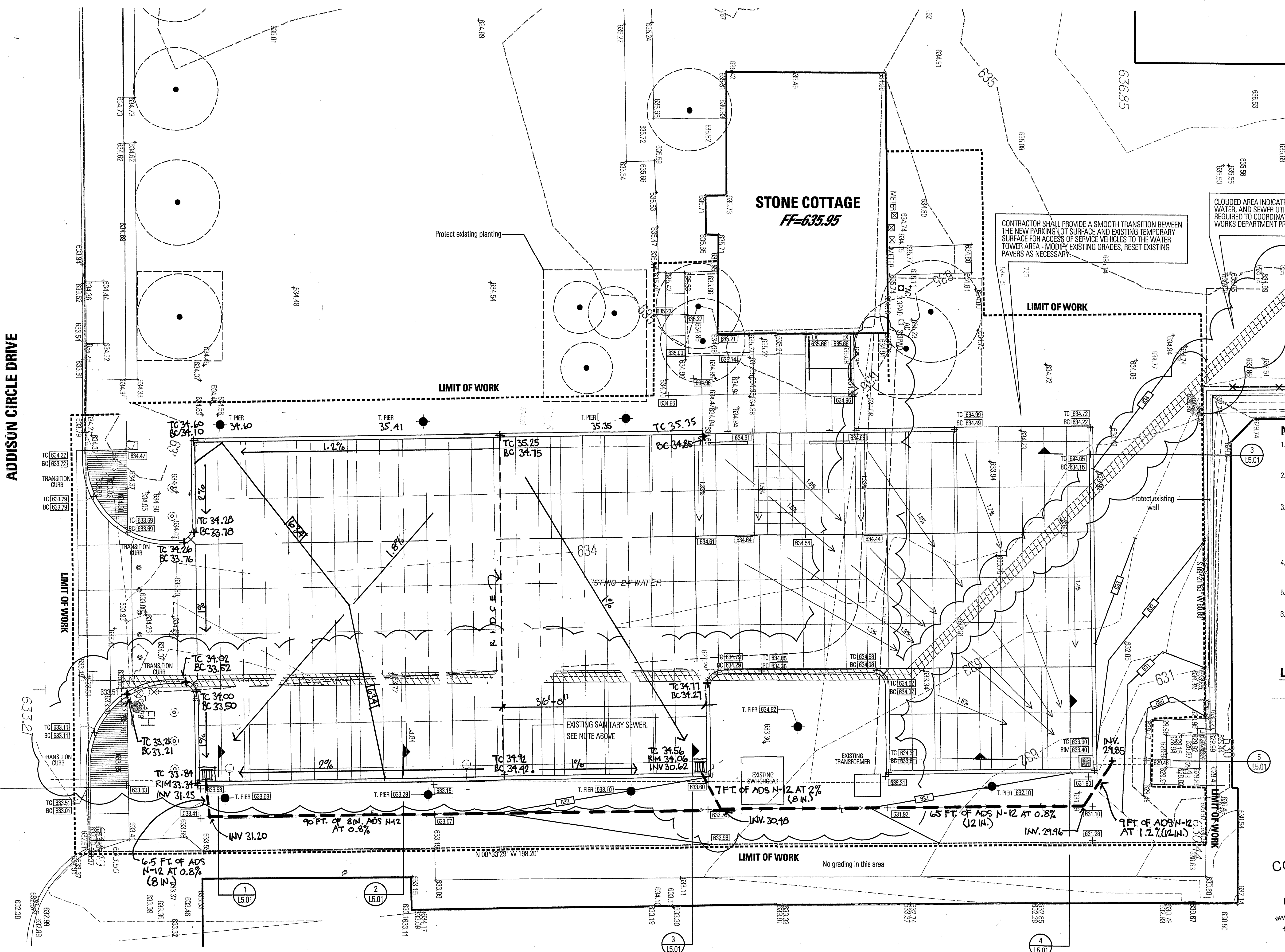
18 JAN 2005

Sheet Title:

**L2.01**

Sheet No.:

**GRADING PLAN**



**NOTES:**

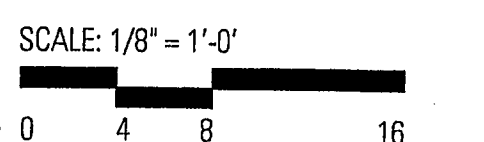
1. Contractor is responsible for contacting and having located all utilities that may be impacted by construction prior to construction.
2. Contractor shall provide positive drainage throughout project area. No ponding or standing water is acceptable.
3. Contractor shall notify the Landscape Architect of any discrepancies that may arise during the construction period. Failure to make such discrepancies known to the Landscape Architect will result in the contractors liability to redo work as necessary to achieve the design intent.
4. Contractor shall notify Landscape Architect 48 hours in advance of commencing work to coordinate project inspection schedule.
5. All existing trees shall be protected against excessive backfill and/or compaction during construction.
6. All walks and accessible parking spaces, aisles, and crossings not to exceed 5% longitudinal slope and 2% cross slope.

**LEGEND:**

- 631 — EXISTING CONTOURS
- 634.44 — NEW SPOT ELEVATION
- FF — FINISH FLOOR ELEVATION
- TC — TOP OF CURB ELEVATION
- BC — BOTTOM OF CURB ELEVATION
- — EXISTING TREE TO REMAIN
- — LIGHT FIXTURE RE: #7, L5.01
- — CATCH BASIN RE. DETAIL: #10, L5.02

**CONSTRUCTION SET**  
ISSUED BY  
TOWN OF ADDISON  
PUBLIC WORKS DEPARTMENT

NAME: SCL DATE: 11/9/05  
By: Row Lee



ADDISON CIRCLE DRIVE

**STONE COTTAGE**  
FF=635.95

CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE NEW PARKING LOT SURFACE AND EXISTING TEMPORARY SURFACE FOR ACCESS OF SERVICE VEHICLES TO THE WATER TOWER AREA - MODIFY EXISTING GRADES, RESET EXISTING PAVERS AS NECESSARY.

CLOUDED AREA INDICATES EXISTING UNDERGROUND ELECTRICAL, WATER, AND SEWER UTILITIES TO REMAIN. ALL CONTRACTORS ARE REQUIRED TO COORDINATE WITH TOWN OF ADDISON PUBLIC WORKS DEPARTMENT PRIOR TO ANY DIGGING IN THIS AREA.

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