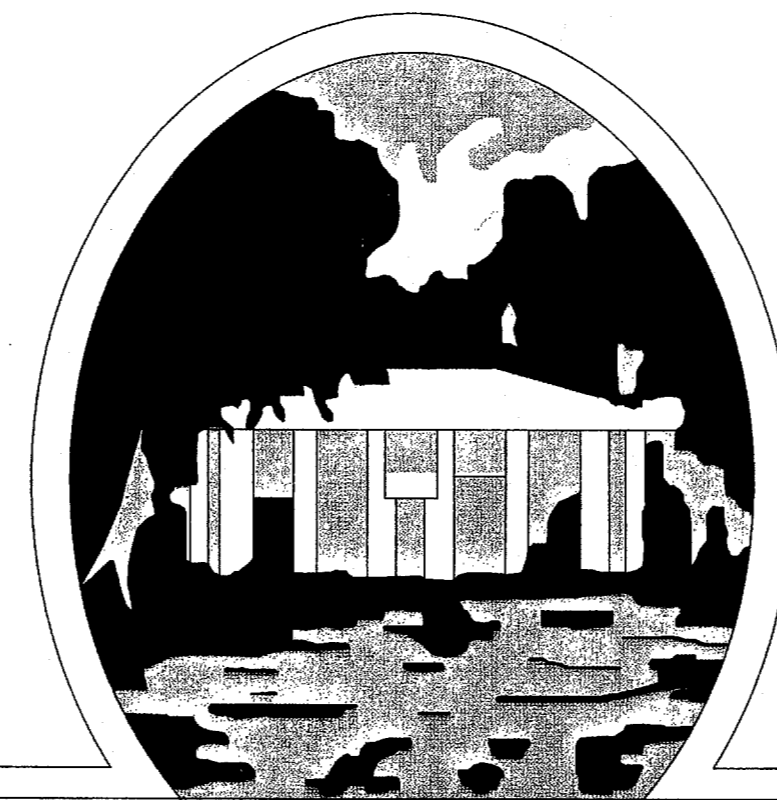


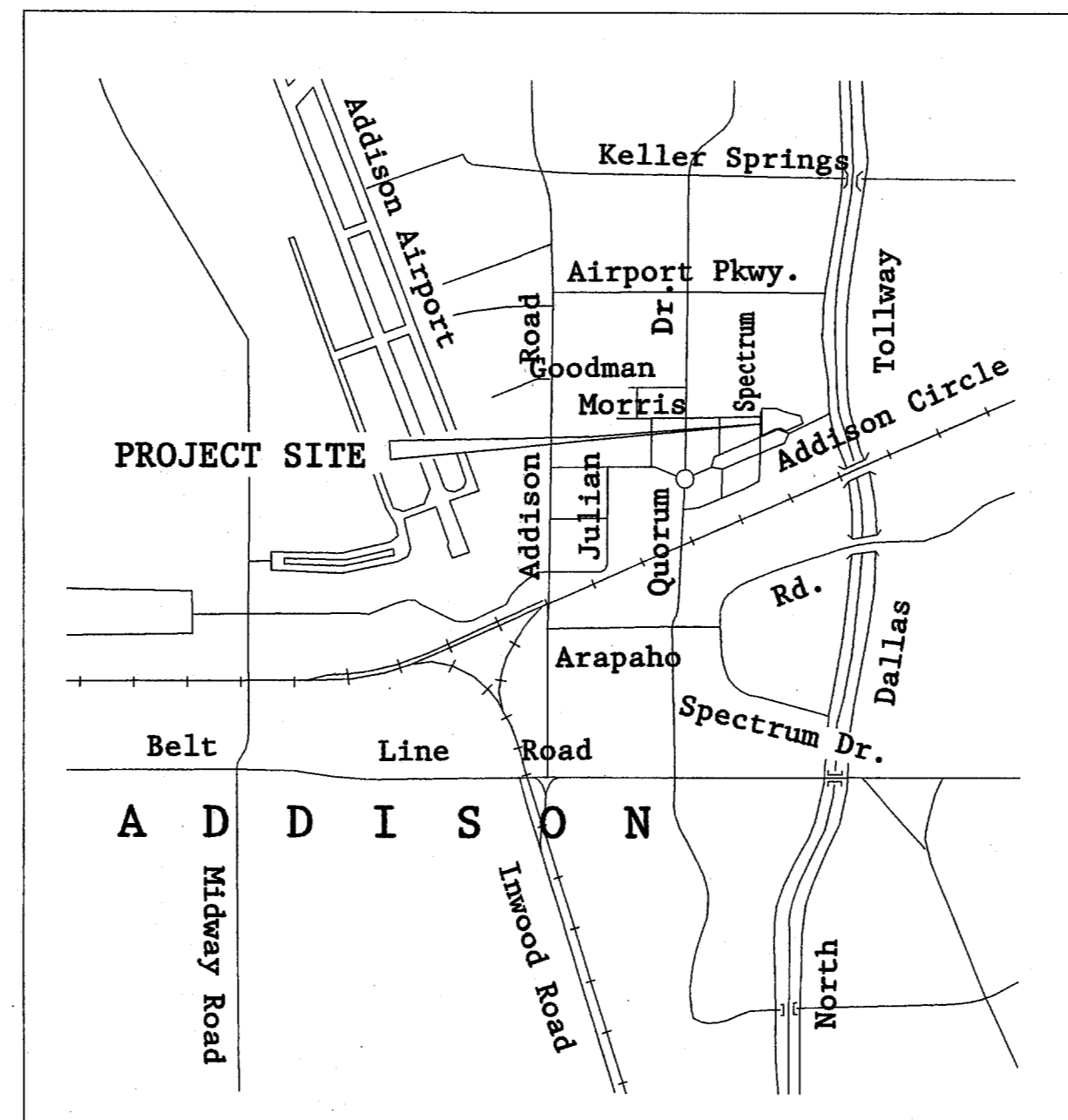
CIVIL AND LANDSCAPE PLANS FOR
CONSTRUCTION OF
PAVING, GRADING, STREETScape, & UTILITY IMPROVEMENTS

THE ASHTON



T O W N O F
A D D I S O N

SHEET NO.	INDEX OF DRAWINGS
C1	COVER SHEET
C2-C3	FINAL PLAT
C4	HORIZONTAL CONTROL PLAN
C5	DEMOLITION PLAN
C6	PAVING SITE PLAN
C7-C8	PAVING DETAILS
C9	GRADING PLAN
C10	STREETScape PLAN
C11	DRAINAGE AREA MAP
C12	DRAINAGE PLAN
C13	UTILITY PLAN
C14	POLLUTION CONTROL PLAN
C15	POLLUTION CONTROL DETAILS
C16	SPECTRUM DRIVE EXTENSION PLAN & PROFILE
LC.1	POOL COURT LAYOUT, GRADING & DETAILS
LC.2	CONSTRUCTION DETAILS
LP.1	PLANTING PLAN
LP.2	POOL COURT PLANTING PLAN
LP.3	PLANT LIST, FURNITURE SCHEDULE & PLANTING DETAILS
LP.4	PLANTING SPECIFICATIONS
I.1	IRRIGATION PLAN
I.2	IRRIGATION DETAILS
I.3	IRRIGATION SPECIFICATIONS



LOCATION MAP
NTS



OWNER & DEVELOPER:

AMICUS PARTNERS LTD.
15601 DALLAS PARKWAY
SUITE 525
ADDISON, TEXAS 75001
(972) 361-5480 FAX (972) 361-5914

ENGINEER & LANDSCAPE ARCHITECT:

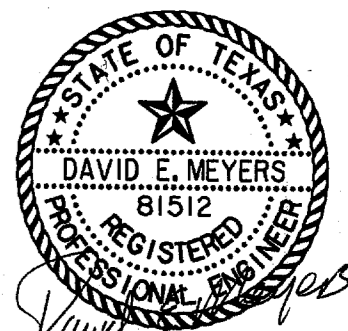
HUITT-ZOLLARS

3131 McKinney Ave., Ste. 600 Dallas, Texas 75204
Phone (214) 871-3311 Fax (214) 871-0757

DAVID E. MEYERS, P.E. MOHAMMAD SALAM, L.A.
TEX. REG. NO. 81512 TEX. REG. NO. 816

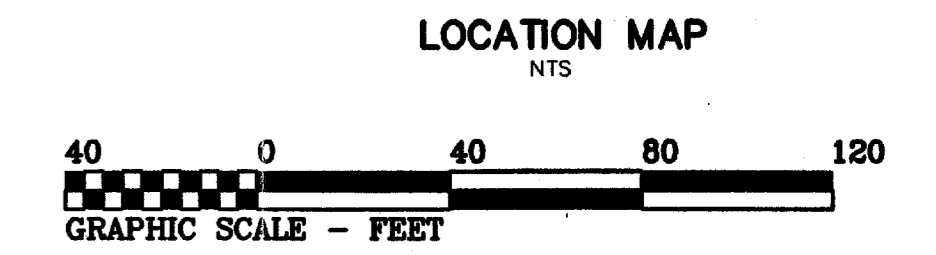
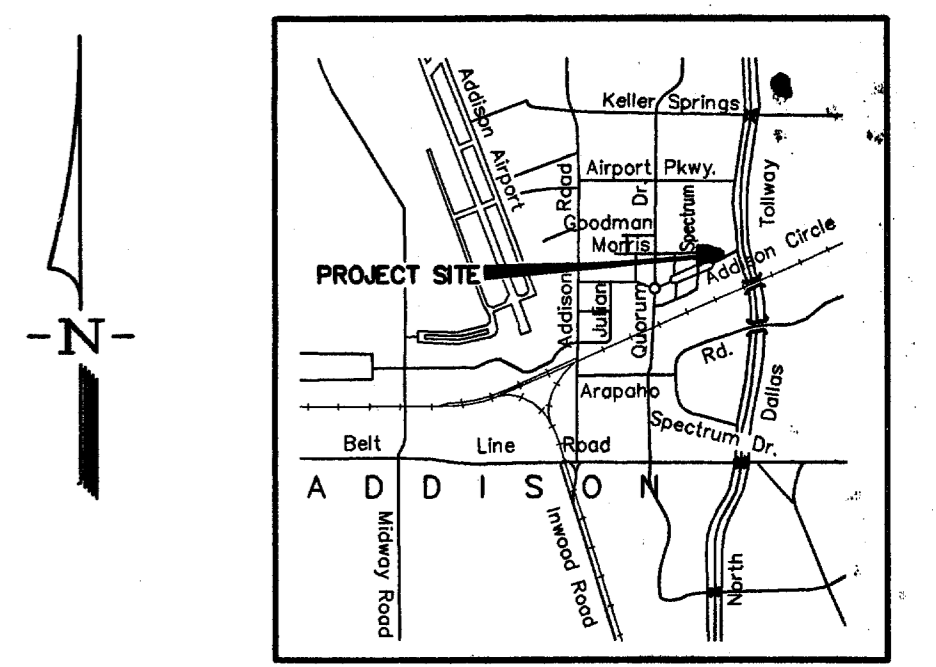
3 / 30 / 00 ISSUED FOR CONSTRUCTION

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512



Ashton
pdf 830-7

CI 830-7



BASIS OF BEARINGS / DIRECTIONAL CONTROL:
 A BEARING OF S 72°58'59"W BETWEEN A CUT X FOUND IN PAVEMENT AND A 5/8 INCH IRON ROD FOUND WITH HUITT-ZOLLARS CAP ALONG THE NORTH RIGHT-OF-WAY LINE OF ADDISON CIRCLE AS ESTABLISHED BY PLAT RECORDED IN VOLUME 97217, PAGE 3056 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS.

COURSE	BEARING	DISTANCE
L1	N 17°01'01"W	27.99'
L2	N 00°55'13"E	23.28'
L3	N 89°04'47"W	17.25'
L4	N 00°55'13"E	10.00'
L5	S 89°04'47"E	17.25'
L6	N 00°55'13"E	19.52'
L7	S 89°04'47"E	10.00'
L8	S 00°55'13"W	51.22'
L9	S 17°01'01"E	26.41'
L10	S 58°20'25"E	10.86'

G. W. FISHER SURVEY
 ABSTRACT No. 482

(TRACT 3)
 GAYLORD PROPERTIES, L.P.
 VOL.97211 PG.01264

(TRACT 4)
 GAYLORD PROPERTIES, L.P.
 VOL.97211 PG.01264

(TRACT 5)
 GAYLORD PROPERTIES, L.P.
 VOL.97211 PG.01264

SPECTRUM DRIVE
 RIGHT-OF-WAY DEDICATION
 0.0697 ACRE

MORRIS AVENUE
 (61' R.O.W. - VOL. 97217, PG. 3056)

POINT OF BEGINNING
 SPECTRUM DR. R.O.W. DEDICATION
 5/8" IRON ROD FND. w/HUITT-ZOLLARS CAP

**BLOCK A
 LOT 1
 1.388 ACRES**

DALLAS PARKWAY
 (VARIABLE WIDTH R.O.W.)

POINT OF COMMENCING
 CUT "X" FOUND IN PAVEMENT
 (CONTROL MONUMENT)

POINT OF BEGINNING
 5/8" IRON ROD SET w/HUITT-ZOLLARS CAP

ADDISON CIRCLE
 (109' R.O.W. - VOL. 97217, PG. 3056)

SPECTRUM DRIVE
 (89' R.O.W. - VOL. 97217, PG. 3056)

ADDISON CIRCLE
 (45' R.O.W. - VOL. 97217, PG. 3056)

ADDISON CIRCLE
 (45' R.O.W. - VOL. 97217, PG. 3056)

$\Delta = 57'31'26"$
 $R = 101.50'$
 $L = 101.90'$
 $CB = N 78'15'18"W$
 $CD = 97.68'$

PUBLIC OPEN SPACE
 TOWN OF ADDISON
 VOL.97217 PG.3056

LOT 2, BLOCK C
 ADDISON CIRCLE PHASE II
 VOL.97217 PG.3056

CHAMPION ADDISON ONE
 LIMITED PARTNERSHIP
 VOL.97224 PG.000007

LOT 1, BLOCK C
 ADDISON CIRCLE PHASE II
 VOL.97217 PG.3056

ADDISON CIRCLE PHASE TWO, LTD.
 VOL.97210 PG.1156

LOT 1, BLOCK B
 ADDISON CIRCLE PHASE II
 VOL.97217 PG.3056

ADDISON CIRCLE PHASE TWO, LTD.
 VOL.97210 PG.1156

SEE SHEET 2 OF 2 FOR OWNER'S CERTIFICATE, DEDICATIONS, SURVEYOR'S CERTIFICATE AND NOTARY STATEMENTS.

THIS PLAT INCLUDES CONTIGUOUS EASEMENT AREAS OUTSIDE THE LIMITS OF THE BLOCKS WHICH ARE BEING DEDICATED BY THIS PLAT.

**FINAL PLAT
 THE ASHTON**
 1.388 ACRES & SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION
 SITUATED IN THE G.W. FISHER SURVEY, ABSTRACT NO. 482
 TOWN OF ADDISON, DALLAS COUNTY, TEXAS

PREPARED FOR
 AMICUS PARTNERS, LTD.
 15601 DALLAS PARKWAY
 SUITE 525
 ADDISON, TEXAS 75001

FEB. 14, 2000
 Sheet No.
 1 OF 2
 Project No.
 01-2617-07

HUITT-ZOLLARS
 Engineering / Architecture
 3131 McKinney Ave., Ste. 600 Dallas, Texas 75204
 Phone (214) 871-3311 Fax (214) 871-0757

FILED
 OCT 22 PM 4:12
 EARC BILL OOK
 COUNTY CLERK
 DALLAS COUNTY

OWNER'S CERTIFICATE

State of Texas
County of Dallas

THE ASHTON, LOT 1, BLOCK A

WHEREAS, Amicus Partners, Ltd., a Texas limited partnership is the owner of a tract of land situated in the G.W. FISHER SURVEY, Abstract No. 482, in the Town of Addison, Dallas County, Texas, as described in Special Warranty Deed to Amicus Partners, Ltd. as recorded in Volume 99195, Page 07791 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a cut "X" found in pavement at the intersection of the west right-of-way of Dallas Parkway (variable width) as evidenced by instrument to Gaylord Properties, L.P. (described as Tract 5) as recorded in Volume 97211, Page 01264 of the Deed records of Dallas County, Texas with the northwesterly right-of-way line of Addison Circle (109 foot wide right-of-way at this point) as evidenced by plat of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 97217, Page 3056 of the Deed Records of Dallas County, Texas;

THENCE, South 72 degrees 58 minutes 59 seconds West along the northerly right-of-way line of Addison Circle a distance of 247.36 feet to a 5/8 iron rod set with Huitt-Zollars cap for the POINT OF BEGINNING;

THENCE, South 72 degrees 58 minutes 59 seconds West along the northerly right-of-way line of Addison Circle a distance of 179.69 feet to a five-eighths inch iron rod found with "Huitt-Zollars" cap for a corner, said point being the beginning of a non-tangent curve to the left having a radius of 101.50 feet;

THENCE, westerly along the northerly right-of-way line of Addison Circle and said curve to the left through a central angle of 57 degrees 31 minutes 26 seconds an arc distance of 101.90 feet and being subtended by a chord bearing North 78 degrees 15 minutes 18 seconds West a distance of 97.68 feet to a five-eighths inch iron rod found with "Huitt-Zollars" cap for the end of said curve;

THENCE, South 72 degrees 58 minutes 59 seconds West along the northerly right-of-way line of Addison Circle a distance of 84.75 feet to a five-eighths inch iron rod found with "Huitt-Zollars" cap for a corner on the east right-of-way line of Spectrum Drive (69 foot wide right-of-way at this point) as evidenced by said plat of Addison Circle Phase II;

THENCE, North 00 degrees 55 minutes 13 seconds East along the east right-of-way line of Spectrum Drive a distance of 253.20 feet to a five-eighths inch iron rod set with Huitt-Zollars cap for corner;

THENCE, South 89 degrees 04 minutes 47 seconds East departing the east right-of-way line of Spectrum Drive a distance of 104.49 feet to a five-eighths inch iron rod set with Huitt-Zollars cap for corner;

THENCE, South 58 degrees 20 minutes 25 seconds East a distance of 261.51 feet to a five-eighths inch iron rod set with Huitt-Zollars cap for corner;

THENCE, South 17 degrees 01 minutes 01 seconds East a distance of 59.32 feet to the POINT OF BEGINNING and CONTAINING 1.388 acres of land, more or less.

SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION TRACT

WHEREAS, Gaylord Properties, L.P. is the owner of a tract of land situated in the G.W. FISHER SURVEY, Abstract No. 482, in the Town of Addison, Dallas County, Texas, and being a portion of two tracts of land described as Tract 3 and 4 in instrument to Gaylord Properties, L.P., as recorded in Volume 97211, Page 01264 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found with Huitt-Zollars cap at the most northerly northeast corner of Addison Circle Phase II, an addition to the Town of Addison, Texas as recorded in Volume 97217, Page 3056 of the Deed Records of Dallas County, Texas, said point being on the east right-of-way line of Spectrum Drive (69 foot wide right-of-way as established by said plat) from which a 5/8 inch iron rod found with Huitt-Zollars cap at the intersection of the east right-of-way line of said Spectrum Drive with the northwesterly right-of-way line of Addison Circle (45 foot wide right-of-way at this point) bears South 00 degrees 55 minutes 13 seconds West at a distance of 218.98 feet;

THENCE North 89 degrees 04 minutes 47 seconds West along the north line of said Addison Circle Phase II, crossing said Spectrum Drive, a distance of 69.00 feet to a 5/8 inch iron rod found with Huitt-Zollars cap for a corner on the west right-of-way line of said Spectrum Drive from which a 5/8 inch iron rod found with Huitt-Zollars cap at the intersection of the west right-of-way line of said Spectrum Drive with the north right-of-way line of Morris Avenue (61 foot wide right-of-way) bears South 00 degrees 55 minutes 13 seconds West at a distance of 21.00 feet;

THENCE North 00 degrees 55 minutes 13 seconds East departing said north line of Addison Circle Phase II, a distance of 44.00 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE South 89 degrees 04 minutes 47 seconds East parallel with the said north line of Addison Circle Phase II, a distance of 69.00 feet to a 5/8 inch iron rod set with Huitt-Zollars cap for a corner;

THENCE South 00 degrees 55 minutes 13 seconds West a distance of 44.00 feet to the POINT OF BEGINNING and containing 0.0697 of an acre of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Amicus Partners, Ltd. and Gaylord Properties, L.P. ("Owners") do hereby adopt this plat designating the hereon property as THE ASHTON, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of the services for which easements are granted.

The easements designated as "TXU Electric Company Easement" are subsurface easements reserved for the installation and maintenance of electric facilities. Owner shall have the right to use these easements, provided further that the Owner specifically reserves the right to construct improvements and structures over those easements designated as TXU Electric Company Easement (Under Structures).

Any "drainage and floodway" easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the "drainage and floodway" will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Buildings areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easements as shown; provided, however, that the owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

STATE OF TEXAS
COUNTY OF DALLAS

I (we), the undersigned, owner(s) of the land shown on this plat, and the designated herein as THE ASHTON subdivision to the Town of Addison, Texas, and whose name subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown of the purpose and consideration therein expressed.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication or exactions made herein.

Amicus Partners, Ltd., a Texas limited partnership
By: Amicus G.P. Ltd., a Texas Corporation, General partner

By: Robert Shaw
Name: Robert Shaw
Title: President

WITNESS MY HAND at Dallas, Texas this the 15th day of February, 2000.

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Robert Shaw, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this 15th day of February, 2000.

Kris Rhodes
Notary Public in and for the State of Texas



STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

I (we), the undersigned, owner(s) of the land shown on this plat, and the designated herein as THE ASHTON subdivision to the Town of Addison, Texas, and whose name subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown of the purpose and consideration therein expressed.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication or exactions made herein.

Gaylord Properties, L.P., a Texas limited partnership
By: Opubco International, Ltd., a Delaware Corporation, General partner

By: David C. Stovry
Name: David C. Stovry
Title: Treasurer

WITNESS MY HAND at Oklahoma City, Oklahoma this the 16th day of February, 2000.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

Before me, the undersigned authority, on this day personally appeared David C. Stovry, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

Given under my hand and seal of office this 16th day of February, 2000.

Kelley Luvauer
Notary Public in and for the State of Oklahoma

KNOW ALL MEN BY THESE PRESENTS:

I, Eric J. Yahoudy, a Registered Professional Land Surveyor, hereby certify that the foregoing plat was compiled from an accurate survey made on-the-ground, under my personal supervision.

For Huitt-Zollars, Inc.

Eric J. Yahoudy
Registered Professional Land Surveyor
Registration No. 4862

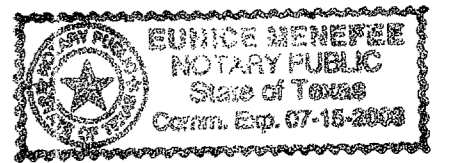


STATE OF TEXAS
COUNTY OF DALLAS

BEFORE the undersigned authority, a Notary Public in for the State of Texas on this day personally appeared, Eric J. Yahoudy, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of the office this 14th day of February, 2000.

Franice Deane
Notary Public in and for the State of Texas



CERTIFICATE OF APPROVAL

Approved this 14th day of February, 2000, by the Town Council of Addison, Texas.

Mayor
Secretary

FINAL PLAT
THE ASHTON

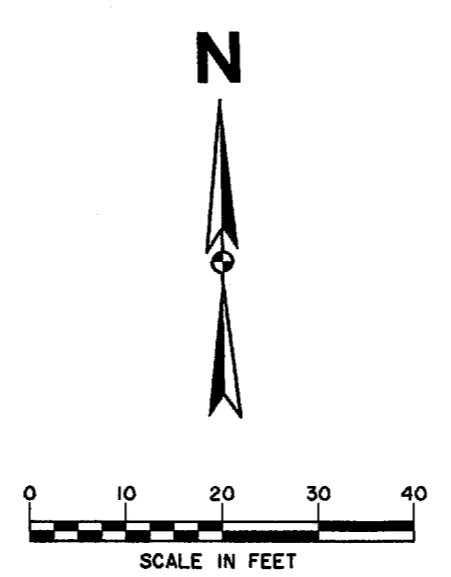
1.388 ACRES & SPECTRUM DRIVE RIGHT-OF-WAY DEDICATION
SITUATED IN THE G.W. FISHER SURVEY, ABSTRACT NO. 482
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

PREPARED FOR
AMICUS PARTNERS, LTD.
15601 DALLAS PARKWAY
SUITE 525
ADDISON, TEXAS 75001

FEB. 14, 2000
Sheet No.
2 OF 2
Project No.
01-2617-07

HUITT-ZOLLARS
Huitt-Zollars, Inc. Engineering / Architecture
3131 McKinney Ave., Ste. 600 Dallas, Texas 75204
Phone (214) 871-3311 Fax (214) 871-0767

POINT #	NORTHING	EASTING
2241	10847.1865	10650.7707
2242	10868.4111	10720.1205
2335	11067.4702	10654.3092
2336	11006.4781	10653.3294
2340	10893.2138	10801.1613
2346	10873.3305	10896.7942
2466	11088.4675	10654.6464
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2471	10824.8764	11110.9295
2472	10785.9104	11122.8551
2473	10925.9190	11068.6230
2474	10982.6540	11051.1930
2475	11119.9060	10828.6300
2476	11121.5840	10724.1890



NOTE
1. SEE FINAL PLAT FOR EASEMENT DIMENSIONS.

LEGEND:

- EXISTING R.O.W./P.L.
- PROPOSED R.O.W./P.L.
- FUTURE R.O.W./P.L.
- EASEMENT LINE
- STREET CENTERLINE
- BUILDING SETBACK
- BUILDING PERIMETER

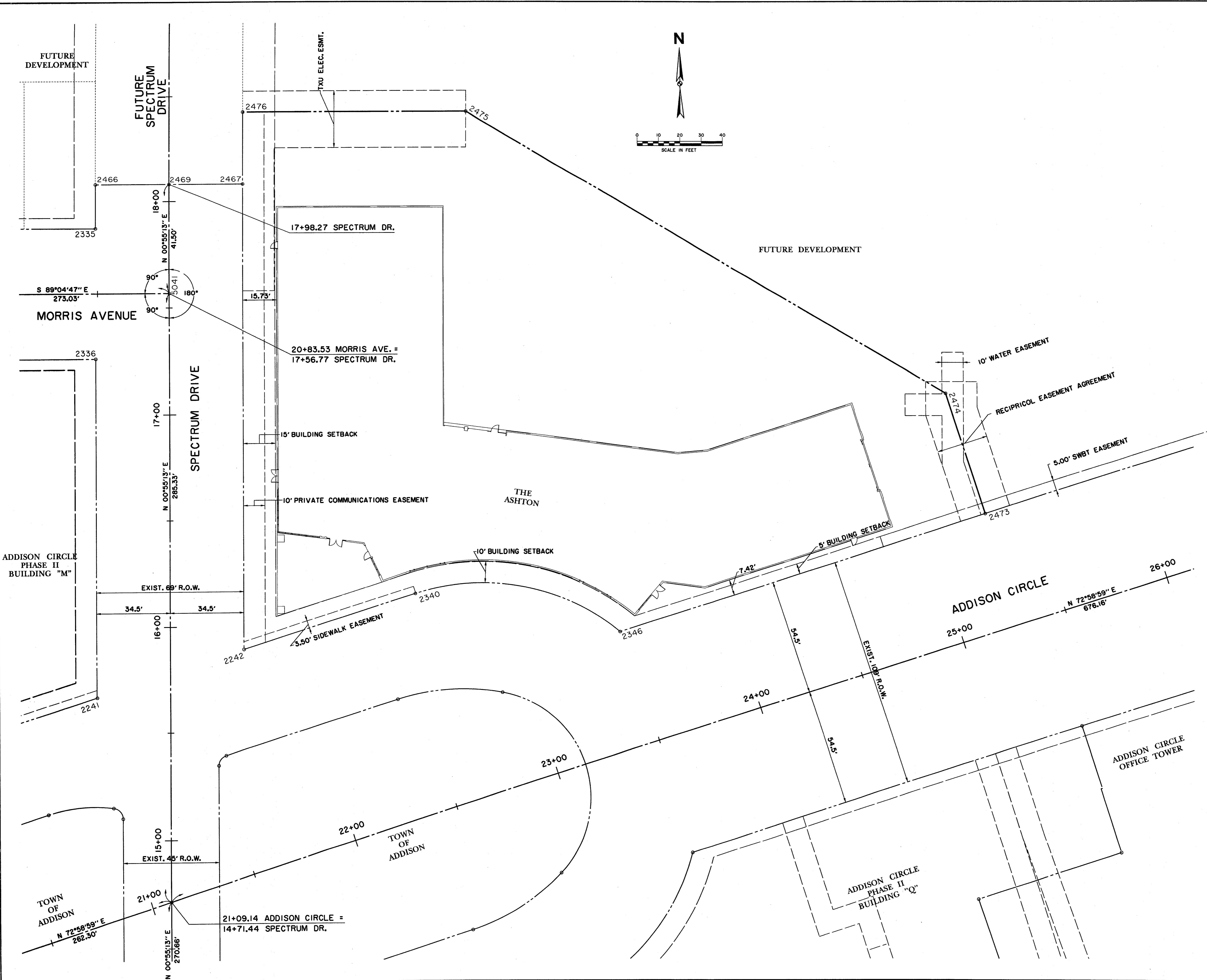
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512

DATE	DESCRIPTION	REF NO.
3/30/00	ISSUED FOR CONSTRUCTION	N/A
1/24/00	ISSUED FOR BID	N/A
2/16/99	CITY SUBMITTAL	N/A

HORIZONTAL CONTROL PLAN
THE ASHTON
PRIVATE
TOWN OF ADDISON, TEXAS

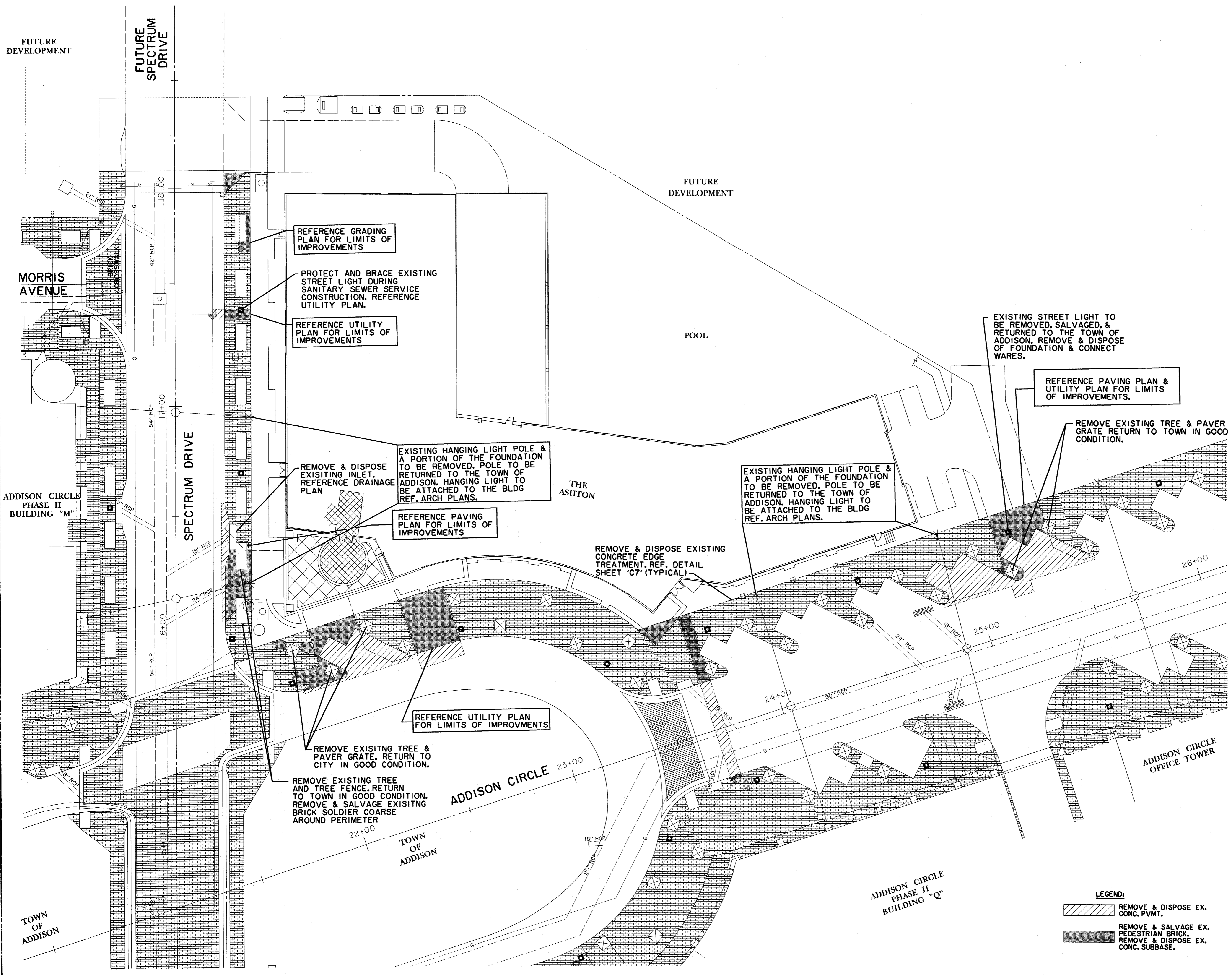
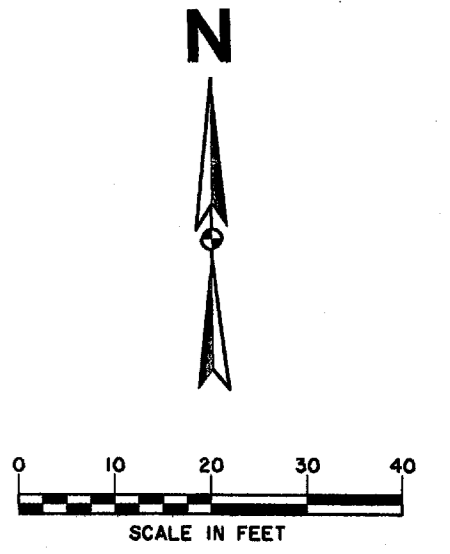
Hull - 2011/03, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=20'	MAR. 00	01-2617-06	C4



P:\PROJECTS\2000\000000\F\N\MEYER.DWG
 DATE: 03/30/00
 TIME: 10:00 AM

L:\PROJECTS\2000\000000\F\N\MEYER.DWG
 DATE: 03/30/00
 TIME: 10:00 AM



REFERENCE GRADING PLAN FOR LIMITS OF IMPROVEMENTS

PROTECT AND BRACE EXISTING STREET LIGHT DURING SANITARY SEWER SERVICE CONSTRUCTION. REFERENCE UTILITY PLAN.

REFERENCE UTILITY PLAN FOR LIMITS OF IMPROVEMENTS

REMOVE & DISPOSE EXISTING INLET. REFERENCE DRAINAGE PLAN

EXISTING HANGING LIGHT POLE & A PORTION OF THE FOUNDATION TO BE REMOVED. POLE TO BE RETURNED TO THE TOWN OF ADDISON. HANGING LIGHT TO BE ATTACHED TO THE BLDG REF. ARCH PLANS.

REFERENCE PAVING PLAN FOR LIMITS OF IMPROVEMENTS

REMOVE & DISPOSE EXISTING CONCRETE EDGE TREATMENT. REF. DETAIL SHEET 'C7' (TYPICAL)

EXISTING HANGING LIGHT POLE & A PORTION OF THE FOUNDATION TO BE REMOVED. POLE TO BE RETURNED TO THE TOWN OF ADDISON. HANGING LIGHT TO BE ATTACHED TO THE BLDG REF. ARCH PLANS.

EXISTING STREET LIGHT TO BE REMOVED, SALVAGED, & RETURNED TO THE TOWN OF ADDISON. REMOVE & DISPOSE OF FOUNDATION & CONNECT WARES.

REFERENCE PAVING PLAN & UTILITY PLAN FOR LIMITS OF IMPROVEMENTS.

REMOVE EXISTING TREE & PAVER GRATE RETURN TO TOWN IN GOOD CONDITION.

REFERENCE UTILITY PLAN FOR LIMITS OF IMPROVEMENTS

REMOVE EXISTING TREE & PAVER GRATE. RETURN TO CITY IN GOOD CONDITION.

REMOVE EXISTING TREE AND TREE FENCE. RETURN TO TOWN IN GOOD CONDITION. REMOVE & SALVAGE EXISTING BRICK SOLDIER COARSE AROUND PERIMETER

THIS PLAN ILLUSTRATES THE TOTAL AREA OF EXISTING PAVEMENT AND THE LOCATIONS OF EXISTING STORM DRAINAGE FACILITIES TO BE REMOVED. THESE ELEMENTS WILL REQUIRE REMOVAL INCREMENTALLY AS NECESSARY FOR PROPER STAGING AND SEQUENCING OF CONSTRUCTION AND MAY THEREFORE REQUIRE ADDITIONAL SAW CUTTING THAN WHAT IS INDICATED.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512

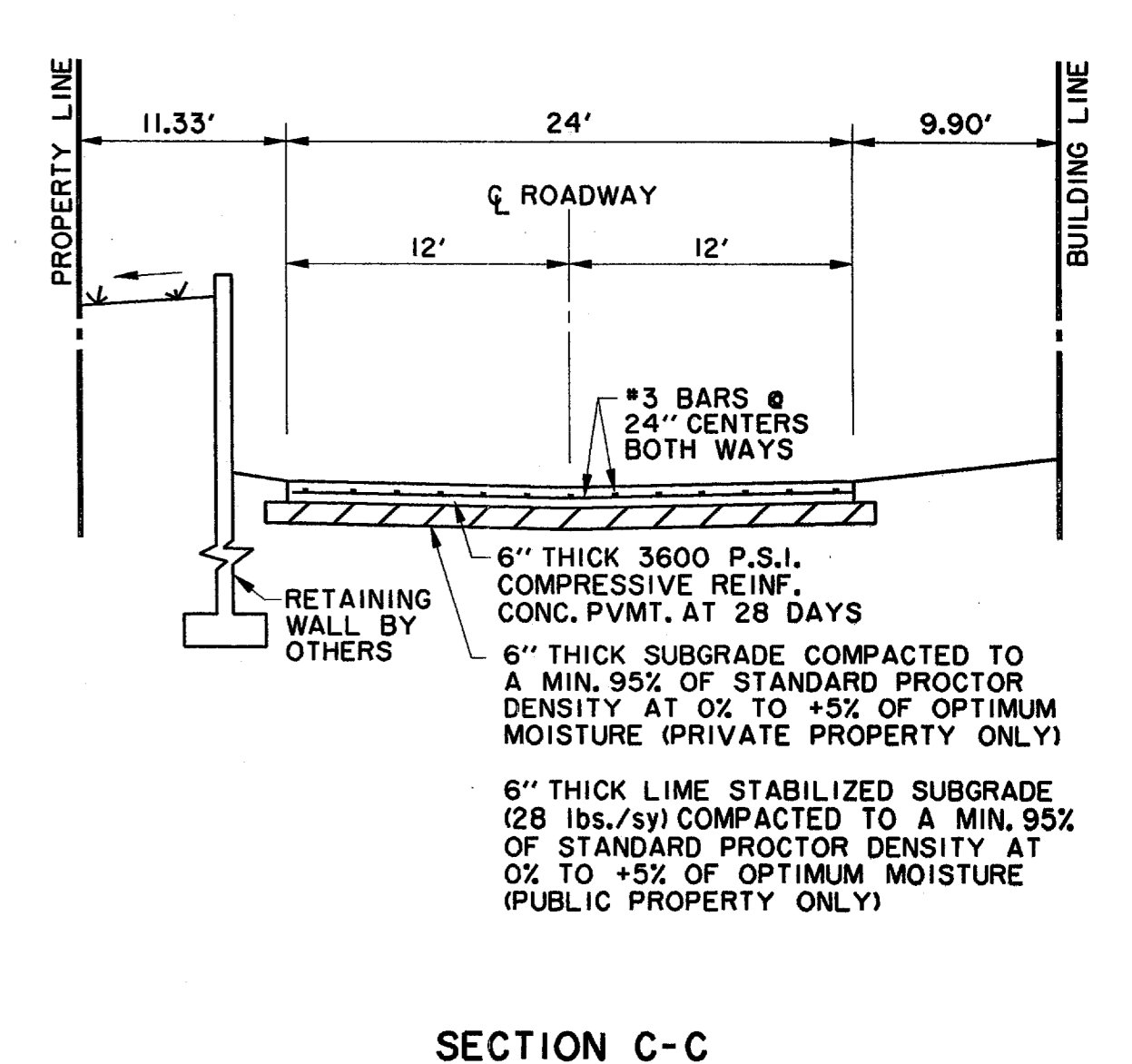
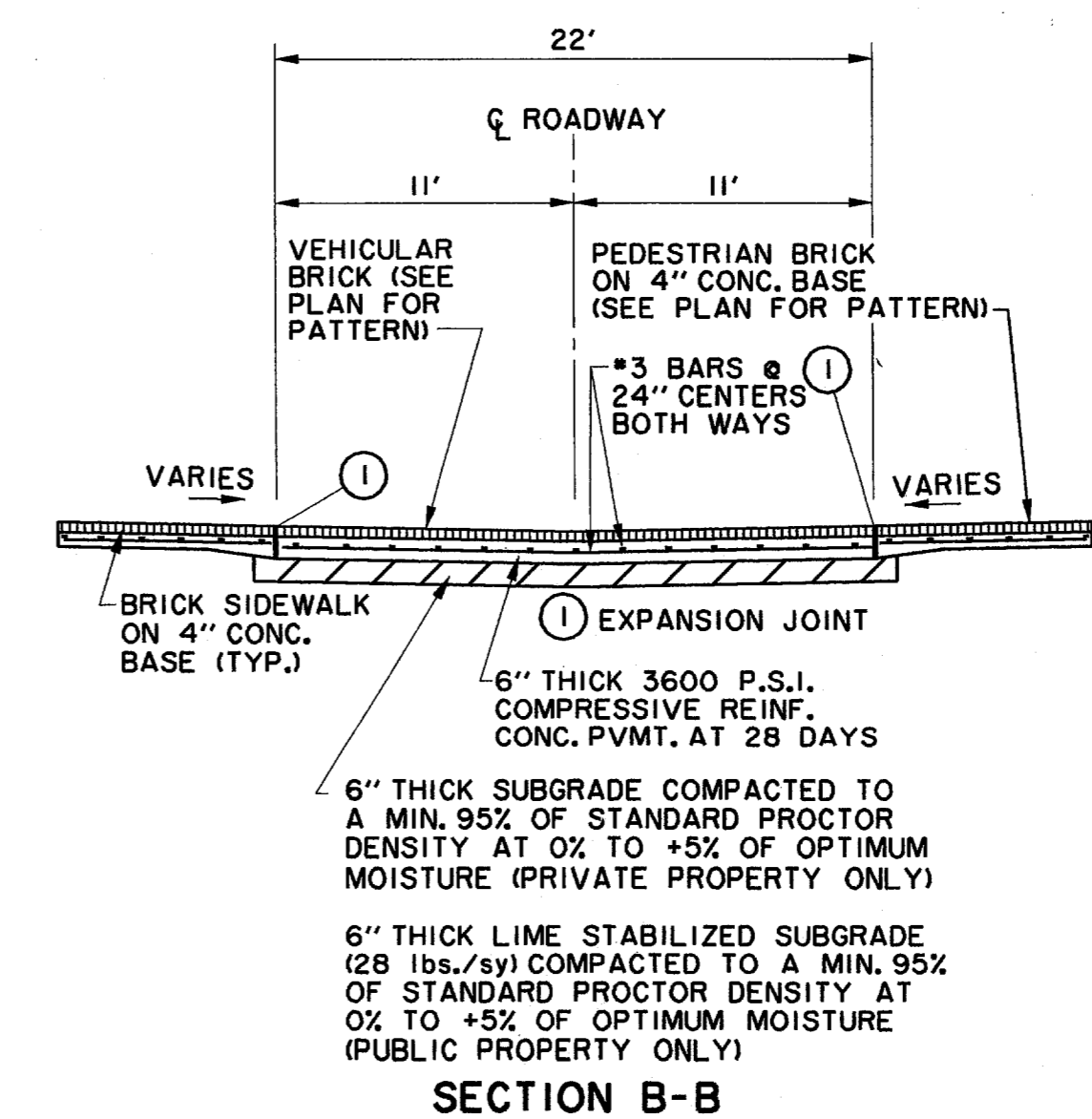
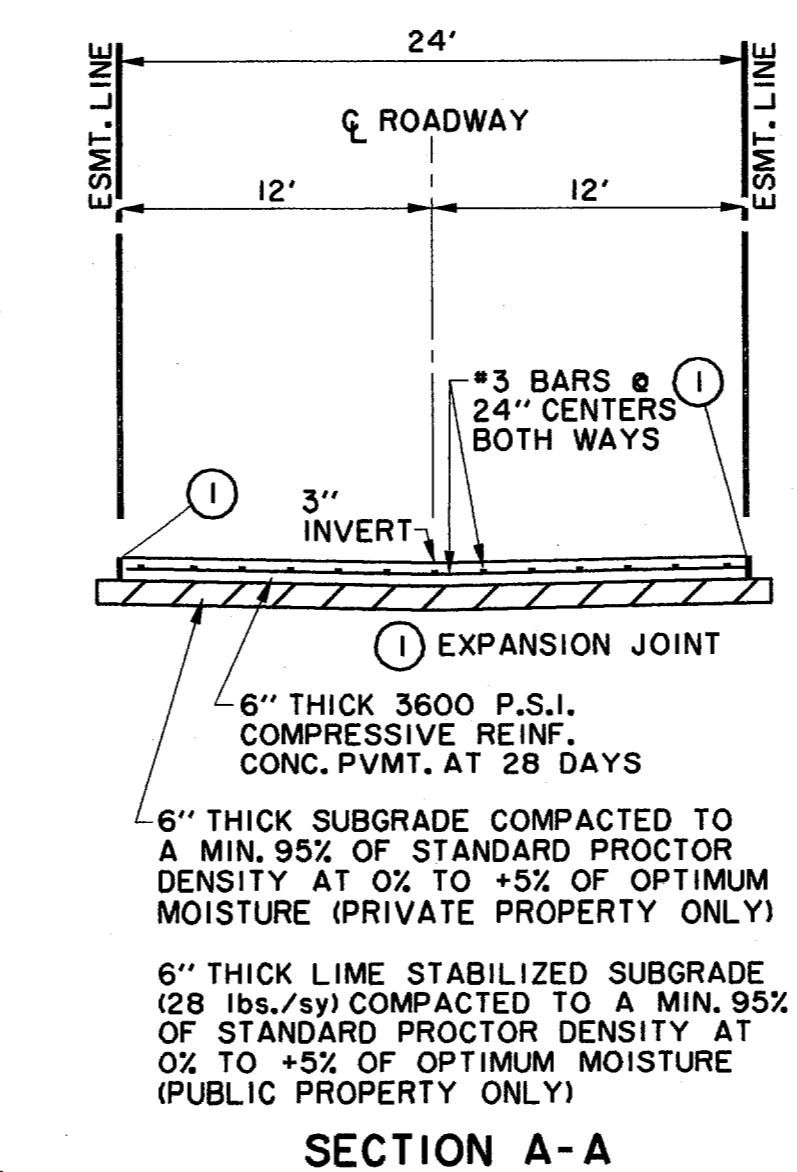
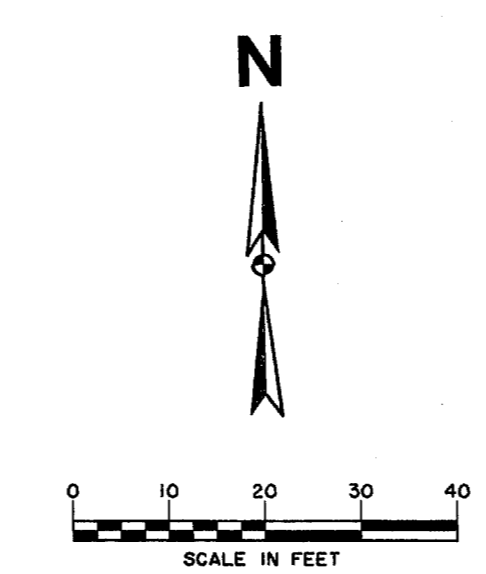
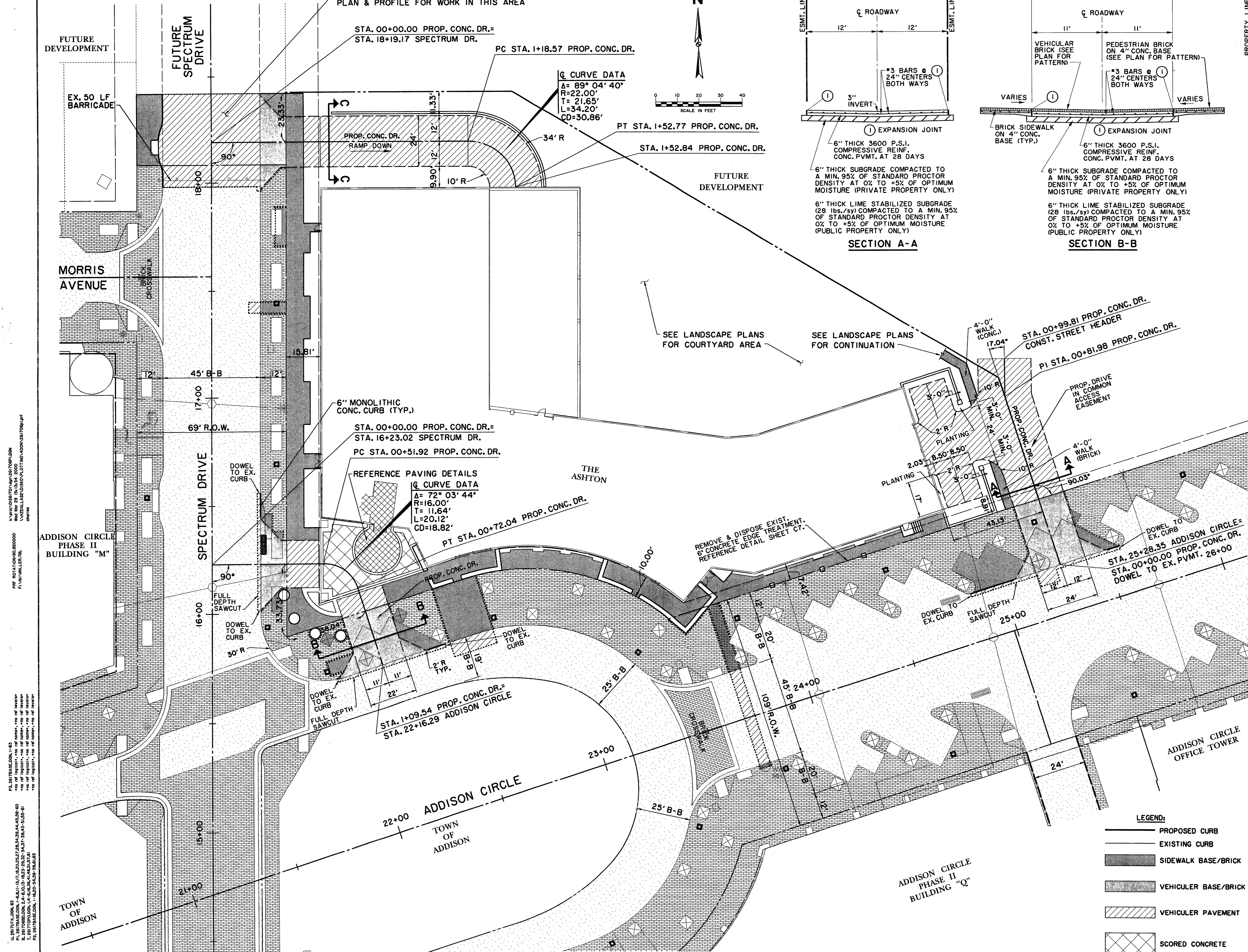


DATE	DESCRIPTION	REF NO.
3/30/00	ISSUED FOR CONSTRUCTION	N/A
1/24/00	ISSUED FOR BID	N/A
2/16/99	CITY SUBMITTAL	N/A

DEMOLITION PLAN						
THE ASHTON						
PRIVATE						
TOWN OF ADDISON, TEXAS						
<small>Huitt - Zollars, Inc. 3131 McKinney Ave., Suite 600, Dallas, TX 75204 Phone (214) 871-3311/Fax (214) 871-0757</small>						
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=20'	MAR. 00	01-2617-06	C5

- LEGEND:**
- REMOVE & DISPOSE EX. CONC. PAVT.
 - REMOVE & SALVAGE EX. PEDESTRIAN BRICK. REMOVE & DISPOSE EX. CONC. SUBBASE.

1. 02/28/99 27-40-44.51-50.08-83
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- NOTE:**
1. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 2. REFERENCE LANDSCAPE PLANS FOR IMPROVEMENTS WITHIN POOL AREA.
 3. BRICKS TO BE USED IN SIDEWALK AND DRIVEWAYS SHALL BE 2 1/4" x 4" x 8" GLEN-GREY, AUTUMN HAZE (FIELD), BROWN (BORDER). THE BRICK SHALL MEET OR EXCEED ASTM C-902-93 FOR PEDESTRIAN AND LIGHT TRAFFIC PAVING BRICK.

BENCHMARKS:

BM#4
"I" CUT AT CENTER OF CURB INLET, 1015 FEET NORTH FROM THE CENTERLINE INTERSECTION OF ADDISON CIRCLE, WEST SIDE OF QUORUM DRIVE. ELEV. 629.36

TBM
"I" CUT ON EAST END OF 6" INLET NORTH SIDE OF MORRIS ± AVE, 200' EAST OF CENTERLINE OF QUORUM DR. ELEV. 616.41

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512

DATE	DESCRIPTION	REF. NO.
3/30/00	ISSUED FOR CONSTRUCTION	N/A
1/24/00	ISSUED FOR BID	N/A
12/16/99	CITY SUBMITTAL	N/A

- LEGEND:**
- PROPOSED CURB
 - EXISTING CURB
 - SIDEWALK BASE/BRICK
 - VEHICLER BASE/BRICK
 - VEHICLER PAVEMENT
 - SCORED CONCRETE

PAVING PLAN

THE ASHTON

PRIVATE

TOWN OF ADDISON, TEXAS

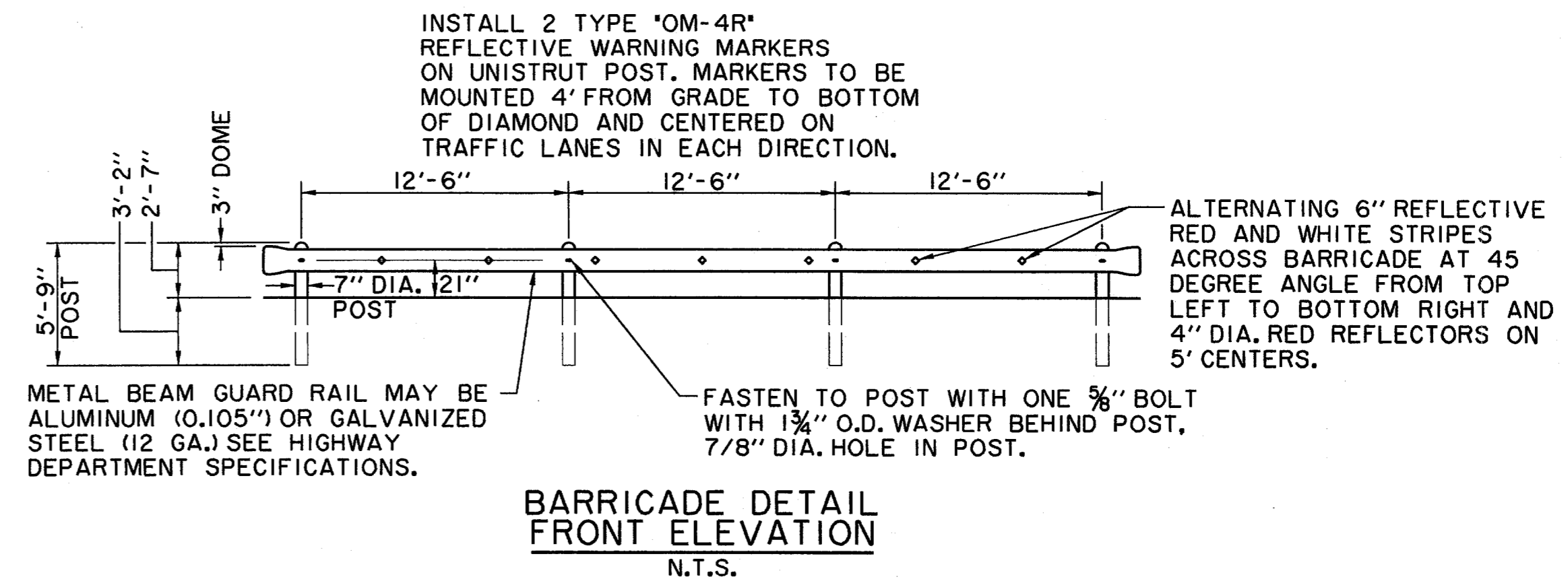
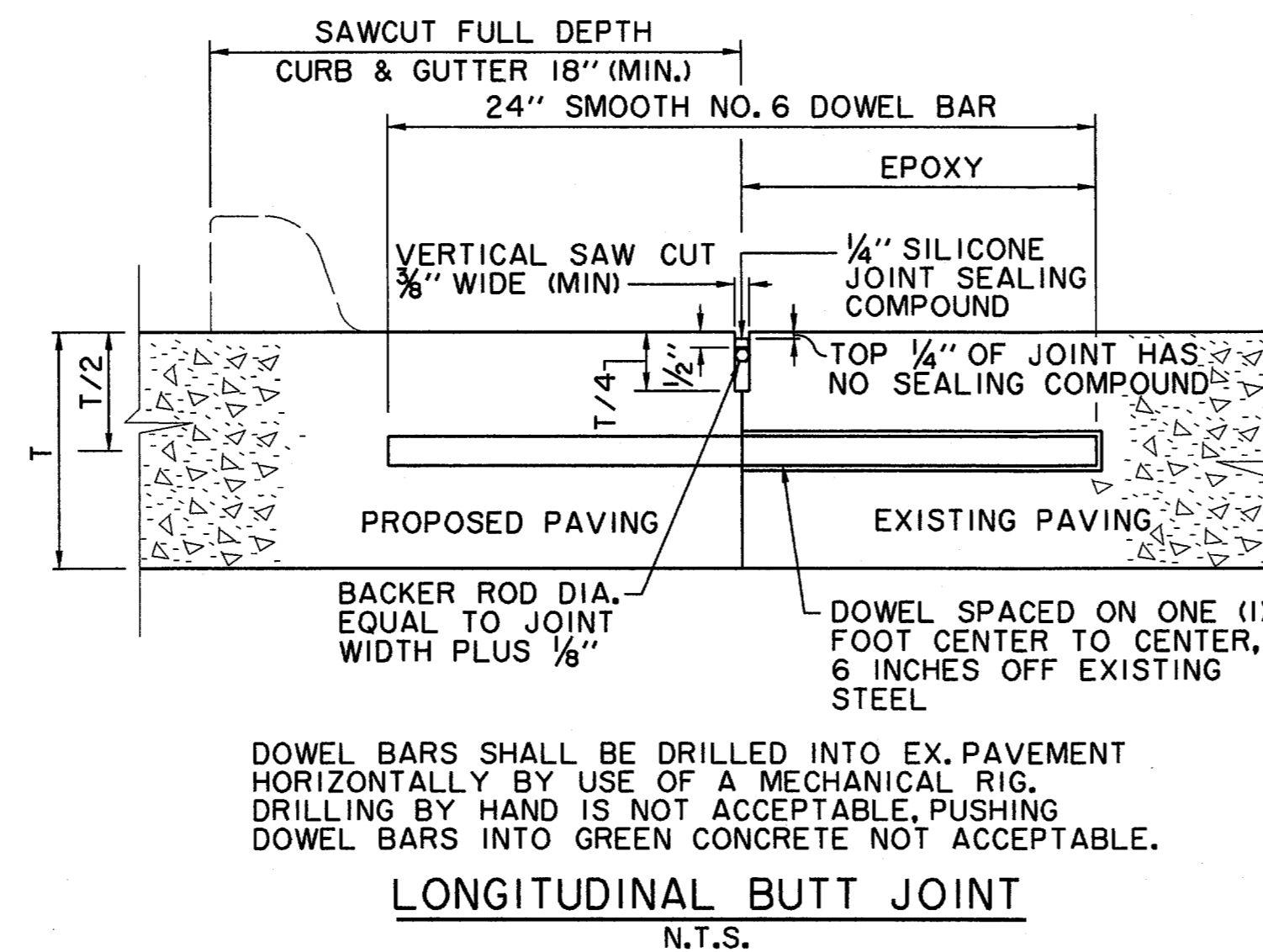
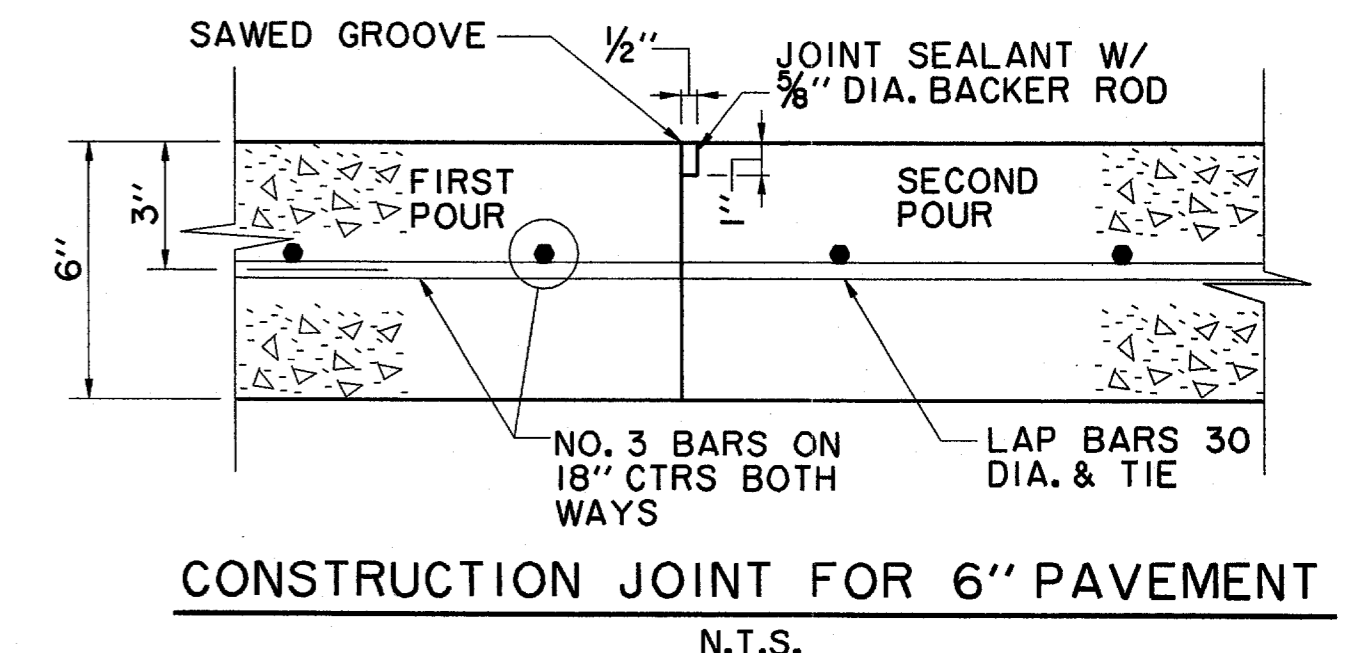
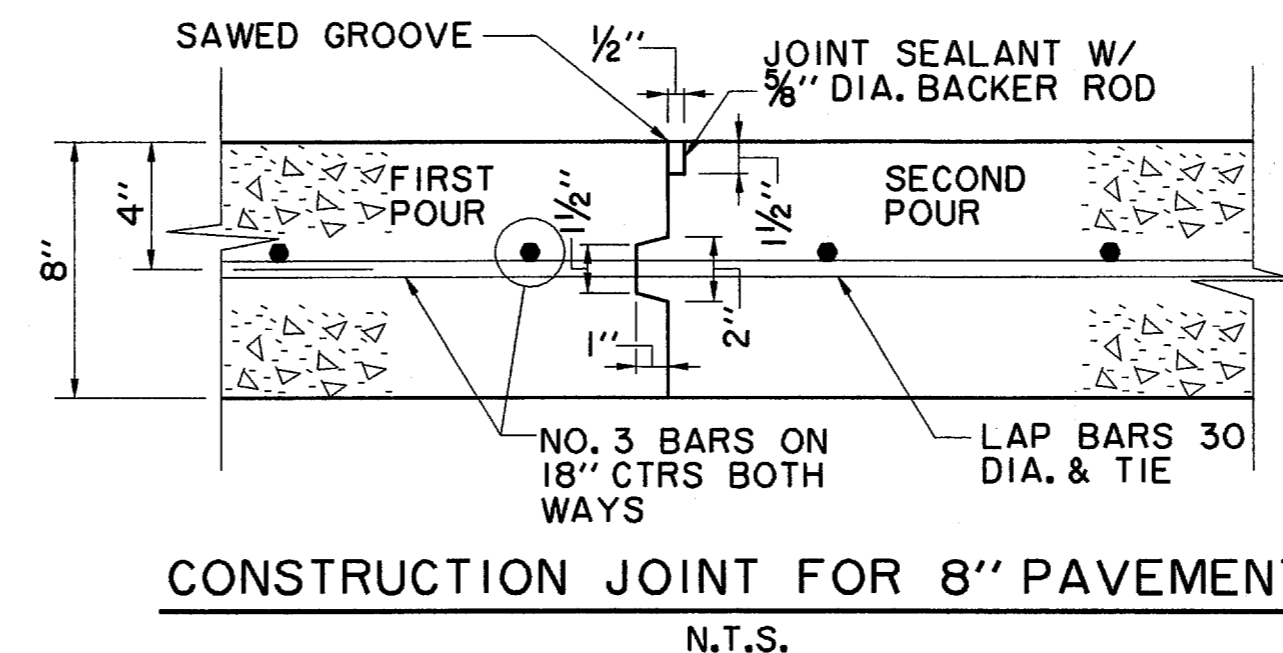
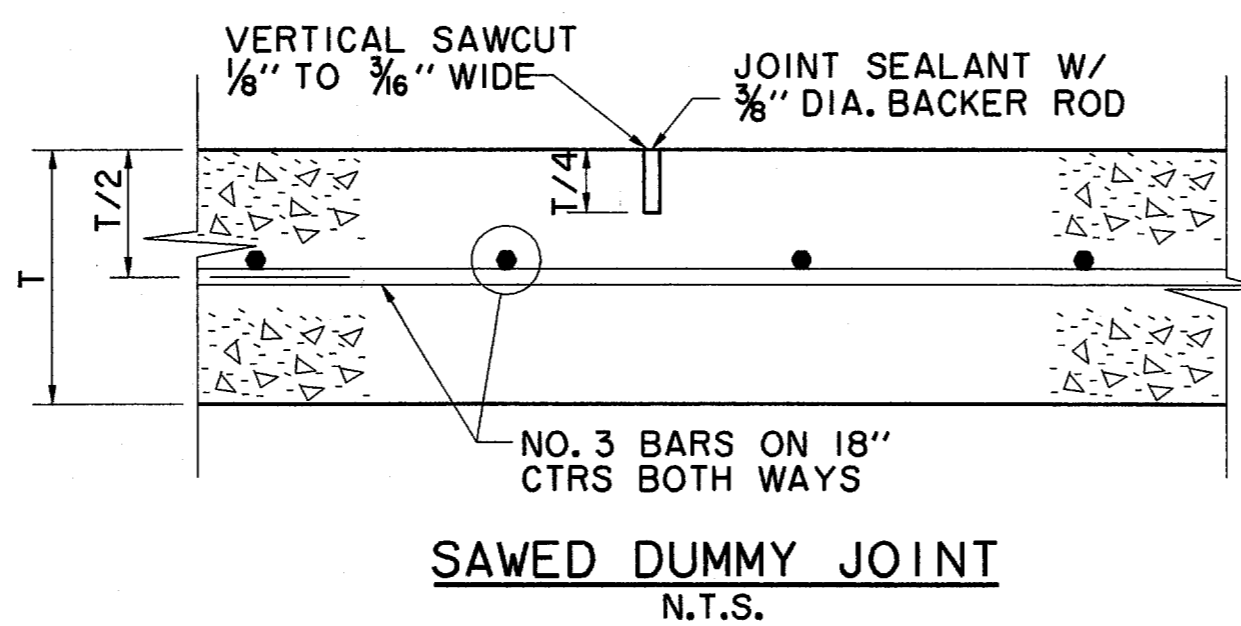
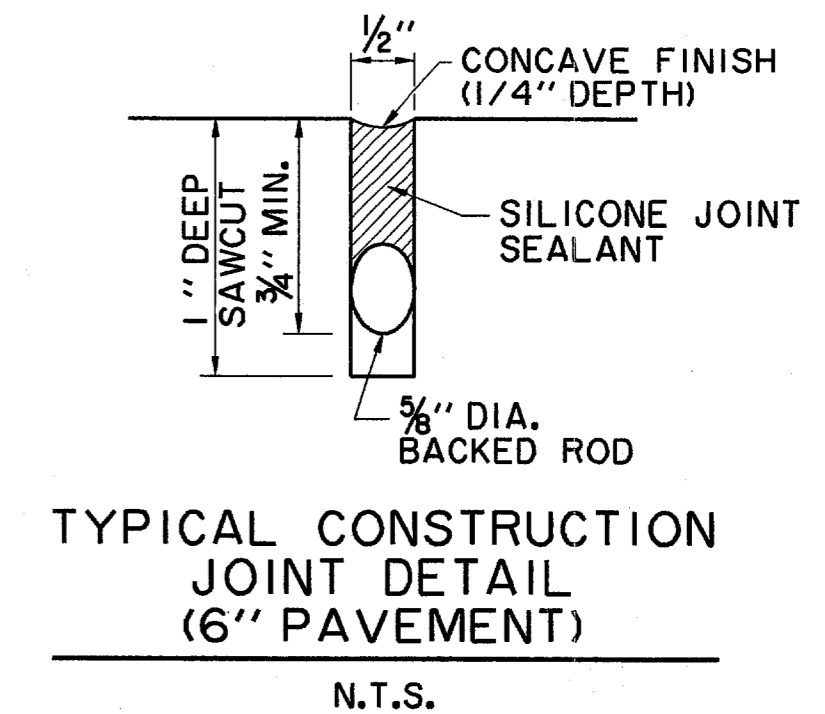
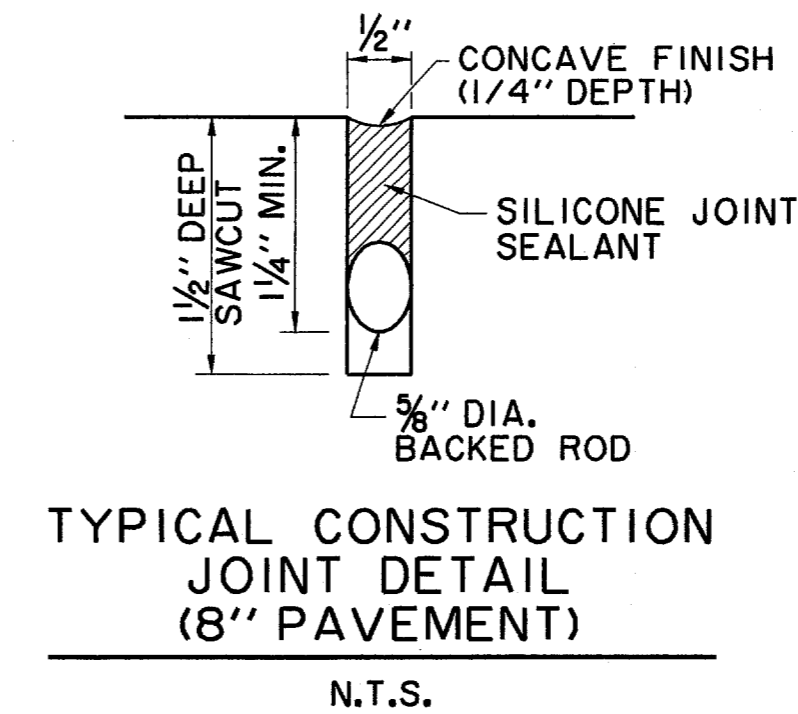
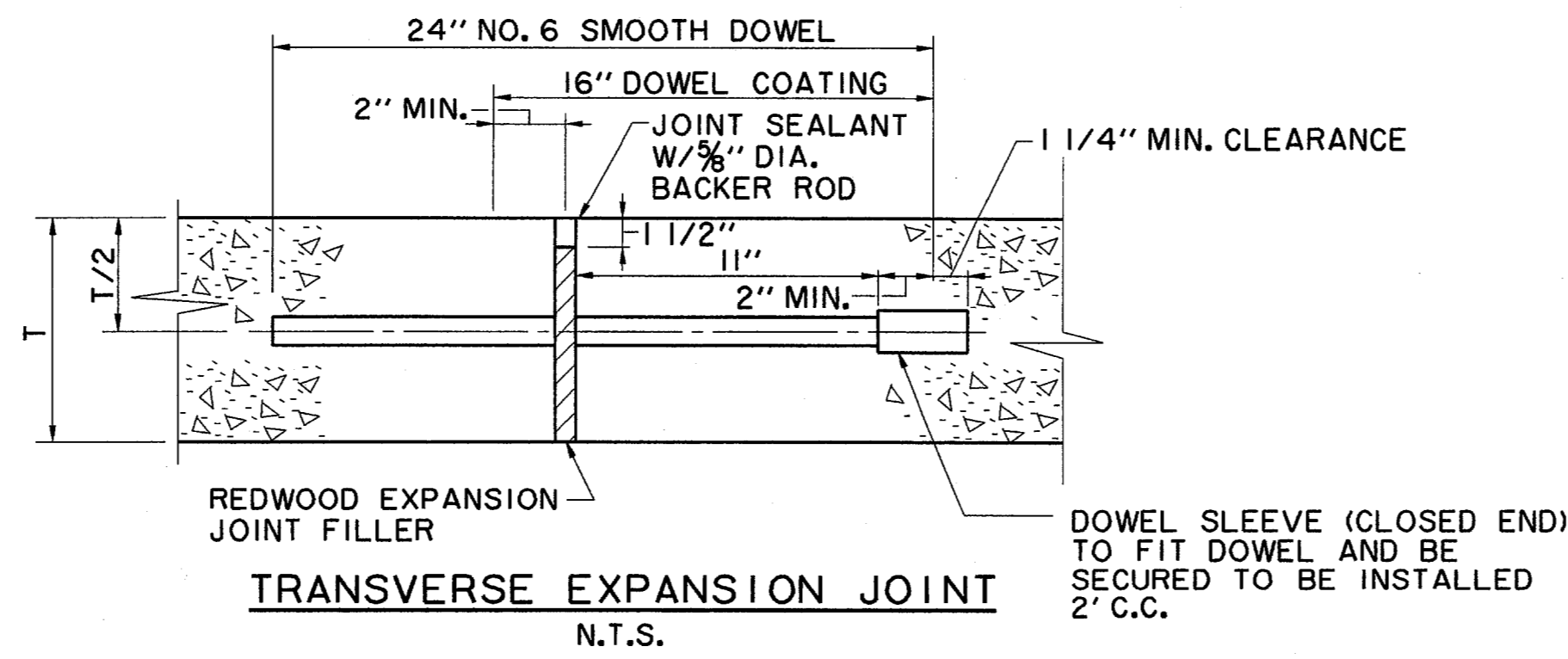
HUTT - Zellers, Inc.
3131 McKinney Ave., Suite 600 Dallas, TX 75204
Phone (214) 871-3311 / Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
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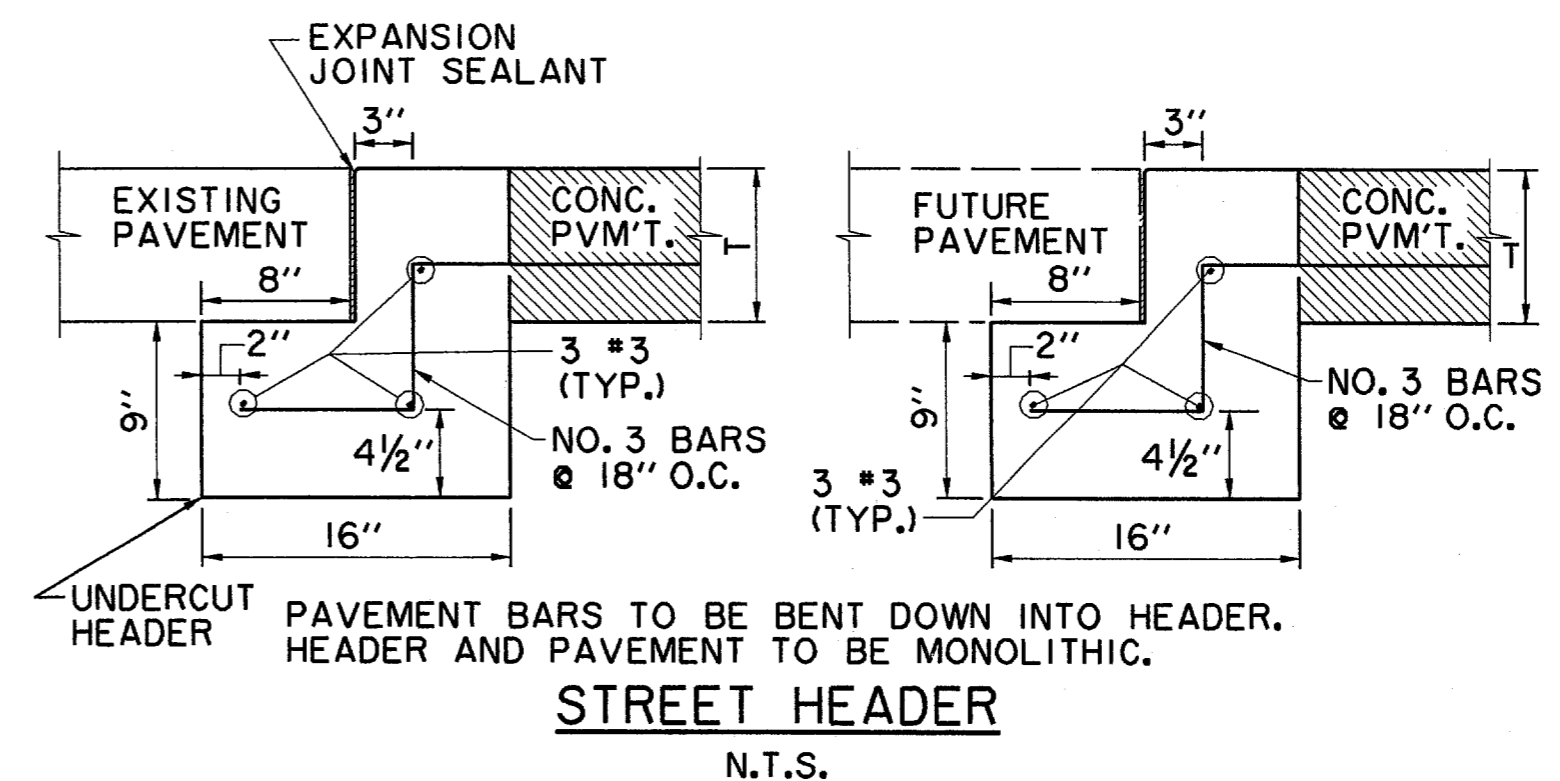
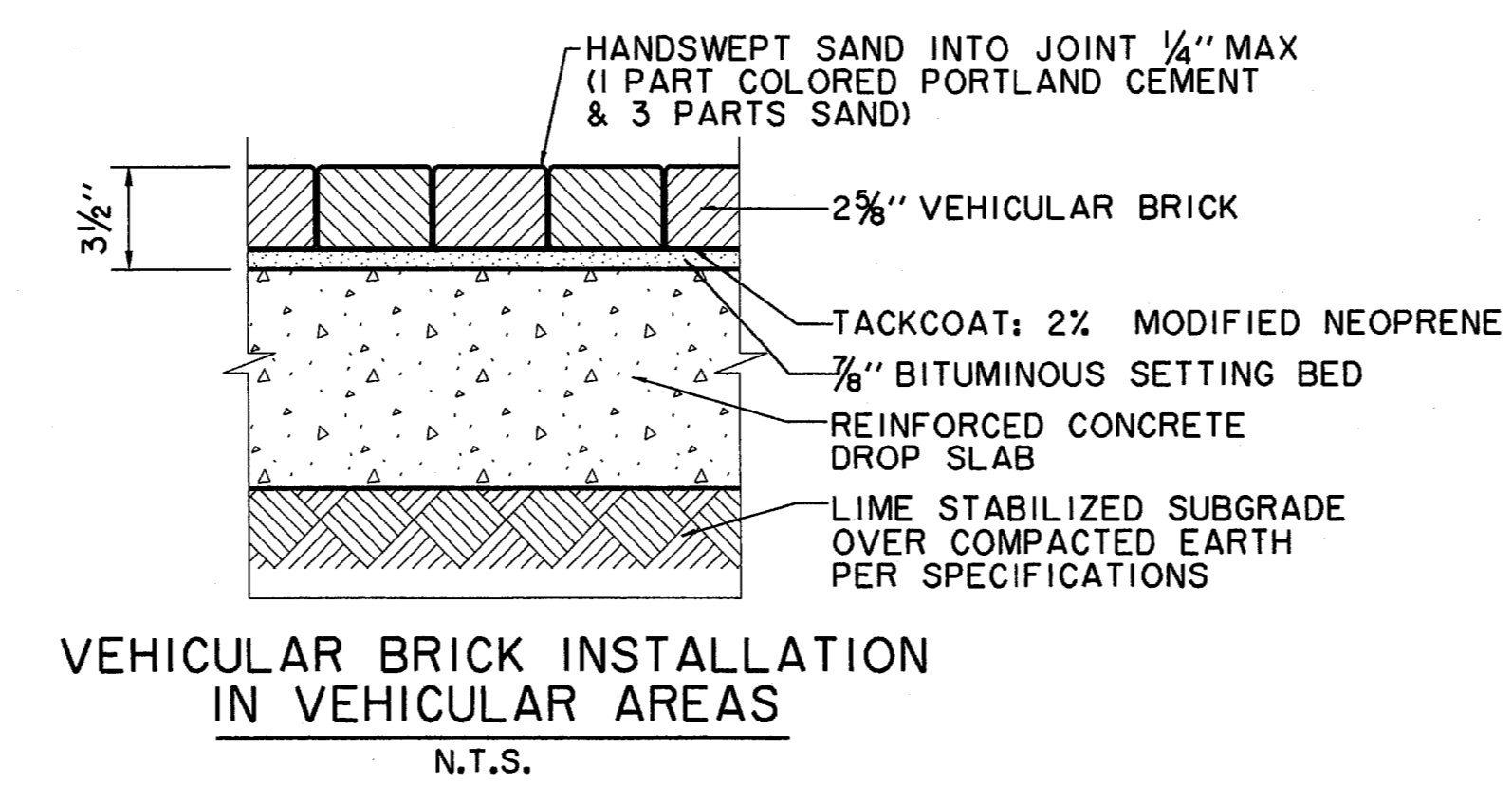
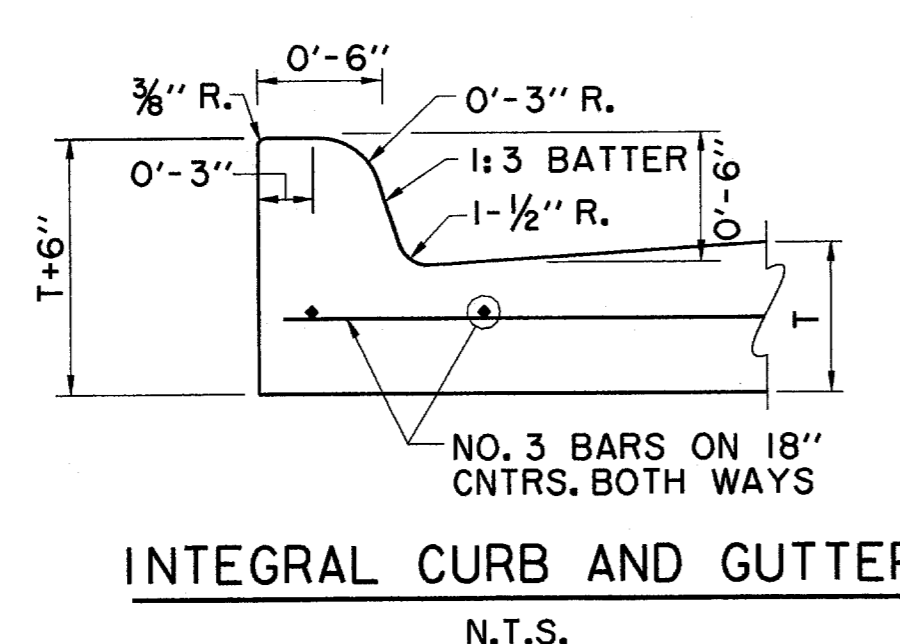
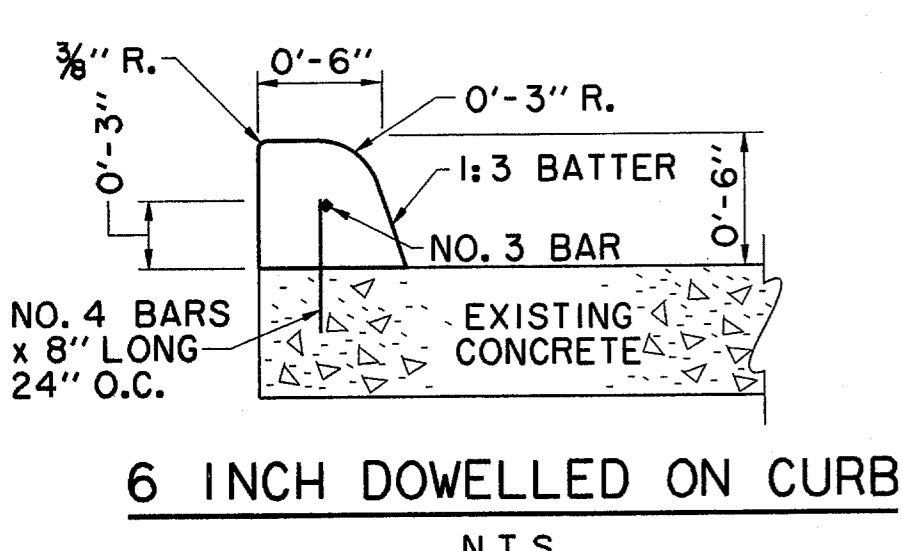
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 PLOT: 3/30/00 10:00 AM
 PLOTTER: HP DesignJet 500
 PLOT SCALE: 1"=20'
 PLOT SHEETS: 1 OF 1
 PLOT SIZE: 36" X 48"

NOTES-PAVING AND GRADING

- UNLESS SPECIFICALLY STATED OTHERWISE IN PLANS OR CONTRACT DOCUMENTS, THE CONTROLLING SPECIFICATIONS FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY AND EASEMENTS SHALL BE THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECOND EDITION 1987, AS AMENDED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (THE "STANDARD SPECIFICATIONS"), COPIES OF THE STANDARD SPECIFICATIONS MAY BE PURCHASED BY MAIL OR OVER THE COUNTER FROM THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 616 SIX FLAGS DRIVE, P.O. BOX DRAWER COG, ARLINGTON, TEXAS 76005-5888, PHONE METRO 817/640-3300. BULK DISCOUNTS ARE AVAILABLE. THIS DOCUMENT IS COPYRIGHTED.
- THE PAVING AREAS WILL BE GRADED TO +/- .10' OF FINISHED SUBGRADE ELEVATIONS.
- ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST ISSUE OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD)", AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.
- ALL FILL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS COMPACTED TO 95% OF STANDARD PROCTOR DENSITY BETWEEN 0% AND +3% OF OPTIMUM MOISTURE CONTENT.
- ALL TREES, STUMPS, BRUSH, GRASSES AND SURFACE ORGANICS WITHIN PROPOSED RIGHT-OF-WAY ARE TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE. TREE REMOVAL PERMITS, IF REQUIRED, WILL BE OBTAINED BY THE OWNER.
- EXISTING UTILITY POLES, IF ANY, WILL BE REMOVED OR RELOCATED BY THE UTILITY COMPANIES THROUGH COORDINATION BY THE OWNER. CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY FACILITIES THAT APPEAR TO BE IN CONFLICT SO THAT THE OWNER HAS SUFFICIENT TIME TO ACCOMPLISH THE NECESSARY RELOCATIONS.
- WHERE DEEP VERTICAL EXCAVATIONS (IN EXCESS OF 3 FEET) ARE INDICATED, CUTS SHALL BE LAID BACK AT A STABLE SLOPE (ON OWNER'S PROPERTY) UNTIL WALLS ARE CONSTRUCTED. BACKFILL MATERIAL SHALL BE STOCKPILED ON-SITE AT THE DIRECTION OF THE OWNER.
- ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS OR OTHER APPROVED SUPPORT.
- THE USE OF WOOD FORMS FOR PAVEMENT CONSTRUCTION WILL BE PERMITTED.
- SAWED JOINTS SHALL BE SPACED AT 15' INTERVALS ON DRIVE.
- BARRIER-FREE RAMPS WILL BE BUILT WITH THIS PROJECT. LOCATIONS MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER TO CLEAR OBSTRUCTIONS.
- VARIABLE HEIGHT CURB AT INTERSECTIONS AND SLOPING CURBS AT DRIVES SHALL BE BUILT TO MATCH FUTURE BARRIER-FREE RAMPS PER PLANS. NO SEPARATE PAY ITEMS ARE PROVIDED.
- TWO-WAY TRAFFIC MUST BE MAINTAINED AT ALL TIMES ON PUBLIC STREETS ADJACENT TO THIS PROJECT UNLESS SPECIFIED OTHERWISE IN THE PLANS AND SPECIFICATIONS. THE TRAVELWAY WIDTH SHALL NOT BE LESS THAN 11 FEET.
- ALL CURBS SHALL BE PLACED INTEGRAL WITH PAVEMENT.
- CURBS SHALL MEET THE SAME COMPRESSIVE STRENGTH AS SPECIFIED FOR THE CONCRETE PAVEMENT.
- BAR LAPS SHALL BE 30 DIAMETERS.
- FINISH SHALL BE TRANSVERSE WITH TRAFFIC LANES AND SHALL BE STEEL TINED BROOM FINISH.

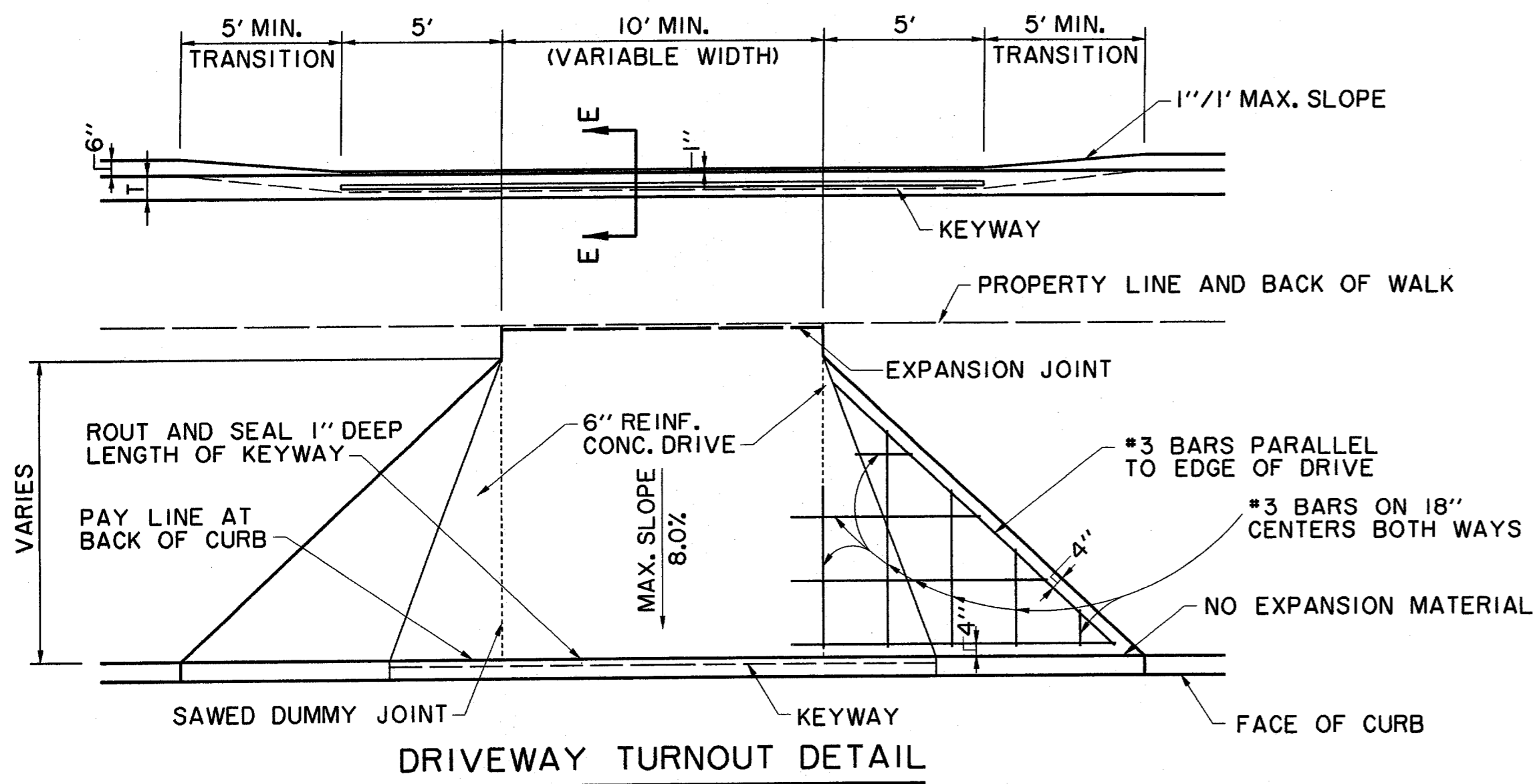


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512



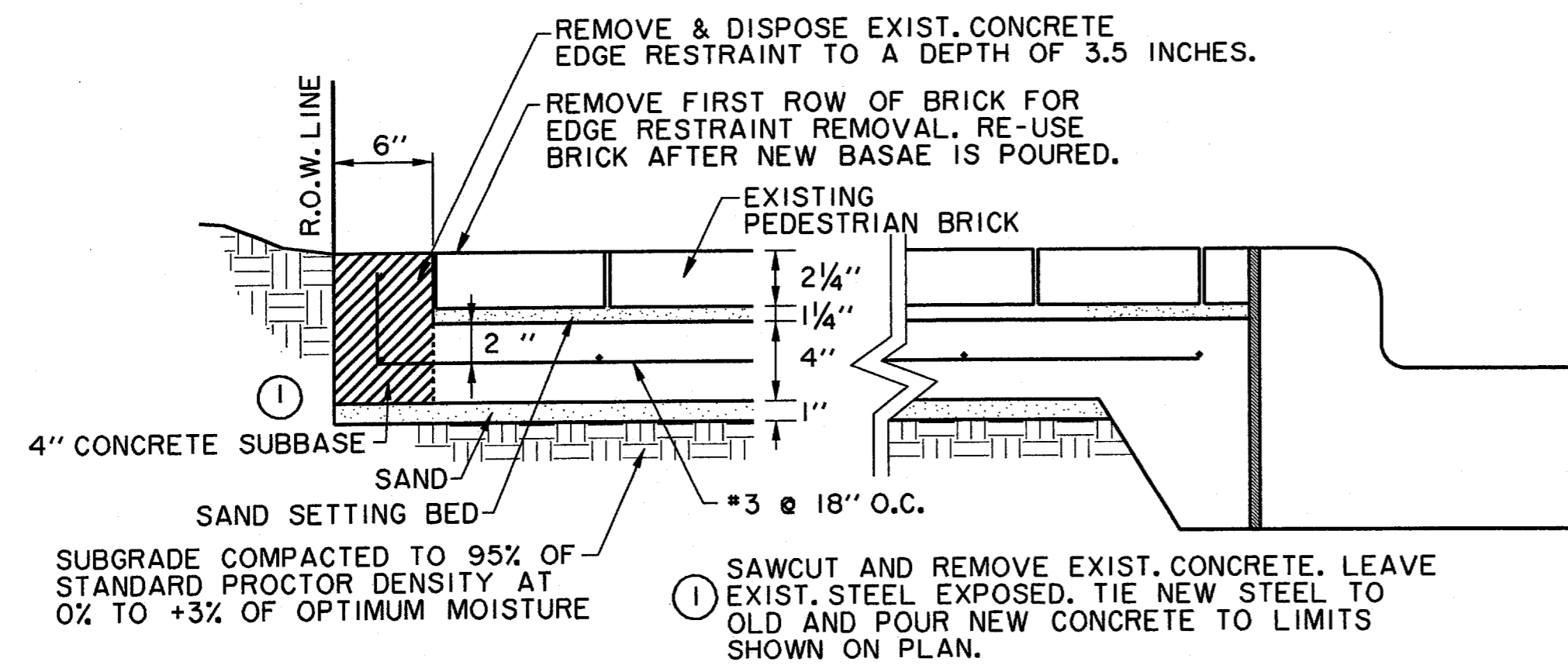
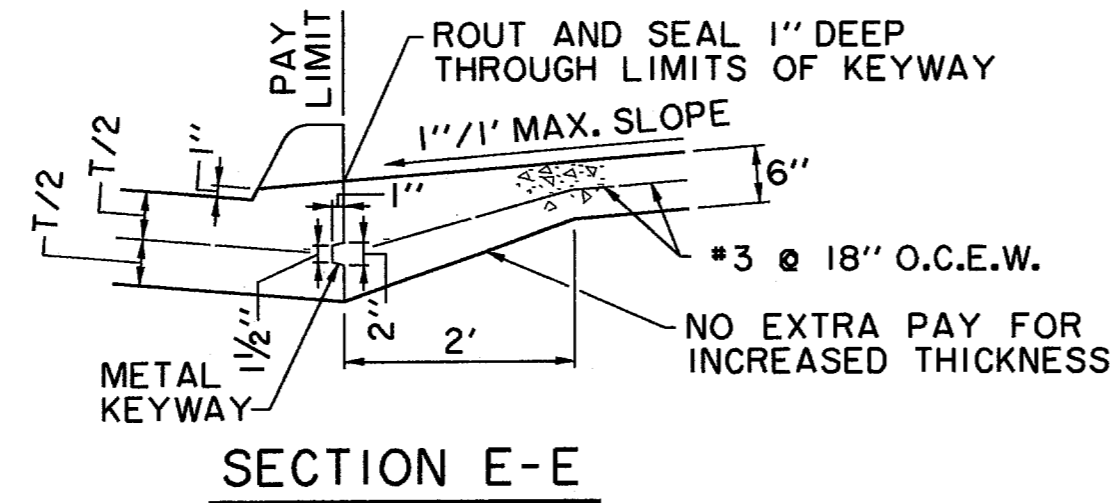
DATE	DESCRIPTION	REF NO.				
3/30/00	ISSUED FOR CONSTRUCTION	N/A				
1/24/00	ISSUED FOR BID	N/A				
12/16/99	CITY SUBMITTAL	N/A				
PAVING DETAILS						
THE ASHTON						
PRIVATE						
TOWN OF ADDISON, TEXAS						
<small>Hull - 2010rs, Inc. 3131 McKinney Ave., Suite 800, Dallas, TX 75204 Phone (214) 871-3311/Fax (214) 871-0757</small>						
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZ1	HZ1	DEM	N.T.S.	MAR. 00	01-2617-06	C7

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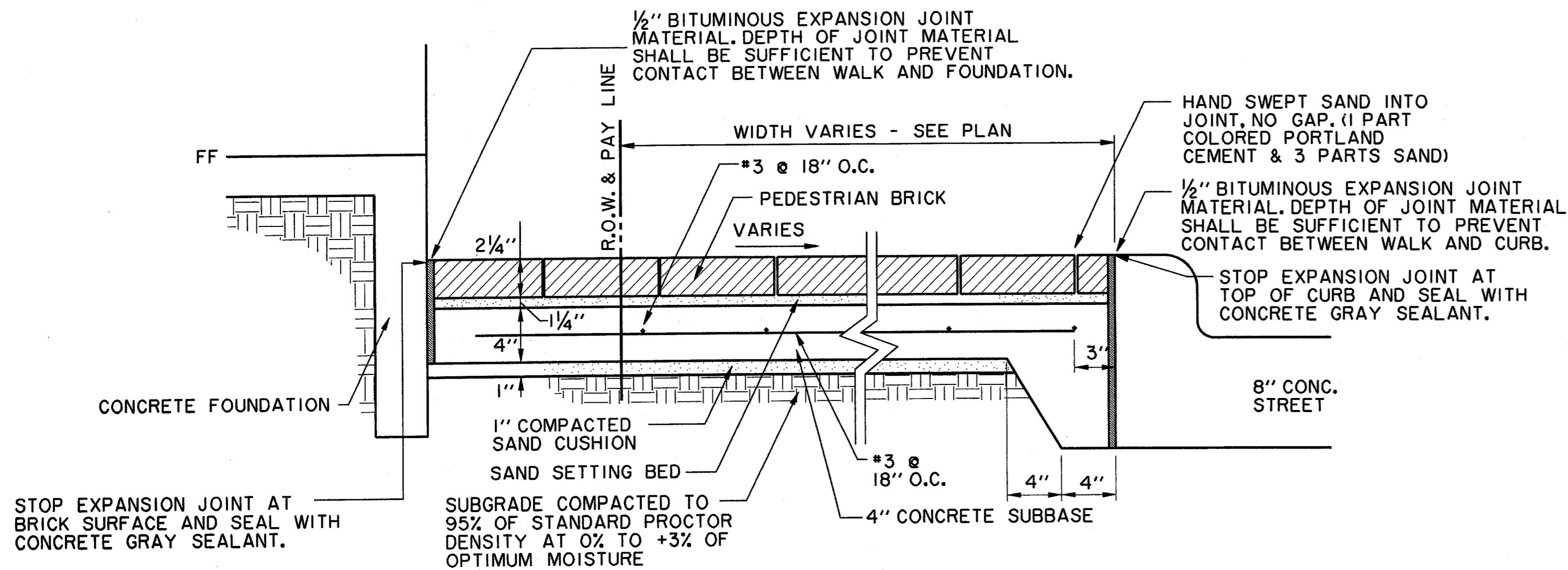
NOTES:

1. PAVEMENT JOINTS SHALL NOT EXTEND THROUGH DRIVE.
2. KEYWAY LIMITS SHALL COINCIDE WITH LIMITS OF 1" CURB.
3. REINFORCING STEEL SHALL NOT EXTEND THROUGH KEYWAY. DRIVE WILL NOT BE TIED TO PAVEMENT.
4. MAXIMUM SLOPE ON DRIVE IN ANY DIRECTION SHOULD BE 1"/1' TO RESPECT PRINCIPLES OF BARRIER FREE CONSTRUCTION.
5. LENGTH OF TRANSITION FOR CURB AT EACH SIDE OF DRIVE MAY VARY DUE TO STREET GRADES AND REQUIREMENT TO HOLD MAXIMUM SLOPE OF 1"/1'.



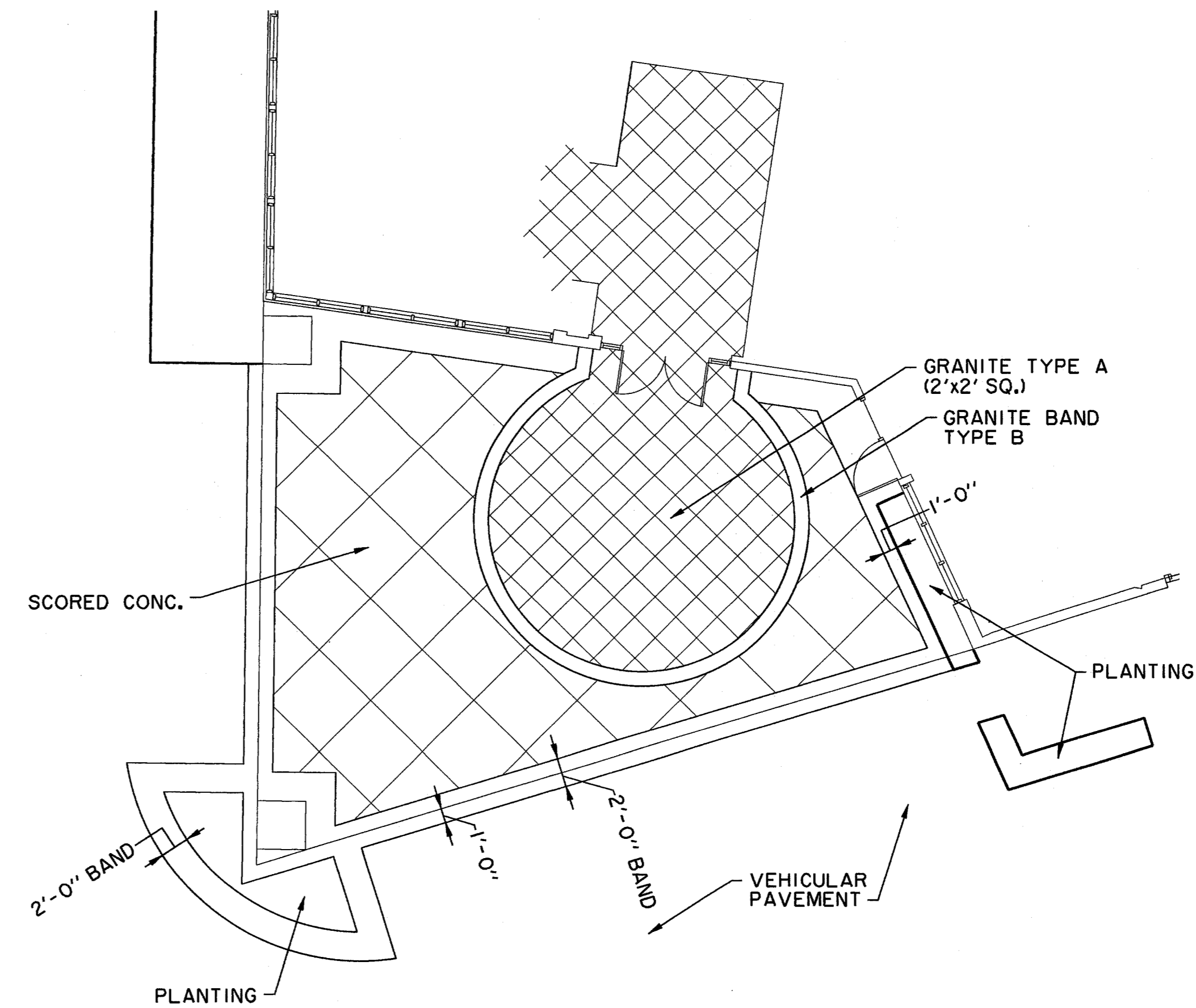
BRICK SIDEWALK EDGE REMOVAL DETAIL

N.T.S.



BRICK SIDEWALK INSTALLATION IN PEDESTRIAN AREA

N.T.S.



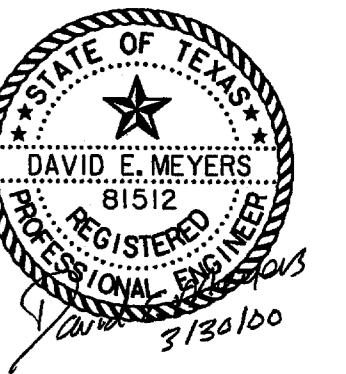
DETAIL 'A'

N.T.S.

GENERAL NOTES CONCRETE SUBBASE FOR SIDEWALKS

1. REINFORCED CONCRETE SIDEWALK SHALL BE A MINIMUM OF FOUR (4) INCHES THICK AND SHALL BE 3000 PSI AT 28 DAYS (5 SACK MIX) UNLESS NOTED OTHERWISE.
2. A 1/4" CHAMFER OR 1/4" RADIUS WILL BE REQUIRED ON ALL EXPOSED EDGES OF CONCRETE SIDEWALK.
3. ALL BAR DIMENSIONS ARE GIVEN AS CENTER TO CENTER OF BARS AND ARE LOCATED AS SHOWN.
4. ALL REINFORCING STEEL SHALL BE NO. 3 ON 18" CENTERS LONGITUDINALLY, 18" CENTERS TRANSVERSELY AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 60.
5. 1" THICK MIN. FINE WASHED SAND CUSHION SHALL BE FREE FROM ORGANIC MATERIALS OR CLAYS AND SHALL BE USED FOR GRADE ADJUSTMENT.
6. SUBGRADE SHALL BE COMPACTED TO A DENSITY NOT LESS THAN 95% OF STANDARD PROCTOR DENSITY AT 0 TO +3% OF OPTIMUM MOISTURE.
7. TOOLED JOINTS (CONTRACTION JOINTS) SHALL BE ON FIVE (5) FOOT CENTERS AND SHALL BE ROUND ONE-FOURTH (1/4) INCH RADIUS.
8. A ONE-HALF (1/2) INCH EXPANSION JOINT SHALL BE PLACED EVERY FORTY (40) FEET, AND WHERE WORKS ABOUT OLD WORK, OR WHERE NEW WORK IS CONSTRUCTED ADJACENT TO OTHER CONCRETE, A ONE-HALF (1/2) INCH EXPANSION JOINT SHALL BE USED WHERE SIDEWALK IS ADJACENT TO CURB. THE EXPANSION JOINT SHALL BE MADE OF PRE-MOLDED BITUMINOUS EXPANSION JOINT FILLER. THE EXPANSION JOINT WILL END AT THE TOP OF THE CONCRETE BASE.
9. EXPOSED SIDEWALKS SHALL BE FINISHED BY LIGHTLY BROOMING SURFACE TRANSVERSELY TO DIRECTION OF MAIN TRAFFIC.
10. THE ONE-FOURTH (1/4) INCH PER FOOT CROSS SLOPE IN SIDEWALK AREAS IS THE STANDARD CONDITION ADJACENT TO MOST LAND USES SUCH AS RESIDENTIAL AND PARK PROPERTIES. A VARIABLE SLOPE MAY BE REQUIRED ADJACENT TO RETAIL USES IN ORDER TO MATCH THE FINISHED FLOOR ELEVATION FOR BARRIER FREE ACCESS. SEE PAVING PLANS FOR THESE LOCATIONS.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512



DATE	DESCRIPTION	REF NO.
3/30/00	ISSUED FOR CONSTRUCTION	N/A
1/24/00	ISSUED FOR BID	N/A
12/16/99	CITY SUBMITTAL	N/A

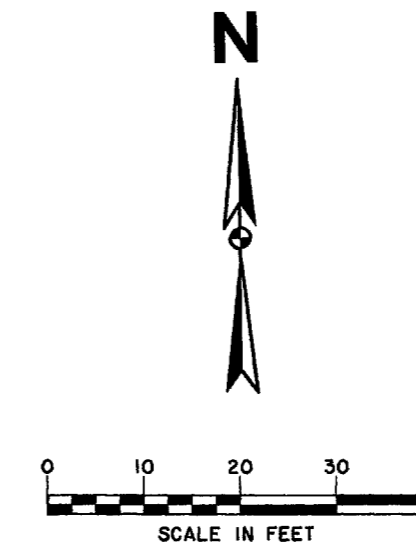
PAVING DETAILS						
THE ASHTON						
PRIVATE						
TOWN OF ADDISON, TEXAS						
Hull - Zellers, Inc. 3131 McKinney Ave., Suite 600, Dallas, TX 75204 Phone (214) 871-3311/Fax (214) 871-0757						
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	N.T.S.	MAR. 00	01-2617-06	C8

FUTURE DEVELOPMENT

FUTURE SPECTRUM DRIVE

RETAINING WALL BY OTHERS; REFERENCE ARCHITECTURAL & STRUCTURAL PLANS.

THIS PLAN IS FOR SITE ROUGH GRADING ONLY. SEE ARCHITECT'S PLANS FOR BUILDING FOUNDATIONS, DETAILED FINISHED FLOOR ELEVATIONS AND DIMENSIONS.



1. PLAN ELEVATIONS ARE TO FINISHED BUILDING SLAB, PAVEMENT OR PLANTING AREA. ADJUSTMENTS FOR SLAB, PAVEMENT AND PLANTING BED THICKNESS MUST BE MADE FOR THE PURPOSES OF EARTHWORK. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ELEMENTS NOT DETAILED IN THESE PLANS.
2. ROUGH GRADING SHALL BE ACCOMPLISHED TO WITHIN +0.10 FEET OF PLAN ELEVATION (AFTER ADJUSTMENT FOR FINISH THICKNESS).
3. ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.
4. ALL FILL IN PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN 6-INCH TO 8-INCH LOOSE LIFTS COMPACTED TO BETWEEN 95% AND 100% OF ITS MAXIMUM DRY DENSITY BETWEEN 0% AND +3% OF OPTIMUM MOISTURE CONTENT. ALL WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY OTHERS.
5. ALL TREES, STUMPS, BRUSH, GRASSES AND SURFACE ORGANICS ARE TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE. TREE REMOVAL PERMITS, IF REQUIRED, WILL BE OBTAINED BY THE OWNER.
6. EXISTING UTILITY POLES WILL BE REMOVED OR RELOCATED BY THE UTILITY COMPANIES THROUGH COORDINATION BY THE OWNER. CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY FACILITIES THAT APPEAR TO BE IN CONFLICT SO THAT THE OWNER HAS SUFFICIENT TIME TO ACCOMPLISH THE NECESSARY RELOCATIONS.
7. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER THE PLANS AND MAINTAIN STREETS FREE OF MUD, DIRT AND DEBRIS FOR THE DURATION OF THIS WORK.
8. CONTRACTOR SHALL ASSUME MAINTENANCE OF EROSION CONTROL MEASURES UPON THE DEPARTURE OF THE UTILITY CONTRACTOR OR THE COMMENCEMENT OF PAVING, WHICHEVER IS LATER. OWNER WILL MAINTAIN EROSION CONTROL MEASURES WHEN NO CONTRACTORS ARE ACTIVE ON THE SITE (UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS).
9. NO PRIVATE ENCROACHMENTS INTO PUBLIC RIGHT-OF-WAY SHALL BE ALLOWED EXCEPT AS FOLLOWS: 0' - 10' HEIGHT, NONE; 10' - 20' HEIGHT, ONE FOOT; 20' PLUS, EIGHT FEET UNLESS SPECIFICALLY PRE-APPROVED. THIS INCLUDES ALL WINDOWS, DOORS, HANDRAILS, BALCONIES, LIGHTS, GUTTERS ETC.

NOTE:
INSTALL FLOOR SLAB UNDERDRAIN ON 15' TO 20' FOOT CENTERS PER DETAILS AND RECOMMENDATIONS ON GEOTECHNICAL REPORT DATED SEPTEMBER 1999; PREPARED BY FUGRO-McCLELLAND.

SEE LANDSCAPE PLANS FOR GRADING ON THIS AREA

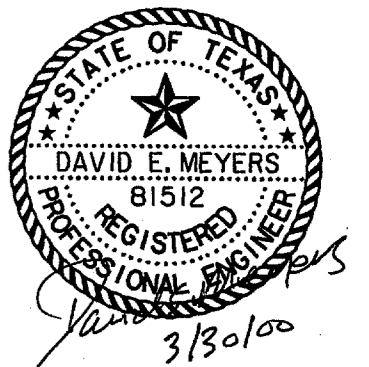
THE ASHTON
LOWER ELEV. FF=601.50

BENCHMARKS:

BM#4
"C" CUT AT CENTER OF CURB INLET, 1015 FEET NORTH FROM THE CENTERLINE INTERSECTION OF ADDISON CIRCLE, WEST SIDE OF QUORUM DRIVE, ELEV. 629.36

TBM
"D" CUT ON EAST END OF 6' INLET NORTH SIDE OF MORRIS ± AVE. 200' EAST OF CENTERLINE OF QUORUM DR. ELEV. 616.41

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12/16/99	CITY SUBMITTAL	N/A

GRADING PLAN

THE ASHTON

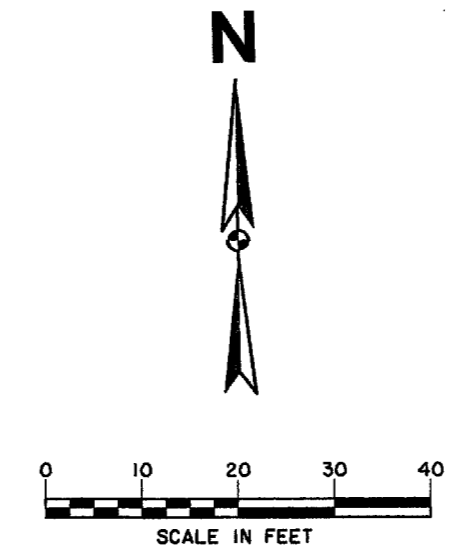
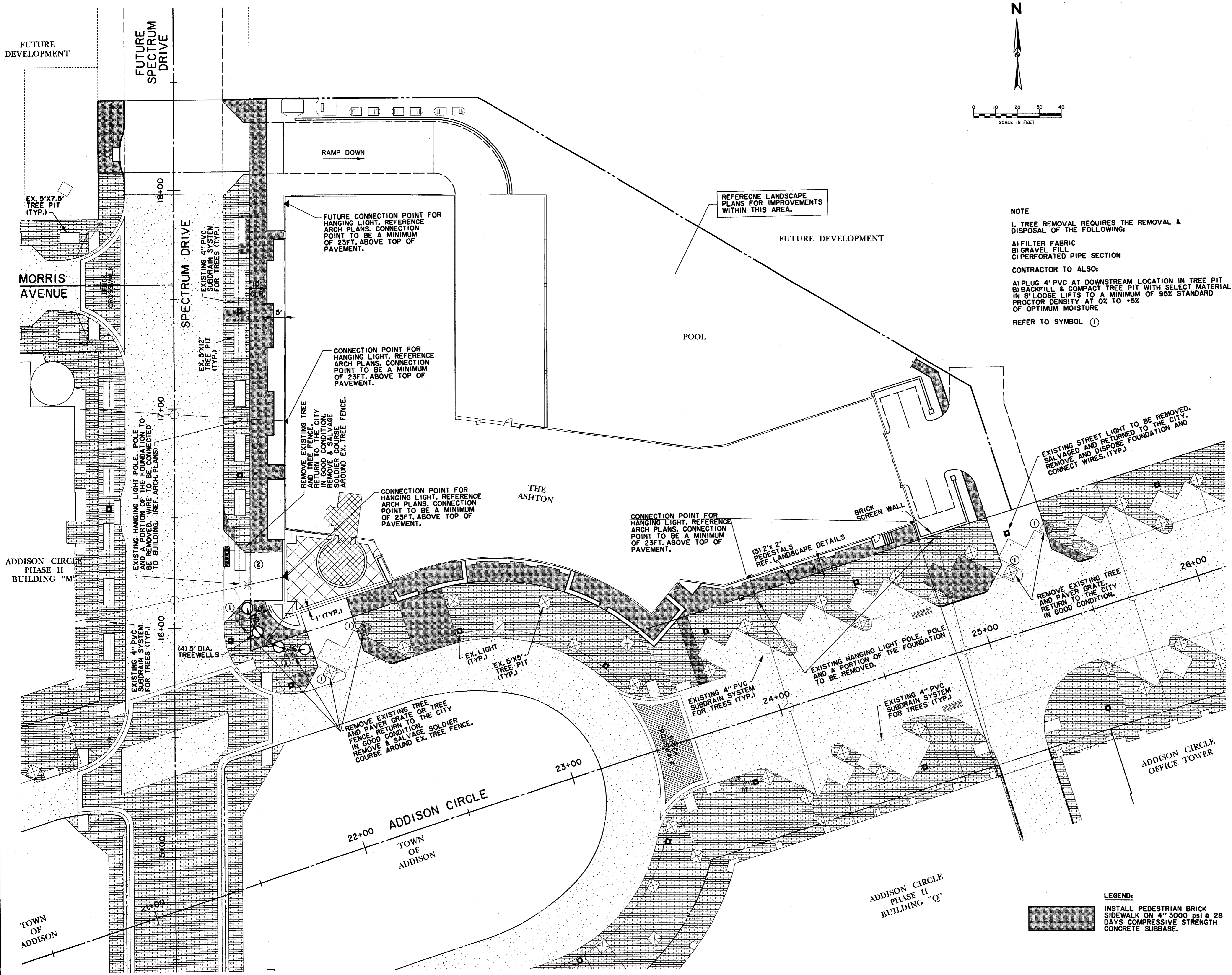
PRIVATE

TOWN OF ADDISON, TEXAS

3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=20'	MAR. 00	D1-2617-06	C9

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 U:\2617\06\26170662.DGN
 P:\2617\06\26170662.DGN
 T:\2617\06\26170662.DGN



NOTE

1. TREE REMOVAL REQUIRES THE REMOVAL & DISPOSAL OF THE FOLLOWING:

- A) FILTER FABRIC
- B) GRAVEL FILL
- C) PERFORATED PIPE SECTION

CONTRACTOR TO ALSO:

- A) PLUG 4" PVC AT DOWNSTREAM LOCATION IN TREE PIT
- B) BACKFILL & COMPACT TREE PIT WITH SELECT MATERIAL IN 8" LOOSE LIFTS TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT 0% TO +5% OF OPTIMUM MOISTURE

REFER TO SYMBOL ①

NOTE

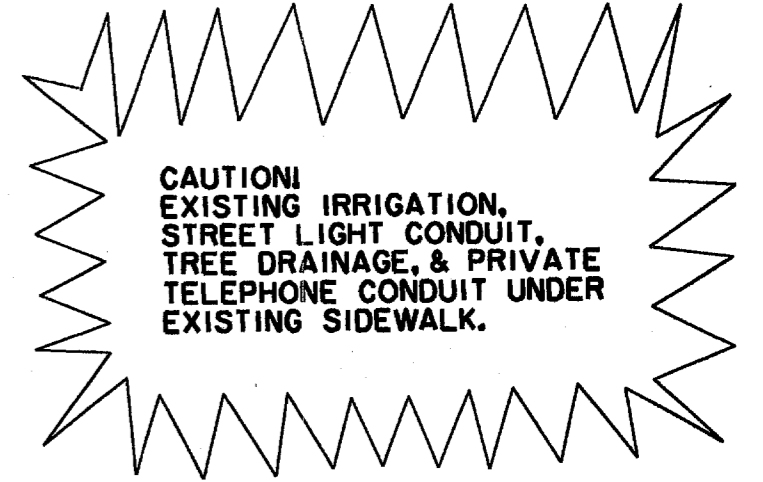
1. TREE REMOVAL REQUIRES THE REMOVAL & DISPOSAL OF THE FOLLOWING:

- A) FILTER FABRIC
- B) GRAVEL FILL
- C) PERFORATED PIPE SECTION

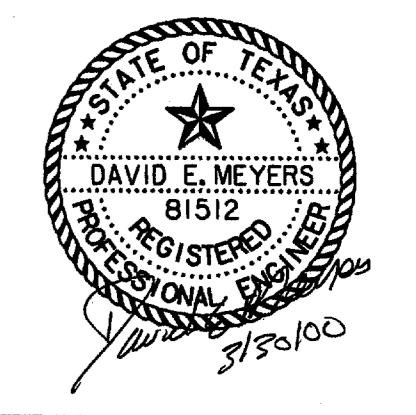
CONTRACTOR TO ALSO:

- A) REPLACE PERFORATED SECTION WITH SCH. 40 OR SDR 35 PVC NON-PERFORATED PIPE
- B) BACKFILL & COMPACT TREE PIT WITH SELECT MATERIAL IN 8" LOOSE LIFTS TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT 0% TO +5% OF OPTIMUM MOISTURE

REFER TO SYMBOL ②



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12/16/99	CITY SUBMITTAL	N/A

STREETSCAPE PLAN

THE ASHTON PRIVATE

TOWN OF ADDISON, TEXAS

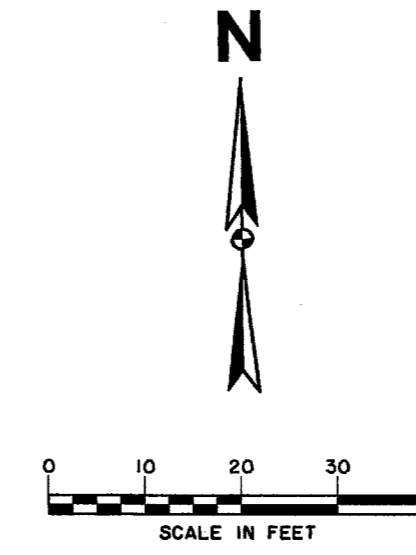
Hull - Zellers, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=20'	MAR. 00	01-2617-06	CIO

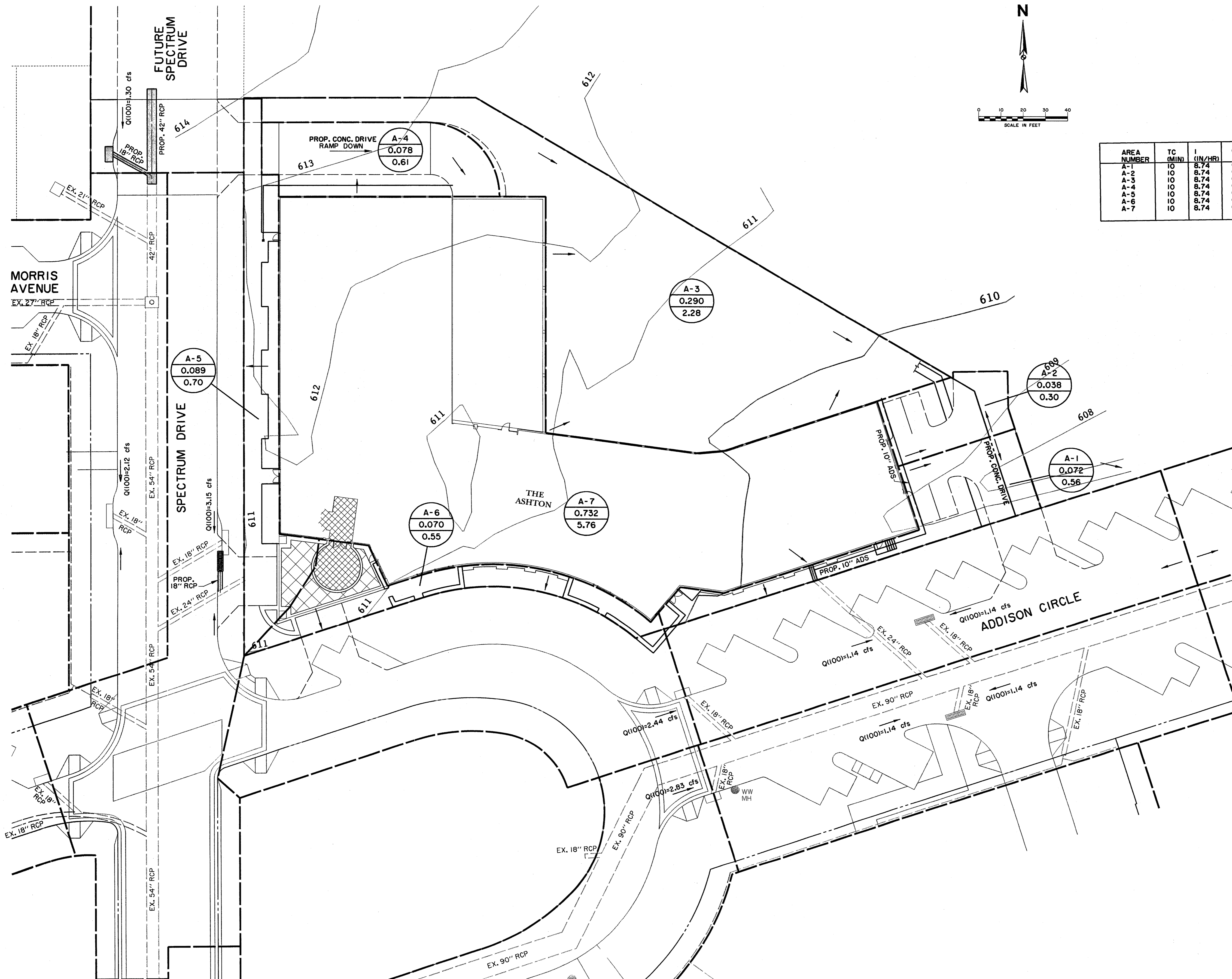
LEGEND:

INSTALL PEDESTRIAN BRICK SIDEWALK ON 4" 3000 psi @ 28 DAYS COMPRESSIVE STRENGTH CONCRETE SUBBASE.

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 PLOT SCALE: 1"=20'
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 PLOT TOTAL SHEETS: 06
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 PLOT PENS: 1,2,3,4,5,6,7,8,9,10,11,12,13,14,15,16,17,18,19,20,21,22,23,24,25,26,27,28,29,30,31,32,33,34,35,36,37,38,39,40,41,42,43,44,45,46,47,48,49,50,51,52,53,54,55,56,57,58,59,60,61,62,63,64,65,66,67,68,69,70,71,72,73,74,75,76,77,78,79,80,81,82,83,84,85,86,87,88,89,90,91,92,93,94,95,96,97,98,99,100



AREA NUMBER	TC (MIN)	I (IN/HR)	C	A (ACRES)	Q100 (CFS)	TOTAL Q100 AT INLET (CFS)
A-1	10	8.74	0.90	0.072	0.57	2.84
A-2	10	8.74	0.90	0.038	0.30	-
A-3	10	8.74	0.90	0.290	2.28	-
A-4	10	8.74	0.90	0.078	0.61	-
A-5	10	8.74	0.90	0.089	0.70	3.85
A-6	10	8.74	0.90	0.070	0.55	2.99
A-7	10	8.74	0.90	0.732	5.76	-



--- DRAINAGE AREA DIVIDE
 → DIRECTION OF SURFACE FLOW

RUNOFF CRITERIA
 C=0.90
 MINIMUM t = 10.00 MINUTES
 I₁₀₀ = 8.74 in/hr
 DRAINAGE AREA DESIGNATION
 TOTAL DRAINAGE AREA (ACRES)
 AT POINT OF CONCENTRATION
 Q100 (cfs)

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3/30/00	ISSUED FOR CONSTRUCTION	N/A
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12/16/99	CITY SUBMITTAL	N/A

DRAINAGE AREA MAP						
THE ASHTON						
PRIVATE						
TOWN OF ADDISON, TEXAS						
Huff - Zollars, Inc. 3131 McKinney Ave., Suite 600, Dallas, TX 75204 Phone (214) 871-3311 Fax (214) 871-0757						
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=20'	MAR. 00	01-2617-06	C11

U:\projects\2000\443...
 P:\2000\443...
 B:\2000\443...
 P:\2000\443...

REFERENCE SPECTRUM DR.
EXTENSION PLANS FOR
UTILITY IMPROVEMENTS
IN THIS AREA.

FUTURE
SPECTRUM
DRIVE

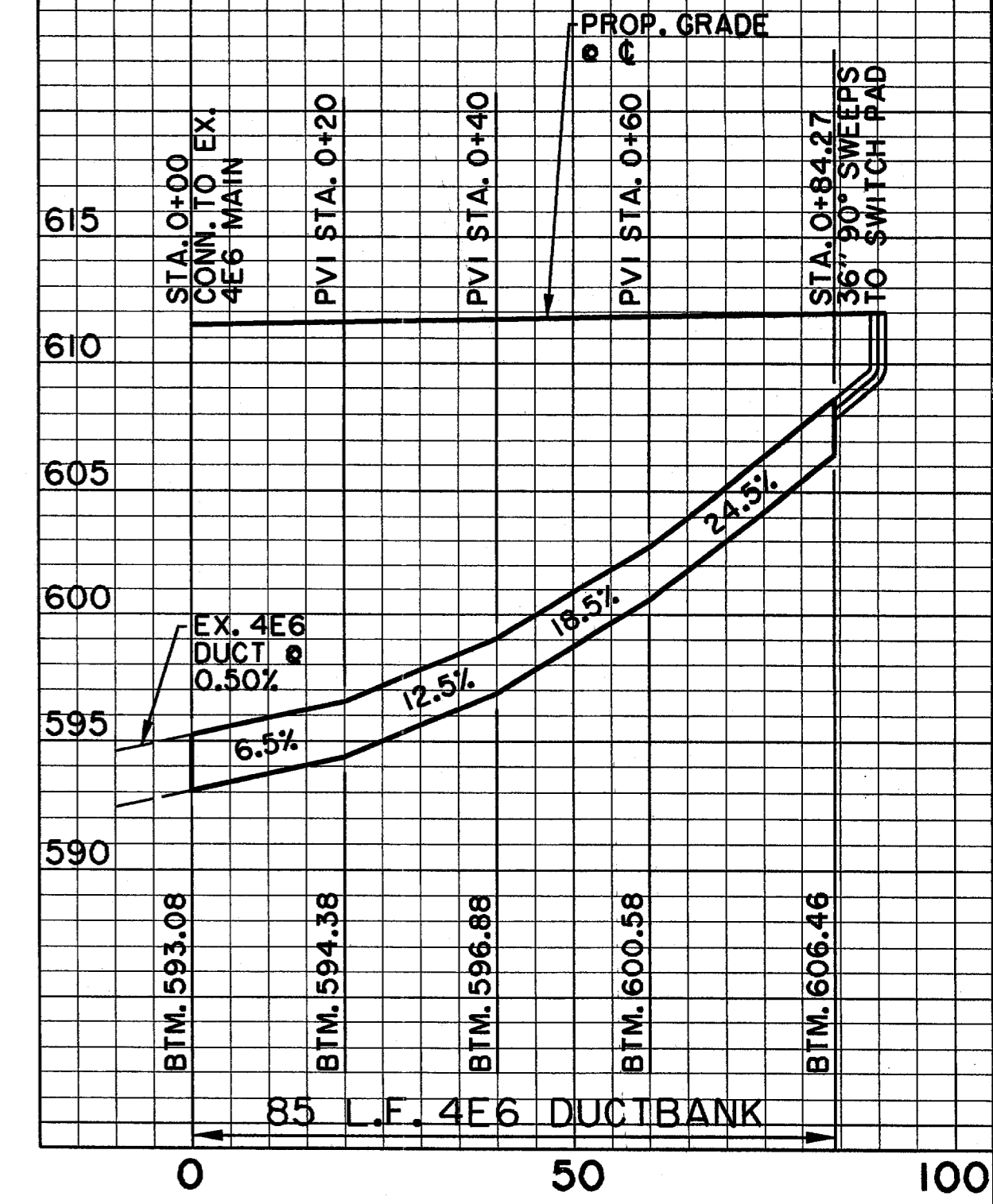
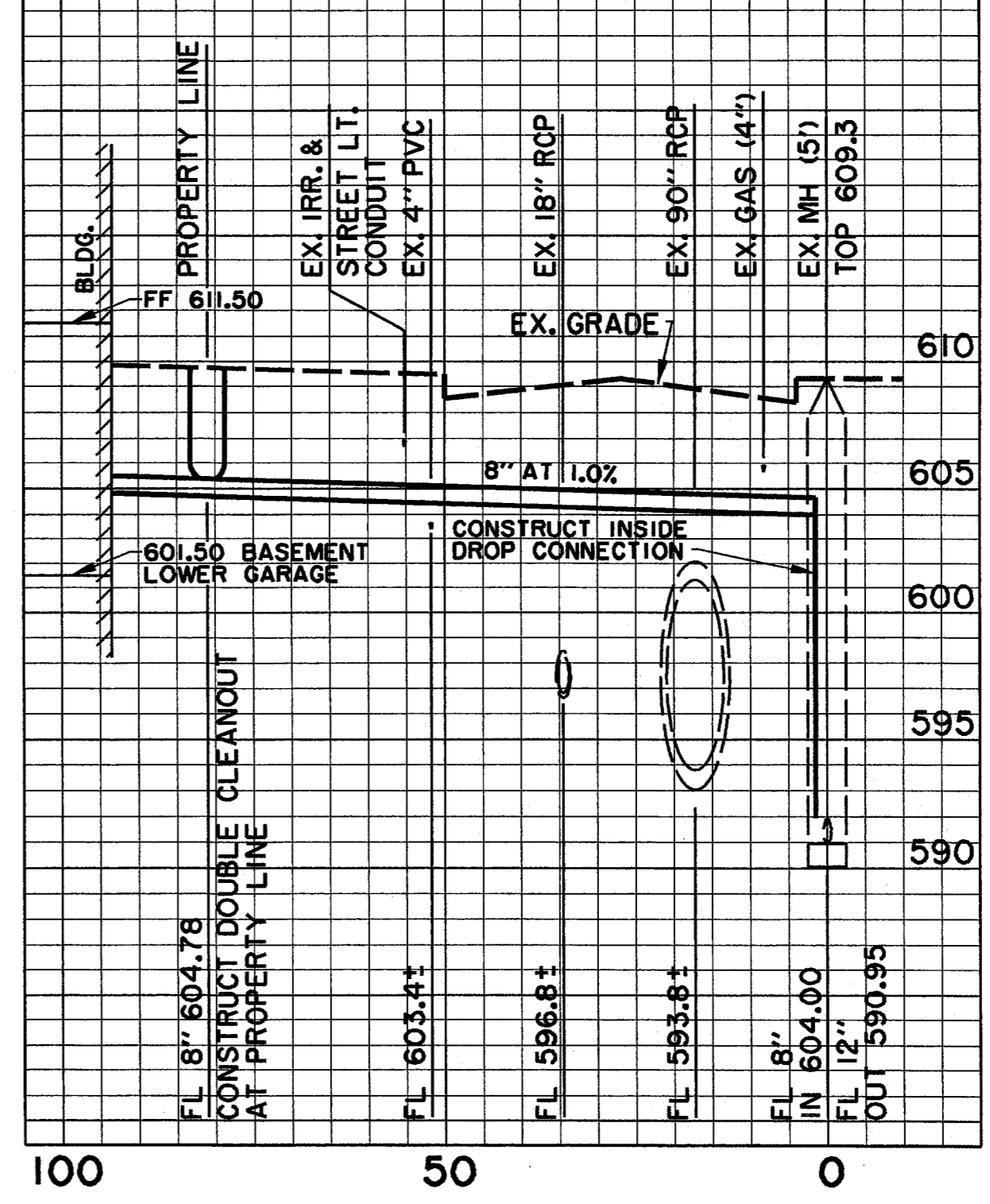
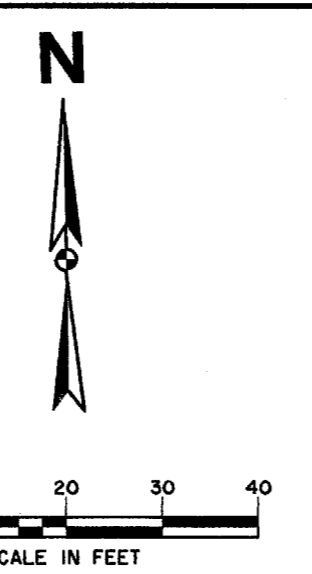
Q CURVE DATA
A= 90° 01' 13"
R=5.13'
T= 5.13'
L=8.06'
CD=7.26'

Q CURVE DATA
A= 90° 01' 13"
R=5.13'
T= 5.13'
L=8.06'
CD=7.26'

Q CURVE DATA
A= 90° 00' 00"
R=9.74'
T= 15.30'
L=15.30'
CD=13.77'

GENERAL NOTES:

- CONDUIT TO BE 6" P.V.C., TYPE DB.
- CONCRETE ENCASUREMENT: ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT TWENTY-EIGHT DAYS.
- CONDUIT RUN BETWEEN MANHOLES TO BE INSTALLED WITH A MINIMUM SLOPE OF 4" PER 100 FEET TO DRAIN THROUGHOUT ITS ENTIRE LENGTH INTO A MANHOLE OR MANHOLES.
- INSTALL 6" PVC, TYPE DB CONDUIT BENDS AND ADAPTERS ON ANGLES GREATER THAN 15°.
- SPACERS (CARLON #289RLN [BASE] AND 289LN [INTERMEDIATE] ARE REQUIRED. THEY SHALL BE SPACED AT 5' INTERVALS AND ARE TO BE TIED TOGETHER BY NON-METALLIC TIE- WRAPS. ALL SPACERS TO PROVIDE 3" VERTICAL AND HORIZONTAL SEPARATION BETWEEN CONDUITS.
- WHEN COMPLETE, ALL CONDUIT WILL BE CHECKED BY PULLING A MANDREL/SWAB THROUGH ENTIRE LENGTH OF CONDUIT.
- CONSTRUCTION PLANS SHOW APPROXIMATE RIM ELEVATION; HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE NECESSARY AMOUNT OF NECK TO BRING THE TOP OF THE COVER 2" ABOVE FINISHED GRADE OR FLUSH WITH STREET GRADE WHEN COVER IS IN STREET.
- BACKFILL OPERATION SHALL BEGIN AFTER CONCRETE HAS HAD TIME TO CURE (CURING TIME IS AT THE DISCRETION OF TU'S INSPECTOR). BACKFILL SHALL HAVE NO ROCKS LARGER THAN 1" IN DIAMETER AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY BETWEEN 0% AND 3% OF OPTIMUM MOISTURE CONTENT.



FUTURE DEVELOPMENT

MORRIS AVENUE

SPECTRUM DRIVE

ADDISON CIRCLE
PHASE II
BUILDING "M"

THE ASHTON
FINISHED FLOOR ELEV=611.50
LOWER LEVEL ELEV=601.50

REMOVE & REPLACE EXIST.
SIDEWALK SUBBASE (CONC.)
AND BRICK PAVERS

ADDISON CIRCLE

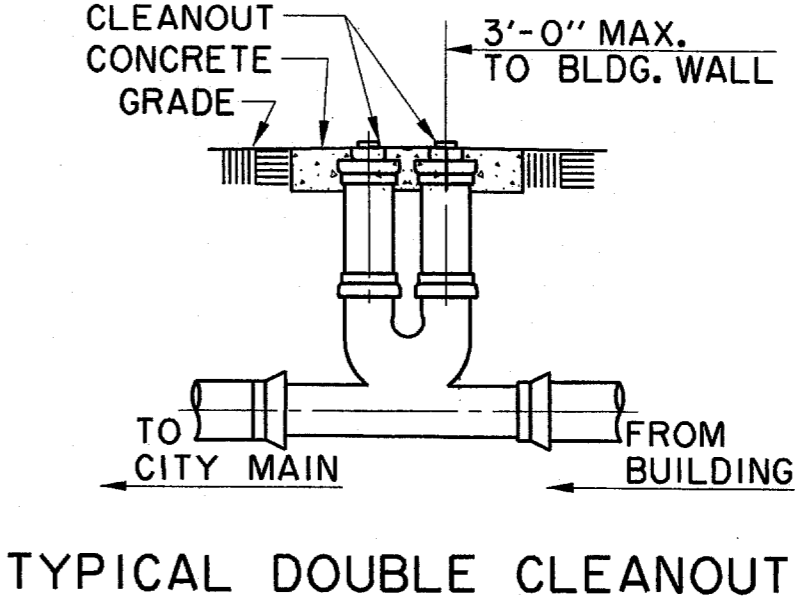
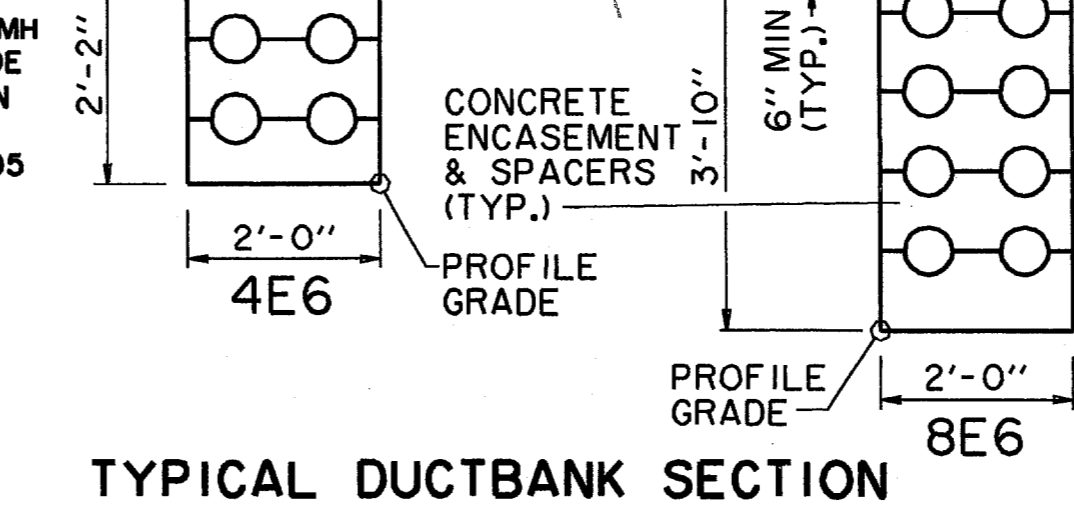
ADDISON CIRCLE
OFFICE TOWER

RELOCATE EXIST.
HYDRANT PER
NEW DRIVEWAY CUT

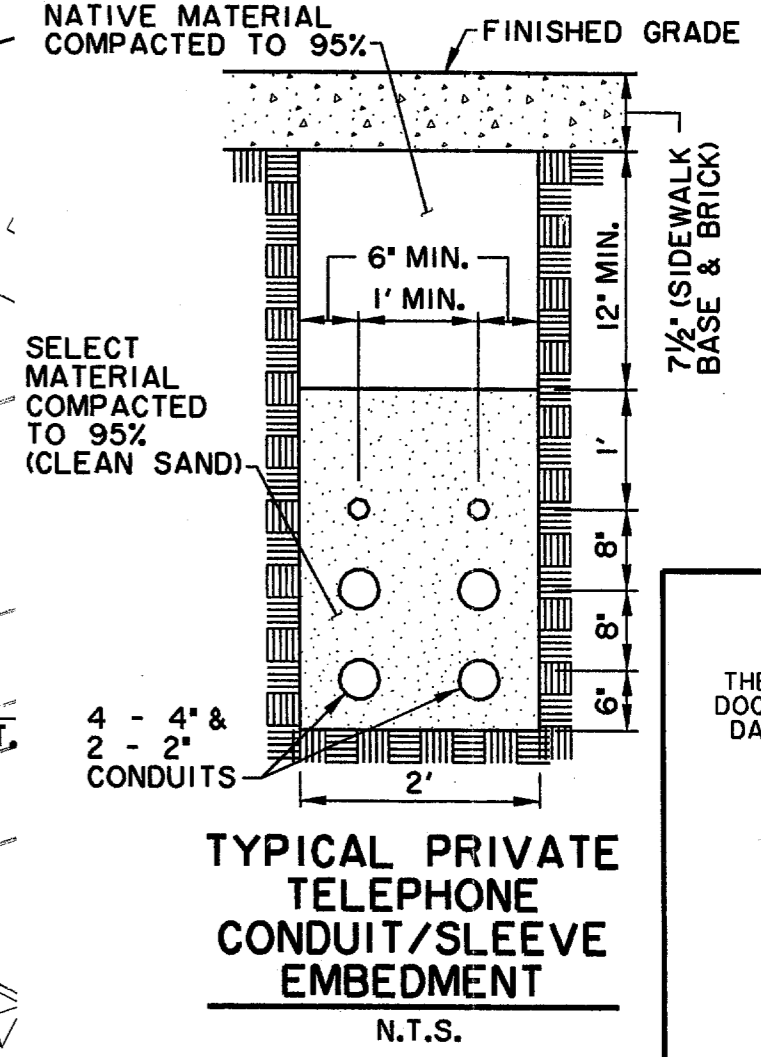
INSTALL:
1 - 1 1/2" PRIVATE IRR. SERVICE
1 - 1 1/2" HERSEY MVR 100
TURBINE METER
2 - BROOKS-PRODUCTS NO. 65-H
17" x 28" PRE-CAST BOX
1 - 1 1/2" FEBCO 805Y DOUBLE
CHECK VALVE ASSEMBLY

INSTALL:
1 - 6" SERVICE
1 - 12" x 6" TAPPING SLEEVE & VALVE
1 - 6" HERSEY DDC II DETECTOR CHECK
VALVE W/ HERSEY MVR-30 TURBINE
BYPASS METER & ER-1 PIT PACK
1 - BROOKS PRODUCTS MV-480-801-5
PRE-CAST BOX

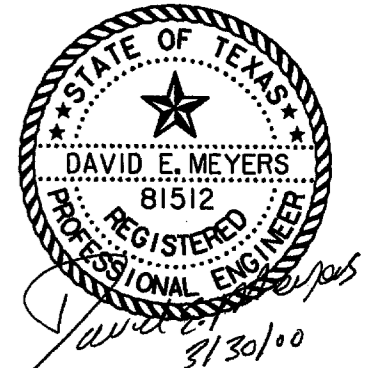
INSTALL:
1 - 4" DOMESTIC WATER SERVICE
1 - 12" x 4" TAPPING SLEEVE & VALVE
1 - 4" HERSEY MCT II COMPOUND METER
1 - BROOKS PRODUCTS MV-480-801-5
PRE-CAST BOX



NOTE:
METERS, METER CANS, VAULTS AND
BACKFLOW PREVENTION ASSEMBLIES
TO BE INSTALLED AND TESTED PER
TOWN OF ADDISON GENERAL REQUIREMENTS.



THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
DAVID E. MEYERS, P.E. 81512



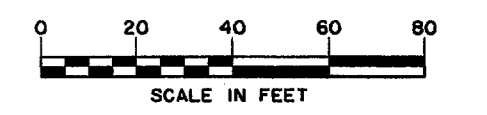
DATE	DESCRIPTION	REF NO.
3/30/00	ISSUED FOR CONSTRUCTION; ADDENDUM #2	▲
1/24/00	ISSUED FOR BID	N/A
12/16/99	CITY SUBMITTAL	N/A

UTILITY PLAN
THE ASHTON
PRIVATE
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZ1	HZ1	DEM	1"=20'	MAR. 00	01-2617-06	C13

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DRAWN BY: HZ1
CHECKED BY: DEM
SCALE: 1"=20'

U:\2617\06\DWG\0261706WS.DWG
PLOT DATE: 3/30/00 11:54 AM
DRAWN BY: HZ1
CHECKED BY: DEM
SCALE: 1"=20'



AREA OF DISTURBANCE
1.5 ACRES

- NOTES:**
- SEE DRAINAGE AREA MAP FOR DRAINAGE AREAS AND CALCULATIONS.
 - SEE POLLUTION CONTROL DETAILS FOR TYPES OF INLET PROTECTION.

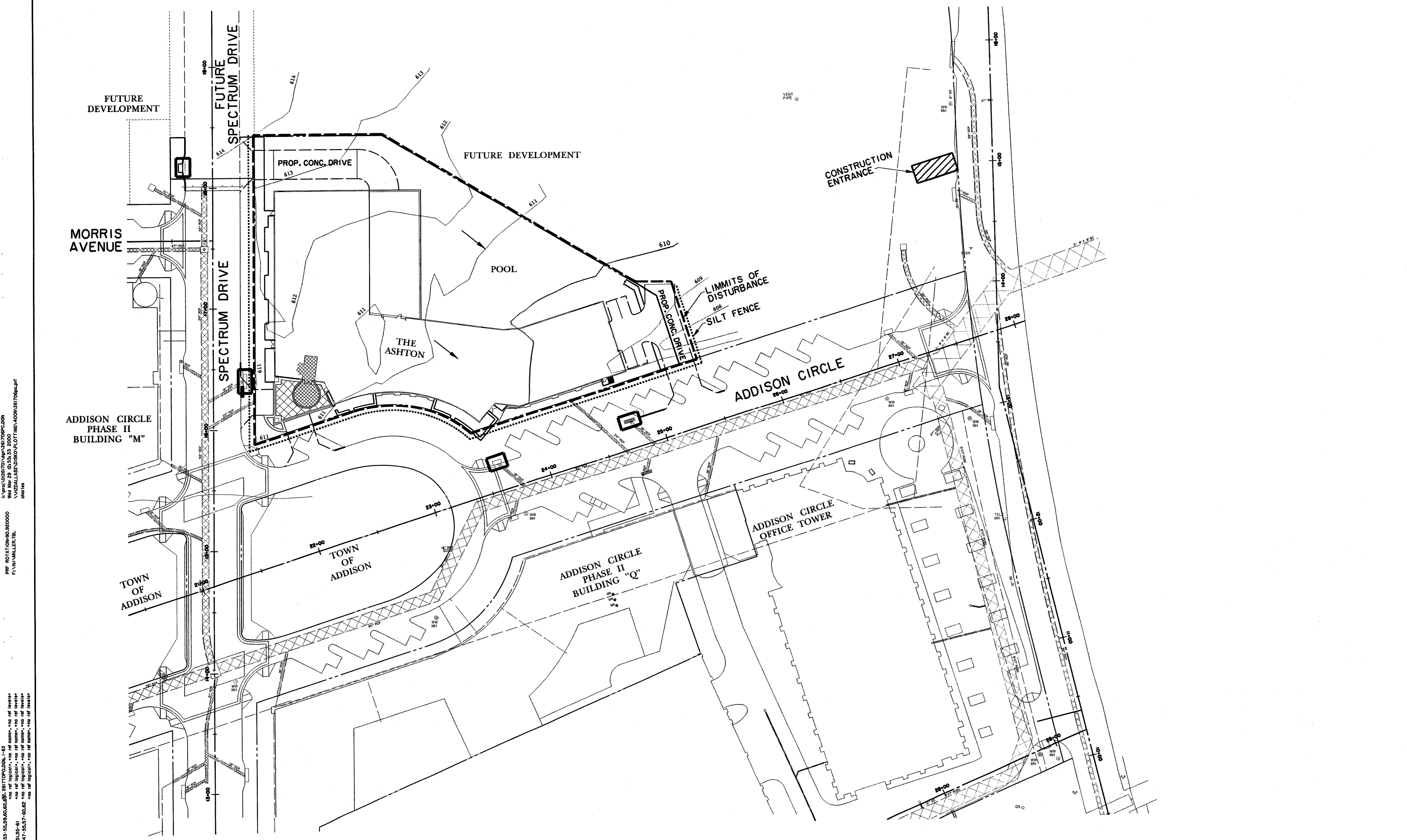
- LEGEND:**
- SILT FENCE
 - INLET PROTECTION
 - 610- EXISTING CONTOURS
 - DIRECTION OF RUNOFF
 - - - - - LIMITS OF DISTURBANCE
 - ▨ STABILIZED CONSTRUCTION ENTRANCE/EXIT

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David E. Meyers
3/20/00

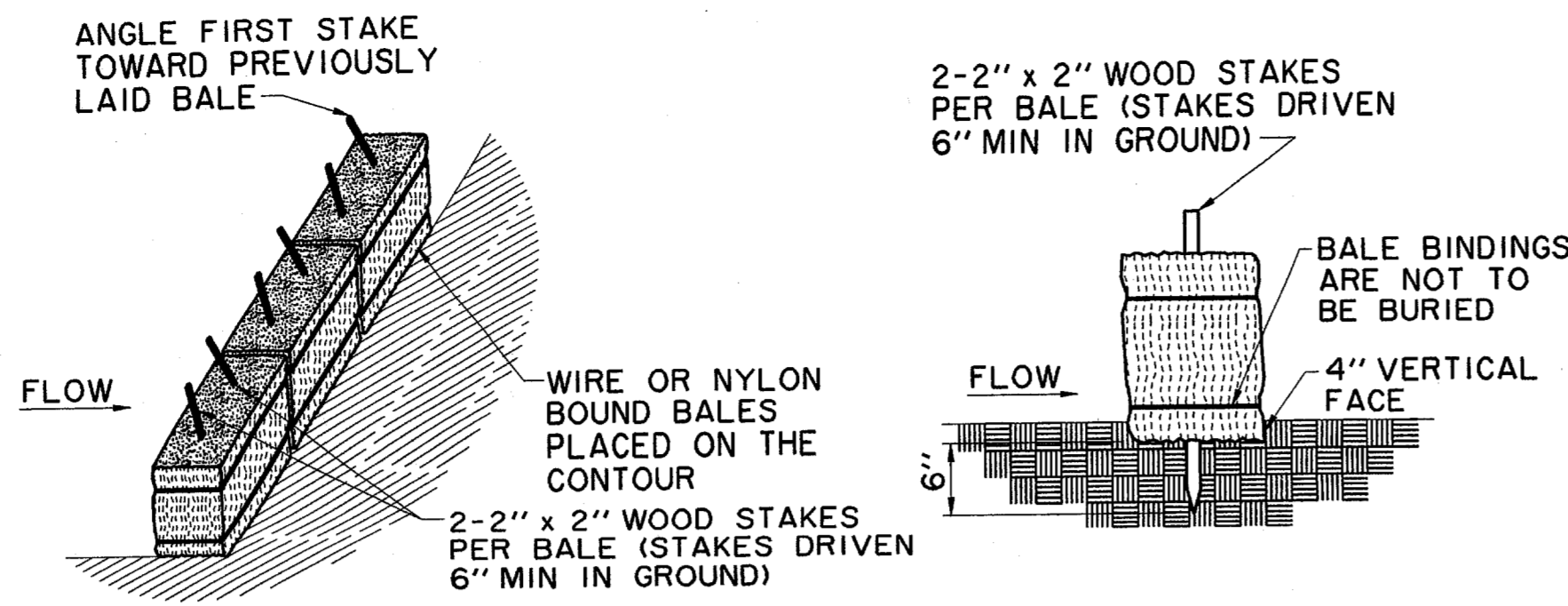
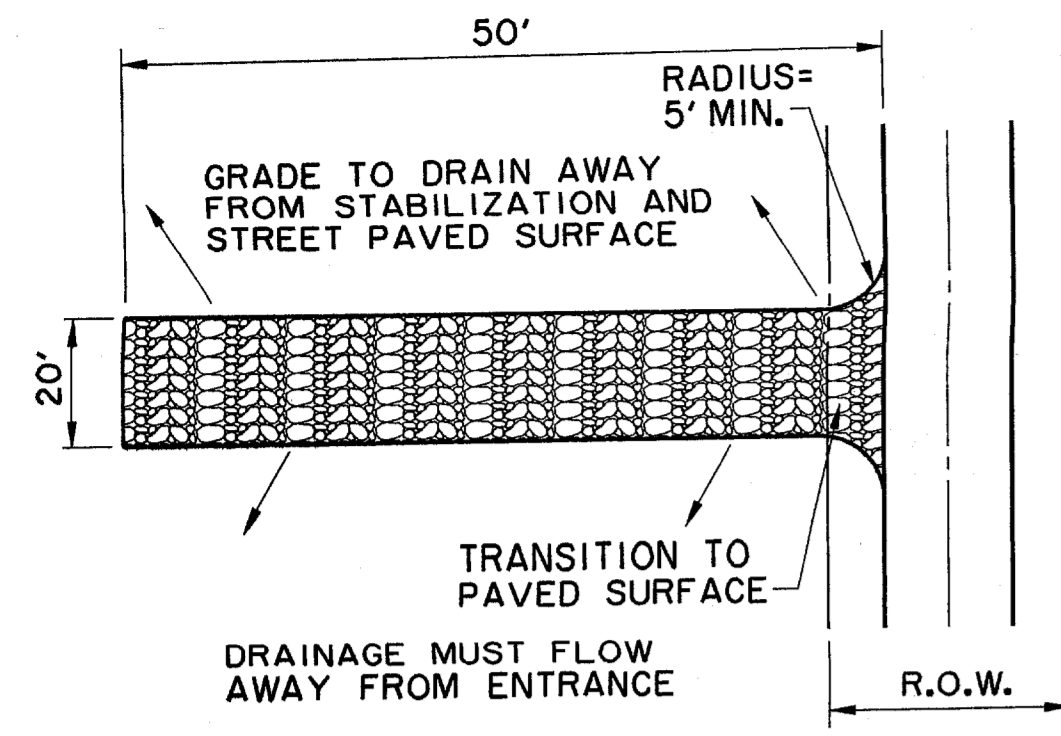
DATE	DESCRIPTION	REF NO.
3/30/00	ISSUED FOR CONSTRUCTION	N/A
1/24/00	ISSUED FOR BID	N/A
12/16/99	CITY SUBMITTAL	N/A

POLLUTION CONTROL PLAN						
THE ASHTON						
PRIVATE						
TOWN OF ADDISON, TEXAS						
<small>Hull - Zellers, Inc. 3131 McKinney Ave., Suite 600, Dallas, TX 75204 Phone (214) 871-3311/Fax (214) 871-0757</small>						
DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZI	HZI	DEM	1"=40'	MAR, 00	01-2617-06	C14



1. PLAN NUMBER: 01-2617-06-C14
 2. DATE: 03/30/00
 3. PROJECT: THE ASHTON
 4. DRAWN BY: HZI
 5. CHECKED BY: DEM
 6. APPROVED BY: [Signature]

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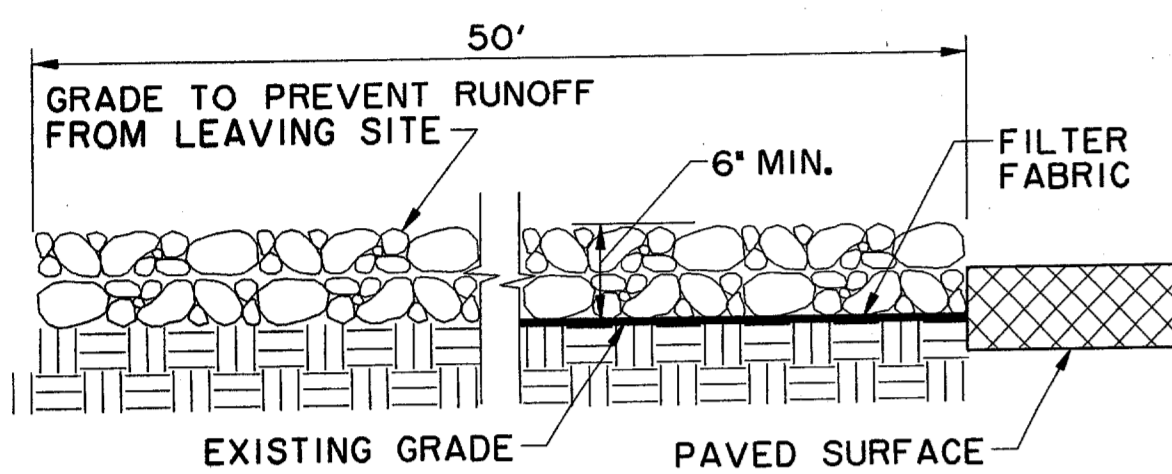


NOTE: HAY BALES TO BE PLACED AROUND ALL INLETS DURING CONSTRUCTION.

DETAIL 'C'
TEMPORARY STRAW BALE DIKE (CHECK DAM)

NCTCOG 02270.A
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES
N.T.S.

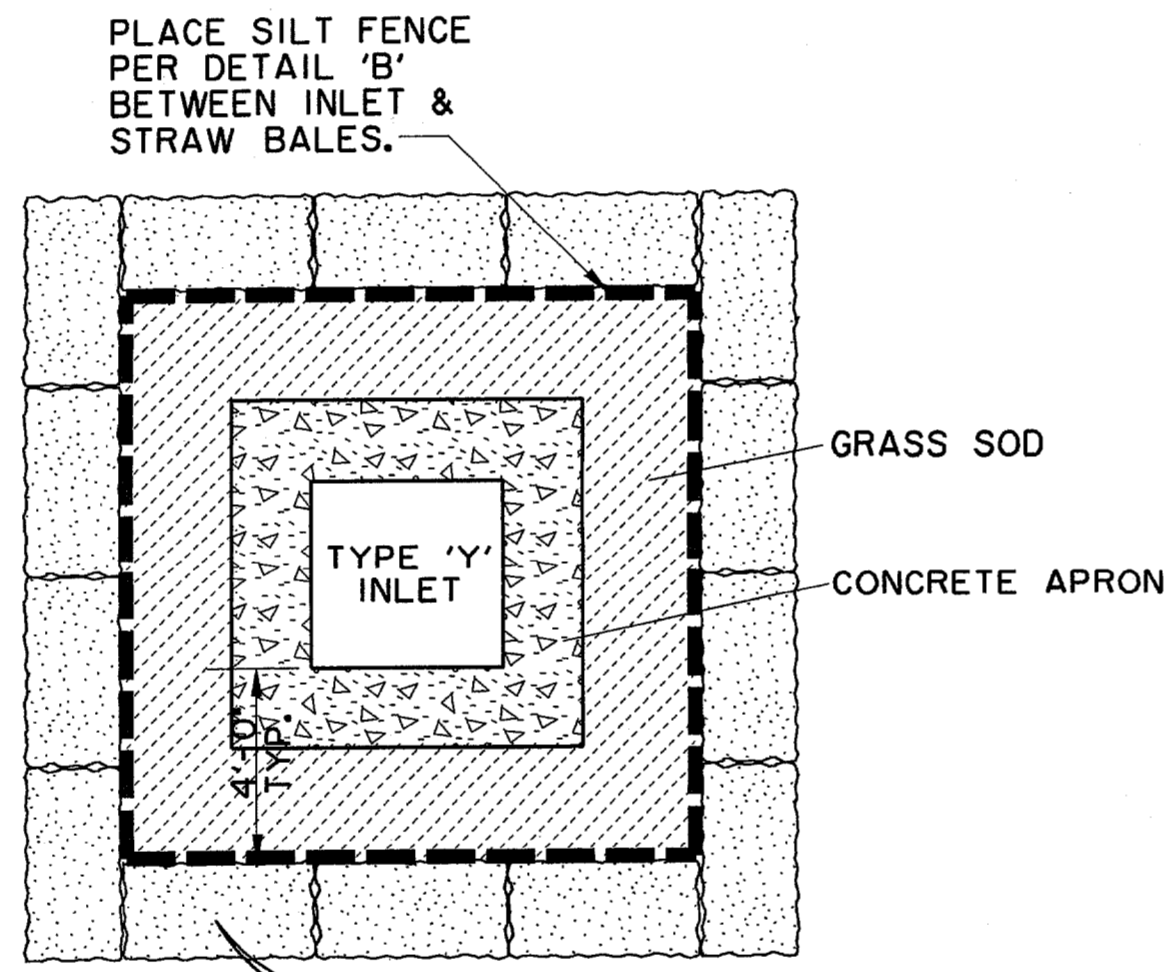
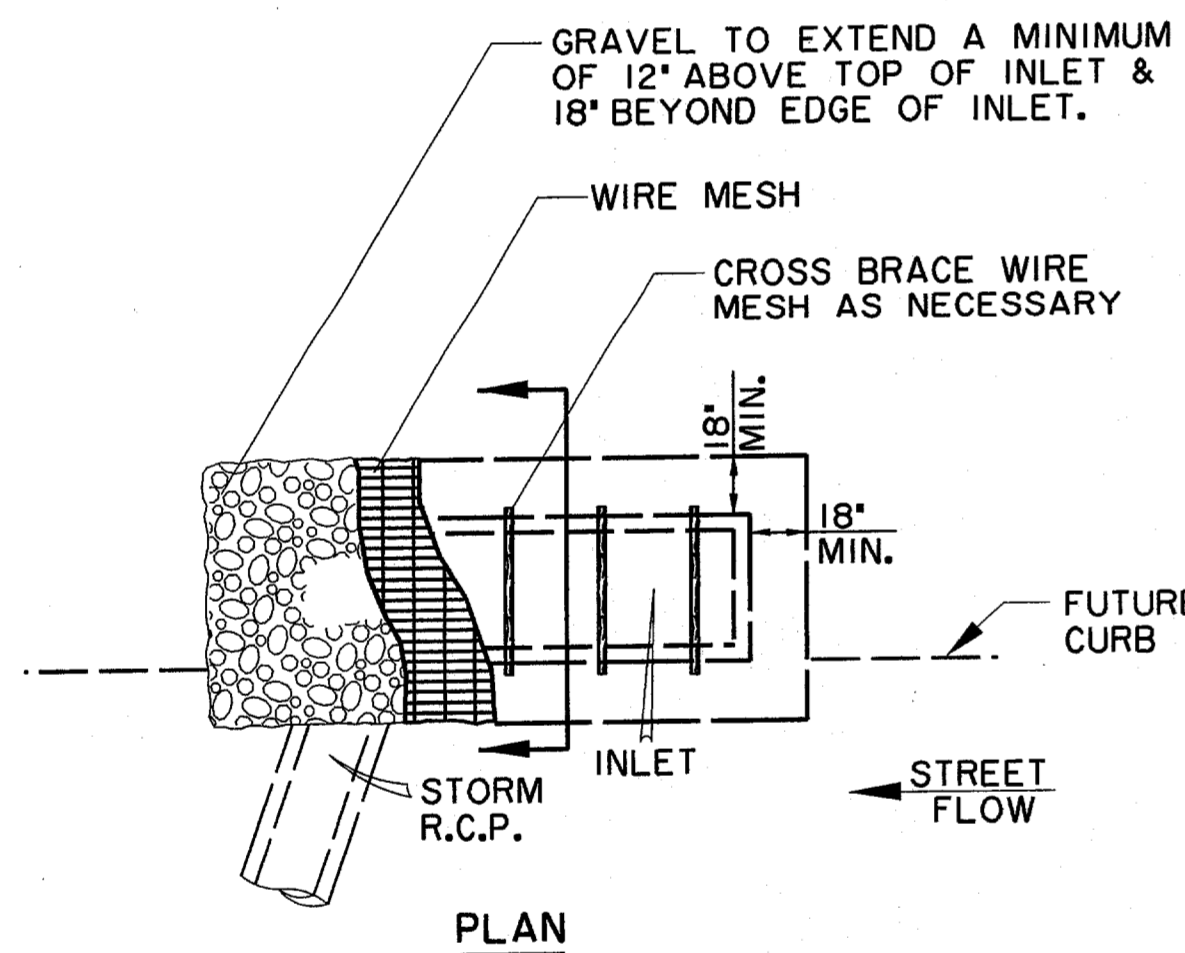
STRAW BALES SHALL BE PLACED IN A ROW WITH TIGHTLY ABUTTING ENDS. EMBED BALES IN THE SOIL A MINIMUM OF FOUR INCHES. STRAW BALES SHALL BE REPLACED IF THEY ARE DAMAGED OR HAVE DEGRADED TO A POINT OF INEFFECTIVENESS. REPLACEMENT OF STRAW BALES SHALL OCCUR NO LESS OFTEN THAN 90 DAYS, UNLESS NOTIFIED BY ENGINEER.



PROFILE
STABILIZED CONSTRUCTION
ENTRANCE / EXIT

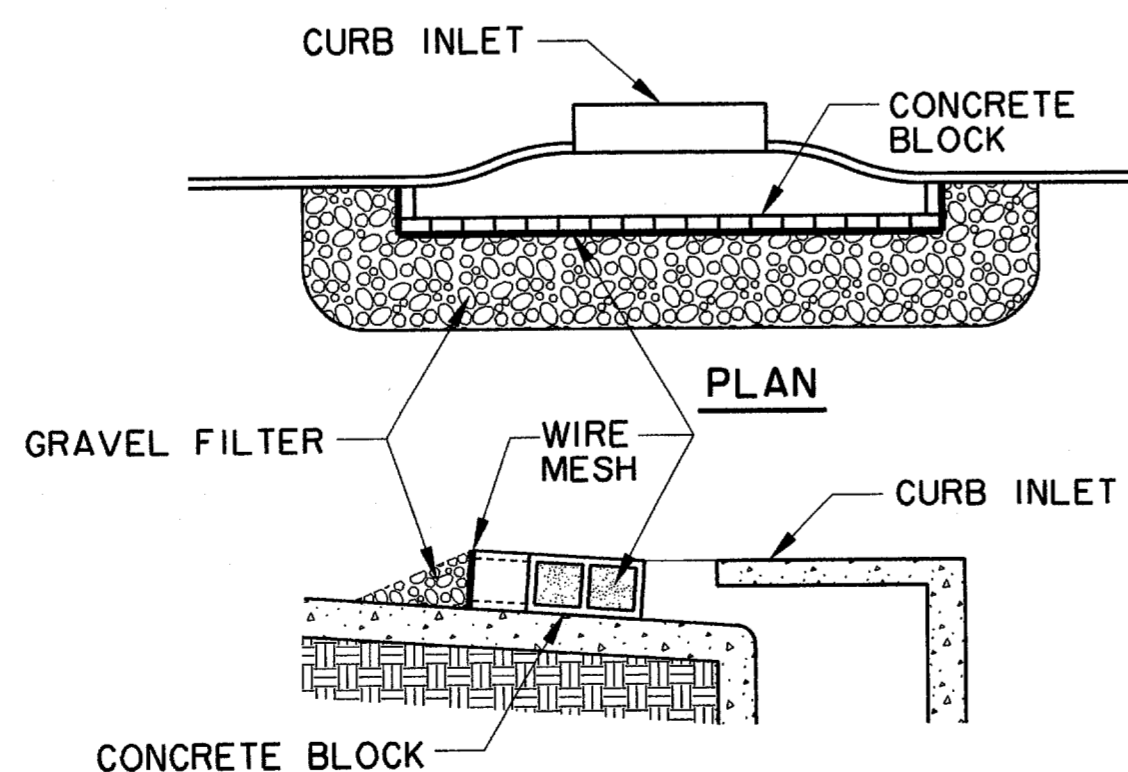
NCTCOG 02270.G
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'A'
N.T.S.



TYPE 'Y' PROTECTION
(TYP.)

DETAIL 'F'
N.T.S.

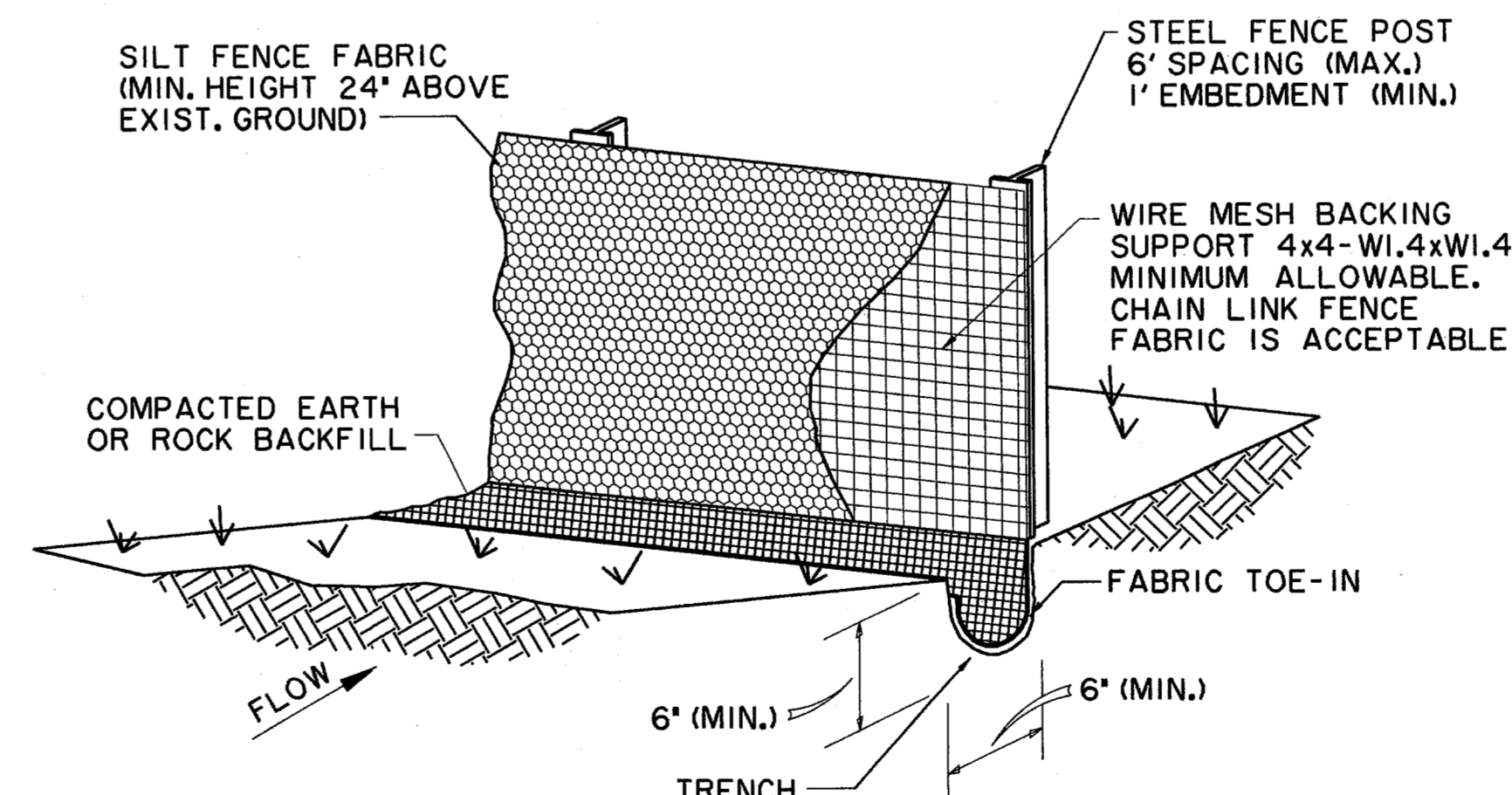


CROSS-SECTION

INLET PROTECTION
BLOCK & GRAVEL

NCTCOG 02270.G
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'G'
N.T.S.

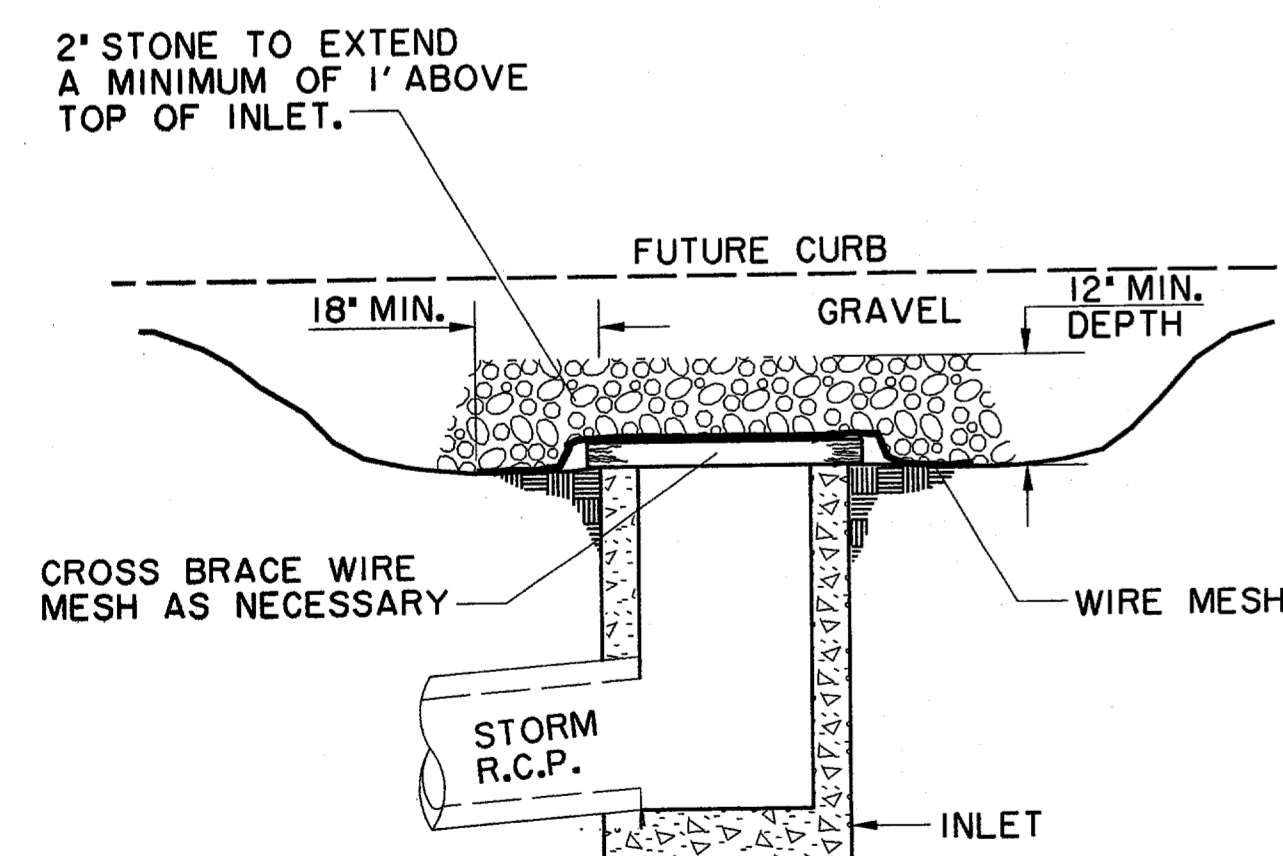


SILT FENCE SHOULD BE SECURELY FASTENED TO BACKING SUPPORT AND POSTS.

SILT FENCE

NCTCOG 02270.B
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'B'
N.T.S.



CROSS-SECTION

INLET PROTECTION
WIRE MESH & GRAVEL

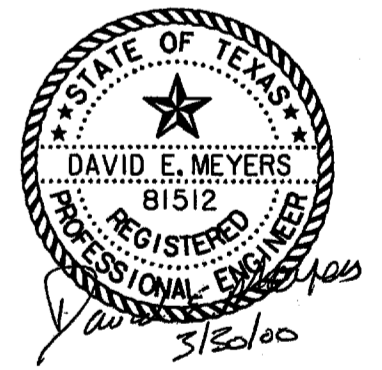
NCTCOG 02270.G
STORM WATER QUALITY
BEST MANAGEMENT PRACTICES
FOR CONSTRUCTION ACTIVITIES

DETAIL 'E'
N.T.S.

NOTES:

1. A NOTICE OF INTENT (N.O.I.) WILL BE PREPARED BY THE CONTRACTOR FOR THIS PROJECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION.
2. ALL CONTRACTORS WILL COMPLY WITH THE REQUIREMENTS AND INTENT OF THE N.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES.
3. EACH CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) FOR STORM WATER DISCHARGE PERMIT COVERAGE. THIS SUBMITTAL SHALL BE COORDINATED WITH THE TOWN AND SHALL OCCUR NO LESS THAN 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. EACH CONTRACTOR SHALL OBTAIN AND SUBMIT TO TOWN A POLLUTION PREVENTION CERTIFICATION FROM EACH SUBCONTRACTOR WHOSE WORK IMPACTS THE STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) PRIOR TO THE PERFORMANCE OF ANY WORK BY SAID SUBCONTRACTOR. THESE CERTIFICATIONS SHALL BECOME A PART OF THE STORM WATER POLLUTION PREVENTION PLAN.
5. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES, AS INDICATED ON THE PLANS AND AS FIELD CONDITIONS WARRANT, PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. REPAIRS OR MODIFICATIONS TO THE MEASURES WILL BE MADE BY THE CONTRACTOR IF THE CONTROL MEASURES PROVE INEFFECTIVE OR IF ADDITIONAL CONTROL MEASURES ARE NECESSARY.
6. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT TRACKING OF MUD AND/OR SOILS ONTO EXISTING AND/OR NEW PAVEMENT. ANY TRACKING THAT OCCURS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
7. CONTRACTOR SHALL CONSTRUCT INLET PROTECTION FOR ALL INCOMPLETE CURB INLETS AND SHALL TAKE EVERY MEASURE TO KEEP SOILS AND SEDIMENTS FROM ENTERING THE STORM SEWER SYSTEM.
8. CONTRACTOR SHALL CONSTRUCT DROP INLET PROTECTION FOR ALL INCOMPLETE DROP INLETS AND SHALL TAKE EVERY MEASURE TO KEEP SOILS AND SEDIMENTS FROM ENTERING THE STORM SEWER SYSTEM.
9. AT A MINIMUM, PERIMETER CONTROLS SUCH AS SILT FENCE OR STRAW BALES SHALL BE INSTALLED AT ALL DOWN SLOPE BOUNDARIES AND AS WARRANTED WHERE PAVEMENT REMOVAL, UTILITY CONSTRUCTION, GRADING, OR OTHER CONSTRUCTION ACTIVITIES ARE TO BE PERFORMED. THE CONTRACTOR SHALL AT ALL TIMES TAKE SUCH MEASURES AS NECESSARY TO MINIMIZE OFFSITE TRACKING OR TRANSPORT OF SEDIMENT AND DEBRIS.
10. DAMAGE TO ADJACENT PROPERTY AND/OR TO RECEIVING WATERS CAUSED BY IMPROPERLY INSTALLED OR POORLY MAINTAINED EROSION CONTROL MEASURES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY SILTATION CAUSED BY HIS OPERATIONS AND/OR FAILURE OF THE EROSION CONTROL MEASURES.
12. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND SEDIMENT FROM EROSION CONTROL MEASURES WHEN IT REACHES A DEPTH OF SIX (6) INCHES OR IMPAIRS THE EFFECTIVENESS OF THE MEASURES.
13. THE TOWN'S REPRESENTATIVE MAY INSPECT THE PROJECT EVERY SEVEN DAYS, AT A MINIMUM, AND AFTER EVERY RAINFALL OF ONE-HALF INCHES OR GREATER TO DETERMINE THE INTEGRITY AND EFFECTIVENESS OF THE EROSION CONTROL MEASURES. A WRITTEN INSPECTION REPORT MAY BE FILED WITH THE POLLUTION PREVENTION PLAN. THIS INSPECTION DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES OR HIS DUTY TO COMPLY WITH THE INTENT AND CONDITIONS OF THE N.P.D.E.S. GENERAL PERMIT.
14. ALL STOCKPILED SOILS WILL BE SURROUNDED BY A STRAW BALE DIKE, SILT FENCE, SEDIMENT CONTROL SWALE, OR EQUIVALENT MEASURE TO PROPERLY CONTROL SEDIMENT RUNOFF, AS APPROVED BY THE TOWN.
15. CONTRACTOR SHALL STABILIZE ANY AREA WHERE CONSTRUCTION ACTIVITY IS TO BE TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID E. MEYERS, P.E. 81512



DATE	DESCRIPTION	REF NO.
3/30/00	ISSUED FOR CONSTRUCTION	N/A
1/24/00	ISSUED FOR BID	N/A
12/16/99	CITY SUBMITTAL	N/A

POLLUTION CONTROL DETAILS

THE ASHTON

PRIVATE

TOWN OF ADDISON, TEXAS

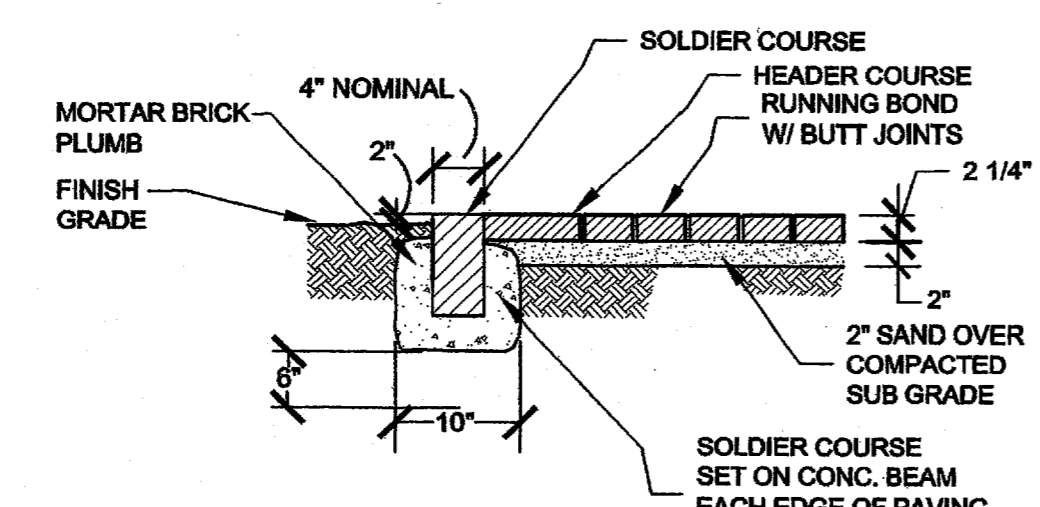
Huff - 2011ars, Inc.
3131 McKinney Ave., Suite 600, Dallas, TX 75204
Phone (214) 871-3311/Fax (214) 871-0757

DESIGN	DRAWN	APPR.	SCALE	DATE	PROJECT NO.	NO.
HZ1	HZ1	DEM	N.T.S.	MAR. 00	DI-2617-06	C15

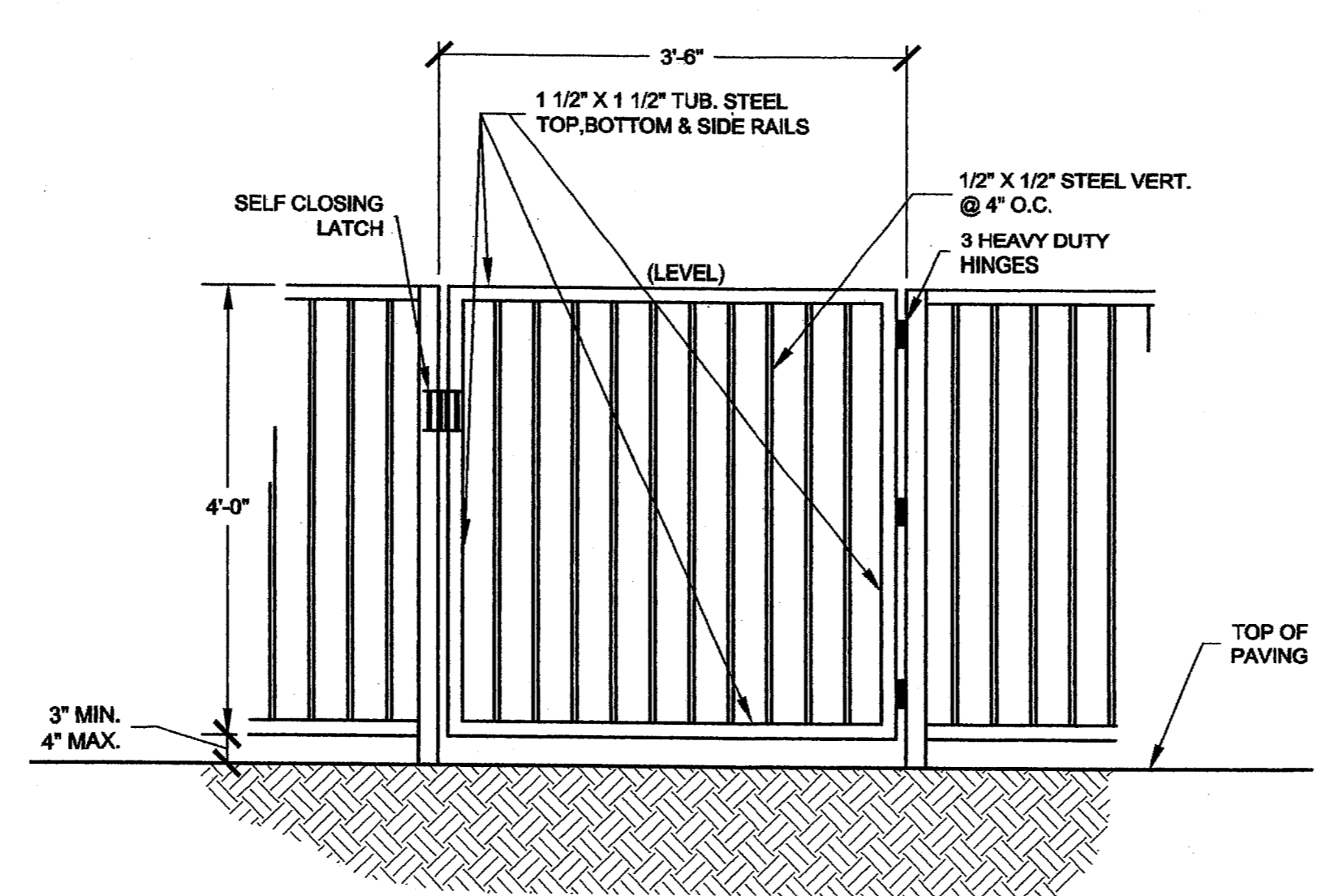
NOTES

- 300.21 EXIST. GRADE OR PROPOSED FINISH FLOOR ELEV. AS PER C.E.J ARCHITECT.
 - 300.21 PROPOSED GRADE
 - T.W. TOP OF WALL ELEVATION
 - D.I. 9" X 9" NDS BEEHIVE DRAIN INLET IN BED (#981 W/ 932 HUB ADAPTER)
 - D.I. 8" X 8" ZURN Z-400 "TYPE-J" POLISHED BRONZE DRAIN INLET IN PAVING, UNO.
 - D.I. 9" X 9" NDS DRAIN INLET IN LAWN (#980 W/ 932 HUB ADAPTER)
- PAINT EXTERIOR METALS WITH ONE PRIMER COAT AND TWO SEMIGLOSS, EXTERIOR ENAMEL FINISH COATS. COLOR TO MATCH ARCHITECTURAL TRIM OR TO BE SELECTED.
- ALL GATES IN THE POOL AREA ARE TO BE SELF CLOSING AND LATCHING.

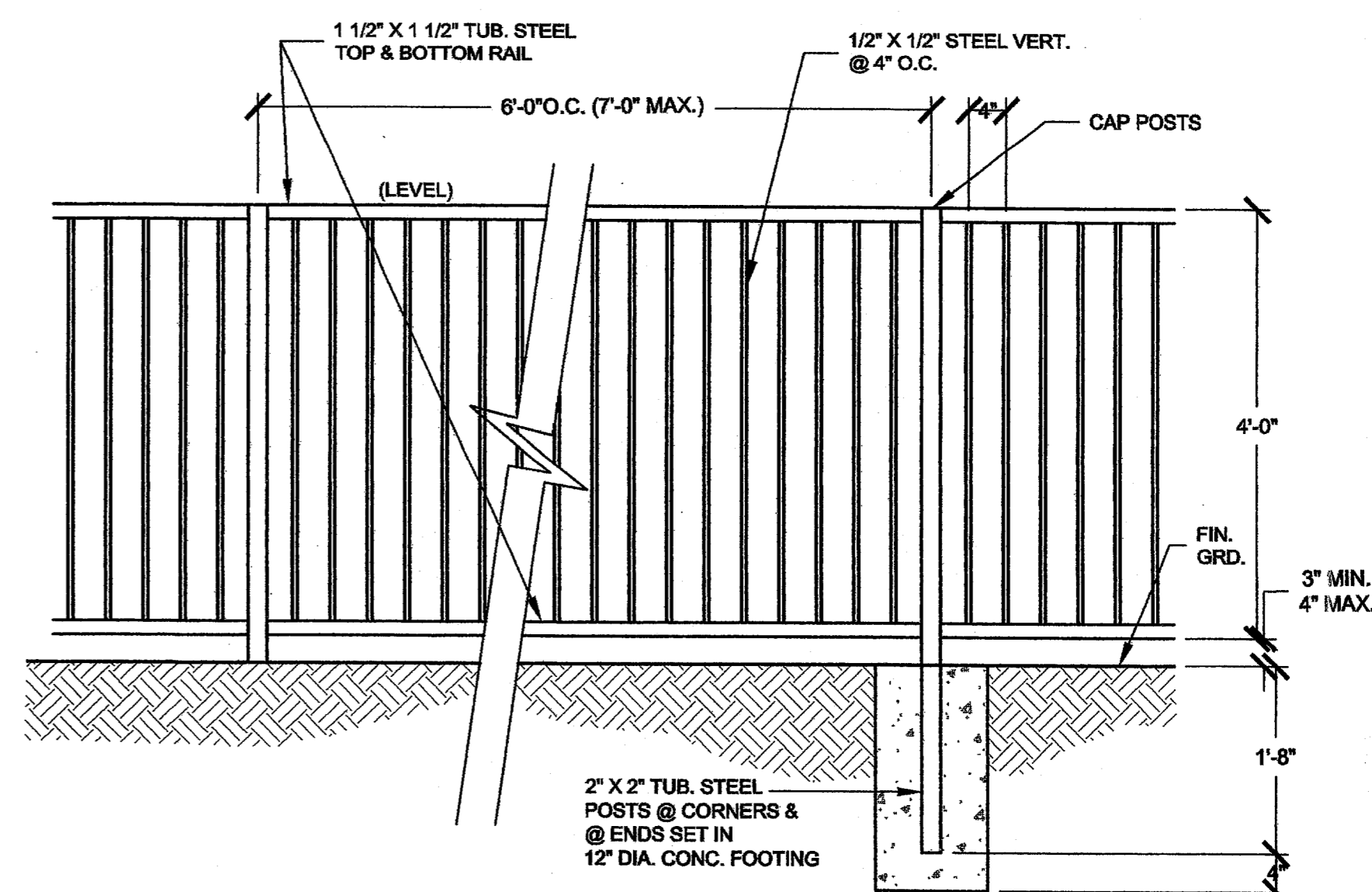
B SECTION - BRICK PAVER ON SAND
LC.1
SCALE: 3/4"=1'-0"



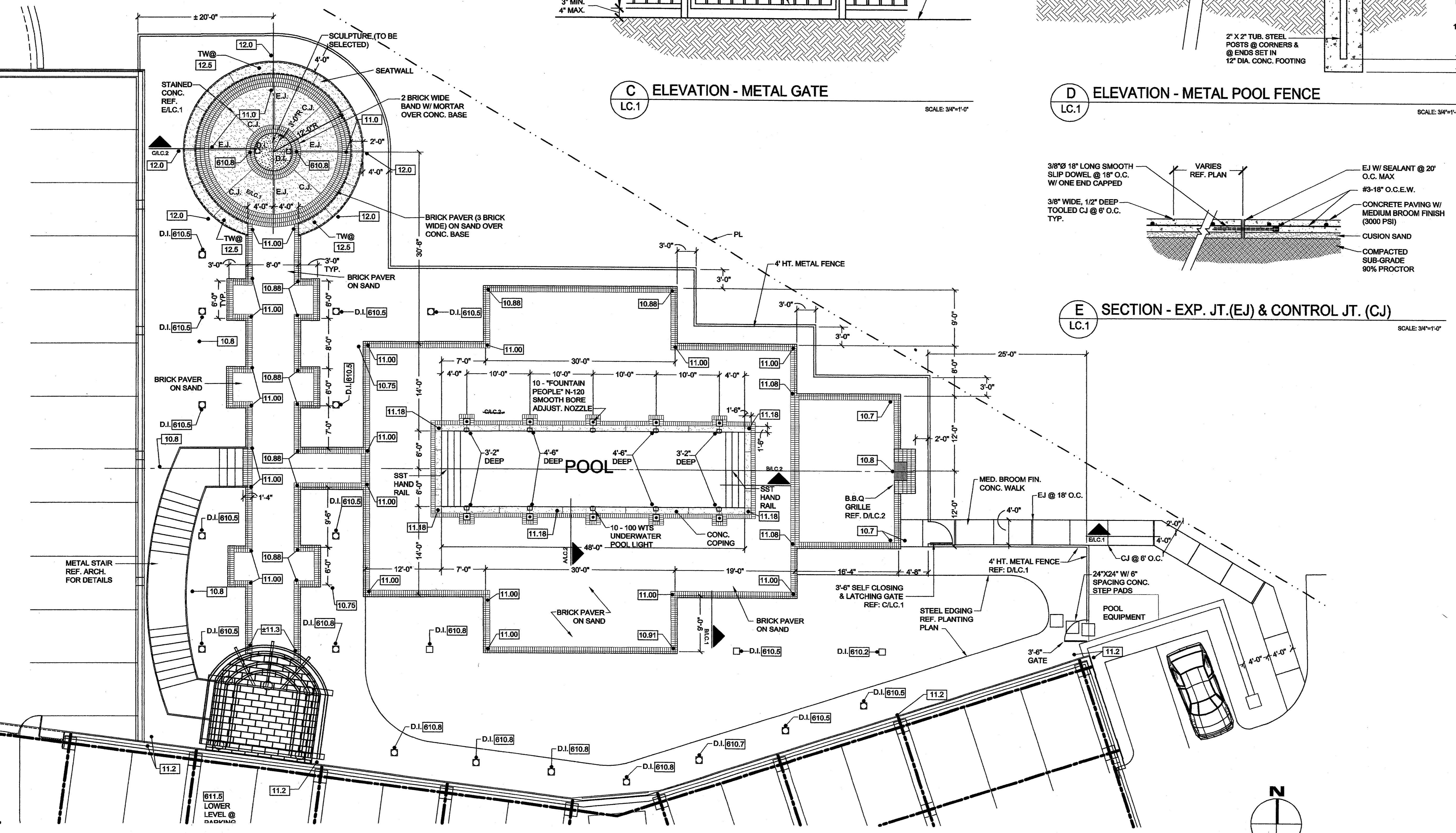
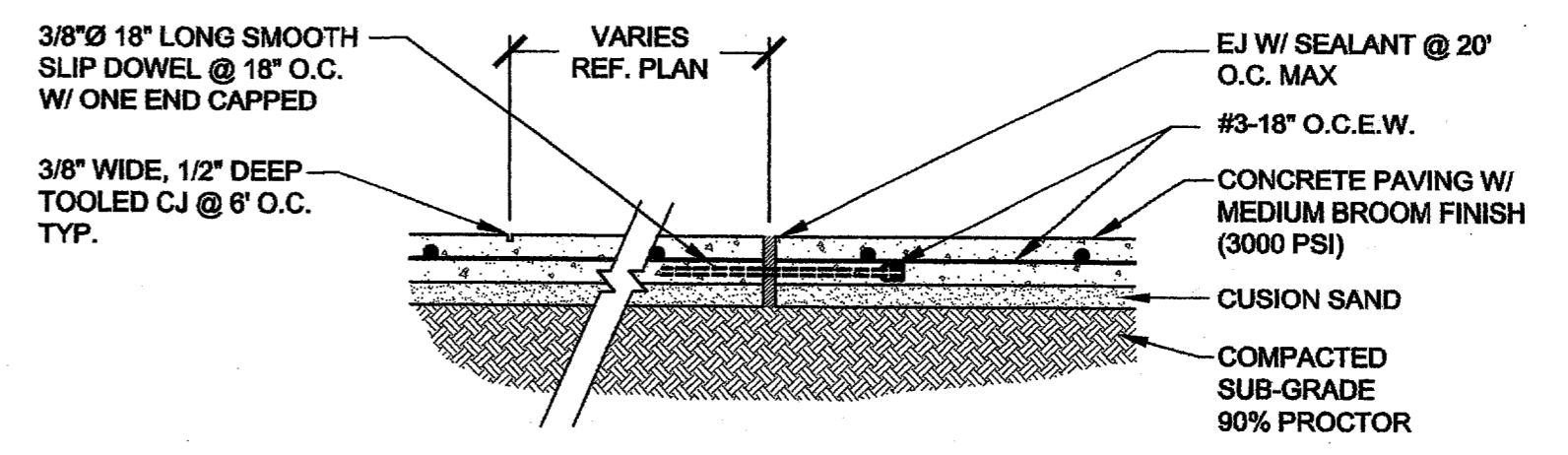
C ELEVATION - METAL GATE
LC.1
SCALE: 3/4"=1'-0"



D ELEVATION - METAL POOL FENCE
LC.1
SCALE: 3/4"=1'-0"



E SECTION - EXP. JT.(EJ) & CONTROL JT. (CJ)
LC.1
SCALE: 3/4"=1'-0"



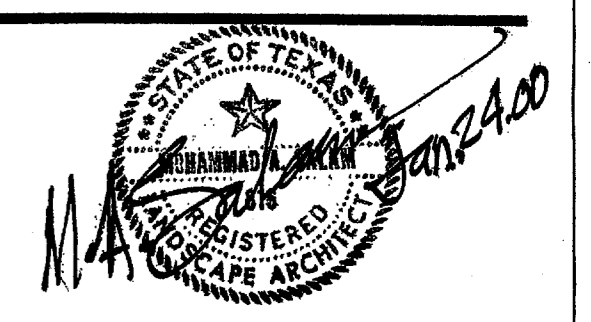
A COURTYARD LAYOUT & GRADING PLAN
LC.1
SCALE: 1/8"=1'-0"

THE ASHTON
ADDISON ■ TEXAS

Owner/Developer:
AMICUS PARTNERS, LIMITED
15601 DALLAS PARKWAY, SUITE 525
ADDISON, TEXAS 75001
PHONE (972) 361-5476
FAX (972) 361-5914

HUITT ZOLIARS

3131 McKinney Avenue, Suite 600
Dallas, Texas 75204
Phone (214) 871-3311
Fax (214) 871-0757

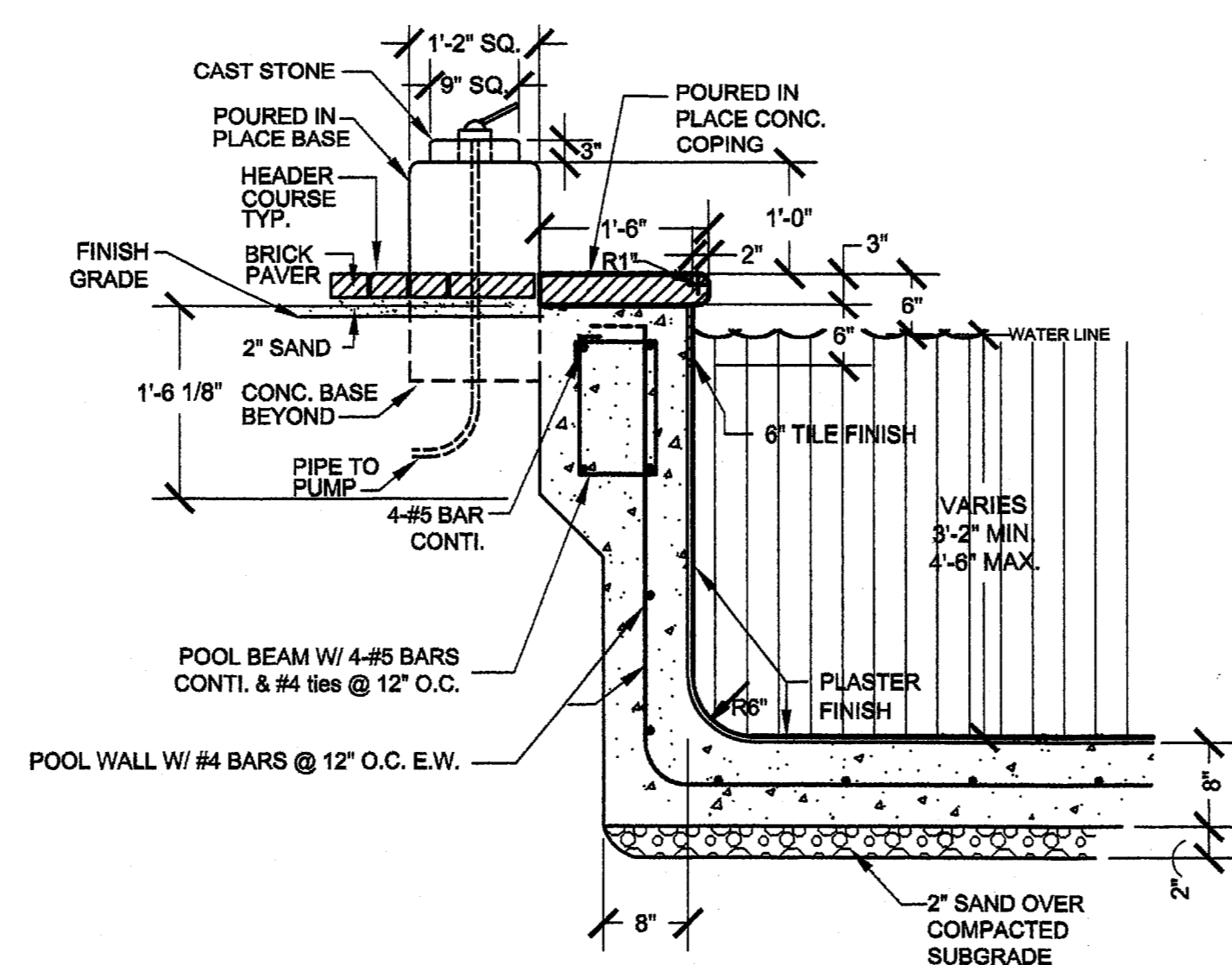


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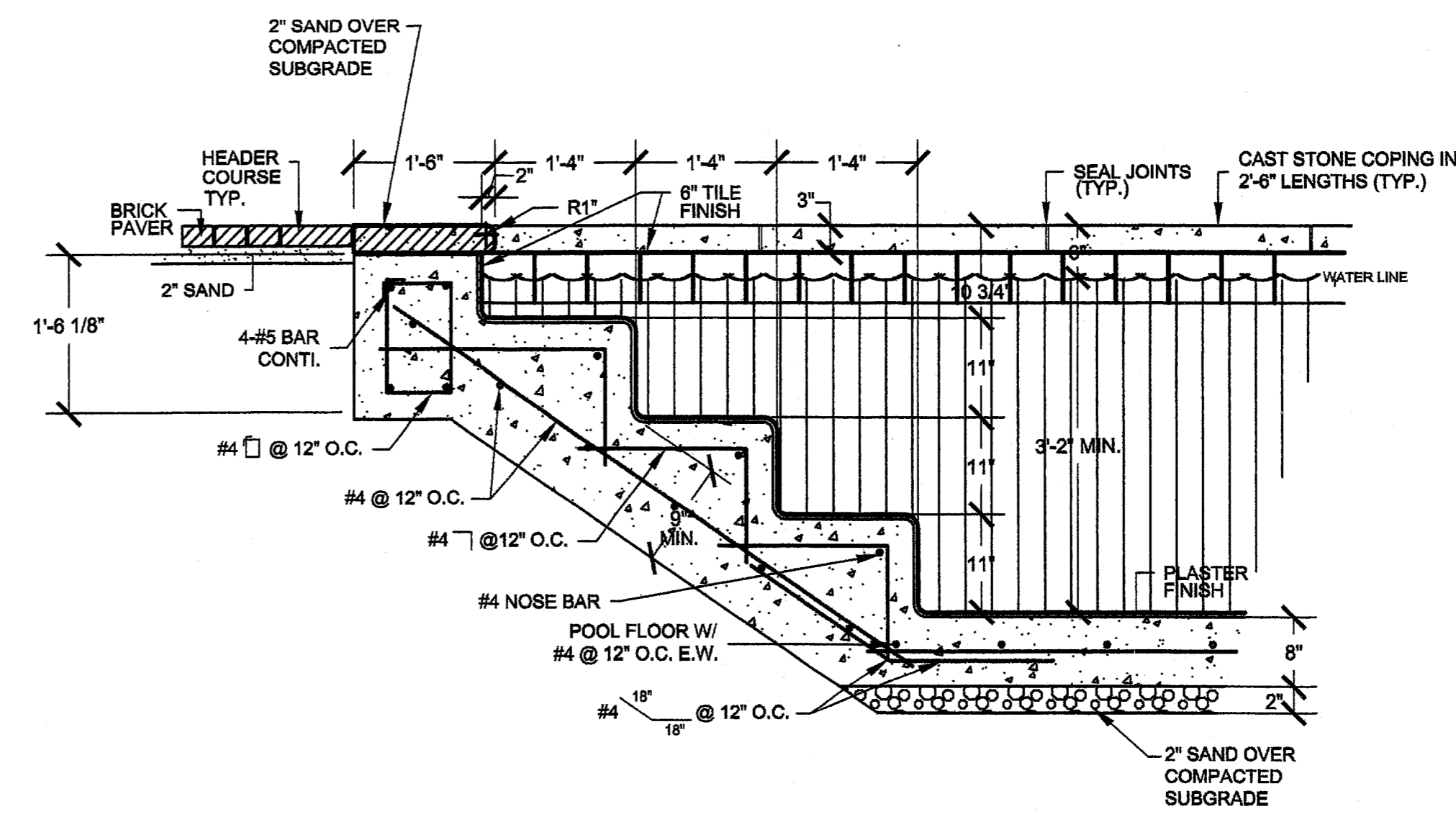
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Scale: AS NOTED
Date: 1/24/2000
Project No.: 01-2617-01

Sheet Title
LAYOUT & GRADING PLAN DETAILS

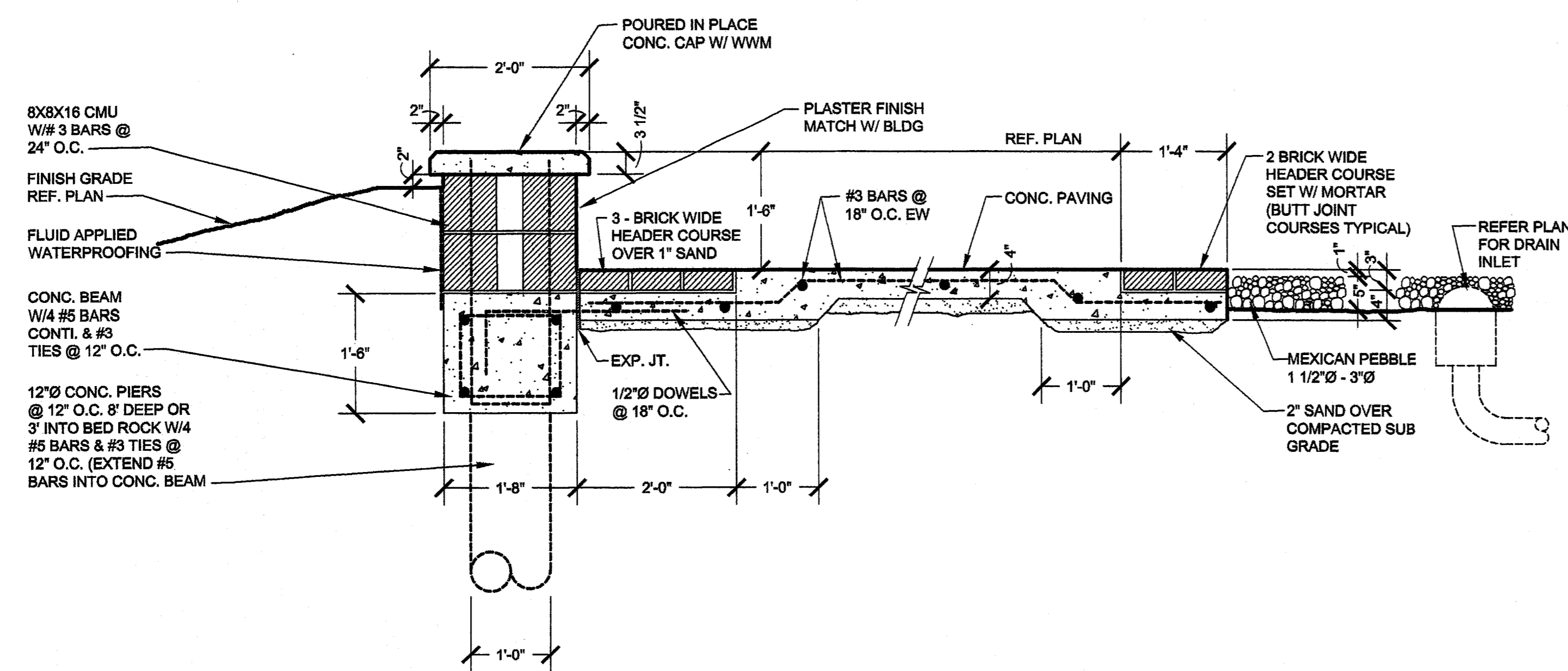
POOL EQUIPMENT LIST	
Pool Area	576 s.f.
Volume	17,280 c.ft.
System Design	85 gpm
Turnover Rate	3.38 hours
Auxiliary Flow	
Circulation Pump	MODEL P4EA6FL STA-RITE MAXE-GLAS II, 1 1/2 H.P. 230 VAC 8.0 AMP 90 GPM @ 50TDH
Filter	MODEL TR-140 TRITON 7.1 S.F. SAND FILTER AREA WITH HI-FLO MULTIPORT VALVE
Auxiliary Pump	MODEL MPEA89L STA-RITE DYNA-GLAS 2 H.P. 230 VAC 12.0 AMP, 120 GPM @ 40 TDH
Chlorinator	MODEL 3008 PPG, DRY TABLET CALCIUM HYPOCHLORITE FEEDER
Acid Pump	MODEL 45M STENNER MANUFACTURING PERISTALTIC 108 PD
Skimmer	MODEL 08650-1404 US WITH WHITE LID AND EQUALIZER VALVE
Equalizer Fitting	
Drain Sump	MODEL 07017-0093/07017-0103 8" CYCOLAC SUMP WITH A/V COVER 07017-0751 STA-RITE
Lights	MODEL MPL 05802-0505 STA-RITE 100W HALOGEN
Notes	1. Vac-Alert Safety Vacuum Release System required on auxiliary pump piping.
Note: Pool contractor is responsible for piping design.	



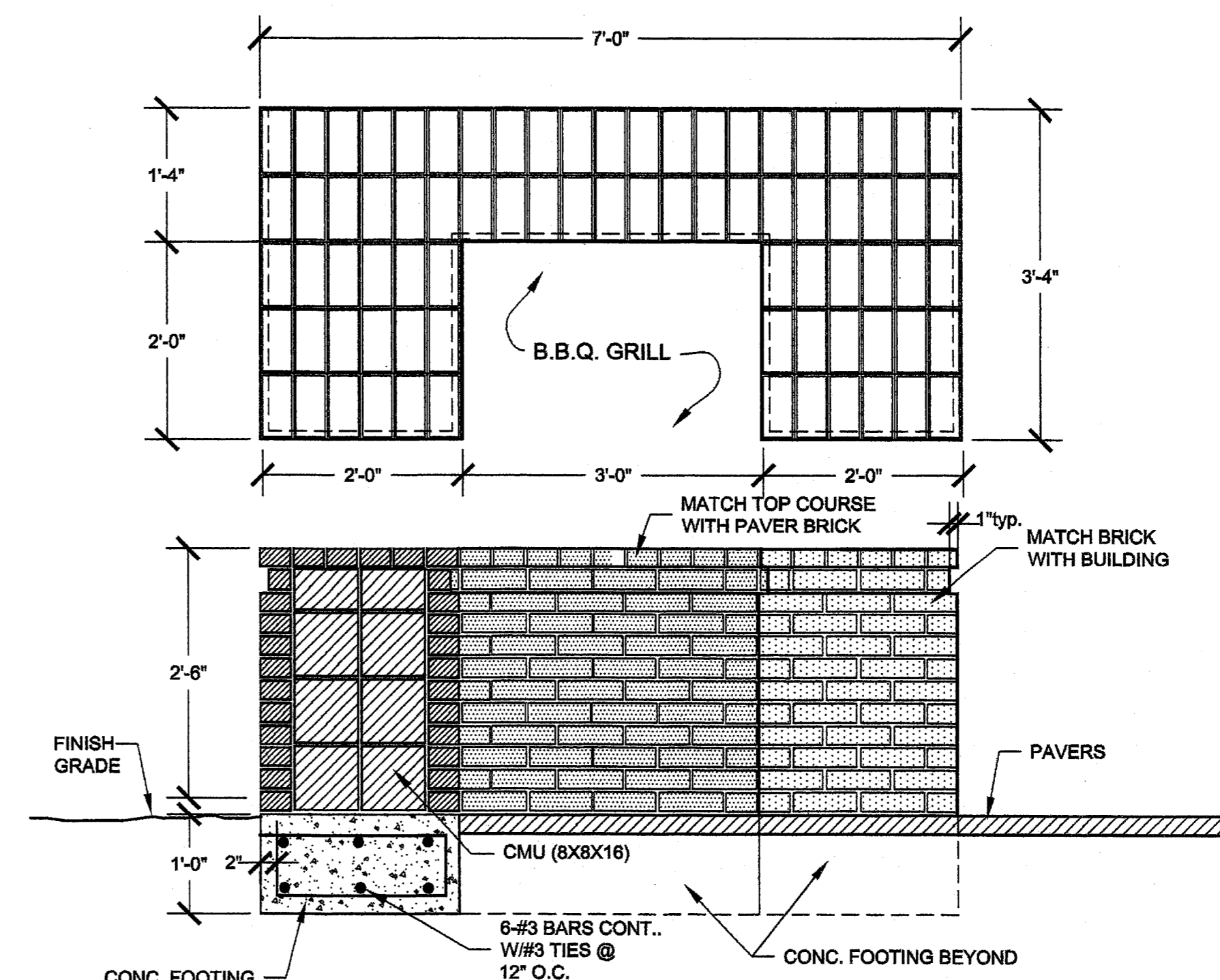
A SECTION - POOL WALL AND POOL FLOOR
LC.2 SCALE: 3/4"=1'-0"



B SECTION - POOL STEPS AND COPING
LC.2 SCALE: 3/4"=1'-0"



C SECTION - SEAT WALL & CONC. PAVING W/ BRICK BAND
LC.2 SCALE: 3/4"=1'-0"



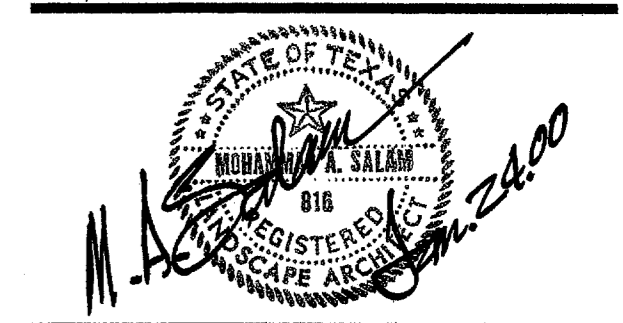
D SECTION/ELEVATION - OUTDOOR GRILLE
LC.2 SCALE: 3/4"=1'-0"

THE ASHTON
ADDISON - TEXAS

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ZOLLARS

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Project No.: 01-2617-01

Sheet Title
DETAILS

THE ASHTON
ADDISON ■ TEXAS

Owner/Developer:
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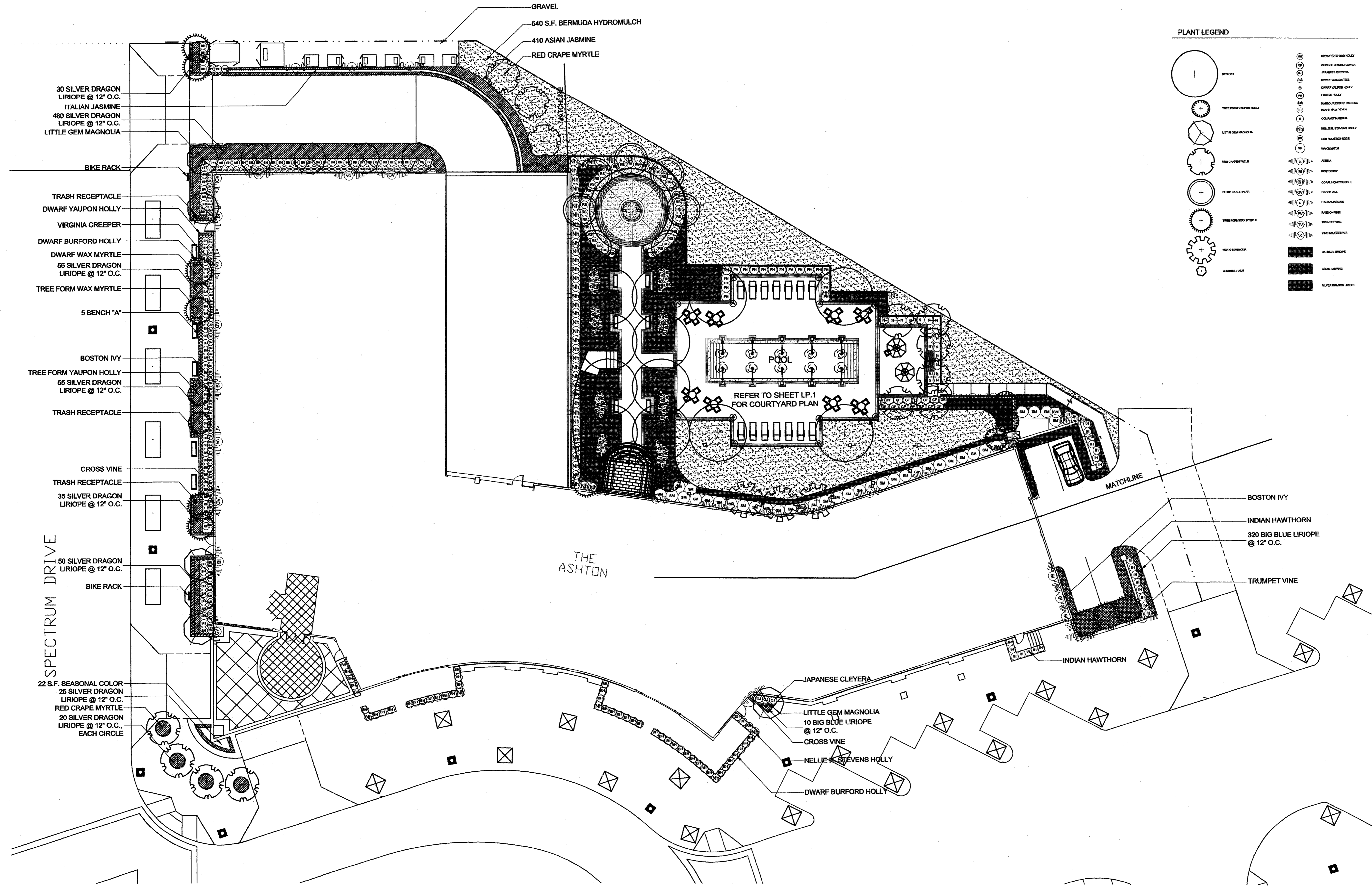
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Date: 1/24/2000
Project No.: 01-2617-01

Sheet Title
PLANTING PLAN

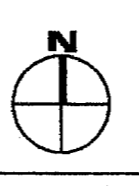
Sheet No. LP.1
Page 1 of 4

PLANT LEGEND

	RED OAK		DWARF BURFORD HOLLY
	TREE FORM YAUPON HOLLY		JAPANESE CLEYERA
	LITTLE GEM MAGNOLIA		DWARF YAUPON HOLLY
	RED CRAPE MYRTLE		DWARF YAUPON HOLLY
	CROSS VINE		DWARF YAUPON HOLLY
	TREE FORM WAX MYRTLE		DWARF YAUPON HOLLY
	NELLIE STEVENS HOLLY		DWARF YAUPON HOLLY
	DWARF BURFORD HOLLY		DWARF YAUPON HOLLY
	SILVER DRAGON LIRIOPE		DWARF YAUPON HOLLY
	SMALL PLANT		DWARF YAUPON HOLLY
			BOSTON IVY
			INDIAN HAWTHORN
			320 BIG BLUE LIRIOPE @ 12" O.C.
			TRUMPET VINE



A PLANTING PLAN
LP.1



SCALE: 1/16"=1'-0"

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Owner/Developer:
AMICUS PARTNERS, LIMITED
15601 DALLAS PARKWAY, SUITE 525
ADDISON, TEXAS 75001
PHONE (972) 361-5476
FAX (972) 361-5914

HUIT ZOLIARS

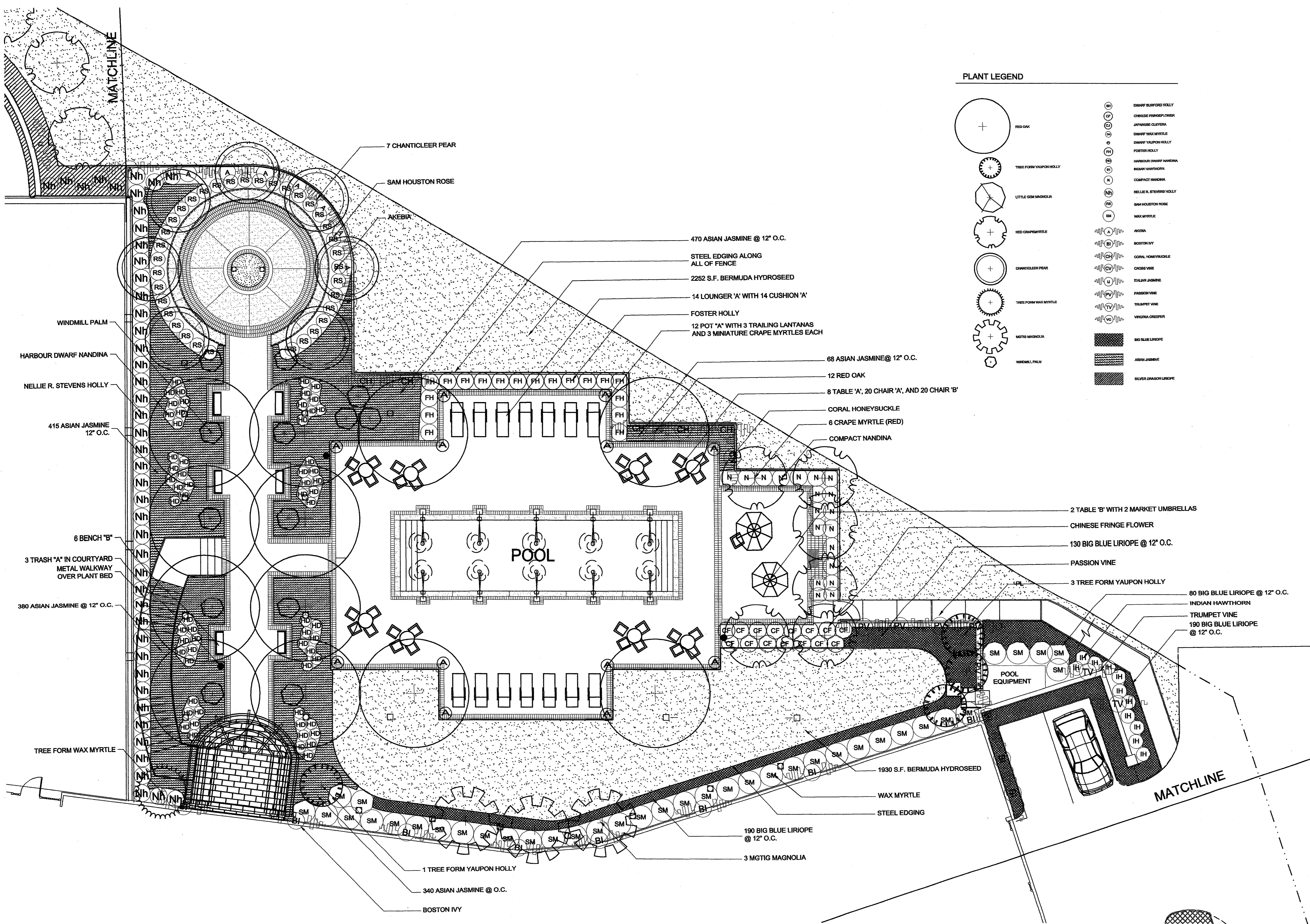
3131 McKinney Avenue, Suite 600
Dallas, Texas 75204
Phone (214) 871-3311
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Date: 1/24/2000
Project No.: 01-2617-01

PLANTING PLAN

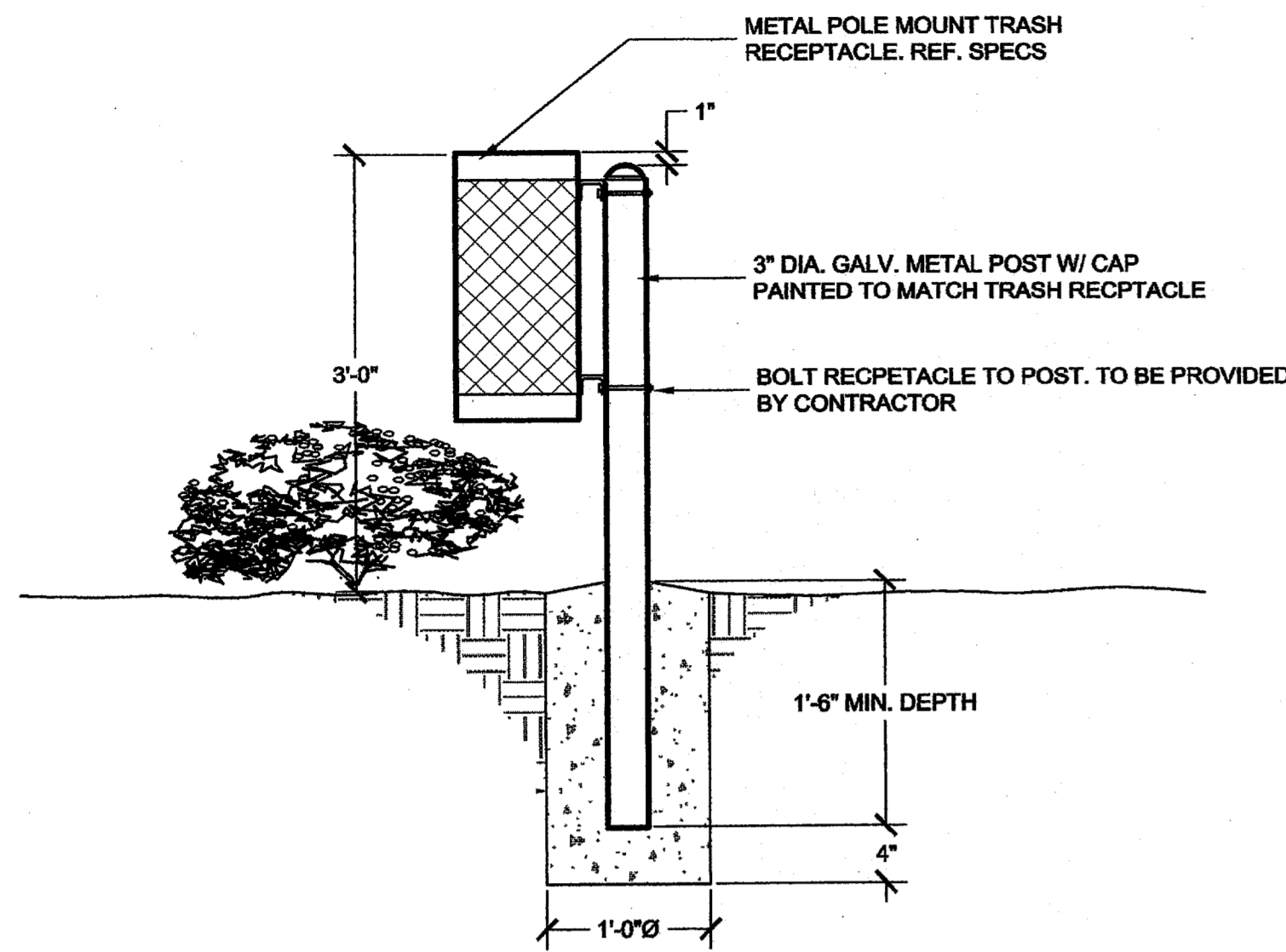


PLANT LEGEND

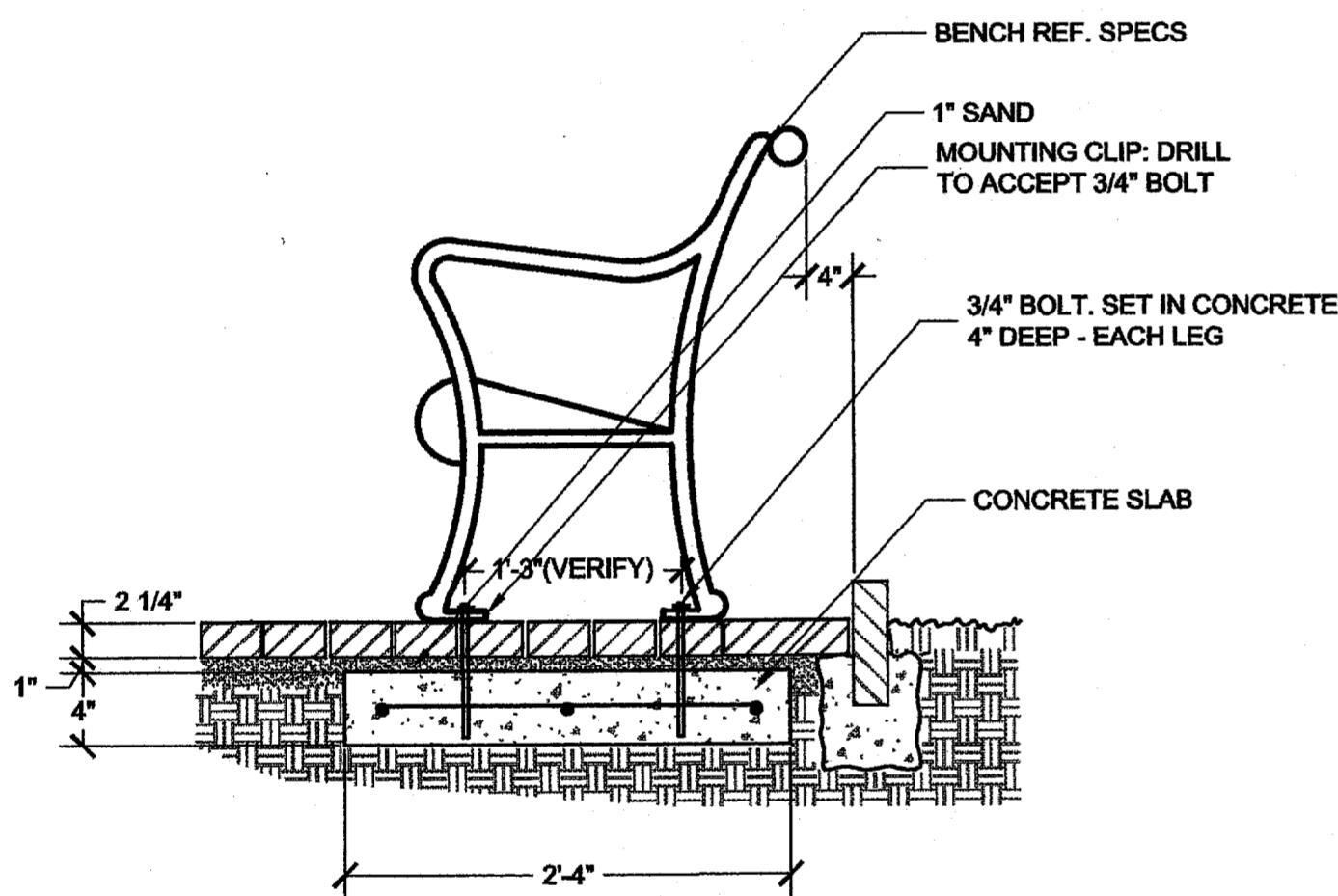
- RED OAK
- TREE FORM YAUPON HOLLY
- LITTLE GEM MAGNOLIA
- RED CRAPE MYRTLE
- CHANTICLEER PEAR
- TREE FORM WAX MYRTLE
- MAGNOLIA
- WINDMILL PALM
- DWARF BURFORD HOLLY
- CHINESE FRINGE FLOWER
- JAPANESE CLEMATIS
- DWARF WAX MYRTLE
- DWARF YAUPON HOLLY
- FOSTER HOLLY
- HARBOUR DWARF NANDINA
- INDIAN HAWTHORN
- COMPACT NANDINA
- NELLIE R. STEVENS HOLLY
- SAN HOUSTON ROSE
- WAX MYRTLE
- ARISA
- BOSTON IVY
- CORAL HONEYSUCKLE
- CROSS VINE
- ITALIAN JASMINE
- PASSION VINE
- TRUMPET VINE
- VIRGINIA CREEPER
- BIG BLUE LIRIOPE
- ASIAN JASMINE
- SILVER DRAGON LIRIOPE

A PLANTING PLAN
LP.2
SCALE: 1/8"=1'-0"
N

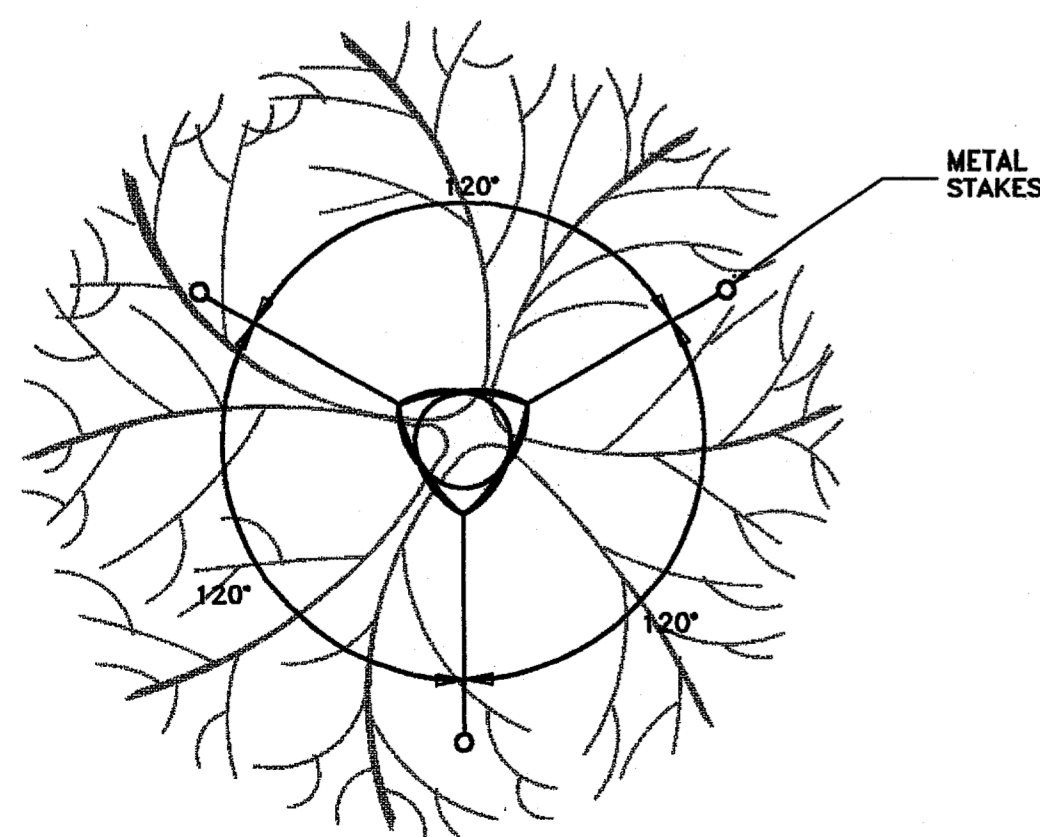
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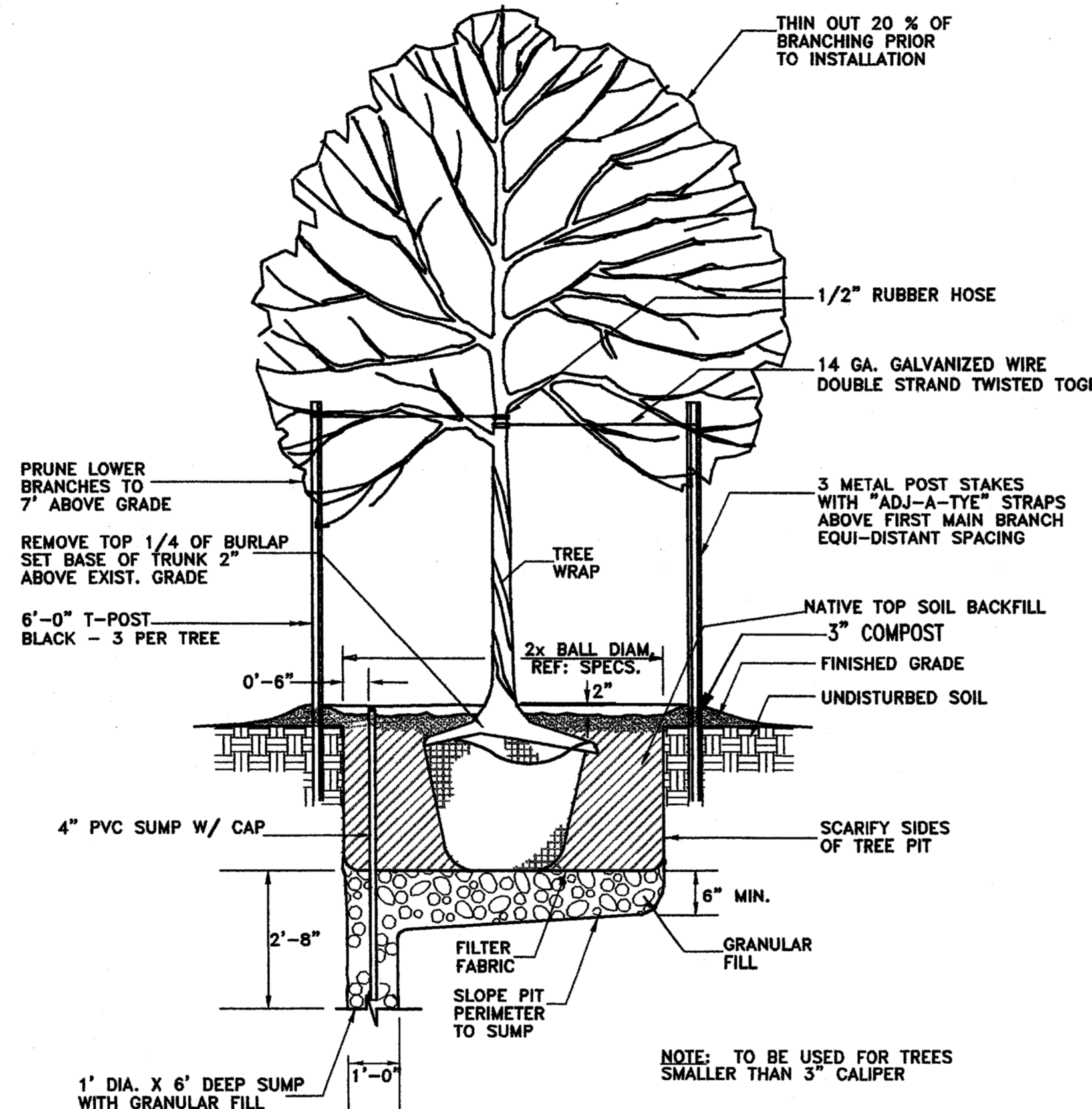
A ELEVATION - TRASH RECEPTACLE
LP.3 NTS



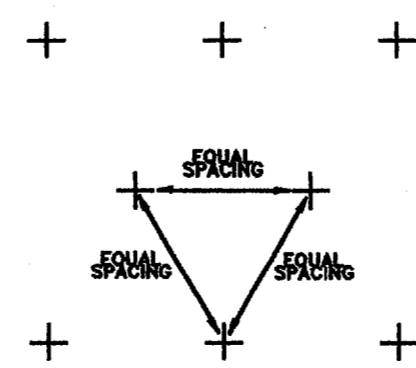
B ELEVATION - BENCH MOUNTING
LP.3 NTS



D PLAN - TREE STAKING
LP.3 NTS



C SECTION - TREE PLANTING & STAKING
LP.3 NTS



E PLAN - TRIANGULAR SHRUB SPACING
LP.3 NTS

Quantity	Item	Type	Source	Quantity	Item	Type	Source
12	Red Oak	<i>Quercus shumardii</i>		200 gal.	5-5 1/2" cal.	18'ht., 12-14" sp., matched	
6	Tree Form Yaupon Holly (Female)	<i>Ilex vomitoria</i>		30 gal.	6-8'ht., 4-5" sp., multi-trunk		
13	Crape Myrtle 'Red'	<i>Lagerstroemia indica</i>		30 gal.	6-7' ht., 4-5' sp., multi-trunk, 3 cane min., 1 1/2" cal. min.		
10	Magnolia 'Little Gem'	<i>Magnolia grandiflora 'Little Gem'</i>		15 gal.	5-6' ht., 3-4' sp., matched		
3	Mgig Magnolia	<i>Magnolia grandiflora 'St. Mary's'</i>		65 gal.	2 1/2-3' cal., 10-12'ht., 4-5" sp., 5' clear-trunk, matched		
10	Tree Form Wax Myrtle	<i>Myrica cerifera</i>		8&B, 8'-10' ht., 5-7" sp., multi-trunk, 3 cane min., 1 1/2" cal. min.			
7	Chanticleer Pear	<i>Pyrus calleryana 'Chanticleer'</i>		15 gal.	1 1/2-2' cal., 10-12' ht., 4-5' sp., matched		
15	Windmill Palm	<i>Trachycarpus fortunei</i>		5 gal.	7 fan min., 36" over all ht.		
3	Japanese Cleyera	<i>Cleyera japonica</i>		5-gal full			
143	Dwf. Burford Holly	<i>Ilex Cornuta 'Dwarf Burford'</i>		5 gal.	30"-36" ht., 20"-24" sp., full		
51	Nellie R. Stevens	<i>Ilex Nellie R. Stevens</i>		7 gal.	60" ht. 36" sp., matched, symmetrical		
10	Foster Holly	<i>Ilex x attenuata 'Foster's'</i>		8-10' ht., 3 1/2-4' sp., full, matched			
237	Dwarf Yaupon Holly	<i>Ilex vomitoria nana</i>		1 gal.	8"-10" ht., 8"-10" sp., full		
36	Miniature Crape Myrtle	<i>Lagerstroemia x fauriei 'Chickasaw'</i>		3 gal.	full		
15	Chinese Fringeflower	<i>Loropetalum chinense 'Plum Delight'</i>		3 gal.	full		
38	Wax Myrtle	<i>Myrica cerifera</i>		5 gal.	20" ht., 14ps., full		
108	Dwarf Wax Myrtle	<i>Myrica pusilla</i>		3 gal.	24"-30" ht., 16"-20" sp., full		
19	Compact Nandina	<i>Nandina domestica 'Compacta'</i>		5-gal 24-30" ht. full 5 canes min.			
63	Harbor Dwarf Nandina	<i>Nandina domestica 'Harbor Dwarf'</i>		3gal 14-16"ht., 16-18"sp., full			
26	Springtime Indian Hawthorne	<i>Rhaphiolepis indica 'Springtime'</i>		5 gal., 28"ht., 24-28"sp., full, bushy to ground			
35	Rose 'Sam Houston'	<i>Rosa sp.</i>		2-gal. full			
10	Akebia	<i>Akebia quinata 'Shirobana Alba'</i>		1-gal 30" staked			
6	Cross-vine 'Tangerine Beauty'	<i>Bignonia capreolata 'Tangerine Beauty'</i>		1-gal 30" staked			
4	Madame Galen Trumpet Vine	<i>Campsis radicans 'Madame Galen'</i>		1-gal 30" staked			
4820 S.F.	Common Bermuda	<i>Cynodon dactylon</i>		Hydroseed			
10	Needlepoint Ivy	<i>Hedera helix 'Needlepoint'</i>		4" pot, full			
6	Italian Jasmine	<i>Jasminum humile</i>		3 gal., full			
36	Trailing Lantana	<i>Lantana montevidensis</i>		4" pot, full			
920	Liriope 'Big Blue'	<i>Liriope muscari 'Big Blue'</i>		4" POT, FULL			
810	Liriope 'Silver Dragon'	<i>Liriope muscari 'Silver Dragon'</i>		4" POT, FULL			
6	Coral Honeysuckle	<i>Lonicera sempervirens</i>		1-gal 30" staked			
18	Lowi Boston Ivy	<i>Parthenocissus tricuspidata 'Lowi'</i>		1-gal 30" staked			
5	Passion Vine	<i>Passiflora x 'Incense'</i>		1-gal 30" staked			
2085	Asian Jasmine	<i>Trachelospermum asiaticum</i>		4" pot-full			
3	Virginia Creeper	<i>Parthenocissus quinquefolia</i>		1 gal., full			

FURNITURE SCHEDULE

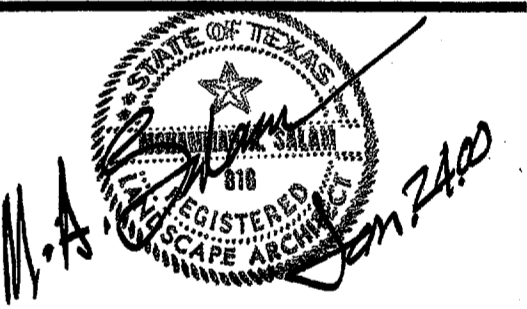
Qty.	Item	Type	Source	Qty.	Item	Type	Source
5	Bench 'A'	5' Bowery Bench with Back CDBB-605-60-F (Black)	Canterbury International 1-800-835-7111	14	Cushion 'A'	Amberst Chaise Lounge Cushion Stone Green (3D0270)	Woodard Contact: Coalter & Assoc. (972) 867-1649
6	Bench 'B'	Manitowlin Bench 60" (B04-5)	Rockwood Contact: Coalter & Assoc. (972) 867-1649	2	Market Umbrella	Small Octagon #F621508 Color: Forest Green 20" Disk Base (F624460)	Smith & Hawkin (415) 369-8300
20	Chair 'A'	Carolina Side Chair (C09)	Rockwood Contact: Coalter & Assoc. (972) 867-1649	6	Trash	Trash Receptacle Custom Metal Pole Mount Trash Receptacle 20" ht., 12" diam. (Black Powdercoat)	Fair Weather (Resource Consulting Service) (972) 294-2428
20	Chair 'B'	Carolina Arm Chair (C09-A)	Rockwood Contact: Coalter & Assoc. (972) 867-1649	2	Bike Rack	BR-3 SCH 40 Std. Pipe 2 3/8" OD	Fair Weather (Resource Consulting Service) (972) 294-2428
8	Table 'A'	Fontana Falls Square Dining Table (TD028-3)	Rockwood Contact: Coalter & Assoc. (972) 867-1649	14	Pol 'A'	Garden Planter Sandstone (30 1/2" diam., 18" ht.) Finish: Textured	Brookfield Co. (706) 375-8530
2	Table 'B'	Fontana Falls Rectangular Dining Table (TD028-5)	Rockwood Contact: Coalter & Assoc. (972) 867-1649				
14	Lounger 'A'	Amberst Adjustable Chaise Lounge (3D0070) Finish: Hammered Pewter (52)	Woodard Contact: Coalter & Assoc. (972) 867-1649				

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No. Date Items

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Date: 1/24/2000
Project No.: 01-2617-01

Sheet Title

PLANTING PLAN

Sheet No. LP.3

ISSUED FOR CONSTRUCTION
3/30/00

Page 3 of 4

SECTION 02900 - LANDSCAPING

PART 1 - GENERAL

1.1 DESCRIPTION

A. Provide complete landscaping shown on drawings and described herein.

1.2 RELATED SECTIONS

- A. Irrigation System
B. Lawns and Grasses

1.3 QUALITY ASSURANCE

- A. Comply with applicable federal, state and county regulations governing landscape materials and work.
B. Architect reserves the right to review materials at growing site.
C. Observation at growing site does not preclude right of rejection at job site.
D. Personnel: Employ only qualified personnel familiar with required work.

1.4 REFERENCED STANDARDS

- A. American Standard for Nursery Stock, Edition approved October 27, 1980 by American National Standards Institute, Inc. (Z60.1) - plant materials.
B. Hortus Third, 1976 - Cornell University - plant nomenclature.

1.5 SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone.
B. Product Data: Submit complete product data and specifications on all other specified materials.
C. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval.
D. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
E. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

1.6 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in container sufficiently rigid to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with saw dust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves.
5. Notify Architect of delivery schedule 48 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

1.7 JOB CONDITIONS

- A. Planting Restrictions:
1. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practices.
B. Protection:
1. Do not move equipment over existing or newly placed structures without approval of Architect and General Contractor.
2. Provide board-roading as required to protect paving.
3. Protect other improvements from damage, with protection boards, ramps and protective sheeting.
C. Utilities:
1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage.
2. Coordinate work with irrigation contractor to prevent damage to underground sprinkler system.
D. Condition of Surfaces:
1. Landscape areas will be left as described in Earthwork Section. Complete bed preparation as noted herein.

1.8 WARRANTY

A. Warranty plants for one year after final acceptance. Replace dead materials and material not in vigorous, thriving condition as soon as weather permits and on notification by Owner.

B. Replace plants with same kind and size as originally planted, at no cost to Owner. Provide one-year warranty on replacement plants. Trees may be replaced at start of next planting or digging season.

C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects or diseases.

D. At end of warranty period, remove staking and guying materials.

1.9 MAINTENANCE

- A. Water: Will be available on site. Provide necessary hoses required to complete work and other watering equipment.
B. Maintain plantings and trees by watering, cultivation, weeding, spraying, cleaning and replacement as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required until final acceptance.
C. Coordinate watering schedules with irrigation contractor during installation and until final acceptance. Provide deep root watering to newly installed trees.
D. Monitor sump pits at trees daily and dewater pits if standing w

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants.
B. Shrubs and Groundcovers: Nursery grown, healthy, vigorous, of normal habit of growth for species, free from disease, insect eggs and larvae.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark loamy soil, free of clay lumps, subsoil, stones, and other extraneous material.
2. Physical properties as follows: Clay - between 7-27 percent, Silt - between 15-25 percent, Sand - less than 52 percent.
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Bed Mix: Living Earth Technology or approved equal.
C. Commercial Fertilizer: 10-20-10 or similar analysis.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: 1/8" x 4" Ryerson steel landscape edging, painted green.
B. Mulch: Partially decomposed dark brown shredded hardwood bark mulch.
C. Staking Material for Shade Trees:
1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint black.
2. Wire: 14 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside dia. Color: Black.
D. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
E. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Lotland Co., (214) 651-5250 or approved equal.
F. Wrapping Material: Waterproofing crepe tree wrapping paper.
G. Soilsaver: Four foot (4'-0") wide rolls Ludlow Soil Saver jute mesh.

PART 3 - EXECUTION

3.1 INSPECTION

A. Examine subgrade upon which work is to be performed and verify detrimental conditions affecting the work. Notify General Contractor or Architect of unsatisfactory conditions.

3.2 TREE PLANTING

- A. Stake tree locations for approval by Architect.
B. Tree Pit Excavation: Excavated soil may be used for shade tree backfill if approved for architect.
C. Percolation Test: After tree pits are excavated, fill pits with water to determine if pits will adequately drain.
D. Shade Trees:

- 1. Plant in pits twice the diameter of the root balls and 3'-0" min. away from curb or pavement edge.
2. Backfill with 3 parts excavated soil (or sandy loam) and 1 part peat.

E. Ornamental Trees

- 1. Plant in pits 12 inches greater in diameter than tree ball, backfill with bed mix.
2. Determine direction of staking and rotate plants in pit to take advantage of optimum stem orientation.

3.3 TREE SAUCERS

A. Form a 4 inch high saucer around each tree planted in the lawn areas for deep watering. Add mulch to the top of the ball as detailed and continue deep watering as required to keep uniform moisture around the root ball until final acceptance.

3.4 TREE STAKING

A. Stake trees as detailed on Drawings immediately following planting operation. Take precautions during staking operation to prevent damage or injury to branches.

3.5 PRUNING

A. Prune newly planted and transplanted trees as directed by Architect following Fine Pruning, Class I pruning standards provided by National Arborist Association.

3.6 TREE WRAPPINGS

A. Wrap nursery grown trees. Extend wrapping from ground to a point immediately below lowest branch of each tree or as directed.

3.7 STEEL EDGING

A. Provide steel edging at interface of planted areas and lawn areas unless indicated otherwise on Drawings.

3.8 PLANT BED PREPARATION

A. Excavate or fill to provide 6 inches of Bed Mix for shrubs, groundcover and seasonal color. Haul off excavated soil. Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.

3.9 SHRUB AND GROUND COVER PLANTING

A. Place plants in position on bed areas before cans have been removed. Obtain approval from Architect. Architect reserves right to interchange or shift locations of plants prior to planting.

3.10 SOIL SAVER

B. Install soil saver in areas shown on Drawings and on slopes greater than 3:1 ratio in accordance with manufacturer's direction.

3.11 TOP DRESSING

A. After planting has been completed and approved by Architect, top dress bed areas with mulch, 2 inches deep.

3.12 CLEAN UP

A. Keep premises neat and orderly including organization of storage areas. Remove trash and debris from excavated planting areas, preparing beds, or planting plants from site daily as work progresses.

END OF SECTION

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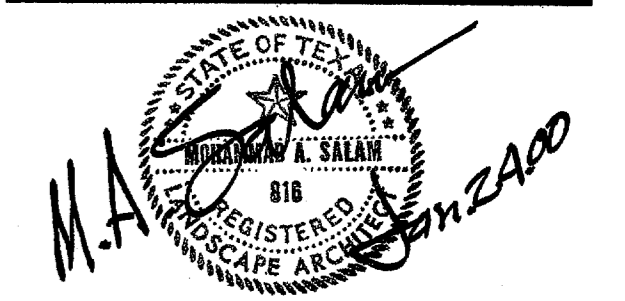


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PLANTING
SPECIFICATIONS

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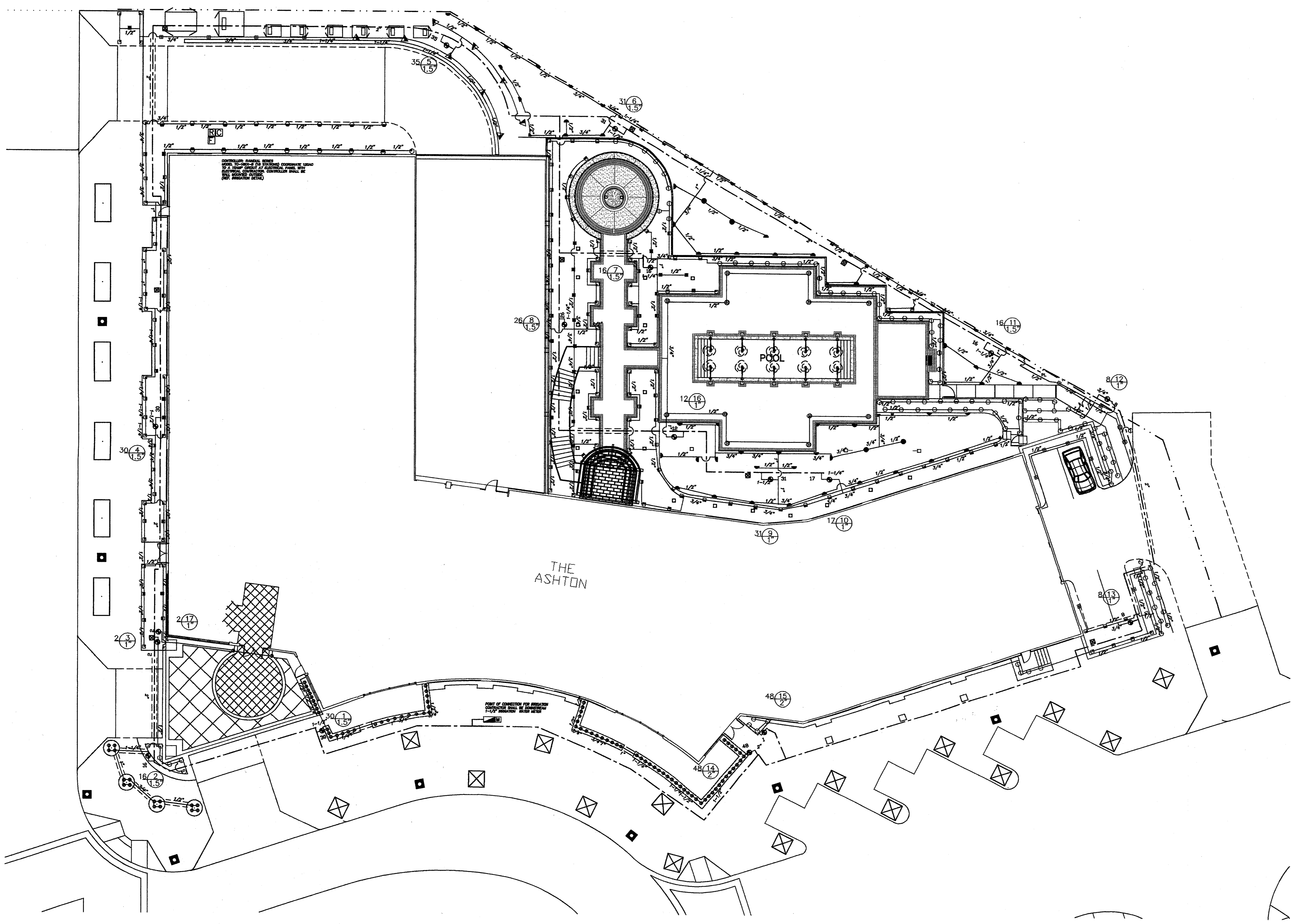
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IRRIGATION PLAN

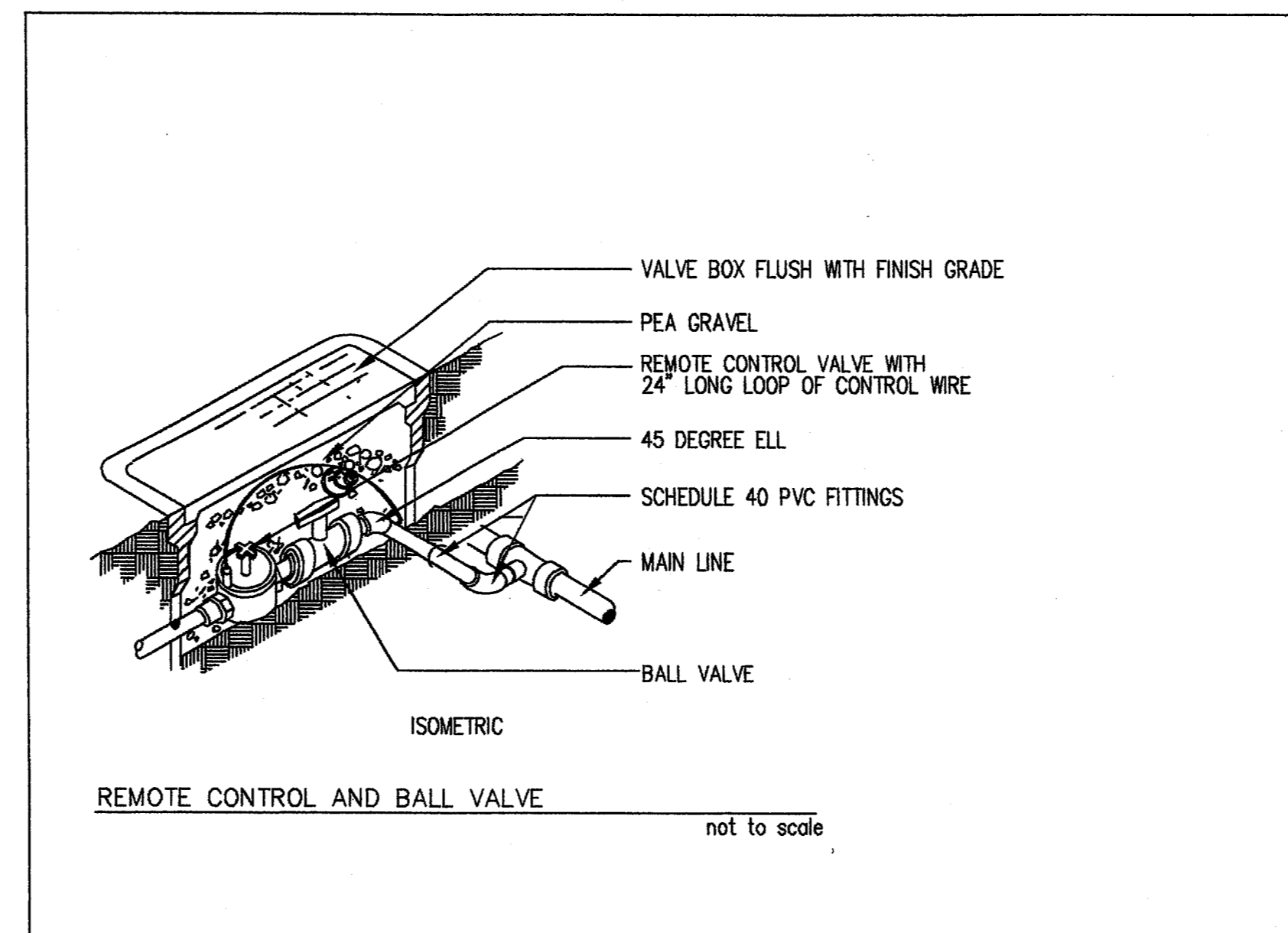
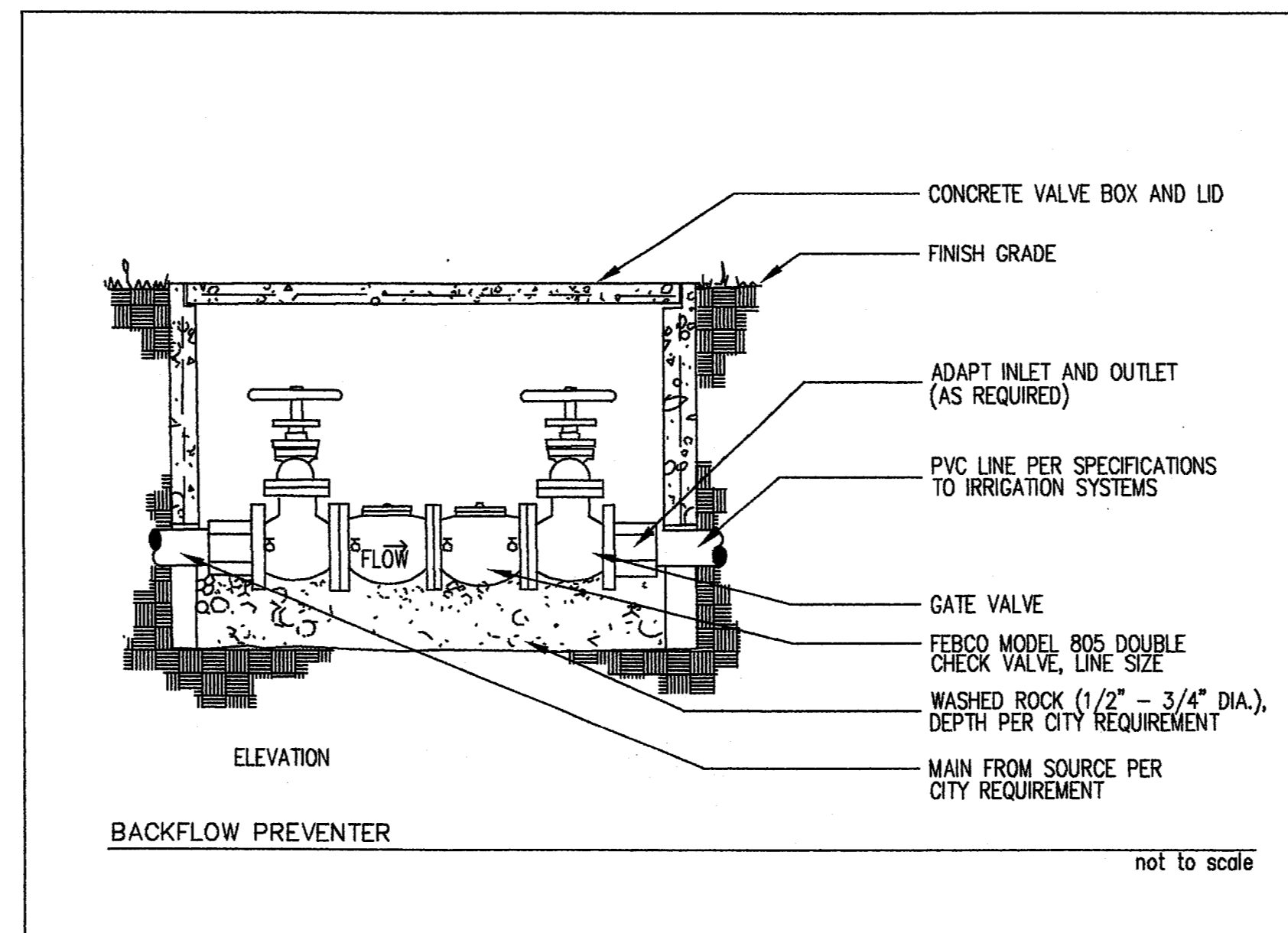
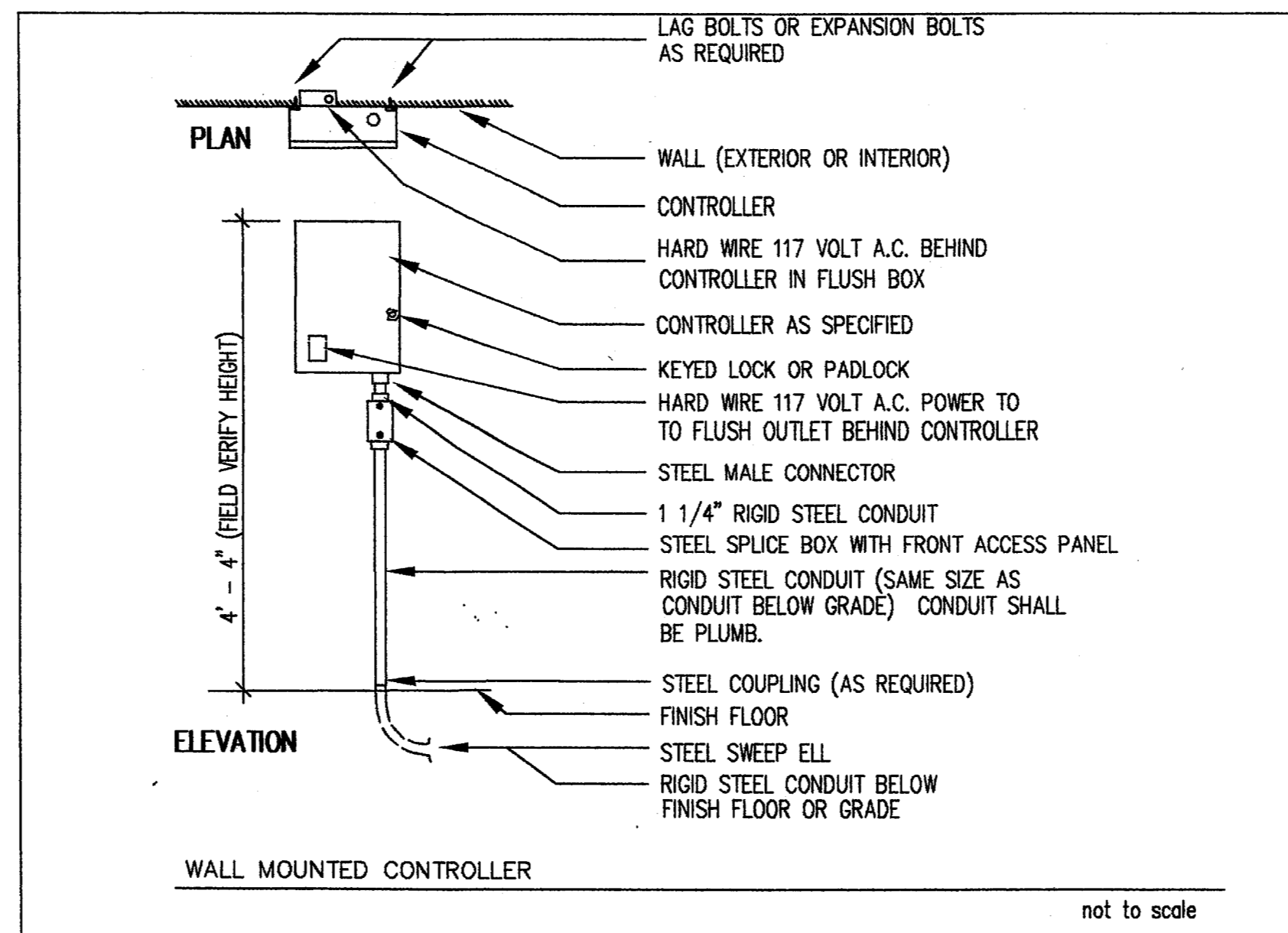
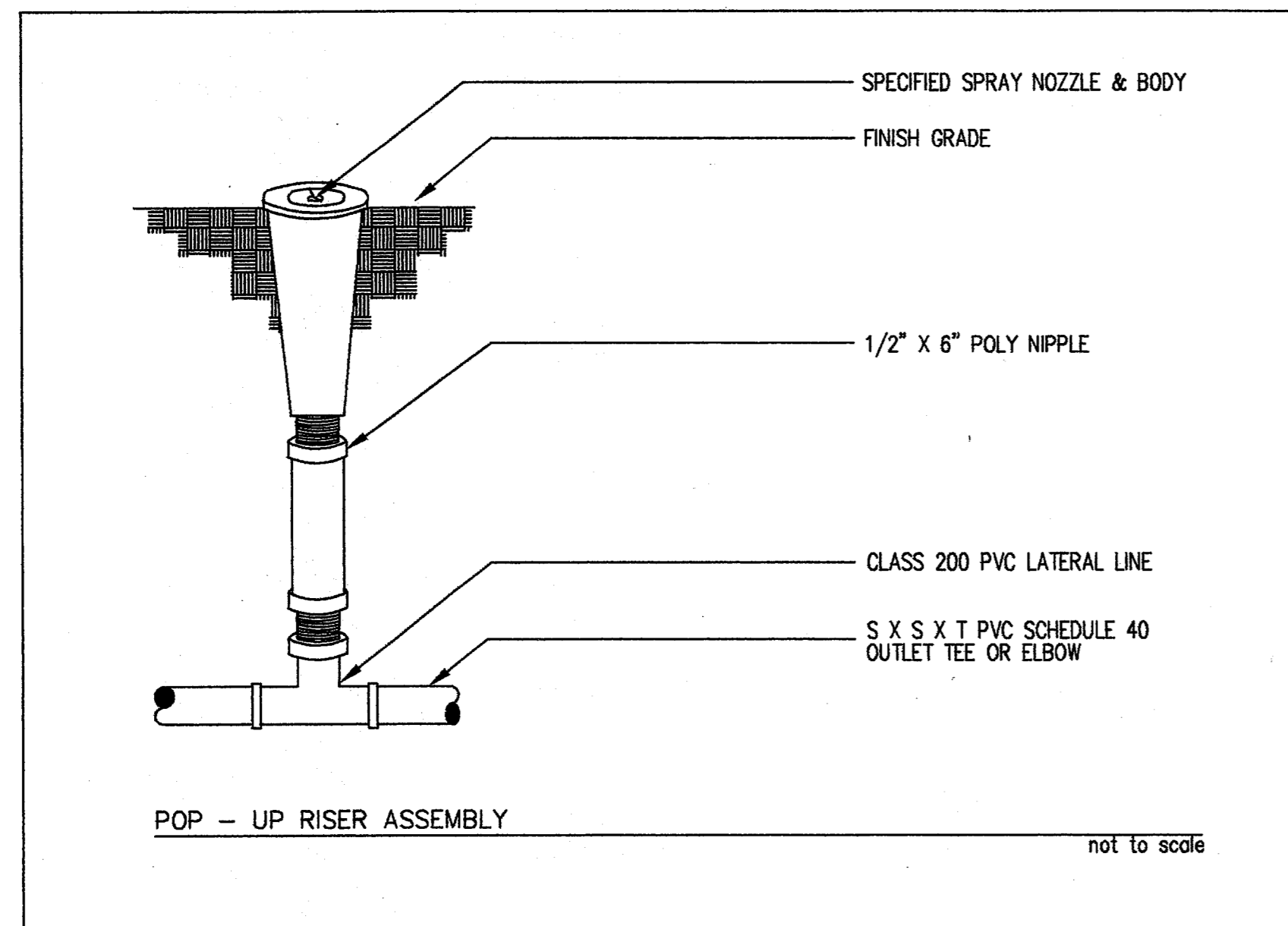
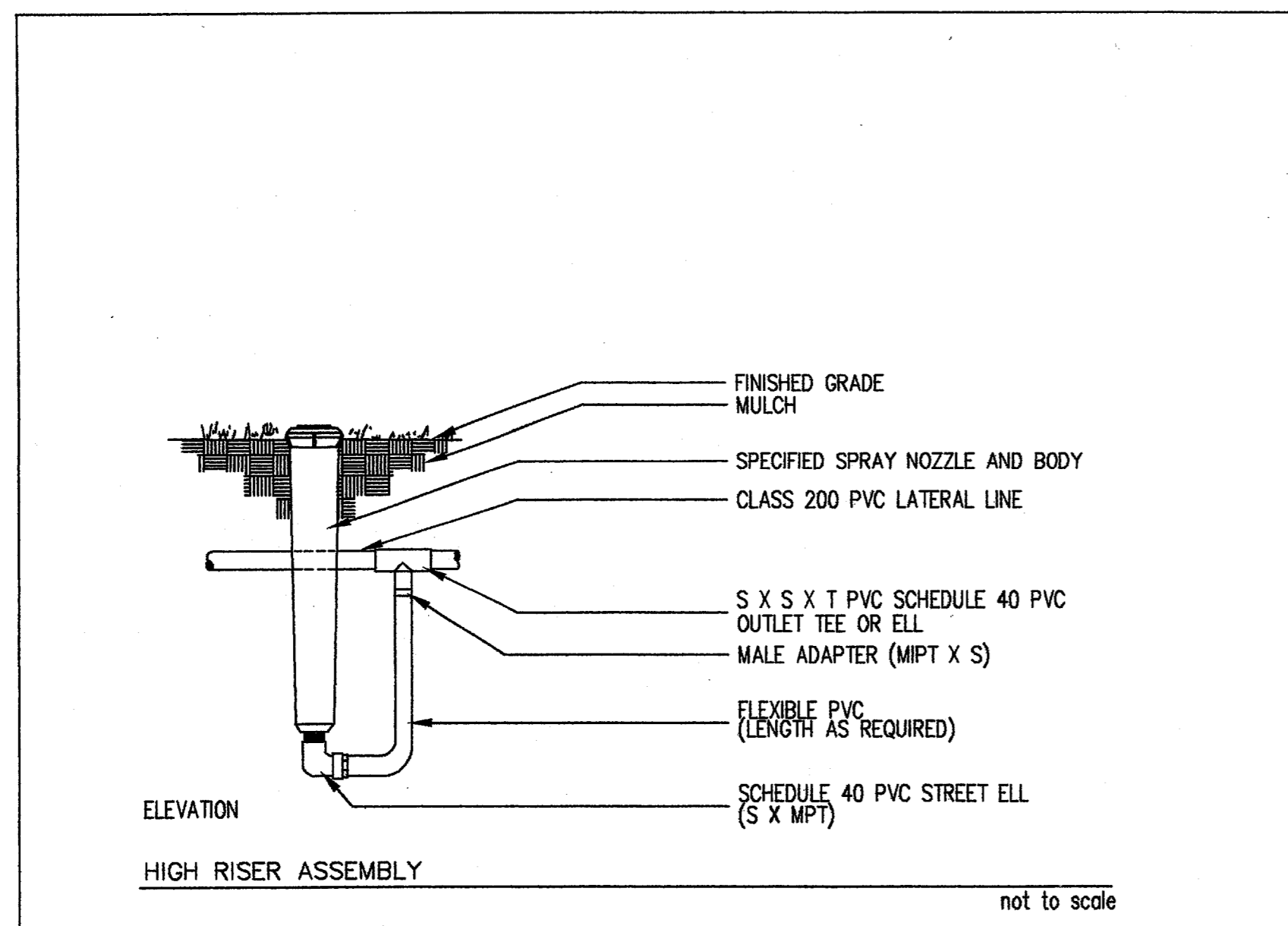
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A IRRIGATION PLAN
IR.1

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IRRIGATION LEGEND

- ▲ TORO POP-UP LOW ANGLE SHRUB SPRAY MPR SERIES NO. 12 FULL, HALF, & QUARTER ON A 12P BODY.
- TORO POP-UP LOW ANGLE SHRUB SPRAY MPR SERIES NO. 10 FULL, HALF, QUARTER ON A 12P BODY.
- ⊙ TORO POP-UP LOW ANGLE SHRUB SPRAY MPR SERIES NO. 8 FULL, HALF, QUARTER ON A 12P BODY.
- ⊕ WEATHERMATIC PRESSURE COMPENSATING BUBBLER HEAD NO. 100-100 ON A 1/2" PVC RISER.
- ⊖ TORO POP-UP SIDE STRIP SPRAY MPR SERIES NO. 4-SST ON A 12P BODY.
- ⊗ TORO POP-UP END STRIP SPRAY MPR SERIES NO. 4-EST ON A 12P BODY.
- ☒ RAINBIRD QUICK COUPLER VALVE (3/4" AND BALL VALVE INSIDE ROUND VALVE BOX).
- ⊕ HARDEE 700 SERIES WITH FLOW CONTROL, ELECTRIC REMOTE CONTROL VALVE AND BALL VALVE.
- SCHEDULE 40 PVC MAINLINE
- CLASS 200 PVC LATERAL LINE, EXCEPT 1/2 INCH DIAMETER SHALL BE CLASS 315. NOTE: ALL DIRECTLY BURIED LINE BENEATH PAVING SHALL BE SCHEDULE 40 PVC.
- ⊕ GPM THROUGH VALVE
- ⊕ VALVE SEQUENCING NUMBER
- ⊕ SIZE OF VALVE
- ⊕ MANUAL GATE VALVE—LINE SIZE
- ⊕ ELECTRIC CONTROLLER MANUFACTURE AND MODEL AS SHOWN ON PLAN
- ⊕ 6" SCHEDULE 40 PVC SLEEVE
- ⊕ FREEZE SENSOR—PENN
- ⊕ MOISTURE SENSOR—PENN
- ⊕ 1.5" IRRIGATION WATER METER & TAPING SLEEVE (BY GENERAL CONTRACTOR)
- ⊕ WAITS DOUBLE CHECK VALVE: 1.5" #007 IN FLUSH CONCRETE VALVE BOX(BELOW GRADE)

IRRIGATION NOTES

1. LINE LAYOUT IS DIAGRAMATIC—ADJUST HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE.
2. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18". ALL LATERAL PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
3. ALL MAINS ARE TO DRAIN TO LOW POINTS AT A MINIMUM ONE HALF (1/2) PERCENT SLOPE. AT LOW POINTS, INSTALL GATE TO FACILITATE DRAINAGE OF SYSTEM DURING FREEZING TEMPERATURES.
4. CONTRACTOR SHALL INSTALL AUTOMATIC DRAIN VALVES AT LOW POINTS IN THE IRRIGATION LINES AS REQUIRED TO PREVENT FREEZE DAMAGE.
5. ALL VALVE BOXES SHALL BE BLACK IN COLOR(BODY AND LID). SIZES SHALL BE TEN(10") INCHES BY FOURTEEN(14") INCHES (RECTANGULAR) FOR REMOTE CONTROL VALVES AND NINE(9") INCHES(ROUND) FOR GATE AND QUICK COUPLER VALVES.
6. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO SYSTEM LAYOUT IN FIELD TO INSURE POSITIVE DRAINAGE OF LATERAL LINES AND MAIN LINES.
7. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IF THE STATIC PRESSURE IS LESS THAN THE DESIGN STATIC PRESSURE OF 55 PSI.
8. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UP-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SHAW-TITE CONNECTORS AND SEALANT. PROVIDE SLEEVES FOR WIRE UNDER PAVED AREAS AS REQUIRED.
9. ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODES AND REGULATIONS.
10. IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE LANDSCAPING INSTALLATION.
11. IRRIGATION CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL BE ONE IN THE SAME.
12. IRRIGATION HEADS SHALL BE PLACED AND ADJUSTED SO AS NOT TO SPRAY ON THE BUILDING.
13. IRRIGATION HEADS SHALL BE PLACED AND SIZED SO AS NOT TO BE SUSCEPTIBLE TO DAMAGE BY AUTOMOBILE OVERHANGES.

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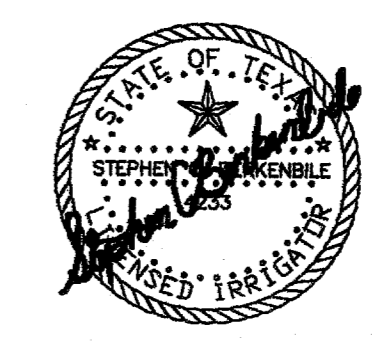
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**IRRIGATION
DETAILS**

Sheet No. IR.2

STEPHEN C BERKENBILE & ASSOCIATES
IRRIGATION DESIGN CONSULTANTS
411 HYDE PARK PLACE DUNCANVILLE, TX 75137 (972) 286-2734 FAX (972) 780-0048



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SECTION 02810 - IRRIGATION SYSTEM

PART 1 - GENERAL

- 11 DESCRIPTION
A. Provide complete landscape irrigation system as shown on drawings as described herein.
- 12 RELATED SECTION
A. Landscaping
B. Lawns and Grasses
- 13 QUALITY ASSURANCE
A. Substitutions:
1. Time: To be considered, submit substitution request in writing 7 days prior to bid opening.
2. Required Submittal Material:
a. Sample proposed substitute sprinkler.
b. Manufacturer's data on sprinkler discharge rates(GPM), minimum allowable operating pressure, maximum allowable spacing and distance of throw.
c. Detailed pressure loss computations if proposed substitute differ from those specified.
d. If proposed substitute requires a change in head and piping layout as designed, submit detailed drawings showing design changes and proposed layout.
3. Approval: Approval of proposed substitute will not relieve responsibility for providing a system that will operate according to intent of originally designed system.
B. Installer: System installation must be supervised by an Irrigator licensed in State with a minimum 5 years continuous experience installing systems of this size and complexity.
C. Testing: Perform required testing under observations of Architect. Give 48 hours notice that such tests are to be conducted.
D. Assembly Procedures: Do not alter design hydraulics by installing additional tees or elbows unless approved by Architect.
- 14 REFERENCES STANDARDS
A. American Standard for Testing and Materials (ASTM) - Latest edition.
1. D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread, Schedule 80
3. D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Schedule 40
4. D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
5. D2554 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
6. D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
7. F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
B. D2855 Molding Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings
- 15 SUBMITTALS
A. Procedure: Comply with Division I requirements.
B. Product Data: Submit copies of equipment manufacturer's specifications and literature for approval.
C. Project Record Documents
1. Comply with Division I requirements.
2. Locate by written dimension, routing of mainline piping, remote control valves and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
3. When dimensioning is complete, transpose work to mylar reproducible tracings. Tracings will be provided by Architect.
4. Submit completed tracings prior to final acceptance. Mark tracings "Record Prints Showing Significant Changes". Date and sign drawings.
5. Provide three complete operation manuals and equipment brochures neatly bound in a hard back three-ring binder. Include product data on all installed materials. Include warranties and guarantees extended to the Contractor by the manufacturer of all equipment.
D. Water Pressure: Prior to starting construction, determine if static water pressure is as stated on drawings. Confirm findings to Architect in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Architect.
E. Quick Coupler Keys: Provide 3 coupler keys with boiler drains attached using brass reducer.
F. Controller Keys: Provide two sets of keys to controller enclosures.
- 16 COORDINATION
A. Complete sleeve installation (not otherwise provided) in coordination with paving and other concrete pours.
B. Coordinate to ensure that electrical power source is in place.
C. Coordinate system installation with work specified in other Sections and coordinate with landscape installer to ensure plant material is uniformly watered in accordance with intent shown on drawings.
- 17 WARRANTY AND MAINTENANCE
A. Extend to the Owner warranties and guarantees provided by the manufacturer of all equipment used.
B. Fully warrant materials and workmanship for a minimum of one year after final acceptance.
C. Limit warranty to repair and replacement of defective materials and workmanship, including repair of backfill settlement.
- 18 CONNECTION TO DOMESTIC WATER SUPPLY
A. Complete connection to water supply in accordance with governing codes and regulations.
B. Secure any required permits which will be supplied by the City of Dallas at no cost to the Contractor.

PART 2 PRODUCTS

- 21 DEFINITIONS
A. Mainline: Piping from water source to operating valves. Hydrant lines and lines supplying quick coupling valves (QCV) are considered mainlines.
B. Lateral Piping: Piping from operating valves to sprinkler heads.
- 22 POLYVINYL CHLORIDE PIPE
A. Polyvinyl Chloride Pipe (PVC): Manufactured in accordance with standards noted.
1. Marking and Identification: Permanently marked with SDR-21, Class 200, ASTM standard number, and the NSF (National Sanitation Foundation) seal. Provide pipe free of blisters, internal striations, cracks, or other defects.
2. Mainline - Schedule 40
3. PVC Pipe Fittings - Schedule 40
4. Sleeves and laterals - Class 200.

B. Pipe Connection Materials:

- General: Do not use cross fittings. Separate fittings at least 12 inches. Use reduction tees, not reducer bushings. Allow 1'-6" outside of sleeves before first fitting.
- Slip fittings: Use primer and adhesive solvent. Cans of primers and solvents to have labels intact and stamped with date of manufacture. Cans dated over two years old will not be permitted. Do not thin primer or solvent.
- Threaded fittings: PVC to PVC, or PVC to copper, use Teflon tape.
- Flexible PVC: Use only solvents made for flexible pipe such as Uni-Fuse #20 by Sureguard Corporation.

2.3 COPPER PIPE MATERIALS

- A. Copper Tubing: Hard, straight length of Type "M" only. Provide pipe free of internal striations, cracks, or other defects. Copper tube of foreign extrusion or irrigation tubing (thin wall) will be rejected.
B. Copper Tube Fittings: Cast brass of wrought copper, sweat-solder type.
C. Pipe Connection Materials: Threaded fitting, copper to copper, copper to brass, copper to PVC, Teflon tape.

2.4 MISCELLANEOUS MATERIALS

- A. Wire: Type UF with 4/64 inches insulation, Underwriters Laboratory (UL) approved for direct underground burial in National Electrical Code Class II Circuit (30 volts AC or less). Size according to controller manufacturer's recommendations and consideration of length of run, but no smaller than #14. Use red for control wire and white for ground.
B. Nipples:
1. For lawn heads: Threaded polyethylene, nominal 1/2 inch by 6 inches.
2. For rotary heads: Use Lasco T 222-312, 3/4 in. swing joints.
C. Pea Gravel: Washed native aggregate graded 3/4 to 1-1/2 inches.

2.5 IRRIGATION EQUIPMENT: Refer to drawing notes and legend.

PART 3 EXECUTION

3.1 INSPECTION

- A. Examine areas to be sprinkled and conditions under which irrigation sprinkler system is to be installed.
B. Verify that interfacing work specified elsewhere is complete.
C. Notify Architect in writing of conditions detrimental to proper irrigation coverage and timely completion of work.
D. Do not proceed until conditions are satisfactory.

3.2 INSTALLATION

- A. General
1. Complete: Complete installation in strict accordance with manufacturer's recommendation which shall be considered a part of these specifications.
2. Staking: Stake location of each sprinkler for approval of Architect before proceeding. Do not exceed manufacturer's maximum spacing limits.
3. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs to avoid damage to plantings. Do not dig within balls of newly planted trees and shrubs.
4. Discrepancies
a. Point out any discrepancy between the drawings and the field conditions that may affect uniform coverage. Do not proceed until any design change made necessary by such discrepancy is approved.
b. Should such changes create extra cost, approval for extra compensation shall be obtained in writing before commencing work.
c. Should such changes create a savings in cost, a written reduction in the contract price shall be approved in writing before commencing work.
d. If Contractor fails to comply with a. above, and proceeds with the installation, then the Contractor assumes responsibility for cost of subsequent system modifications to assure that uniform water coverage is achieved.
B. Excavations: Excavations are unclassified and include earth, loose rock, or combinations, in wet or dry state. Backfill trenches with material removed except if rock is encountered, haul this material off site and backfill to ensure a minimum of 3 inches of rock free soil surrounding pipe.
C. Water Meter and Backflow Prevention: Refer to drawings.
- 3.3 PIPE INSTALLATION
A. General: Do not place more than two pipes in each trench.
B. Mainline Piping: Install in 4 inch wide trenches with minimum of 24 inches of cover over pipe.
C. Lateral Piping: Install in 4 in. wide trenches with minimum 24 inches of cover over pipe.
D. Trenching: Provide firm, uniform bearing for entire length of pipe to prevent uneven settlement. Wedging or blocking of pipe is not permitted. Remove foreign matter from inside of pipe before welding. Keep inside of piping clean during and after layout.
E. Inspection: Prior to trench backfill, arrange for the city inspector to review piping.
F. Backfill: Water jet and compact to prevent after settling. Hand rake trenches and adjoining areas to leave grade in condition equal to before installation.

PVC PIPE AND FITTINGS ASSEMBLY

- A. Solvent: Use solvent and procedures recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.
B. PVC to Metal Connections: Use Teflon tape.
C. Threaded PVC Connections: Use threaded PVC adapters into which pipe may be welded. Use Teflon tape on threads.

3.5 COPPER PIPE AND FITTINGS ASSEMBLY

- A. Clean pipe and fittings thoroughly and buff connections with sand paper to remove residue from pipe.
B. Flux pipe and fitting and solder connection using "No-Lead" solder.

3.6 REMOTE CONTROL AND GATE VALVES

- A. Provide valves in accordance with materials list and size according to drawings.
B. Install valves in a level position in accordance with manufacturer's specifications.
C. Center a plastic valve box, over valve, flush with finish grade. Provide valve box extensions as required.
D. Install 0.5 cubic feet washed pea gravel in bottom of valve box.

3.7 SPRINKLERS

- A. General: Provide in accordance with materials list, with nozzling in accordance with Drawings. Change nozzle degree and trajectory if wind conditions affect coverage. Receive approval from the Architect prior to any change. Install heads adjacent to walks and curbs 2 inches clear of paving.
B. Lawn Heads: Attach sprinklers to lateral piping with flexible PVC nipples. Firmly tamp soil around base plate and leave head plumb. Set top of sprinkler 1/4" above finish grade. Refer to drawing details.
C. Rotary Heads: Attach to lateral piping with pre-manufactured Lasco swing joint assemblies and schedule 80 PVC. Refer to drawing details.

3.8 QUICK COUPLING VALVES (QCV)

- A. Provide in accordance with materials list and as detailed on Drawings. Stake with galvanized pipe securely attached to QCV with two stainless steel worm gear clamps.

3.9 WIRING

- A. No conduit shall be required for UF wire, unless otherwise noted on Drawings. Tuck wire under piping.
B. Make wire connections with King connectors according to manufacturer's recommendations.
C. Provide a separate wire from controller to each electric valve. Provide a common neutral wire from controller to valves served by a particular controller, color coded white.
D. Provide a 36-inch long wire coil at valves.
E. Bundle wires together with waterproof electrical tape at ten foot intervals.
F. Do not splice wire between valve boxes unless approved by the Owner. If approved, complete splices within 10 in. around valve boxes.

3.10 TEMPERATURE SENSOR

- A. Exterior Controller: Securely mount sensor on bottom of controller. Remove bracket usually supplied with unit and reuse bolts.

3.11 CONTROLLERS

- Controllers are to be installed on the appropriate pedestal affixed to a permanent concrete pad via (4) bolts. All wiring is to enter the pedestal via gray PVC sweep elbows extending through the pad. Control wiring and 120-V services are to be separated with each having its own access elbow. Check town's electrical codes for proper 120-V service installation. All controllers are to be permanently wired for quick attachment of Irritrol RVC unit use Irritrol cable ADP-1. All controllers are to be properly and permanently wired with a miniclick freeze sensor or equal.

3.12 TESTING

- A. Notify Architect to review work 48 hours prior to testing pipe and fittings for leaks.
B. Test laterals and mains for a period of four hours under static pressure. If leaks (or pressure drops) occur, correct defect and repeat test.

3.13 FINAL ADJUSTMENT

- A. Make final adjustments of sprinkler system prior to Architect's final inspection.
B. Flush system by removing nozzles from heads.
C. Adjust sprinklers for proper operation and proper alignment for direction of throw.
D. Adjust each section for operating pressure and balance to other sections by use of flow adjustment on top of each valve. Correct operating pressure at last head of each section - 50 psi for rotary heads and 20 to 25 psi for spray heads.
E. Adjust nozzling for proper coverage. Prevailing wind conditions or slopes may indicate that arc of angle or trajectory of spray should be other than as shown on drawings. Change nozzles to provide correct coverage.

3.14 CLEANUP

- A. Keep premises clean and neat.

END OF SECTION

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Revisions
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IRRIGATION
SPECIFICATIONS

Sheet No. IR.3

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ISSUED FOR CONSTRUCTION
3/30/00