

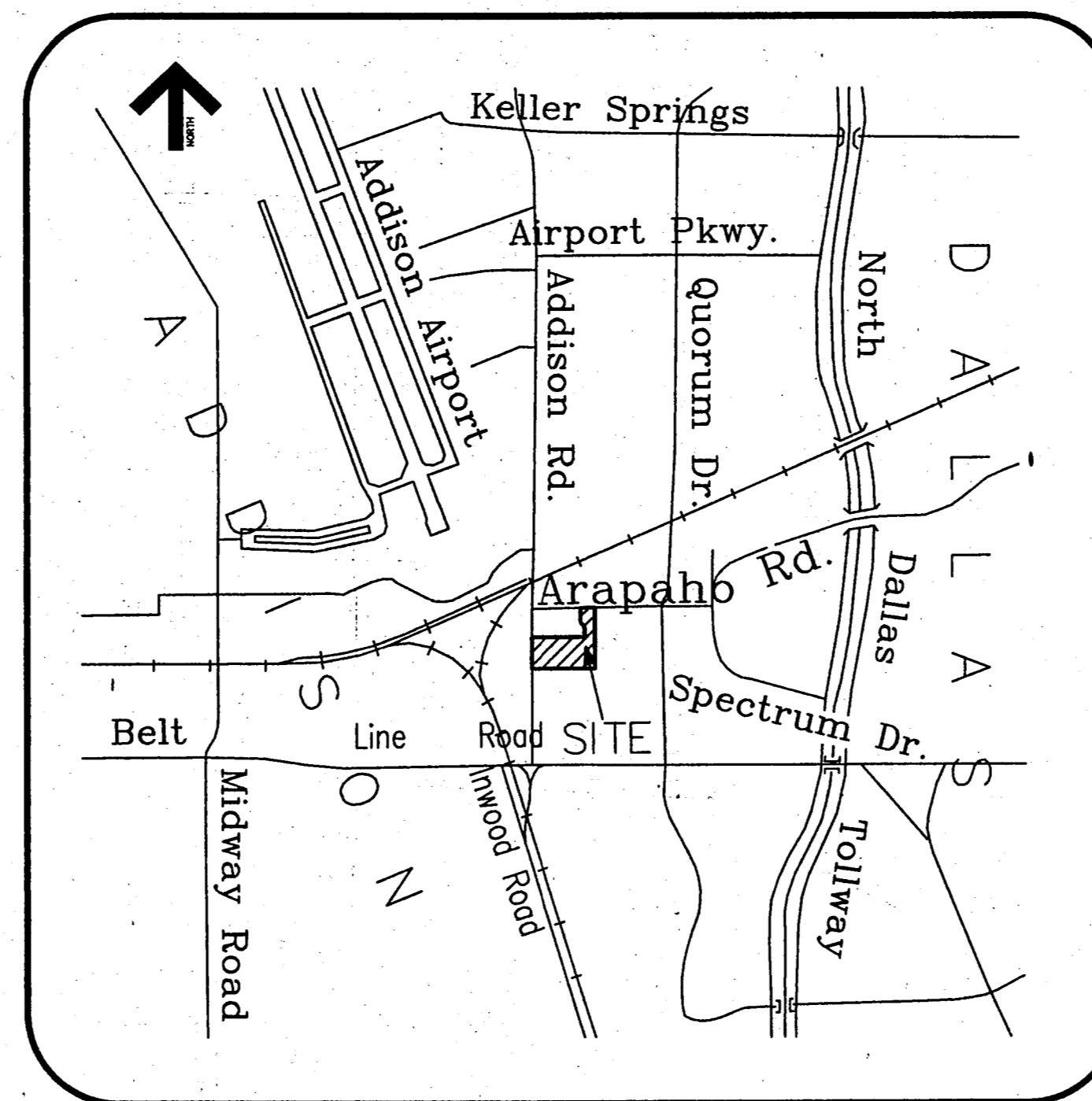
CONSTRUCTION PLANS FOR

MAINSTAY SUITES OF ADDISON ADDITION

ADDISON, TEXAS

GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison,
1. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
 2. The owner shall provide 1 reproducible set of as-built (sealed and certified by a Texas Registered Engineer) and 2 blue line sets.
 3. A five foot sidewalk shall be installed along the public streets. See attached detail.
 4. A one year 10% maintenance bond is required for the public infrastructure.
 5. Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
1. Town of Addison
 2. Lone Star Gas
 3. Southwestern Bell
 4. Storer Cable
 5. Planned Cable Systems
 6. TU Electric
- C. Prior to beginning construction, the owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at Block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron rod one-half inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monument shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
- F. The contractor shall stamp a 2-inch "S" and a 2-inch "W" in the curb at the location of the sewer service and water service lines, respectfully.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such streets receive final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a Registered Professional Engineer for the installation of utilities greater than five (5) feet in depth.
- M. All existing and proposed improvements (valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the contractor.



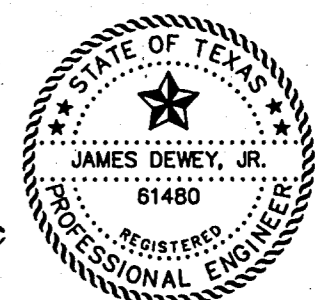
LOCATION MAP
NOT TO SCALE

SHEET LIST

- SUBDIVISION PLAT
- C1 SITE DIMENSIONAL CONTROL PLAN
 - C2 GRADING AND PAVING PLAN
 - C3 EROSION CONTROL PLAN
 - C4 PAVEMENT JOINT PATTERN PLAN
 - C5 UTILITY SERVICES PLAN
 - C6 PAVING AND EROSION CONTROL DETAILS

PREPARED BY:

James Dewey, Jr.
JAMES DEWEY, JR., P.E.
JDJR ENGINEERS AND CONSULTANTS



OWNER:

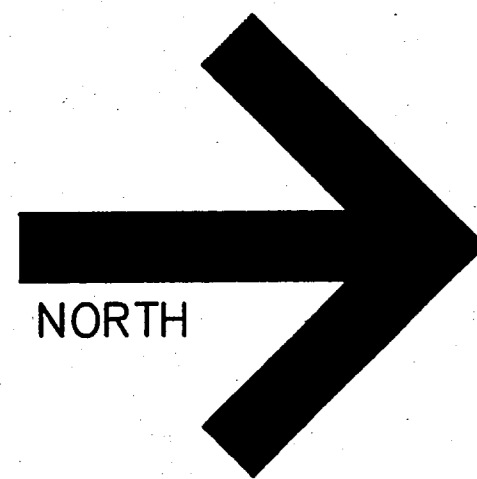
RAIL HOTELS CORPORATION
1839 FORT WORTH AVENUE
DALLAS, TEXAS 75208
TELEPHONE: (214) 742-3037
CONTACT: ISHWARBHAI A. DESAI

JDJR

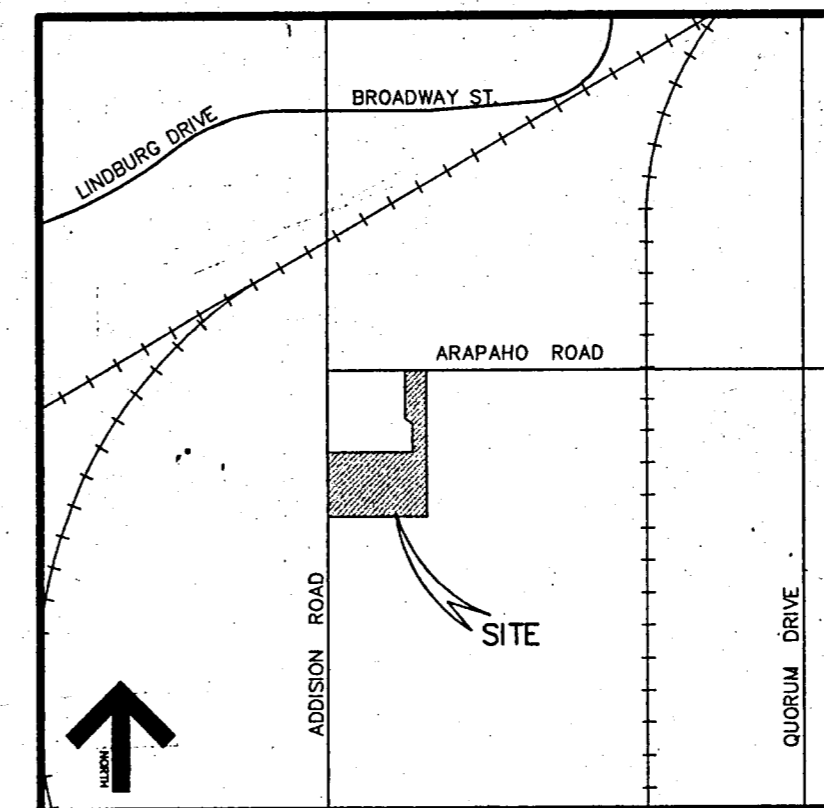
ENGINEERS AND CONSULTANTS

ENGINEERS • LAND PLANNERS • CAD DESIGNS

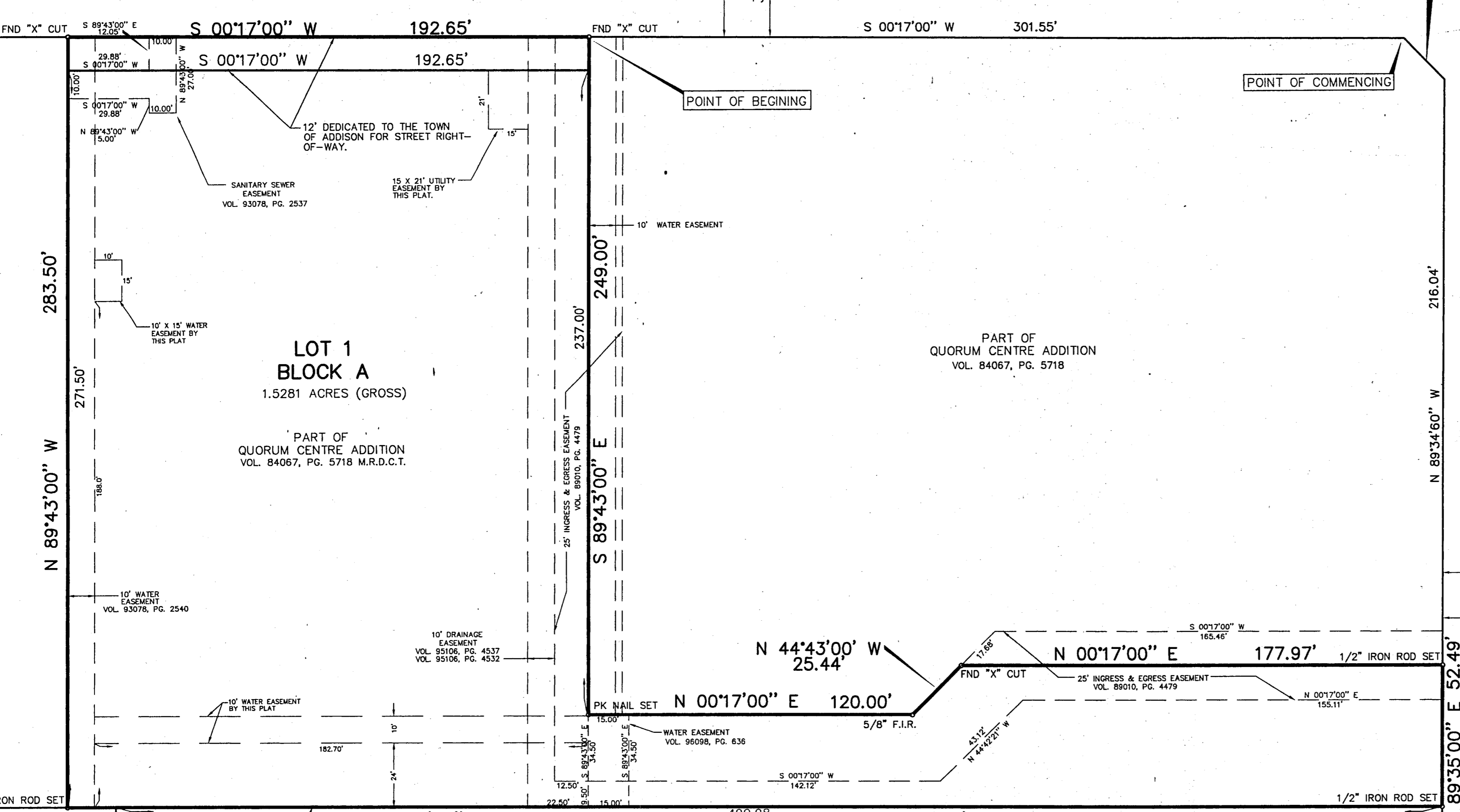
P. O. BOX 154327 Irving, Texas 75015-4327
Tel 972-255-1501 Fax 972-790-9470



ADDISON ROAD



LOCATION MAP
N.T.S.



LOT 1
BLOCK A
1.5281 ACRES (GROSS)

PART OF
QUORUM CENTRE ADDITION
VOL. 84067, PG. 5718

PART OF
QUORUM CENTRE ADDITION
VOL. 84067, PG. 5718 M.R.D.C.T.

PART OF
QUORUM CENTRE ADDITION
VOL. 84067, PG. 5718

LOT 1, BLOCK A
PART OF
SUMMERFIELD/ARAPAHO/ADDISON ADDITION
VOL. 95119, PG. 4232

CERTIFICATE OF APPROVAL
MAYOR, TOWN OF ADDISON _____
CITY SECRETARY _____
VOLUME _____ PAGE _____

FILED _____
VOL. _____ PG. _____ M.R.D.C.T.

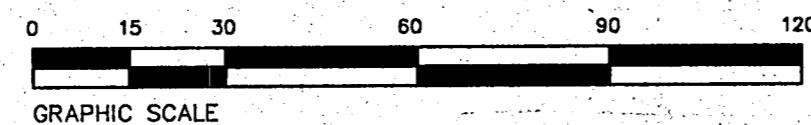
FINAL PLAT

MAINSTAY SUITES OF ADDISON ADDITION

AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
AND BEING A REPLAT OF A PORTION OF QUORUM CENTRE ADDITION

OWNER:
RAIL HOTELS CORPORATION
1839 FORT WORTH AVENUE
DALLAS, TEXAS 75208
TELEPHONE: (214) 742-3037
FAX: (214) 742-3037
CONTACT: ISHWARBHAI A. DESAI

SEPTEMBER 1998
SCALE: 1"=30'



JDJR ENGINEERS AND CONSULTANTS
ENGINEERS • LAND PLANNERS • CAD DESIGNS
2506 Texas Drive - Suite 109, Irving, Texas 75062
Tel: 972-252-3081(6357) Fax: 972-273-8860 98-045

OWNER'S CERTIFICATE

STATE OF TEXAS (X)
COUNTY OF DALLAS (X)
CITY OF ADDISON (X)

WHEREAS WE, RAIL HOTELS CORPORATION, are the Owners of a 1.5812 acre tract of land situated in the G. W. Fisher Survey, Abstract No. 482, said tract also being a part of QUORUM CENTRE ADDITION, an addition to the Town of Addison according to the plat recorded in Volume 86067, Page 5718 of the Deed Records of Dallas County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a point for corner at the most southerly corner of a corner clip at the intersection of the south right-of-way line of Arapaho Road (having a 60 foot wide right-of-way) with the east right-of-way line of Addison Road (having a 60 foot wide right-of-way);

THENCE South 00 degrees 17 minutes 00 seconds West along the said east right-of-way line of Addison Road for a distance of 301.50 feet to a chiseled 'X' in concrete found for corner, same point being the POINT OF BEGINNING;

THENCE South 89 degrees 43 minutes 00 seconds East departing the said east right-of-way line of Addison Road for a distance of 249.00 feet to a PK nail set for corner;

THENCE North 00 degrees 17 minutes 00 seconds East for a distance of 120.00 feet to an iron rod found for corner;

THENCE North 44 degrees 43 minutes 00 seconds West for a distance of 25.44 feet to a chiseled 'X' in concrete found for corner;

THENCE North 00 degrees 17 minutes 00 seconds East for a distance of 177.97 feet to a chiseled 'X' in concrete found for corner in the south right-of-way line of Arapaho Road;

THENCE South 89 degrees 35 minutes 00 seconds East along the said south right-of-way line of Arapaho Road for a distance of 52.48 feet to a 1/2" iron rod set for corner, the same point being the northwest corner of Lot 1, Block A of SUMMERFIELD/ARAPAHO/ADDISON ADDITION, an addition to the Town of Addison according to the plat recorded in Volume 95119 at Page 4232 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 17 minutes 00 seconds West along the west line of said Lot 1 for a distance of 490.98 feet to the southwest corner of said Lot 1 and continuing along the same line for a total distance of 508.49 feet to a 1/2" iron rod set for corner, the same point being the northeast corner of ADDISON ROAD QUORUM ADDITION, an addition to the Town of Addison according to the plat recorded in Volume 93041 at Page 2824 of the Deed Records of Dallas County, Texas;

THENCE North 89 degrees 43 minutes 00 seconds West along the north line of said ADDISON ROAD QUORUM ADDITION for a distance of 283.50 feet to a chiseled 'X' in concrete found for corner in the east right-of-way line of Addison Road;

THENCE North 00 degrees 17 minutes 00 seconds East along the said east right-of-way line of Addison Road for a distance of 192.65 feet to the POINT OF BEGINNING;

CONTAINING 1.5812 acres of land, more or less.

That RAIL HOTELS Corporation ("Owner") does hereby adopt this plat designating the hereinabove property as MAINSTAY SUITES OF ADDISON ADDITION, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas, cable, television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creeks or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of the water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to Channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to this property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substances which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed, or placed upon, over or across the utility easements as shown; provided, however, that owner shall at its sole cost and expense be responsible, under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, clean outs, fire hydrants, water services and sewer services from the main curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting, ordinances, rules, regulations, and resolutions of the Town of Addison, Texas.

Rail Hotels Corporation
ISHWARBHAI A. DESAI, VICE-PRESIDENT

Notary Public (X)
State of Texas (X)
BEFORE ME, the undersigned authority, a Notary Public in and for said State, on this date personally appeared ISHWARBHAI A. DESAI, VICE-PRESIDENT of RAIL HOTELS CORPORATION, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to that the same was the act of the said corporation, that he was duly authorized to perform the same by appropriate resolution of the Board of Directors of such Corporation and that he executed the same as the act of such Corporation for the purposes and consideration therein expressed, and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____ 1998.

Notary Public in and for the State
Texas

SURVEYOR'S CERTIFICATE (X)
THAT I, JAMES DEWEY, do hereby certify that I prepared this plat from an actual and accurate survey on the ground of property and that all block monuments and corners were placed under my personal supervision.

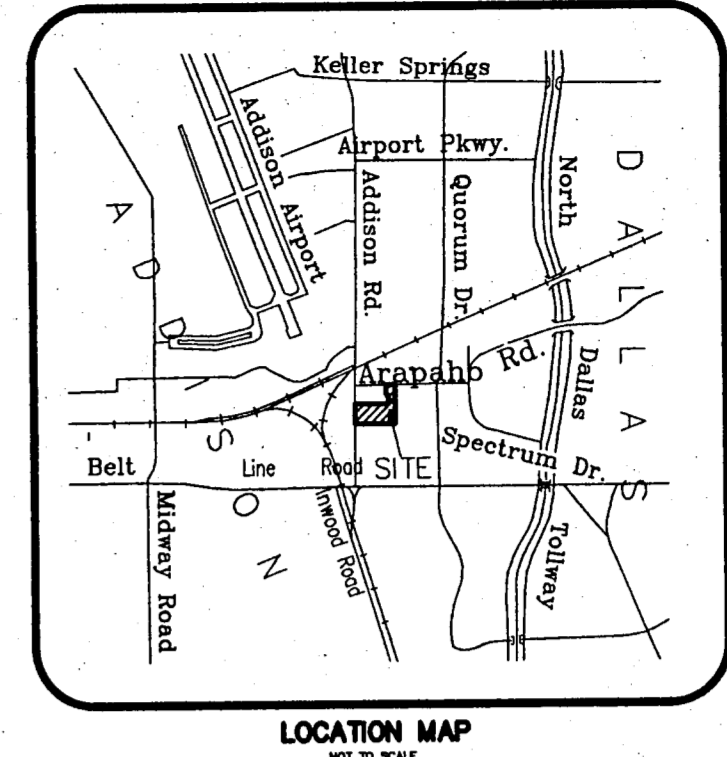
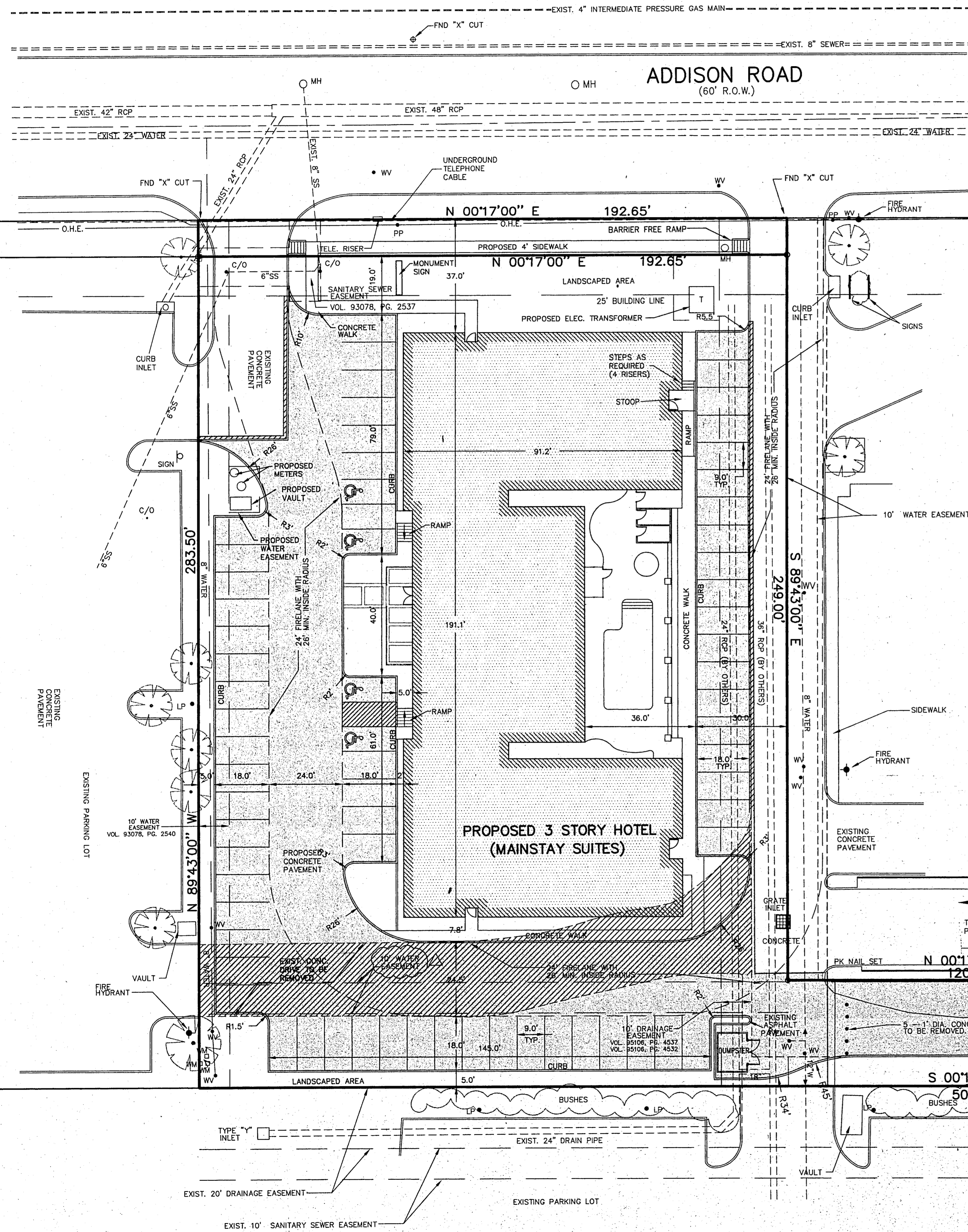
JAMES DEWEY
REGISTERED PROFESSIONAL
SURVEYOR NO.1641

Notary Public (X)
State of Texas (X)
BEFORE ME, the undersigned, a Notary Public in and for said State on this date personally appeared JAMES DEWEY, known to me personally to be the person whose name is for the foregoing instrument and acknowledged to me that he executed the same GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____ 1998.

Linda J. Steward
Notary PUBLIC IN AND FOR THE
STATE OF TEXAS
My commission Expires: 12-06-98

JDJR FILE NO. 98045

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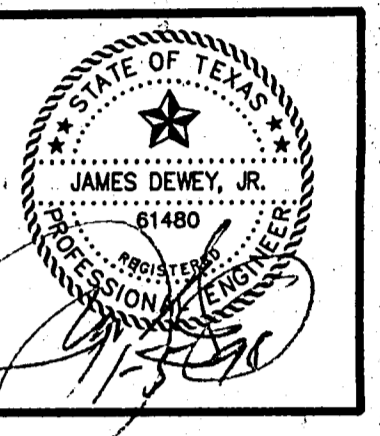
NOTES:

1. ALL CONSTRUCTION TO BE DONE IN STRICT ACCORDANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
2. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED
3. SEE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
4. SEE SHEET C2 FOR ALL PAVING AND GRADING PLANS
5. SEE SHEET C3 FOR EROSION CONTROL PLANS
6. SEE SHEET C4 FOR PAVEMENT JOINT LOCATIONS AND DETAILS
7. SEE SHEET C5 FOR LOCATIONS AND DETAILS OF UTILITY SERVICES TO BUILDING
8. SEE SHEET C6 FOR PAVING & EROSION CONTROL DETAILS.

NOTES:

- INDICATES EXISTING CONCRETE PAVEMENT TO BE REMOVED
- INDICATES NEW CONCRETE PAVEMENT

JDJR ENGINEERS & CONSULTANTS, INC.
 ENGINEERS • LAND PLANNERS • CAD DESIGNS
 2505 Texas Drive, Suite 109, Irving, Texas 75062
 Tel. 972-262-1249 (6357) Fax. 972-273-8860



PROJECT: MAINSTAY SUITES OF ADDISON ADDITION
 BELTLINE ROAD
 ADDISON, TEXAS

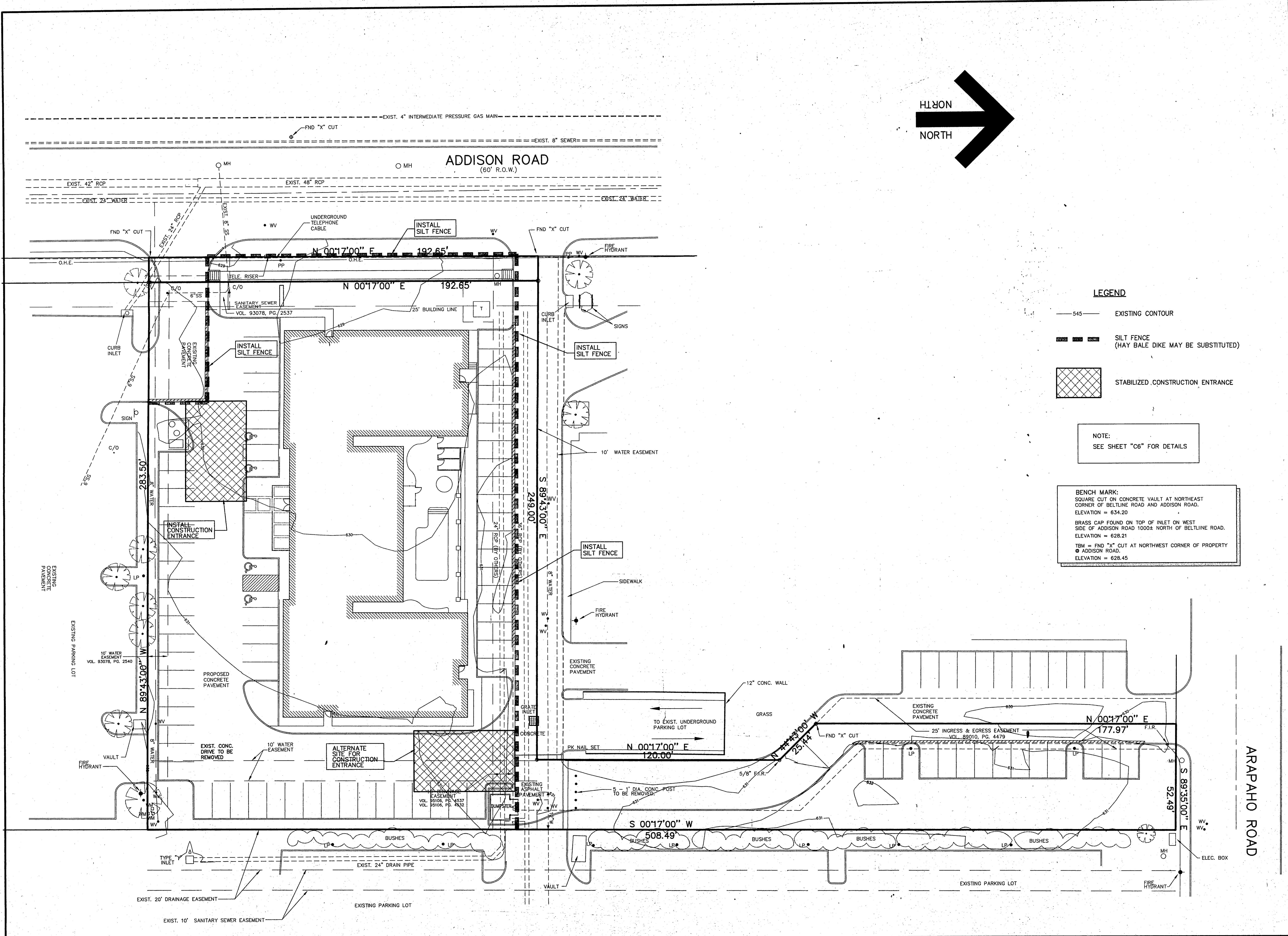
REVISIONS:

DATE	REVISION
11/02/98	PUBLIC WORKS COMMENTS

SHEET TITLE
 SITE DIMENSIONAL CONTROL PLAN
 DATE: 09/11/98
 SCALE: 1" = 20'
 DRAWN BY: J.N.M.
 CHECKED BY: JDJR
 SHEET NO.
C1 OF 6
 JDJR FILE NO. 98-045

ARAPAHO ROAD

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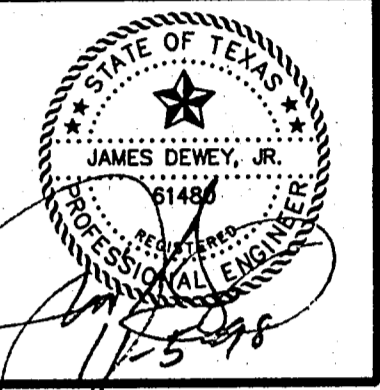
LEGEND

- 545 — EXISTING CONTOUR
- [Symbol] — SILT FENCE (HAY BALE DIKE MAY BE SUBSTITUTED)
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE

NOTE:
SEE SHEET "C6" FOR DETAILS

BENCH MARK:
SQUARE CUT ON CONCRETE VAULT AT NORTHEAST CORNER OF BELTLINE ROAD AND ADDISON ROAD.
ELEVATION = 634.20
BRASS CAP FOUND ON TOP OF INLET ON WEST SIDE OF ADDISON ROAD 1000± NORTH OF BELTLINE ROAD.
ELEVATION = 628.21
TBM = FND "X" CUT AT NORTHWEST CORNER OF PROPERTY @ ADDISON ROAD.
ELEVATION = 628.45

JDR ENGINEERS & CONSULTANTS, INC.
ENGINEERS • LAND PLANNERS • CAD DESIGNS
2505 Texas Drive Suite 109 Irving, Texas 75062
Tel. 972-262-JDR (5357) Fax. 972-278-8860



PROJECT: MAINSTAY SUITES OF ADDISON ADDITION
BELTLINE ROAD
ADDISON, TEXAS

REVISIONS:

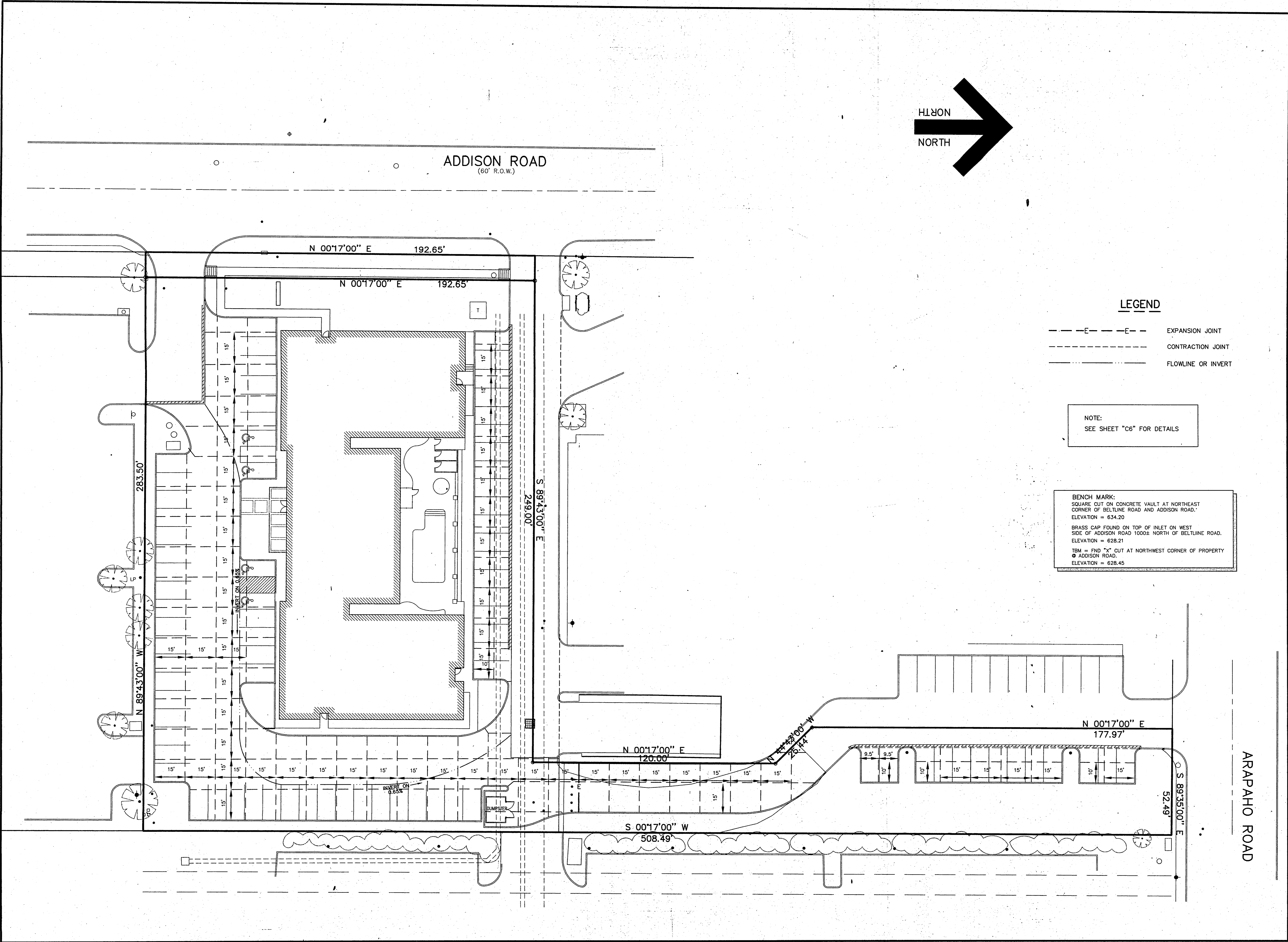
DATE	REVISION
11/02/98	PUBLIC WORKS COMMENTS

SHEET TITLE
EROSION CONTROL PLAN

DATE: 09/11/98
SCALE: 1" = 20'
DRAWN BY: J.N.M.
CHECKED BY: JDR
SHEET NO.
C3 of 6
JDR FILE NO. 98-045

ARAPAH0 ROAD

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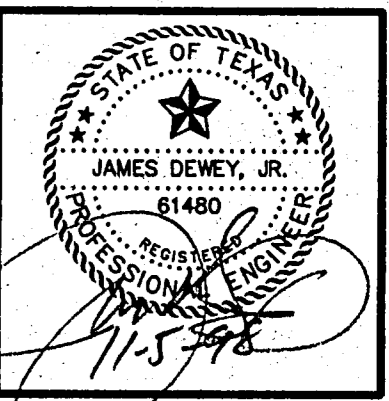
LEGEND

- E---E--- EXPANSION JOINT
- CONTRACTION JOINT
- FLOWLINE OR INVERT

NOTE:
SEE SHEET "C6" FOR DETAILS

BENCH MARK:
SQUARE CUT ON CONCRETE VAULT AT NORTHEAST CORNER OF BELTLINE ROAD AND ADDISON ROAD.
ELEVATION = 634.20
BRASS CAP FOUND ON TOP OF INLET ON WEST SIDE OF ADDISON ROAD 1000± NORTH OF BELTLINE ROAD.
ELEVATION = 628.21
TBM = FND "X" CUT AT NORTHWEST CORNER OF PROPERTY
@ ADDISON ROAD.
ELEVATION = 628.45

JDJR ENGINEERS & CONSULTANTS, INC.
ENGINEERS • LAND PLANNERS • CAD DESIGNS
2505 Texas Drive Suite 09 Irving, Texas 75002
Tel: 972-252-JDJR (6357) Fax: 972-273-8880



PROJECT:
MAINSTAY SUITES OF ADDISON ADDITION
BELTLINE ROAD
ADDISON, TEXAS

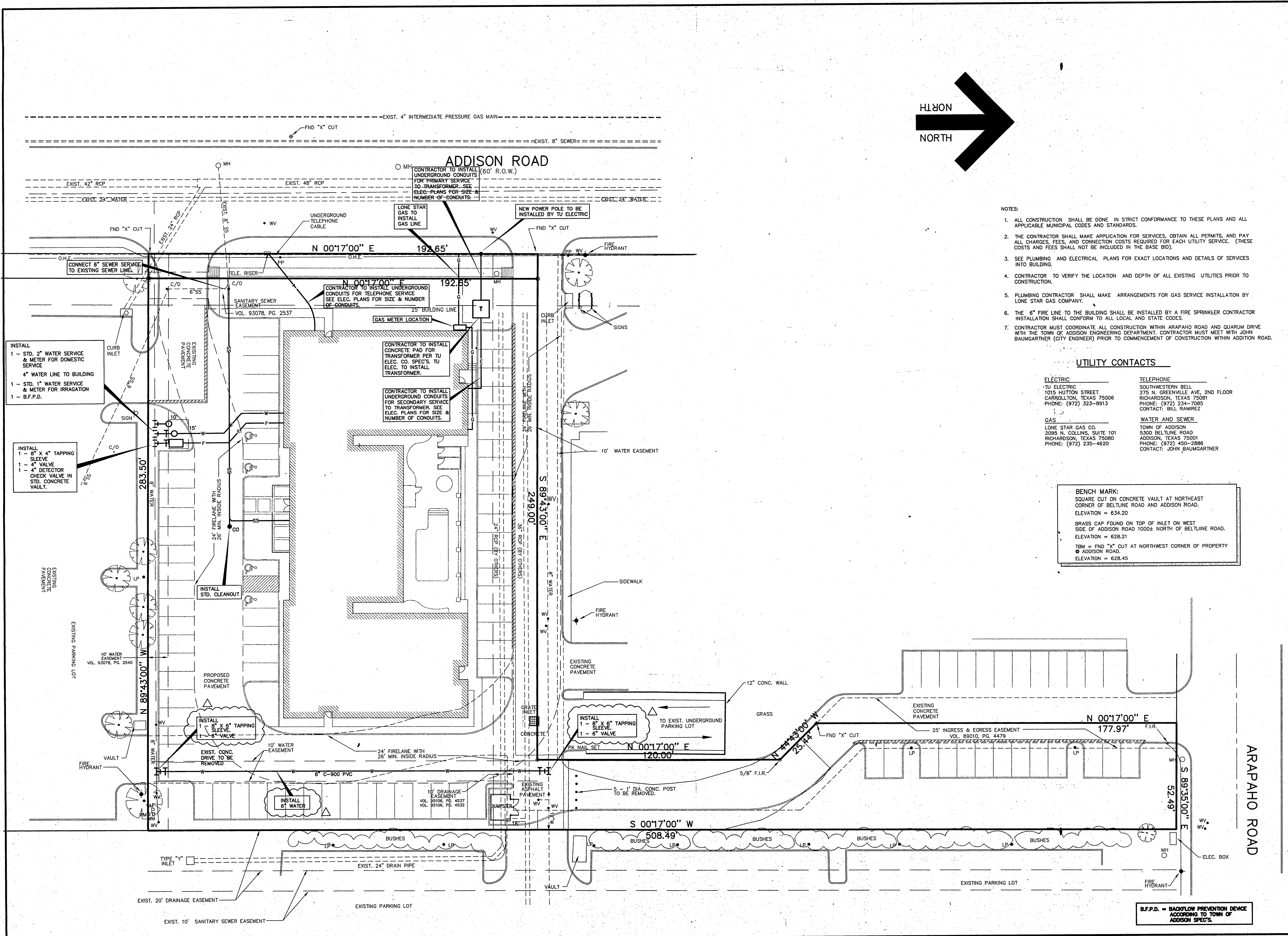
REVISIONS:

DATE	REVISION
11/02/98	PUBLIC WORKS COMMENTS

SHEET TITLE
JOINT
PATTERN
PLAN

DATE: 09/11/98
SCALE: 1" = 20'
DRAWN BY: J.N.M.
CHECKED BY: JDJR
SHEET NO.
C4 of 6
JDJR FILE NO. 98-045

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- NOTES:
- ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
 - THE CONTRACTOR SHALL MAKE APPLICATION FOR SERVICES, OBTAIN ALL PERMITS, AND PAY ALL CHARGES, FEES, AND CONNECTION COSTS REQUIRED FOR EACH UTILITY SERVICE. (THESE COSTS AND FEES SHALL NOT BE INCLUDED IN THE BASE BID).
 - SEE PLUMBING AND ELECTRICAL PLANS FOR EXACT LOCATIONS AND DETAILS OF SERVICES INTO BUILDING.
 - CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - PLUMBING CONTRACTOR SHALL MAKE ARRANGEMENTS FOR GAS SERVICE INSTALLATION BY LONE STAR GAS COMPANY.
 - THE 6" FIRE LINE TO THE BUILDING SHALL BE INSTALLED BY A FIRE SPRINKLER CONTRACTOR. INSTALLATION SHALL CONFORM TO ALL LOCAL AND STATE CODES.
 - CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITHIN ARAPAHO ROAD AND QUARUM DRIVE WITH THE TOWN OF ADDISON ENGINEERING DEPARTMENT. CONTRACTOR MUST MEET WITH JOHN BAUMGARTNER (CITY ENGINEER) PRIOR TO COMMENCEMENT OF CONSTRUCTION WITHIN ADDISON ROAD.

UTILITY CONTACTS

ELECTRIC
 TU ELECTRIC
 1015 HUTTON STREET
 CARROLLTON, TEXAS 75006
 PHONE: (972) 323-8913

TELEPHONE
 SOUTHWESTERN BELL
 275 N. GREENVILLE AVE, 2ND FLOOR
 RICHARDSON, TEXAS 75081
 PHONE: (972) 234-7085
 CONTACT: BILL RAMIREZ

GAS
 LONE STAR GAS CO.
 2095 N. COLLINS, SUITE 101
 RICHARDSON, TEXAS 75080
 PHONE: (972) 235-4620

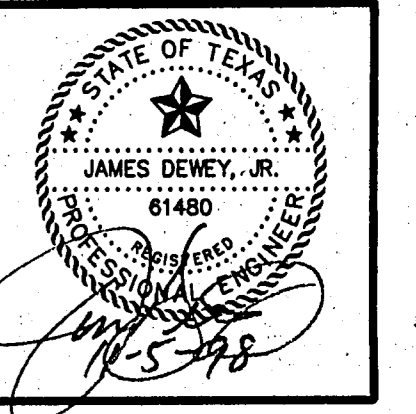
WATER AND SEWER
 TOWN OF ADDISON
 5300 BELTLINE ROAD
 ADDISON, TEXAS 75001
 PHONE: (972) 450-2886
 CONTACT: JOHN BAUMGARTNER

BENCH MARK:
 SQUARE CUT ON CONCRETE VAULT AT NORTHEAST CORNER OF BELTLINE ROAD AND ADDISON ROAD.
 ELEVATION = 634.20

BRASS CAP FOUND ON TOP OF INLET ON WEST SIDE OF ADDISON ROAD 1000± NORTH OF BELTLINE ROAD.
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TBM = FND "X" CUT AT NORTHWEST CORNER OF PROPERTY @ ADDISON ROAD.
 ELEVATION = 628.45

JDJR ENGINEERS & CONSULTANTS, INC.
 ENGINEERS • LAND PLANNERS • CAD DESIGNS
 2505 Texas Drive Suite 109 Irving, Texas 76092
 Tel: 972-252-0387 Fax: 972-273-8880



PROJECT: MAINSTAY SUITES OF ADDISON ADDITION
 BELTLINE ROAD
 ADDISON, TEXAS

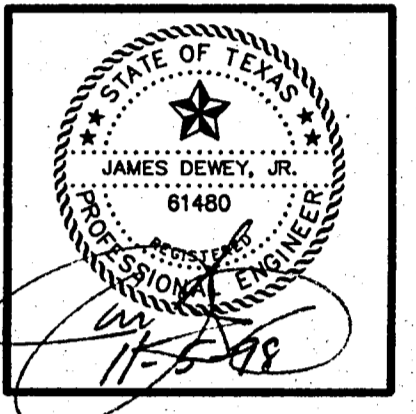
REVISIONS:

DATE	REVISION
11/02/98	PUBLIC WORKS COMMENTS

SHEET TITLE
 UTILITY SERVICES PLAN

DATE: 09/11/98
 SCALE: 1" = 20'
 DRAWN BY: J.N.M.
 CHECKED BY: JDJR
 SHEET NO.
C5 OF **6**
 JDJR FILE NO. 98-045

B.F.P.D. = BACKFLOW PREVENTION DEVICE ACCORDING TO TOWN OF ADDISON SPECS.

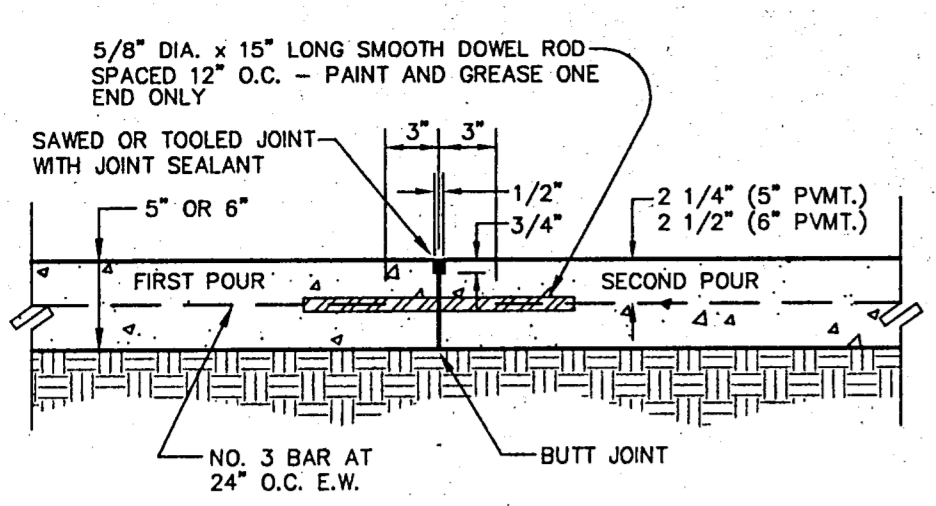


PROJECT: **MAINSTAY SUITES OF ADDISON ADDITION**
BELTLINE ROAD
ADDISON, TEXAS

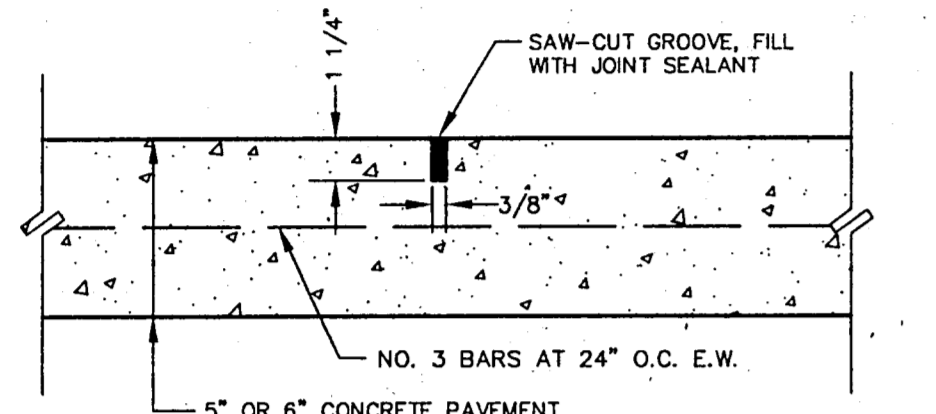
REVISIONS:	
DATE	REVISION
11/02/98	PUBLIC WORKS COMMENTS

SHEET TITLE
DETAIL SHEET

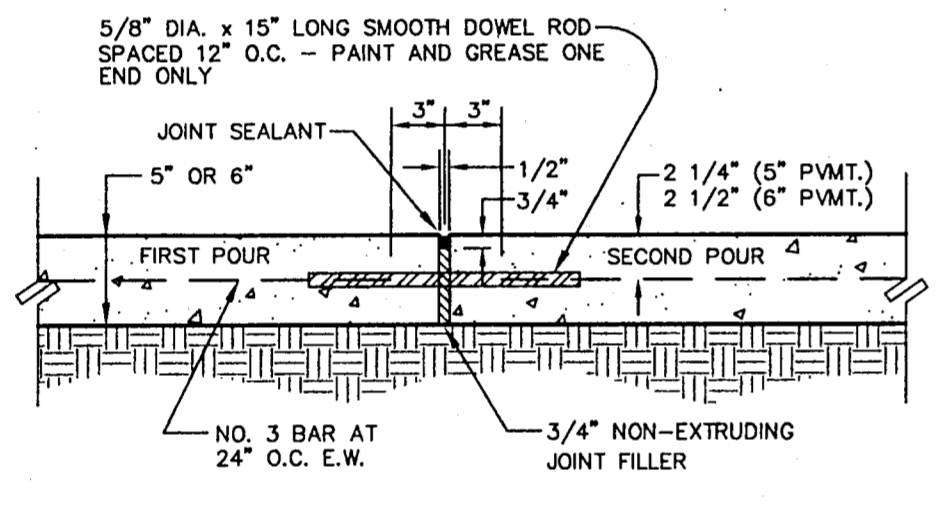
DATE: 09/11/98
 SCALE: 1" = 20'
 DRAWN BY: J.N.M.
 CHECKED BY: JDJR
 SHEET NO.
C6 OF 6
 JDJR FILE NO. 98-045



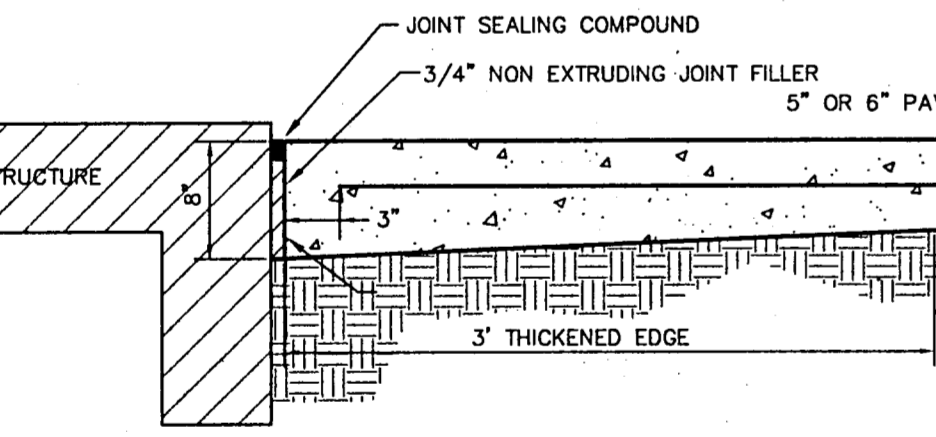
CONSTRUCTION JOINT DETAIL
 NOT TO SCALE



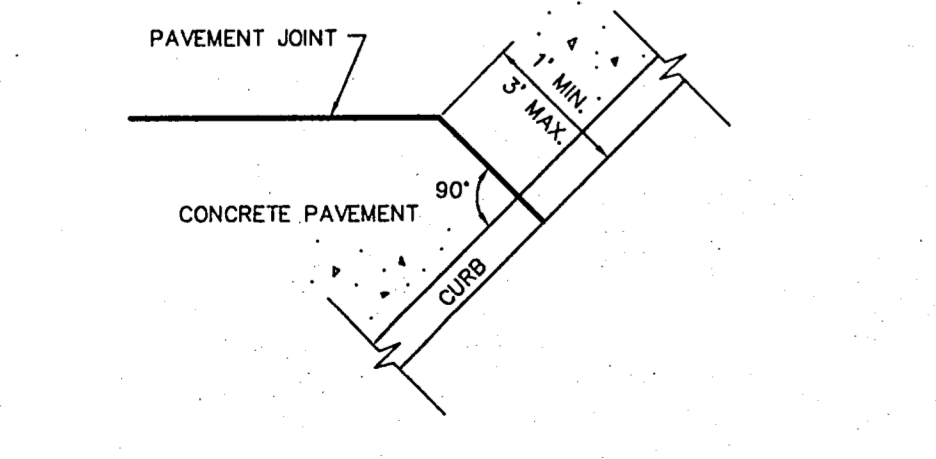
CONTRACTION JOINT DETAIL
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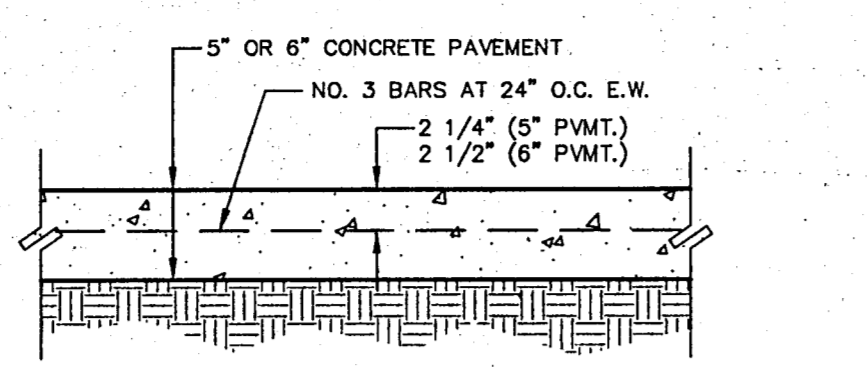
EXPANSION JOINT DETAIL
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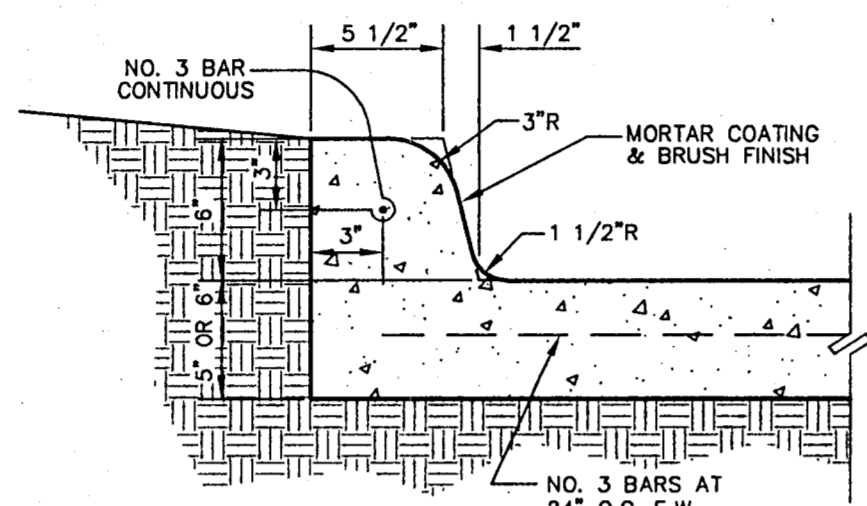
EXPANSION JOINT AT STRUCTURE DETAIL
 NOT TO SCALE



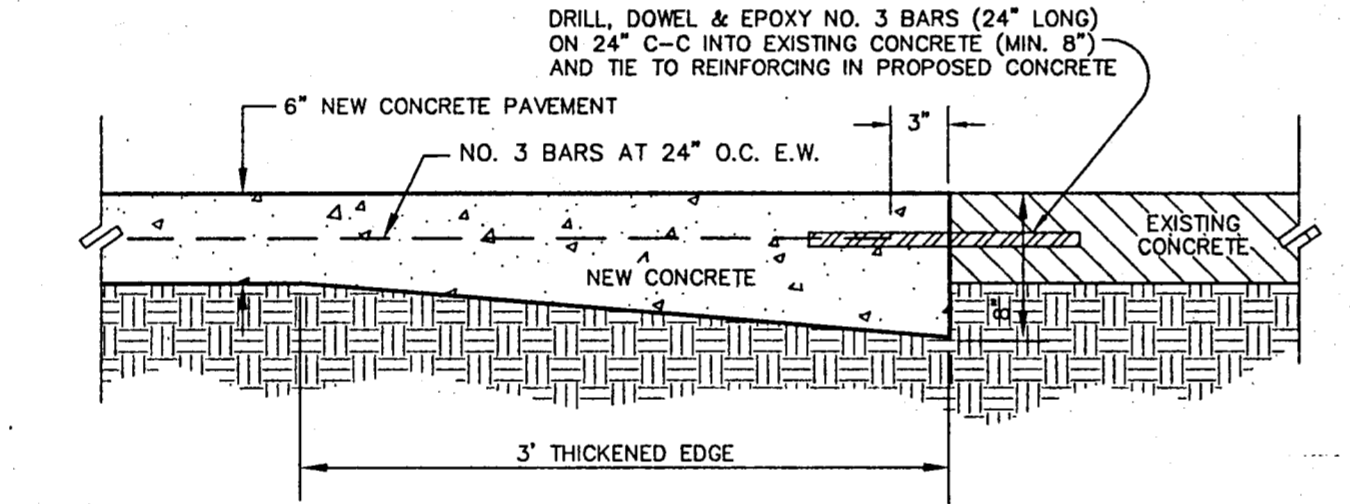
DETAIL OF PAVEMENT JOINT AT CURB
 NOT TO SCALE



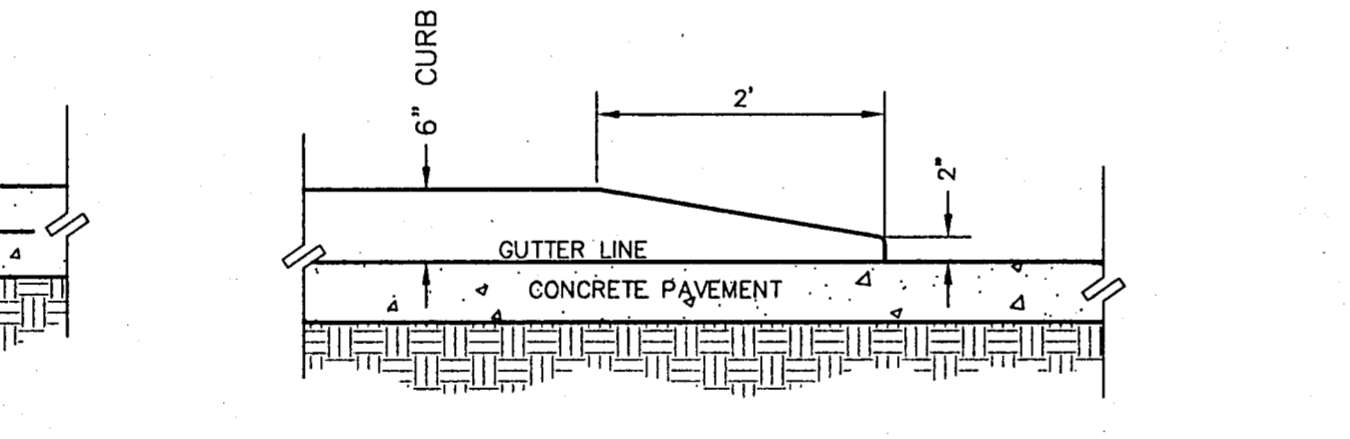
CONCRETE PAVEMENT SECTION DETAIL
 NOT TO SCALE



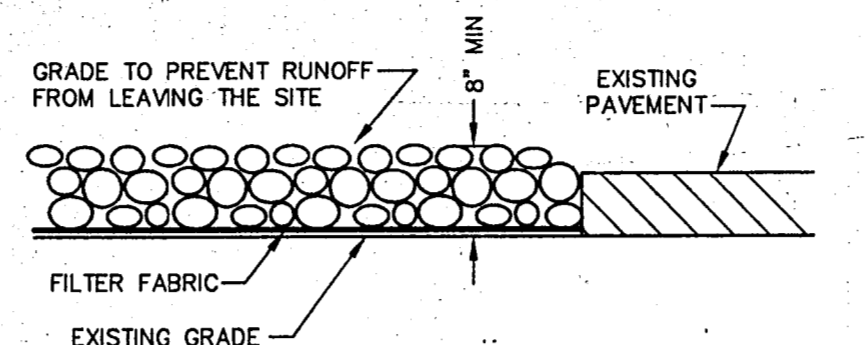
INTEGRAL CURB DETAIL
 NOT TO SCALE



NEW CONCRETE TO EXISTING CONCRETE DETAIL
 NOT TO SCALE

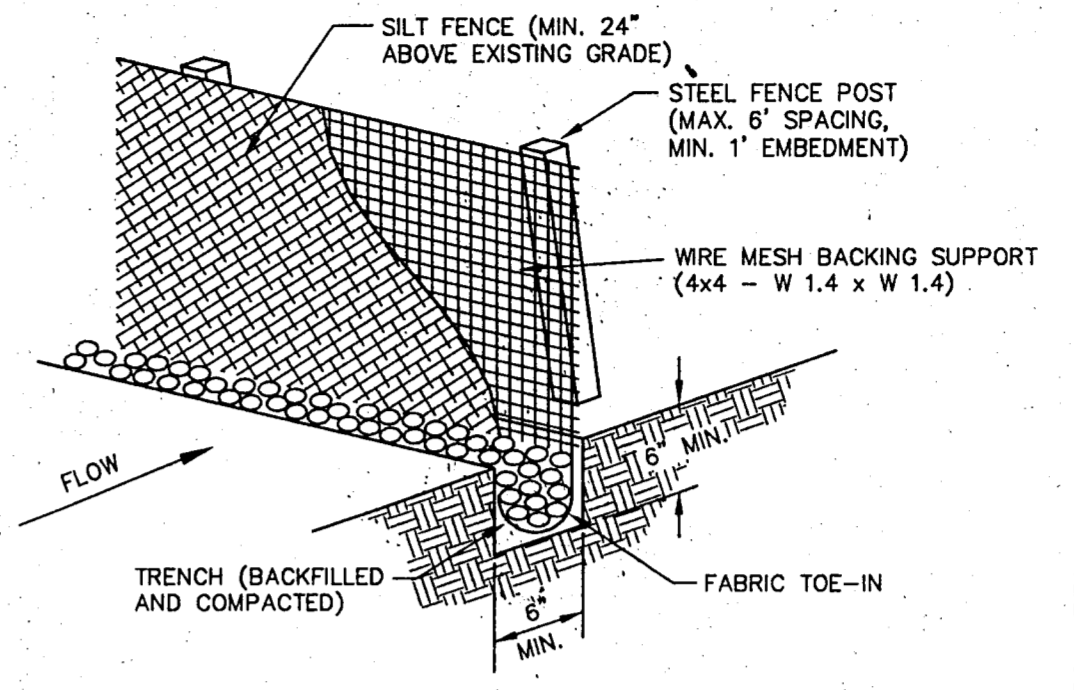


CURB TERMINAL DETAIL
 NOT TO SCALE



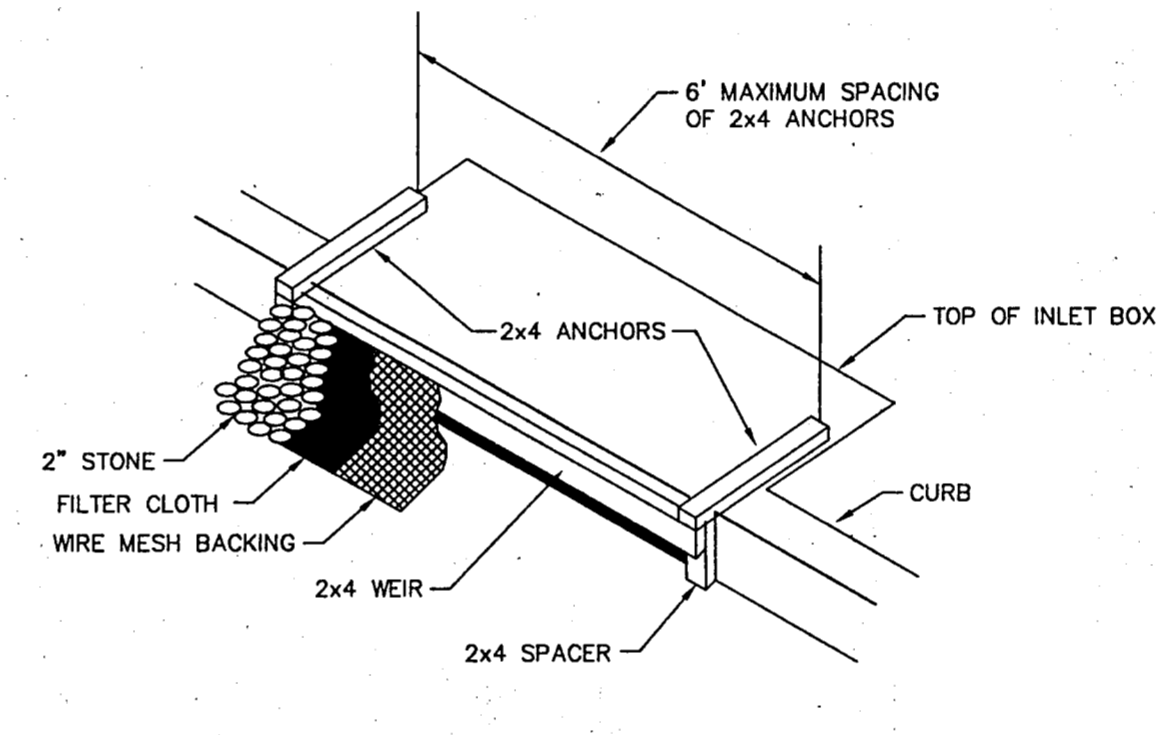
- NOTES:
- STONE SIZE - 3 TO 5 INCHES CRUSHED ROCK.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50', UNLESS DEPTH OF LOT IS LESS THAN 150' FROM THE EDGE OF PAVEMENT WHERE LENGTH MUST ONLY BE 30'.
 - THICKNESS SHALL NOT BE LESS THAN 8\".
 - WIDTH SHALL NOT BE LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY, MUST BE REMOVED IMMEDIATELY.
 - DRAINAGE - ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE



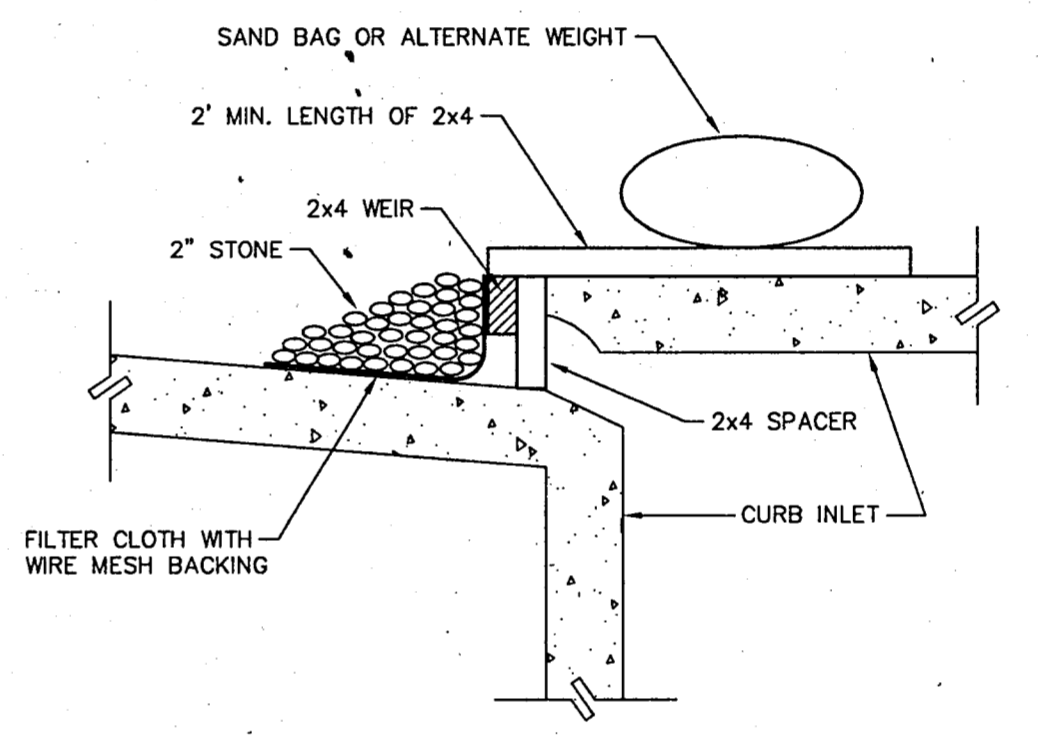
SILT FENCE DETAIL
 NOT TO SCALE

- SILT FENCE NOTES:
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE TRENCH CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER TRENCH.
 - THE TRENCH MUST BE A MIN. OF 6\"/>

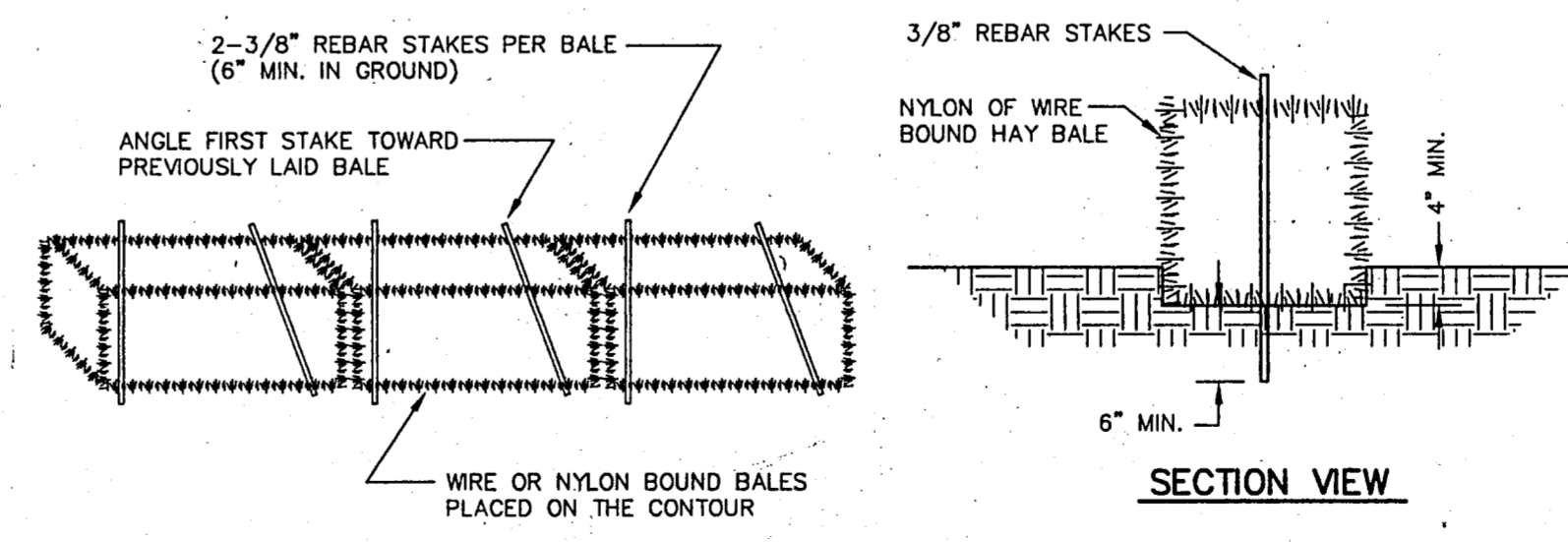


- NOTES:
- WOODEN FRAME IS TO BE CONSTRUCTED OF 2x4 CONSTRUCTION GRADE LUMBER.
 - WIRE MESH BACKING MUST BE OF SUFFICIENT STRENGTH TO SUPPORT FILTER FABRIC, AND STONE FOR CURB INLETS, WITH WATER FULLY IMPOUNDED AGAINST IT.
 - FILTER CLOTH MUST BE OF A TYPE APPROVED FOR THIS PURPOSE, RESISTANT TO SUNLIGHT WITH SIEVE SIZE, E05, 40-85, TO ALLOW SUFFICIENT PASSAGE OF WATER AND REMOVAL OF SEDIMENT.
 - STONE IS TO 2\"/>

CURB INLET PROTECTION DETAIL

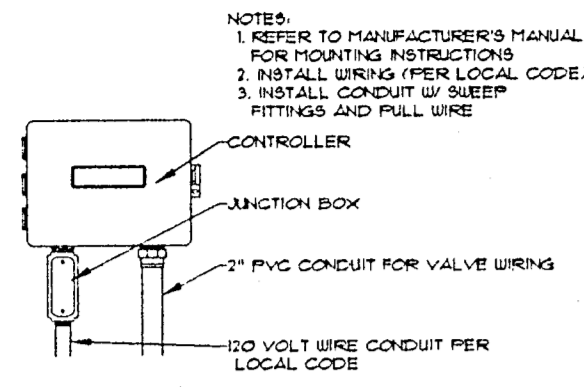


- FORM THE WIRE MESH AND FILTER CLOTH TO THE CONCRETE GUTTER AND AGAINST THE FACE OF CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN STONE OVER THE FILTER CLOTH IN SUCH A MANNER AS TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE CLOTH.
- THIS TYPE OF INLET PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT.
- ASSURE THAT STORM FLOW DOES NOT BYPASS INLET BY INSTALLING TEMPORARY EARTH OR ASPHALT DIKES DIRECTING FLOW INTO INLET.

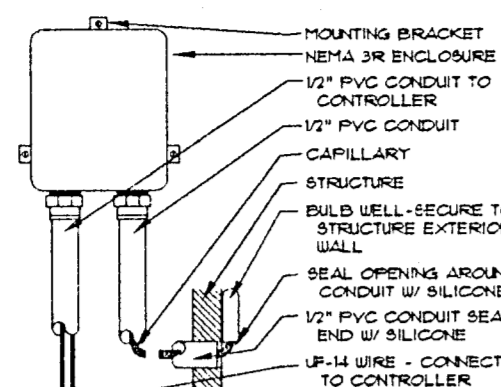


- GENERAL NOTES:
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY A 3/8\"/>

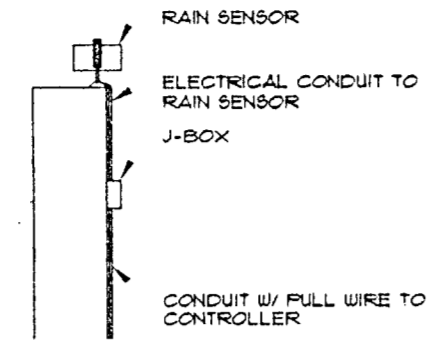
HAY BALE DIKE DETAILS



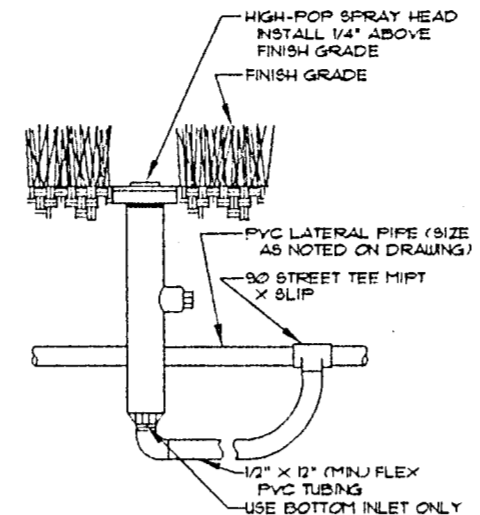
WALLMOUNT CONTROLLER



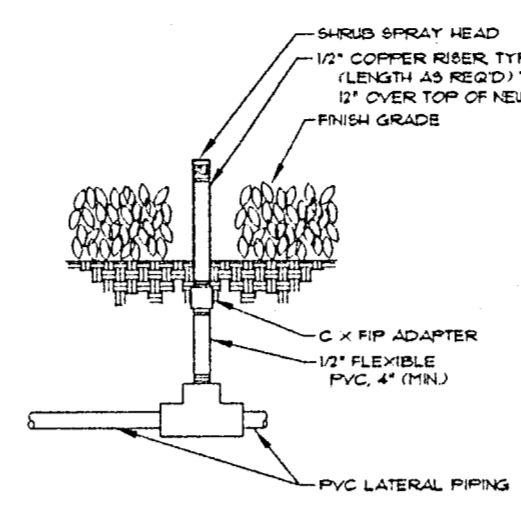
TEMPERATURE SENSOR



RAIN STAT

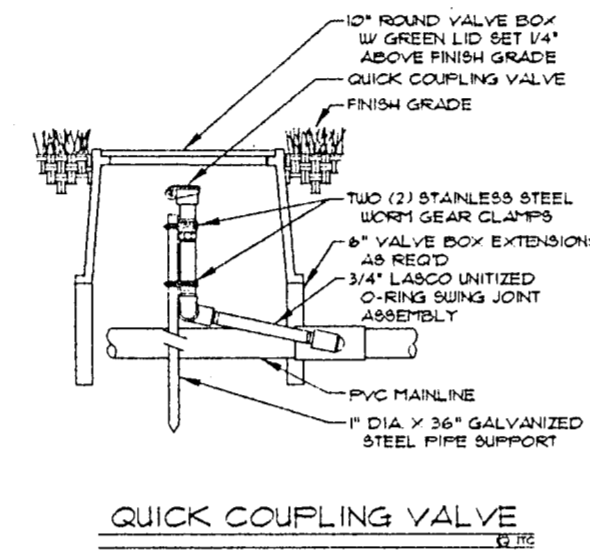


HIGH-POP SPRAY HEAD

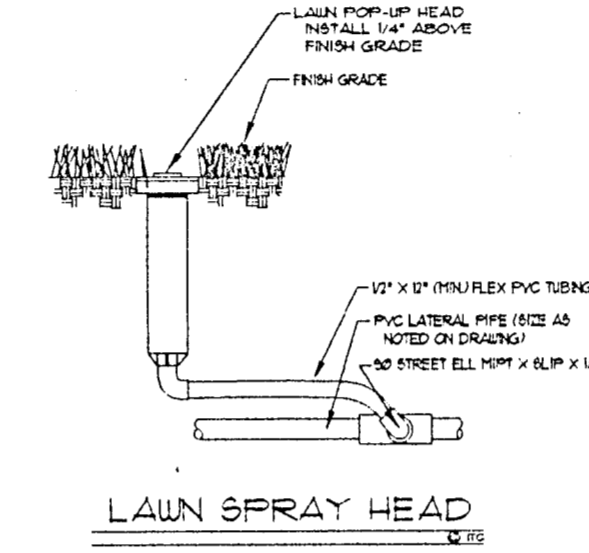


SHRUB SPRAY HEAD

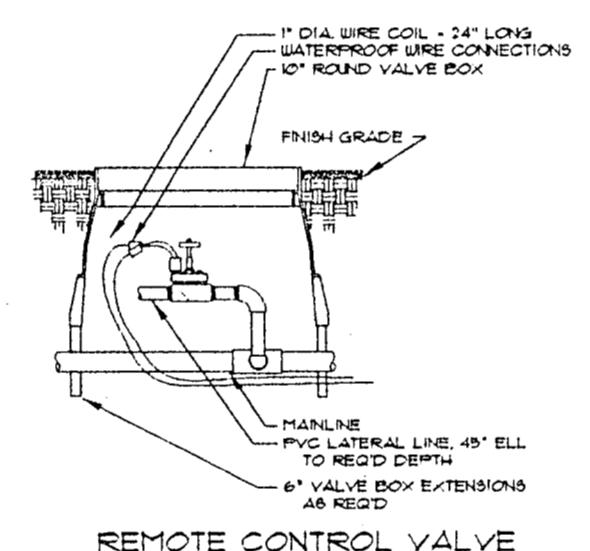
- NOTES:**
- ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE PERMISSIBLE AND WATERPROOF.
 - COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
 - LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER.
 - PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
 - CONNECT LAWN AND HIGH-POP SPRAY HEADS TO LATERAL PIPING WITH 1/2" FLEXIBLE PVC AND 1/2" SCH40S PVC FITTINGS AS REQUIRED. PER DETAIL SHOWN. USE WELD-ON 4" TEE SOLVENT AND #10'S FRAMER ON THESE CONNECTIONS.
 - INSTALL QUICK COUPLING VALVES IN TEN (10") INCH VALVE BOX PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LABCO "UNITIZED", O-RING BUNG JOINTS PER DETAIL SHOWN. #112-30 SUPPLY OWNER WITH ONE (1) COUPLER KEY WITH SWIVEL HOSE ELL, #20'S AND #2" RESPECTIVELY.
 - INSTALL REMOTE CONTROL VALVES IN TEN (10") VALVE BOXES PER DETAIL SHOWN.
 - PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER LOCATION BY OTHER TRADES.
 - SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY OTHER TRADES.
 - ROUTE COMMON WIRE FROM CONTROLLER TO REMOTE SENSORS IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
 - TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN 50 PSI, DO NOT START WORK UNTIL NOTIFIED TO PROCEED BY OWNER. DESIGN PRESSURE IS 43.6 PSI.



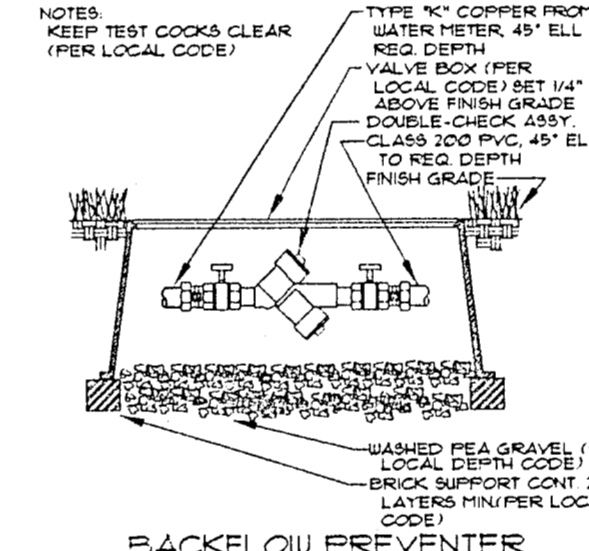
QUICK COUPLING VALVE



LAWN SPRAY HEAD



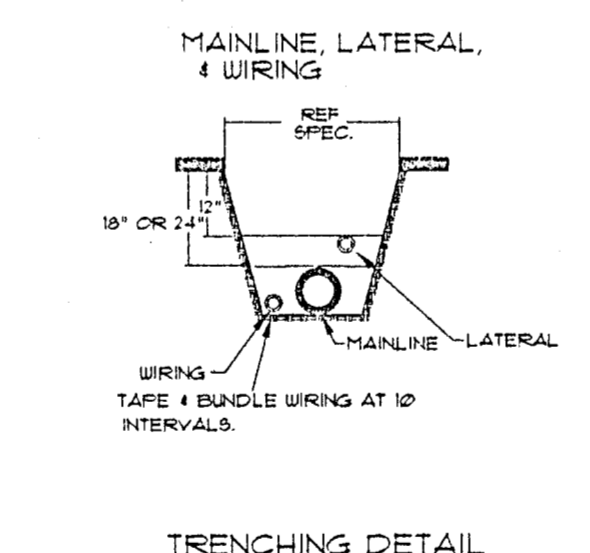
REMOTE CONTROL VALVE



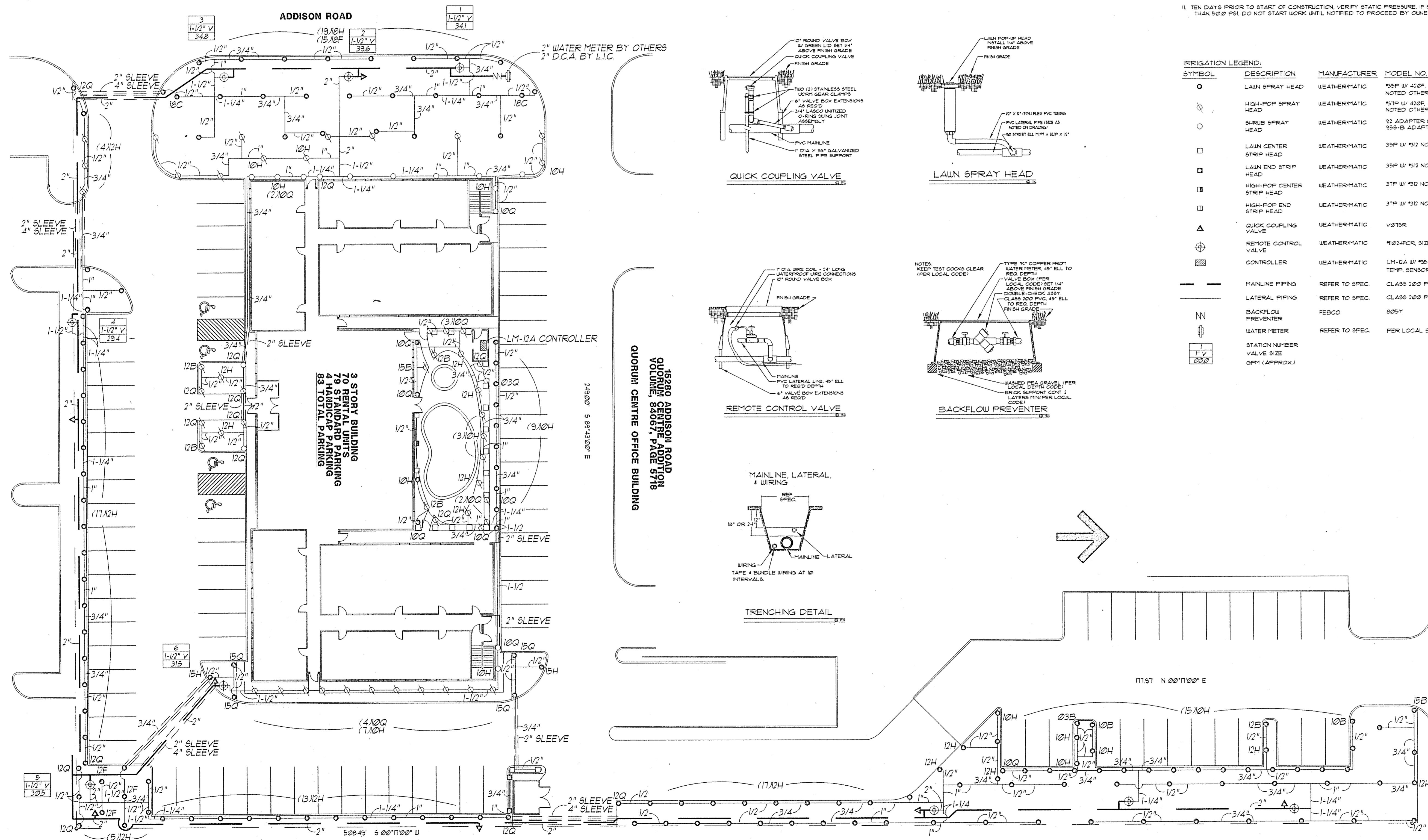
BACKFLOW PREVENTER

IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
○	LAWN SPRAY HEAD	WEATHERMATIC	35P W/ 420F, 420H, OR 420Q NOZZLES UNLESS NOTED OTHERWISE
○	HIGH-POP SPRAY HEAD	WEATHERMATIC	37P W/ 420F, 420H, OR 420Q NOZZLES UNLESS NOTED OTHERWISE
○	SHRUB SPRAY HEAD	WEATHERMATIC	32 ADAPTER W/ 1204 OR 120Q NOZZLES OR R1555 355-B ADAPTER W/ 420F NOZZLE UNLESS NOTED OTHERWISE
□	LAWN CENTER STRIP HEAD	WEATHERMATIC	35P W/ 132 NOZZLE
□	LAWN END STRIP HEAD	WEATHERMATIC	35P W/ 132 NOZZLE
□	HIGH-POP CENTER STRIP HEAD	WEATHERMATIC	37P W/ 132 NOZZLE
□	HIGH-POP END STRIP HEAD	WEATHERMATIC	37P W/ 132 NOZZLE
⊕	QUICK COUPLING VALVE	WEATHERMATIC	V215R
⊕	REMOTE CONTROL VALVE	WEATHERMATIC	#102-PCR, SIZED AS SHOWN
⊕	CONTROLLER	WEATHERMATIC	LM-12A W/ #950 RAINSTAT AND PENN A-18-ANG-1 TEMP. SENSOR
—	MAINLINE PIPING	REFER TO SPEC.	CLASS 200 PVC
—	LATERAL PIPING	REFER TO SPEC.	CLASS 200 PVC
N	BACKFLOW PREVENTER	FEBCO	805Y
⊕	WATER METER	REFER TO SPEC.	PER LOCAL BUILDING CODE
⊕	STATION NUMBER		
⊕	VALVE SIZE		
⊕	GPM (APPROX.)		



TRENCHING DETAIL

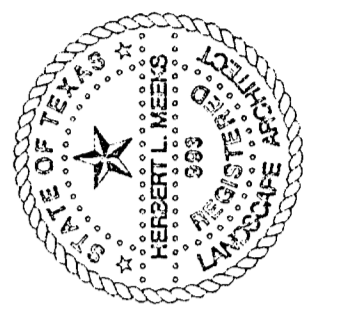


SUMMERFIELD SUITES PARKING LOT

IRRI-TECH CORPORATION

DESIGN DEPARTMENT
12650 SCHROEDER RD.
DALLAS, TEXAS 75243
(972)231-9181 FAX:(972)231-9182

PROJECT NAME MAINSTAY SUITES
PROJECT NUMBER RIL-005
REVISIONS 01/23/98



MAINSTAY SUITES
ADDISON, TEXAS

PROJECT NAME MAINSTAY SUITES
ADDISON, TEXAS
M.D.G. MEYERS DESIGN GROUP
1100 CENTENNIAL BLVD. #120
RICHARDSON, TEXAS 75081
(972)690-7474
FAX (972)690-7879
TITLE IRRIGATION
DATE 03/23/98
SCALE 1"=30'-0"
SHEET

