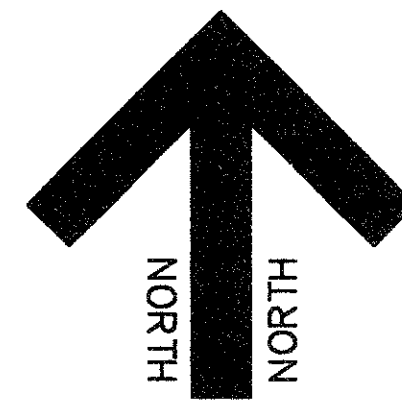
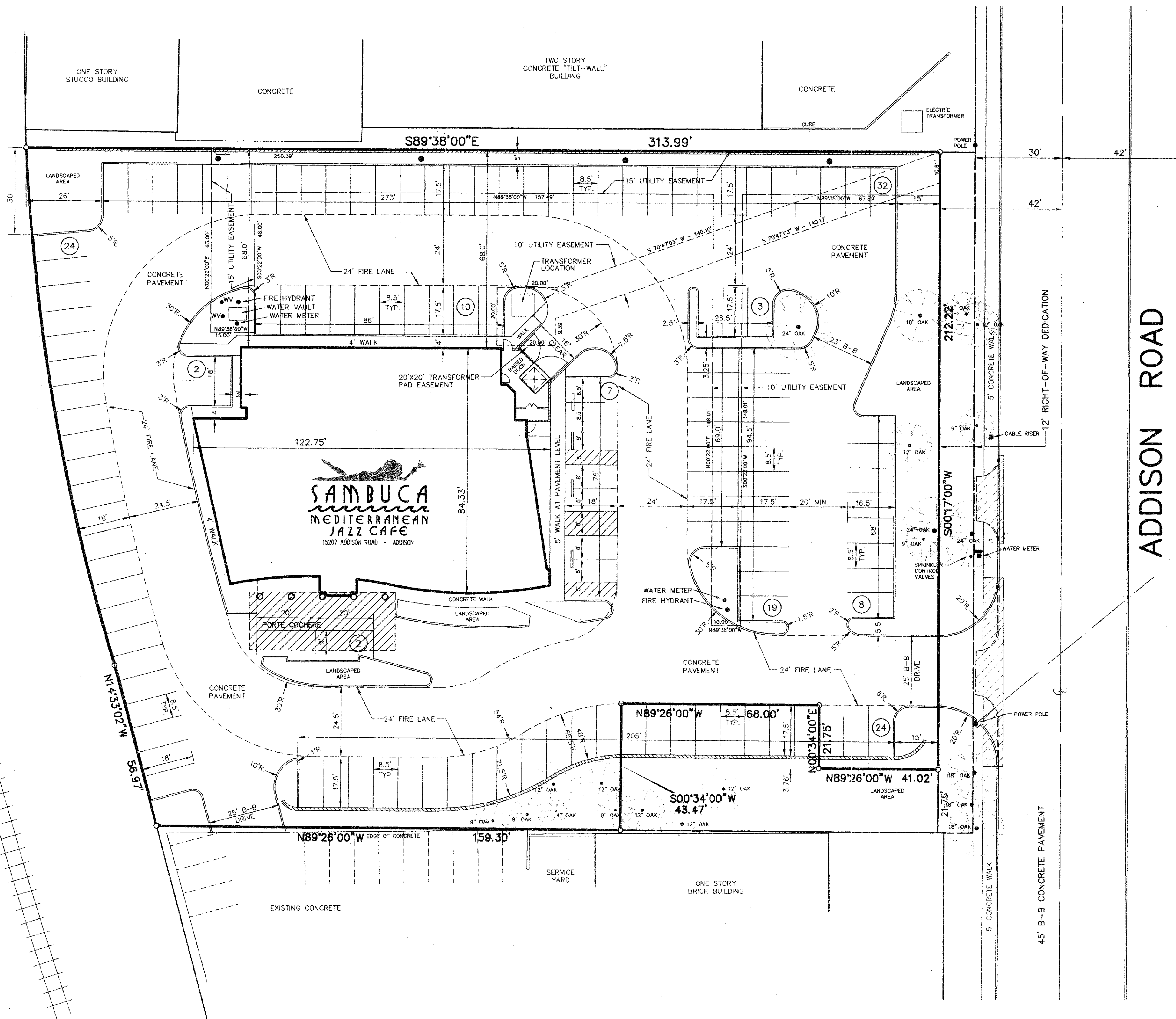


VENUSMSPAB Thu Jan 19 14:10:16 1995 DEWEY & ASSOCIATES \* STATION 1 \* SAS



ST. LOUIS & SOUTHWESTERN RAILROAD

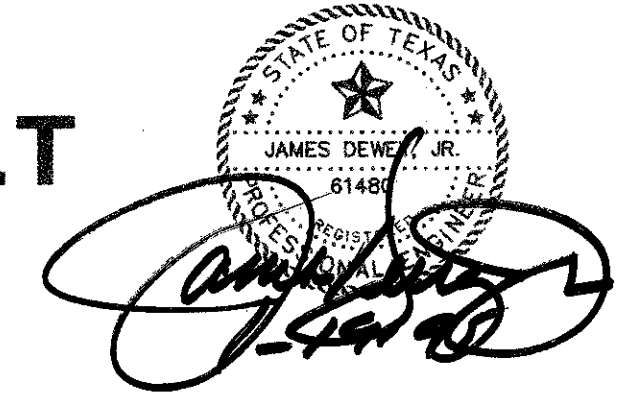


Sanitary sewer  
Storm sewer  
Water main

- NOTES:
1. ALL CONSTRUCTION TO BE DONE IN STRICT ACCORDANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
  2. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  3. SEE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS, BUILDING DETAILS, AND DETAILS OF ALL AREAS ADJACENT TO BUILDING (ENTRANCE AREA AND SERVICE AREA).
  4. SEE SHEET C-3 FOR ALL PAVING AND GRADING PLANS.
  5. SEE SHEET C-3 FOR ALL CONCRETE RETAINING WALL DETAILS.
  6. SEE SHEET C-5 FOR EROSION CONTROL PLAN AND DETAILS.
  7. SEE SHEET C-6 FOR PAVEMENT JOINT LOCATIONS AND DETAILS.
  8. SEE SHEET C-7 FOR LOCATIONS AND DETAILS OF UTILITY SERVICES TO BUILDING.
  9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND ANY SPECIAL PROVISION AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT WAS DESIGNED AND CONSTRUCTED IN ACCORDANCE TO THE TOWN OF ADDISON CONSTRUCTION SPECIFICATIONS AND STANDARDS. THE IMPROVEMENTS AS CONSTRUCTED (SHOWN HEREON) FUNCTION AS DESIGNED.

AS BUILT



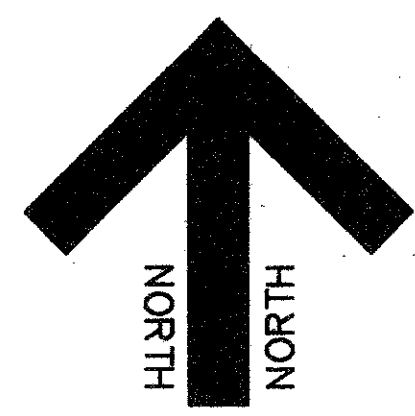
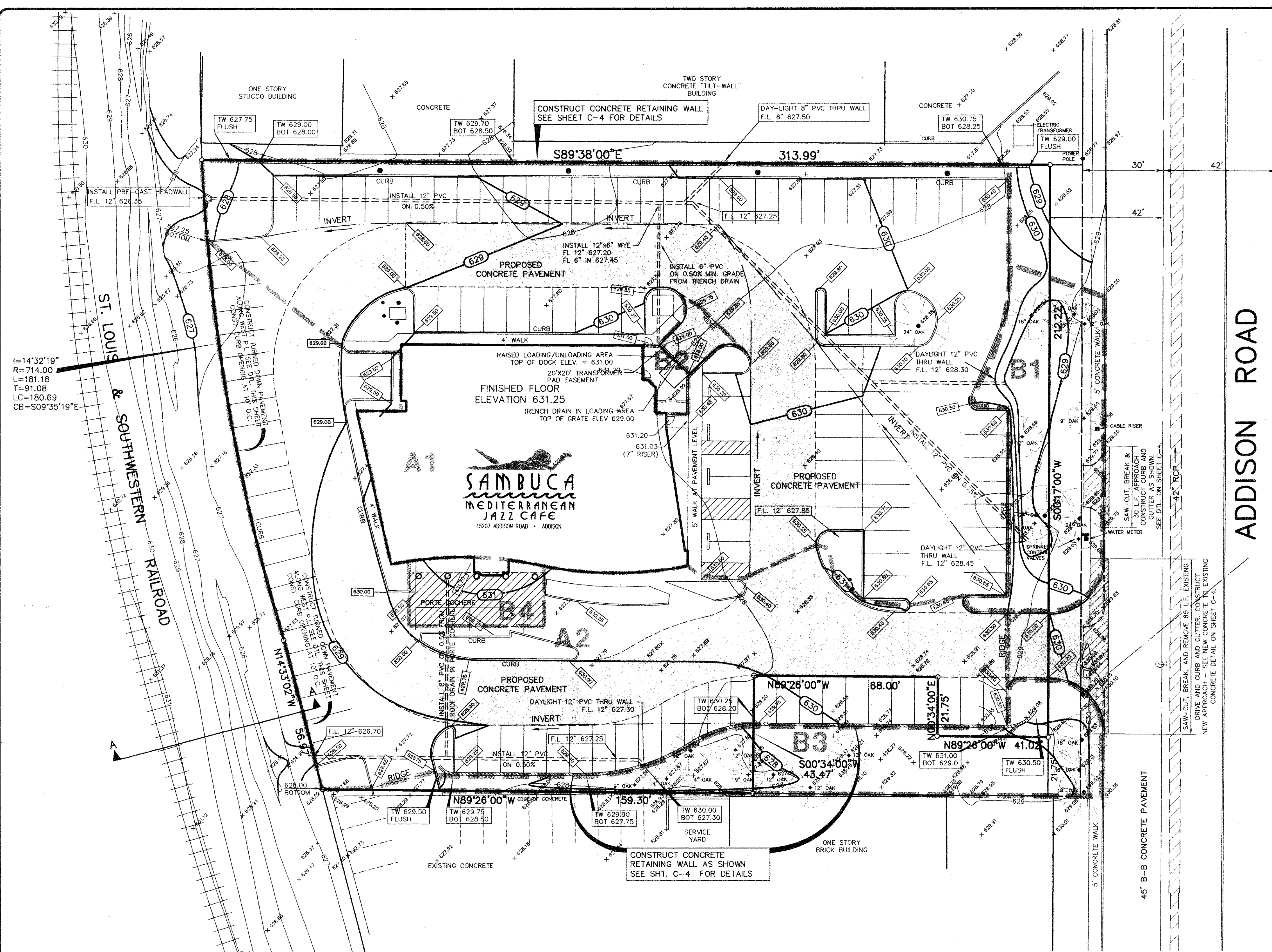
REVISIONS:	
DATE	DESCRIPTION
1-19-95	AS BUILT

PREPARED BY:  
**DEWEY & ASSOCIATES**  
 ENGINEERING, SURVEYING  
 LAND PLANNING, CAD DESIGNS  
 2505 TEXAS DRIVE, SUITE 110 - IRVING, TEXAS 75062 - 214/285-1501

PROJECT: SAMBUCA II RESTAURANT  
 OWNER:  
 SAMBUCA GROUP  
 18333 N. PRESTON ROAD SUITE 215  
 DALLAS, TEXAS 75252  
 PHONE: (214)931-3440

SHEET TITLE  
**SITE DIMENSIONAL CONTROL PLAN**  
 DATE: MARCH 11, 1994  
 SCALE: 1" = 20'  
 DRAWN BY: SAS (ACAD)  
 CHECKED BY: JDJ  
 SHEET NO.  
**C1 OF 7**





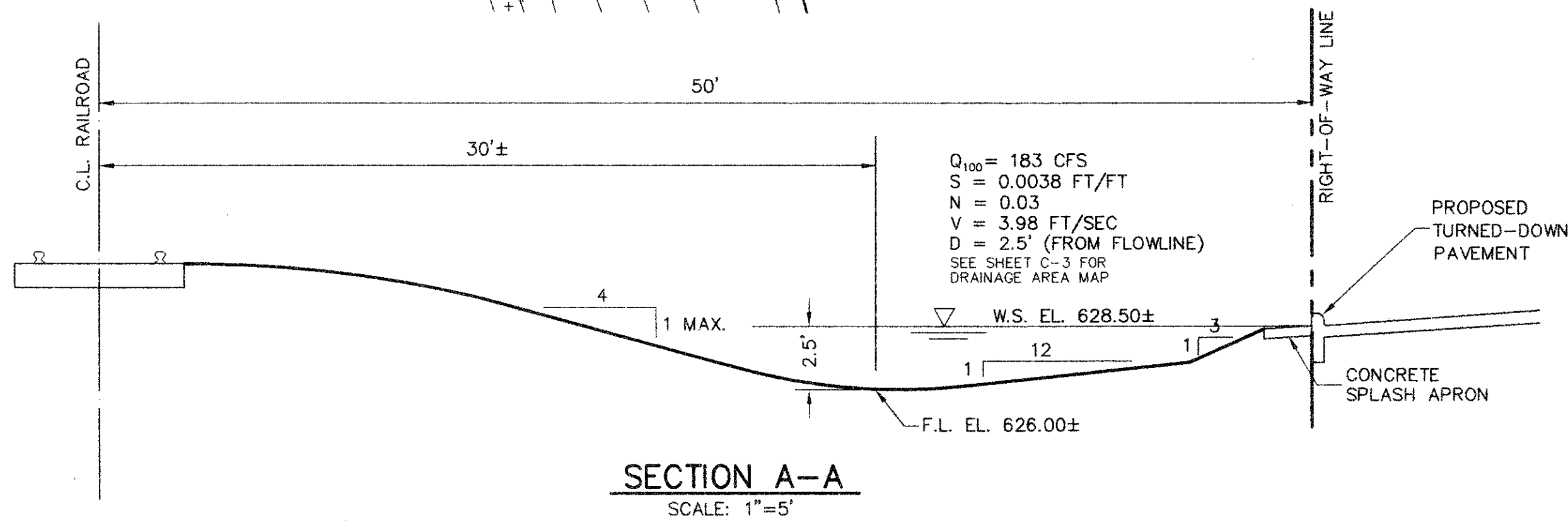
**DRAINAGE DATA**

AREA NO.	ACRES	C	T <sub>c</sub> MIN	I <sub>100</sub> IN/HR	Q <sub>100</sub> CFS
A1	0.87	0.95	5	10	8.3
A2	0.54	0.95	5	10	5.1
B1	0.119	0.95	5	10	1.13
B2	0.016	0.95	5	10	0.15
B3	0.114	0.95	5	10	1.08
B4	0.028	0.95	5	10	0.27

- NOTES:**
- SEE SHEET C-1 FOR ALL HORIZONTAL CONTROL DIMENSIONS.
  - SEE SHEET C-6 FOR LOCATION AND DETAILS OF ALL PAVEMENT JOINTS.
  - ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
  - ALL SPOT ELEVATIONS ADJACENT TO CURBS ARE GUTTER ELEVATIONS UNLESS OTHERWISE SHOWN.
  - ALL WALKWAYS TO HAVE A MINIMUM OF 1/4" PER FOOT CROSSFALL SLOPE AWAY FROM THE BUILDING.
  - ALL SITE PAVING TO BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
  - ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
  - ALL LANDSCAPED AREAS TO BE UNIFORMLY GRADED AS SHOWN.
  - SEE SHEET C-4 FOR CONCRETE PAVING AND RETAINING WALL DETAILS.

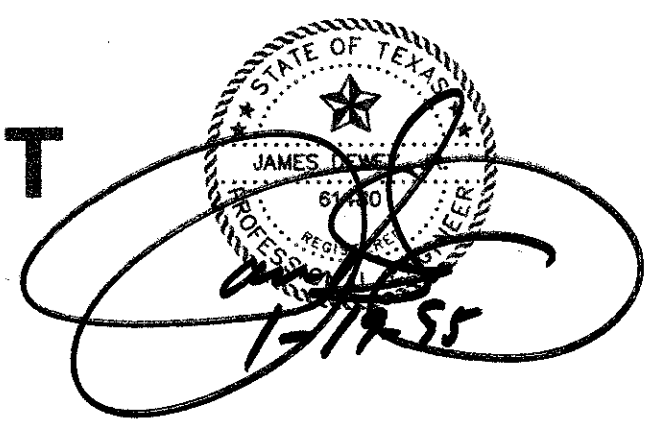
**LEGEND**

	EXISTING CONTOUR LINE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION AT GUTTER (TOP OF CURB IS 6" OR 0.5' HIGHER UNLESS SHOWN OTHERWISE)
	PROPOSED CONTOUR LINE
	INVERT OR FLOWLINE
	DRAINAGE DIVIDE LINE
	PROPOSED RETAINING WALL
	INDICATES HEAVY DUTY PAVEMENT (6" CONCRETE PAVEMENT)



TO THE BEST OF MY KNOWLEDGE, THIS PROJECT WAS DESIGNED AND CONSTRUCTED IN ACCORDANCE TO THE TOWN OF ADDISON CONSTRUCTION SPECIFICATIONS AND STANDARDS. THE IMPROVEMENTS AS CONSTRUCTED (SHOWN HEREON) FUNCTION AS DESIGNED.

**AS BUILT**



**REVISIONS:**

DATE	DESCRIPTION
4-4-94	REVISE STORM DRAIN
1-19-95	AS BUILT

PREPARED BY:  
**DEWEY & ASSOCIATES**  
 ENGINEERING, SURVEYING  
 LAND PLANNING, CAD DESIGNS  
 2505 TEXAS DRIVE, SUITE 110 • IRVING, TEXAS 75062 • 214/255-1501

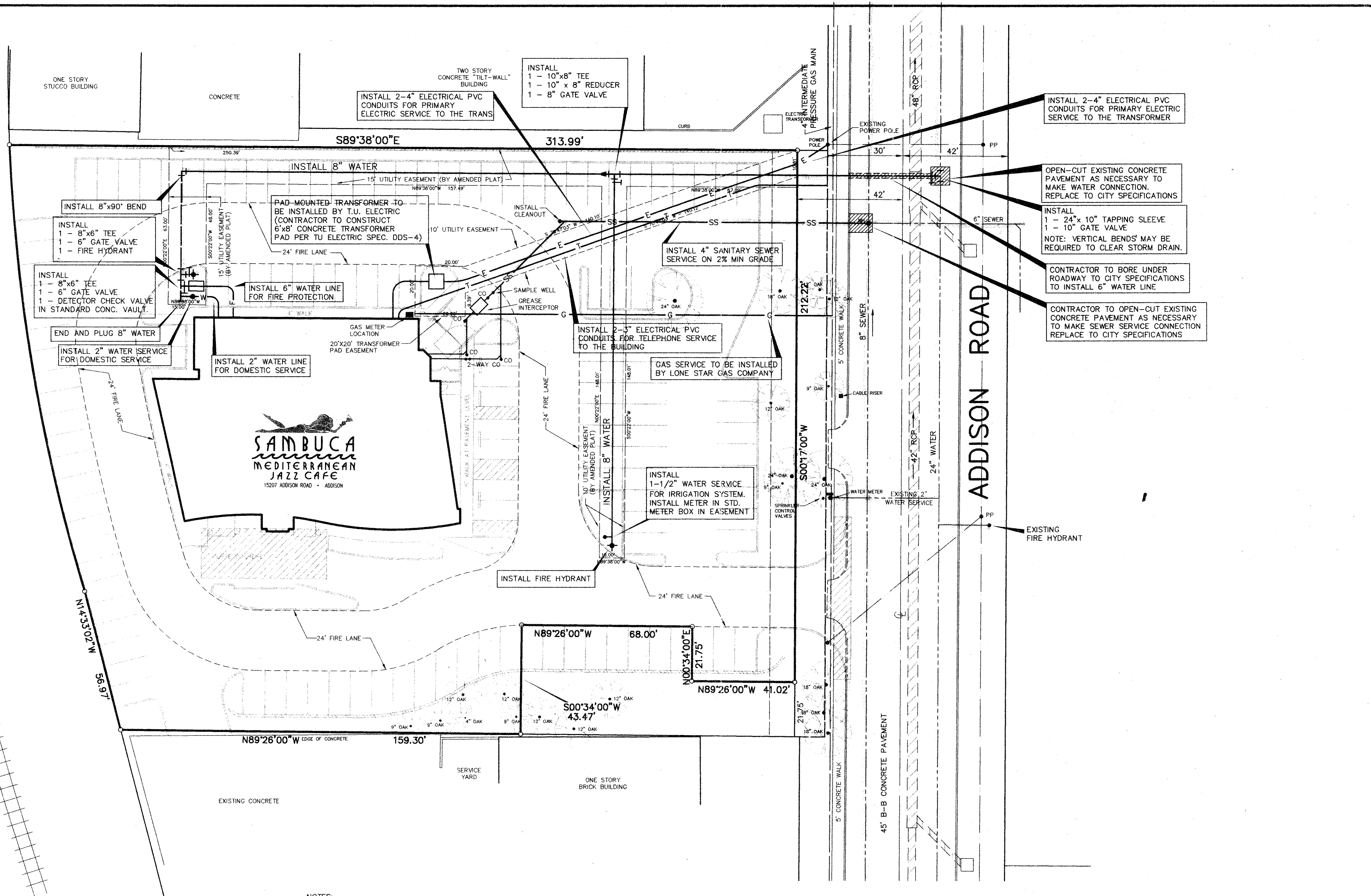
**PROJECT: SAMBUCA II RESTAURANT**  
 OWNER:  
 SAMBUCA GROUP  
 18333 N. PRESTON ROAD SUITE 215  
 DALLAS, TEXAS 75252  
 PHONE: (214)931-3440

**SHEET TITLE**  
 GRADING AND PAVING PLAN

DATE: MARCH 11, 1994  
 SCALE: 1" = 20'  
 DRAWN BY: SAS (ACAD)  
 CHECKED BY: JDJ  
 SHEET NO.  
**C3** OF 7



15015/SMBSP/18 Thu Jan 19 14:01:17 1995 DEWEY & ASSOCIATES & STATION 1 & SAS

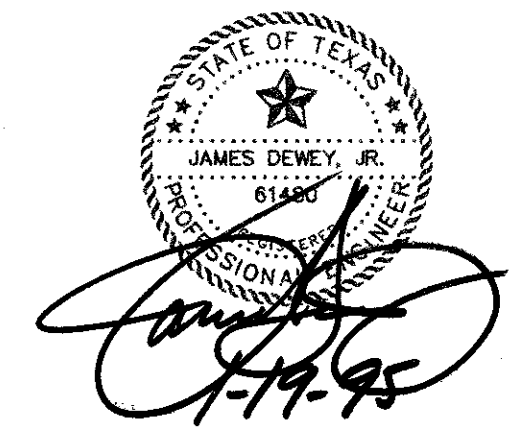


**NOTES:**

1. ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
2. THE CONTRACTOR SHALL MAKE APPLICATION FOR SERVICES, OBTAIN ALL PERMITS, AND PAY ALL CHARGES, FEES, AND CONNECTION COSTS REQUIRED FOR EACH UTILITY SERVICE. (THESE COSTS AND FEES SHALL NOT BE INCLUDED IN THE BASE BID).
3. SEE PLUMBING AND ELECTRICAL PLANS FOR EXACT LOCATIONS AND DETAILS OF SERVICES INTO BUILDING.
4. CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
5. PLUMBING CONTRACTOR SHALL MAKE ARRANGEMENTS FOR GAS SERVICE INSTALLATION BY LONE STAR GAS COMPANY.
6. THE 6" FIRE LINE TO THE BUILDING SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR. INSTALLATION SHALL CONFORM TO ALL LOCAL AND STATE CODES.
7. CONTRACTOR TO COORDINATE ALL CONSTRUCTION WITHIN ADDISON ROAD WITH THE TOWN OF ADDISON ENGINEERING DEPARTMENT. CONTRACTOR MUST MEET WITH JOHN BAUMGARTNER (CITY ENGINEER) PRIOR TO COMMENCEMENT OF CONSTRUCTION WITHIN ADDISON ROAD.

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT WAS DESIGNED AND CONSTRUCTED IN ACCORDANCE TO THE TOWN OF ADDISON CONSTRUCTION SPECIFICATIONS AND STANDARDS. THE IMPROVEMENTS AS CONSTRUCTED (SHOWN HEREON) FUNCTION AS DESIGNED.

**AS BUILT**



**UTILITY CONTACTS**

**WATER SEWER & STORM SEWER**  
TOWN OF ADDISON  
5300 BELT LINE ROAD  
ADDISON, TEXAS 75001  
ATTN: JOHN BAUMGARTNER  
CITY ENGINEER  
(214) 450-2886

**ELECTRIC**  
TU ELECTRIC COMPANY  
1015 HUTTON STREET  
CARROLLTON, TEXAS 75006  
ATTN: GREG HILTON  
(214) 323-8913

**NATURAL GAS**  
LONE STAR GAS COMPANY  
2095 N. COLLINS STREET  
SUITE 101  
RICHARDSON, TEXAS 75080  
ATTN: RAY O'NEAL  
(214) 235-4620

**TELEPHONE**  
SOUTHWESTERN BELL TELEPHONE  
275 N. GREENVILLE AVE. 2ND FLOOR  
RICHARDSON, TEXAS 75081  
ATTN: TIMOTHY BEIDELMAN  
(214) 234-7085

REVISIONS:	
DATE	DESCRIPTION
5-25-94	ADD FIRE HYDRANTS AND REVISE ELEC. & TEL.
1-19-95	AS BUILT

PREPARED BY:  
**DEWEY & ASSOCIATES**  
ENGINEERING, SURVEYING  
LAND PLANNING, CAD DESIGNS  
2505 TEXAS DRIVE, SUITE 110 - IRVING, TEXAS 75062 - 214/255-1501

**SAMBUCA MEDITERRANEAN JAZZ CAFE**  
15207 ADDISON ROAD - ADDISON

PROJECT: SAMBUCA II RESTAURANT  
OWNER:  
SAMBUCA GROUP  
18333 N. PRESTON ROAD SUITE 215  
DALLAS, TEXAS 75252  
PHONE: (214)931-3440

SHEET TITLE  
**UTILITY SERVICES PLAN**

DATE: MARCH 11, 1994  
SCALE: 1" = 20'  
DRAWN BY: SAS (ACAD)  
CHECKED BY: JDJ  
SHEET NO.  
**C7 of 7**