

CONSTRUCTION PLANS

FOR

16200 ADDISON ROAD OFFICE BUILDING

AN ADDITION TO

THE TOWN OF ADDISON, TEXAS

Index Of Drawings

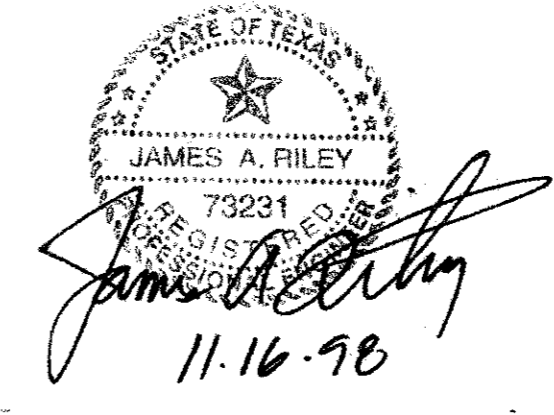
- C-1 Cover Sheet
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GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison,
 1. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
 2. The Owner shall provide one reproducible set of as-built (sealed and certified by a Texas Registered Engineer) and two blue line sets.
 3. A five foot (5') sidewalk shall be installed along the public streets. See attached detail.
 4. A one year 100% maintenance bond is required for the public infrastructure.
 5. Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and mandrel tests. In addition, the Owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the Contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
 1. Town of Addison
 2. Lone Star Gas
 3. Southwestern Bell
 4. Storax Cable
 5. Planned Cable Systems
 6. T.U. Electric
- C. Prior to beginning construction, the Owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), Utility companies and any other affected parties. Notify Brock Ellis (972) 450-2847 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the Contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six inches (6") in diameter and twenty-four inches (24") long, an iron rod one-half inch (1/2") in diameter embedded at least three inches (3") in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve inches (12") below the ground surface.
- F. The Contractor shall stomp a two inch (2") "S" and a two inch (2") "W" in the curb at the location of the sewer service and water service lines, respectively.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet (40') from the intersecting curb line unless otherwise noted.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the Owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The Contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a Registered Professional Engineer for the installation of utilities greater than five feet (5') in depth.
- M. All existing and proposed improvements (valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the Contractor.

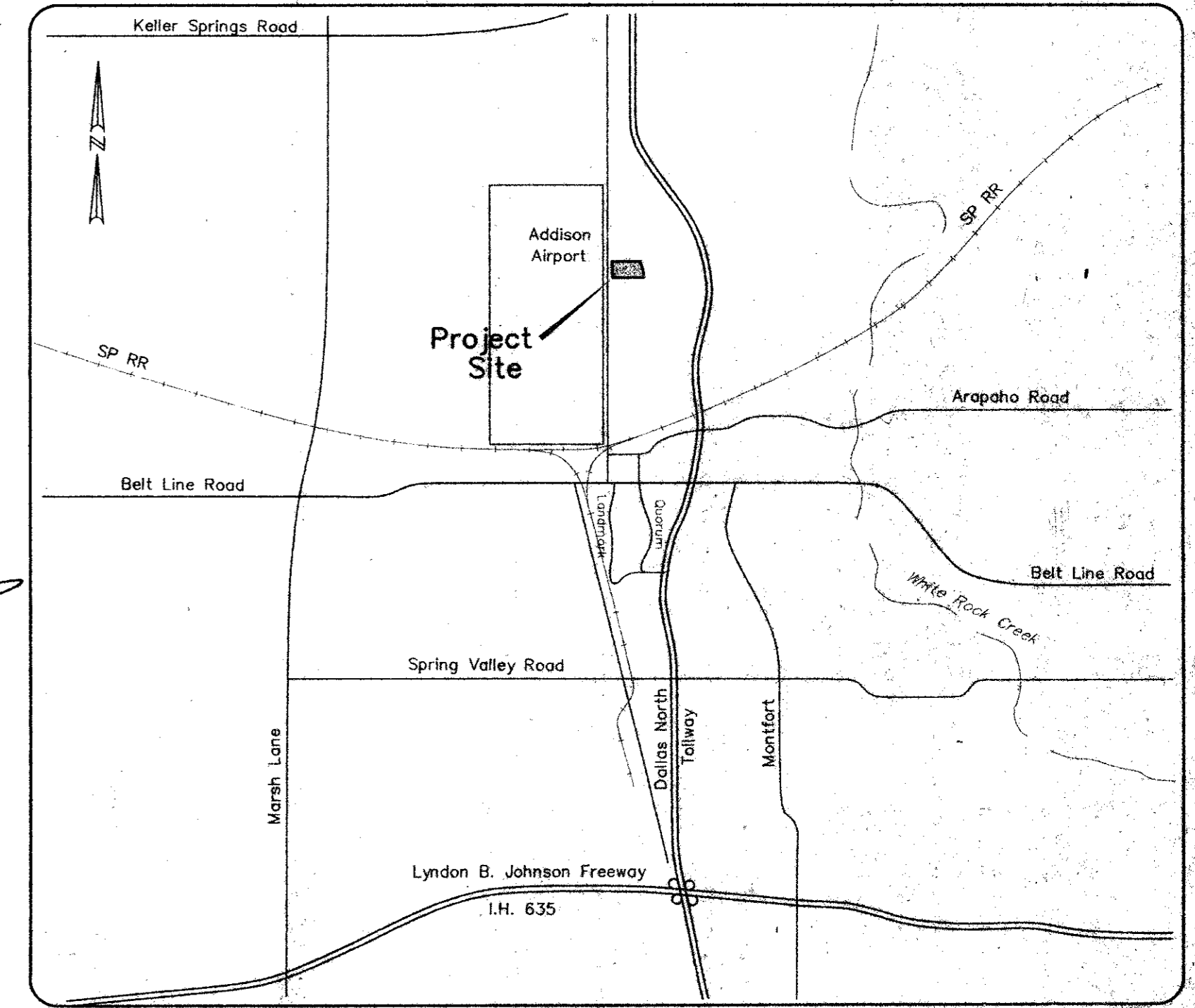
Developer
Cole Partners, LTD.
4514 Cole Avenue, Suite 400
Dallas, Texas 75204
(214) 443-1900

Engineer
Brockette • Davis • Drake
4144 N. Central Expressway, Suite 1100
Dallas, Texas 75204
(214) 824-3647

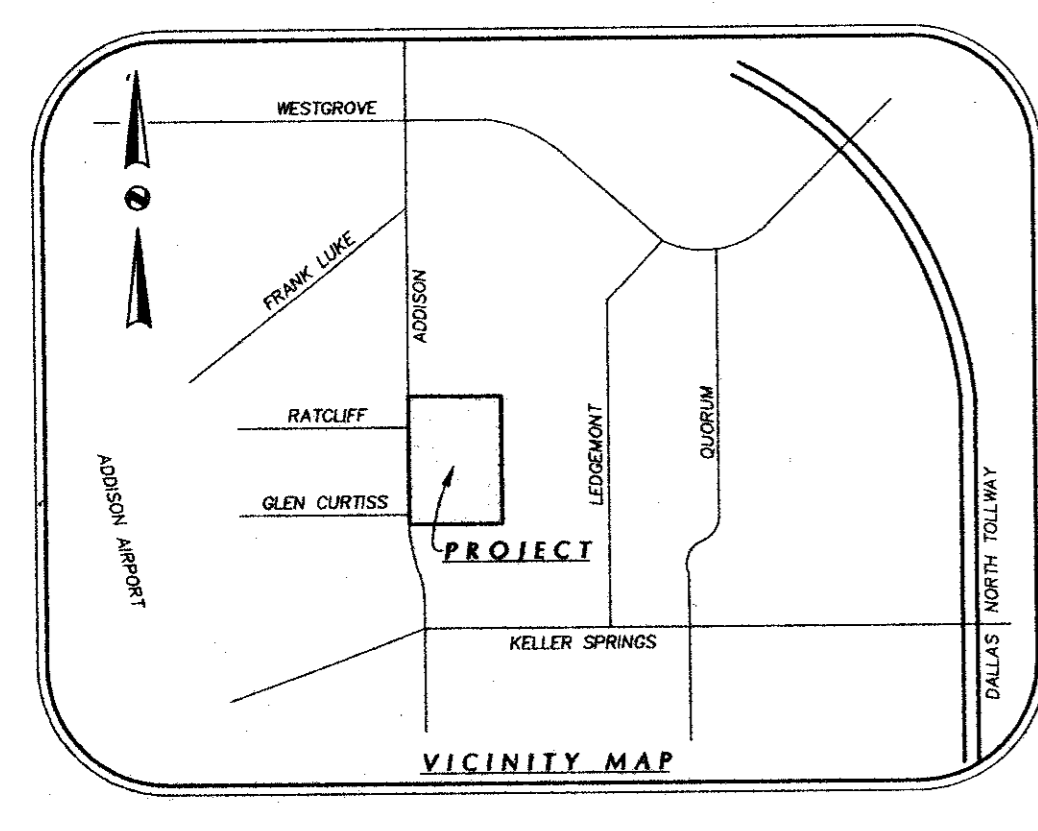
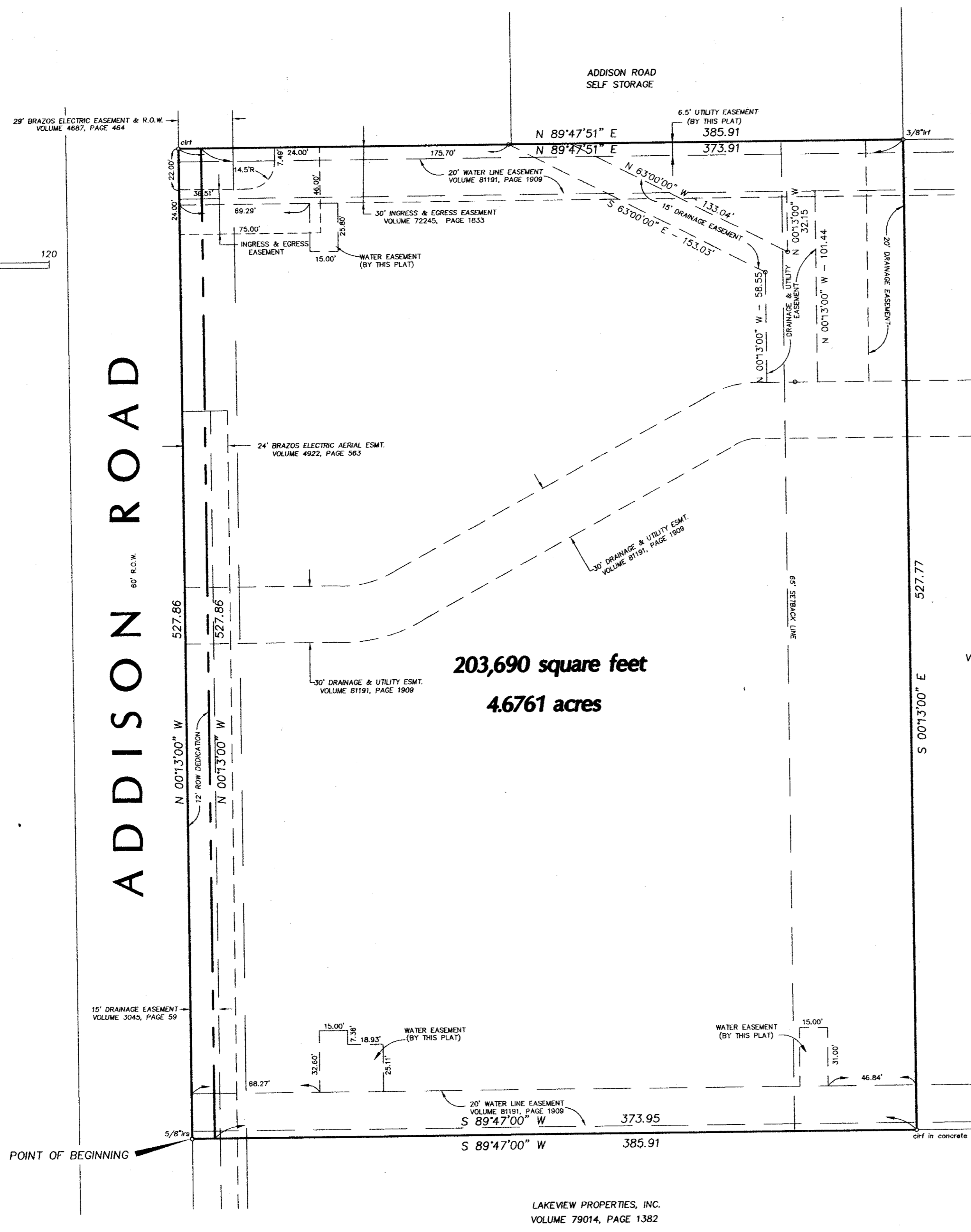
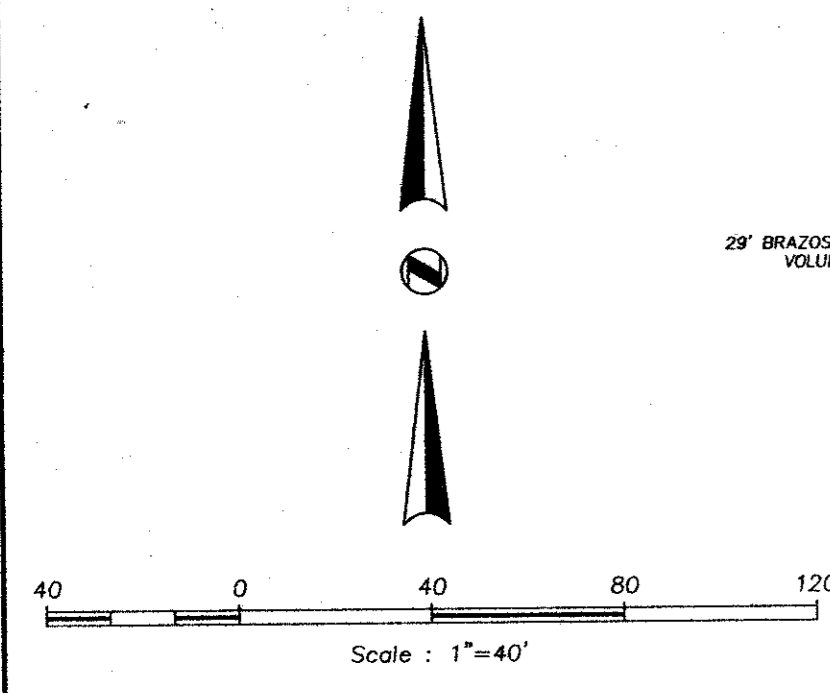

 JAMES A. RILEY
 11.16.98

AS-BUILT

NOTE:
 THESE PLANS HAVE BEEN REVISED
 TO CONFORM WITH CONSTRUCTION
 RECORDS PROVIDED BY CONTRACTOR.



Location Map
nts



LEGEND:
 circ--capped iron rod found
 irs--iron rod set
 Bearings shown hereon are based on the east line of Addison Road as per the plot of BENT TREE VALLEY, as recorded in Volume 81181, Page 1913, Deed Records, Dallas County, Texas.

OWNER'S CERTIFICATE

STATE OF TEXAS
 COUNTY OF DALLAS

WHEREAS RED SEA ADDISON, L.P. is the owner of a parcel or tract of land situated in the William Lomax Survey, Abstract No. 792, in the Town of Addison, Dallas County, Texas, and being all of 16200 OFFICE PARK, an Addition to the Town of Addison, as recorded in Volume 97247, Page 0060, Deed Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8" iron rod set for corner in the east line of Addison Road (60' R.O.W.), said corner being the southwest corner of said BENT TREE VALLEY, as per the plot recorded in Volume 81191, Page 1913, Deed Records, Dallas County, Texas, said corner also being the northwest corner of Lakeview Properties, Inc., as recorded in Volume 79014, Page 1382, Deed Records, Dallas County, Texas;

THENCE N 01'3"00" W, along said east line, a distance of 527.86 feet to a capped iron rod found for corner, said corner being the northwest corner of said BENT TREE VALLEY;

THENCE N 89°47'51" E, departing said east line and along the north line of said BENT TREE VALLEY, a distance of 373.91 feet to a 3/8" iron rod found for corner;

THENCE S 01'3"00" E, departing said north line, a distance of 527.77 feet to a capped iron rod found in concrete for corner in the north line of the abovementioned tract conveyed to Lakeview Properties, Inc.;

THENCE S 89°47'00" W, along said north line, a distance of 385.91 feet to the POINT OF BEGINNING and containing 203,690 square feet or 4.6761 acres of land, more or less.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: THAT I, John R. Piburn, Jr., do hereby certify that I prepared this plat from an accurate and actual survey of land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the Town of Addison, Texas.

John R. Piburn, Jr., R.P.L.S.
 Registration No. 3689

STATE OF TEXAS ()
 COUNTY OF DALLAS ()

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared John R. Piburn, Jr., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the ____ day of _____, 1998.

Notary Public in and for the State of Texas

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That RED SEA ADDISON, L.P. ("Owner") does hereby adopt this plat designating the herein above property as 16200 OFFICE PARK, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon. The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The city will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the city to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the city shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the city for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS MY HAND AT DALLAS, TEXAS, THIS THE ____ DAY OF _____, 1998.
 RED SEA ADDISON, L.P.

By: _____

STATE OF _____
 COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public in and for the State of _____, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the ____ day of _____, 1998.

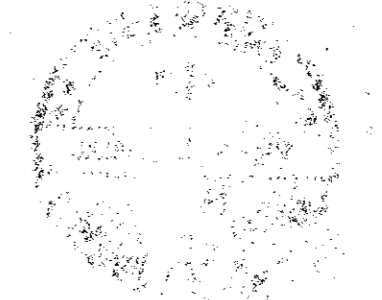
Notary Public in and for the State of _____

CERTIFICATE OF APPROVAL:

 MAYOR, TOWN OF ADDISON

 CITY SECRETARY

VOLUME _____ PAGE _____



REPLAT
16200 OFFICE PARK

SITUATED IN THE
 William Lomax Survey, Abstract No. 792
 AND BEING ALL OF
 16200 OFFICE PARK
 AN ADDITION TO THE
 TOWN OF ADDISON, DALLAS COUNTY, TEXAS

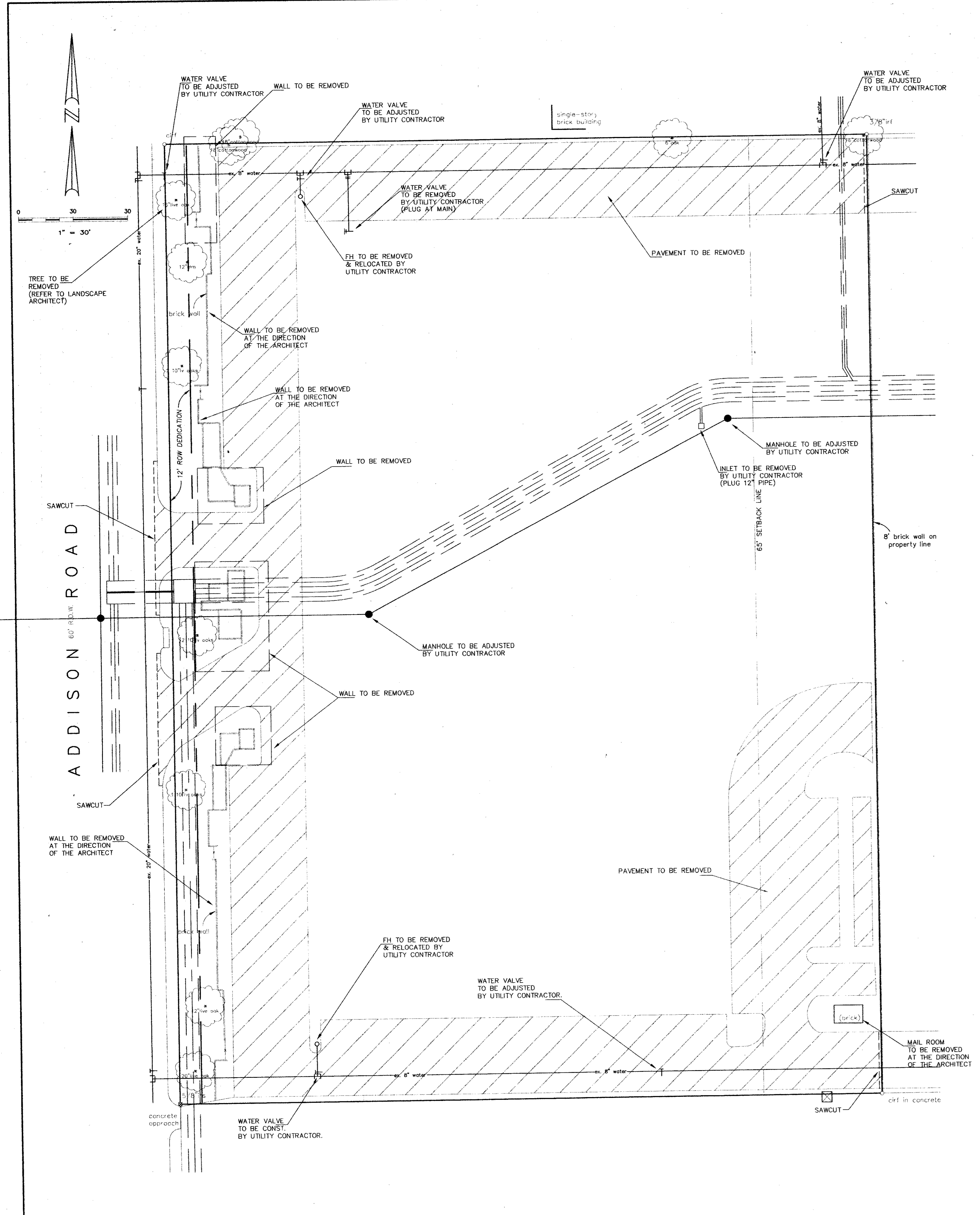
AS-BUILT

NOTE:
 THESE PLANS HAVE BEEN REVISED
 TO CONFORM WITH CONSTRUCTION
 RECORDS PROVIDED BY CONTRACTOR.

OWNER:
 RED SEA ADDISON, L.P.
 14901 OLJORUM DR.
 SUITE 500
 DALLAS, TEXAS 75204

PREPARED BY:
 BROCKETTE-DAVIS-DRAKE, INC.
 4144 NORTH CENTRAL EXPRESSWAY
 SUITE 1100
 DALLAS, TEXAS 75204
 (214) 824-3647

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GENERAL NOTES

1. Notify affected utility companies before starting work and comply with their requirements.
2. Owner assumes no responsibility for actual condition of areas to be demolished.
3. Perform work in manner to eliminate hazards to persons or property and avoid interference with adjacent areas, utilities and structures.
4. Provide and maintain temporary barricades, fences, warning signs, guardrails, warning lights.
5. Protect existing structures, landscaping materials, and apertances which are not being demolished.
6. Prevent movement or settlement of adjacent structures and perimeter basement walls that remain. Provide bracing and shoring as necessary and be responsible for safety and support of structure. Assume liability for such movement, settlement, damage or injury.
7. Cease demolition operations immediately if adjacent structures appear to be in danger. Conduct safety operations as necessary. Do not resume demolition operations until directed.
8. Return structures and surfaces to remain to conditions existing prior to commencement of selective demolition work.

STATE OF TEXAS
 JAMES A. RILEY
 73231
 DISTRICT CLERK
 11-16-98

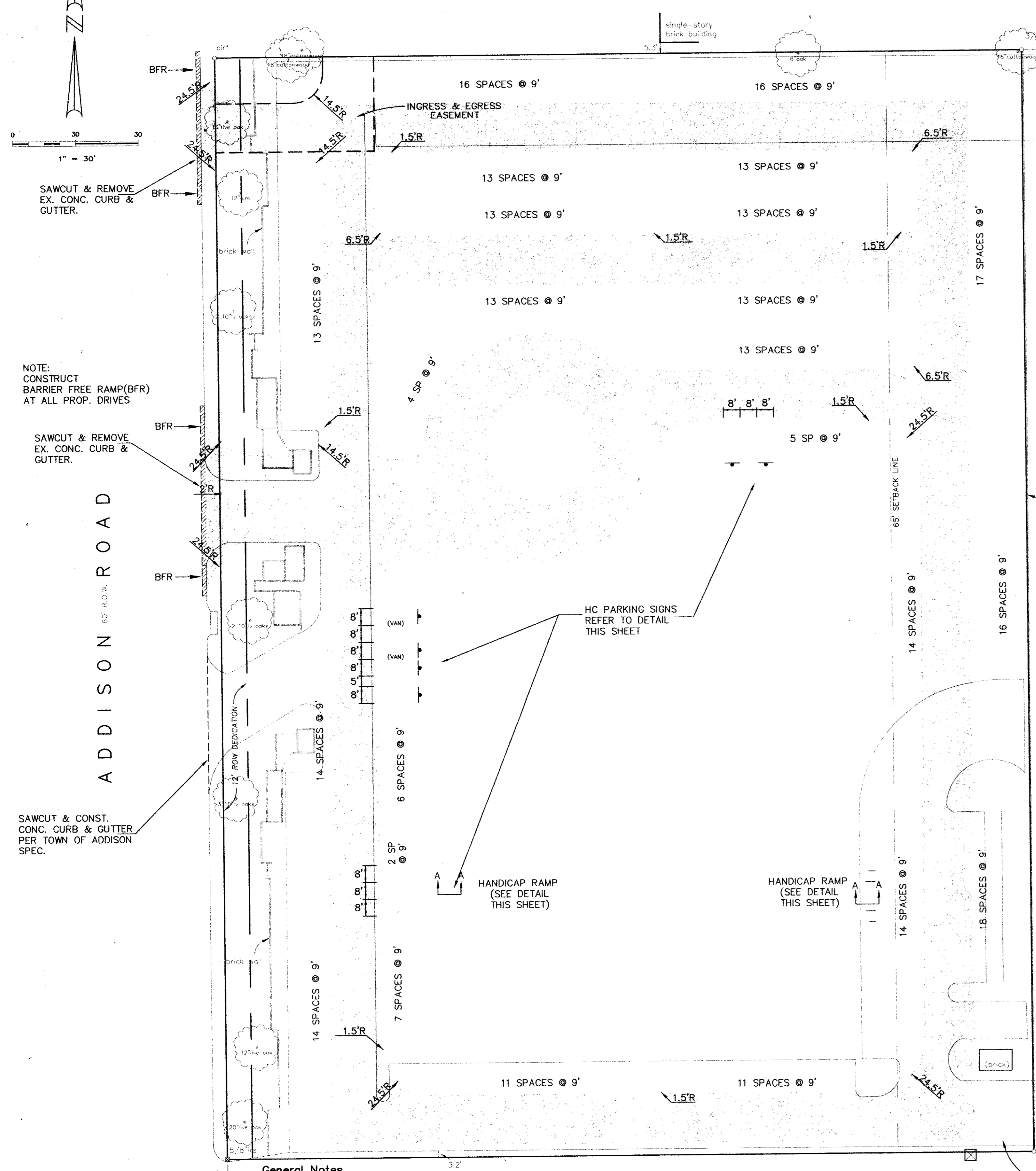
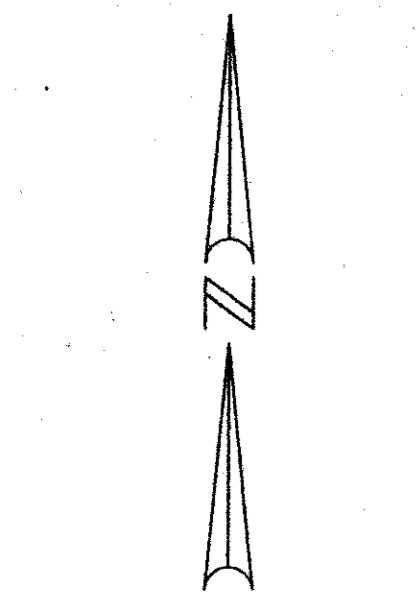
AS-BUILT

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

DEMOLITION PLAN					
16200 ADDISON ROAD OFFICE BLDG.					
TOWN OF ADDISON					
DALLAS COUNTY, TEXAS					
BROCKETTE · DAVIS · DRAKE, inc. consulting engineers					
Civil & Structural Engineering · Surveying 4144 North Expressway, Suite 1100 Dallas, Texas 75204 (214) 824-3647, fax (214) 824-7064					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
JAR	CRN	11/97	1"=30'	C97318	C-3

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PAV-10.DWG



NOTE:
CONSTRUCT
BARRIER FREE RAMP(BFR)
AT ALL PROP. DRIVES

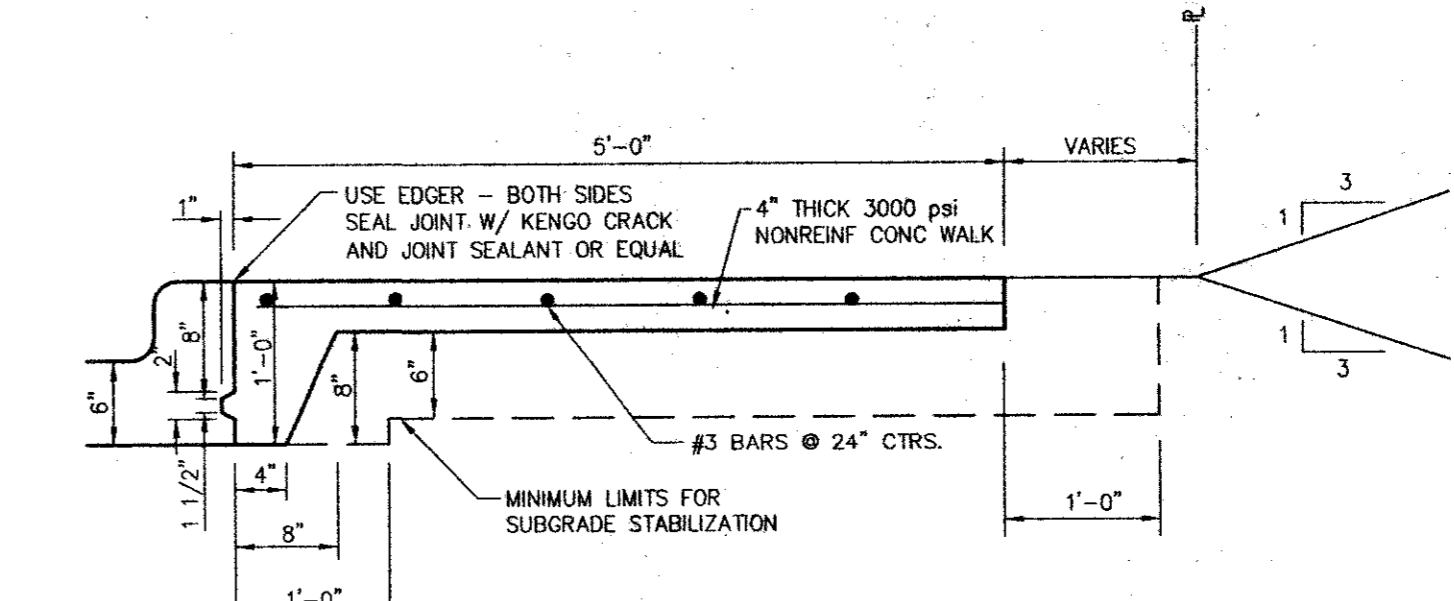
SAWCUT & REMOVE
EX. CONC. CURB &
GUTTER.

SAWCUT & CONST.
CONC. CURB & GUTTER
PER TOWN OF ADDISON
SPEC.

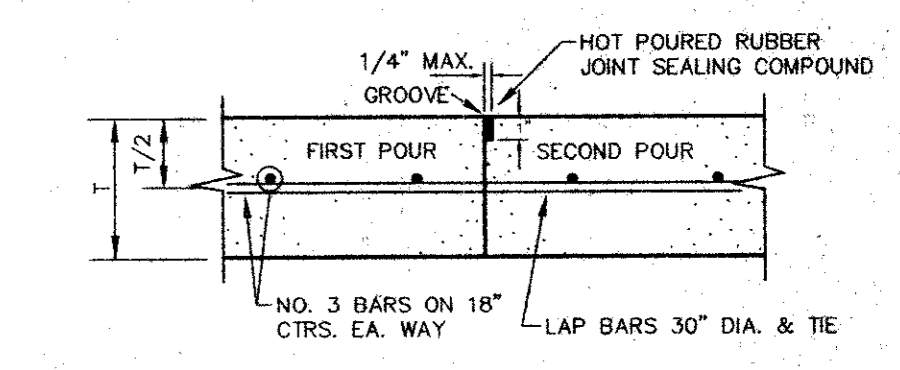
General Notes

- All materials and construction shall conform to the Town of Addison's standards and specifications.
- It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of this project.
- The Contractor will be responsible for coordinating with all the appropriate utility companies for the location of all utilities within the construction area.
- The Paving Contractor shall coordinate with the Utility Contractor to insure all sleeving for irrigation has been installed prior to placement of permanent pavement.
- All paving and earthwork operations shall conform to the recommendations in the Geotechnical Investigation Report. (TERRACON REPORT NO. 17975379 DATED 9/9/97)
- All dimensions are to face of curb unless otherwise noted.
- All curb return radii are 1.5' unless otherwise noted.
- All construction debris shall be legally disposed of offsite.

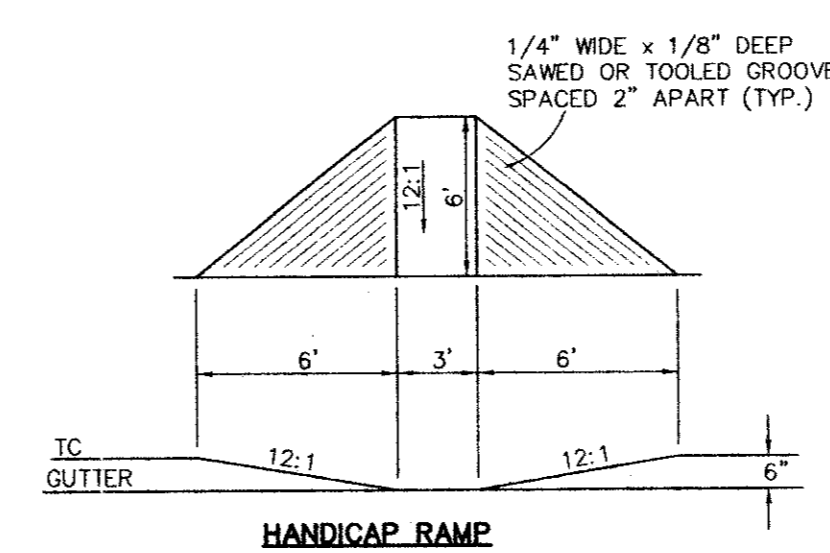
REFER TO ARCH.
FOR DUMPSTER PAD
DETAIL



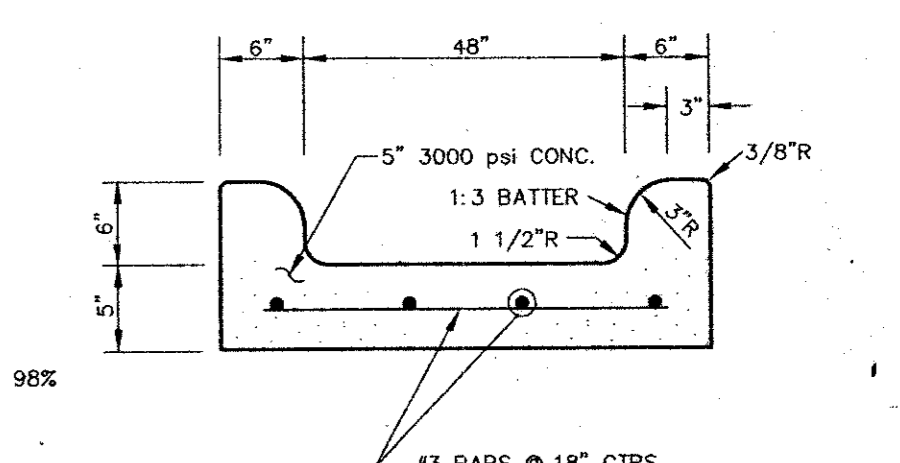
SIDEWALK AGAINST PROPOSED CONCRETE CURB
N.T.S.



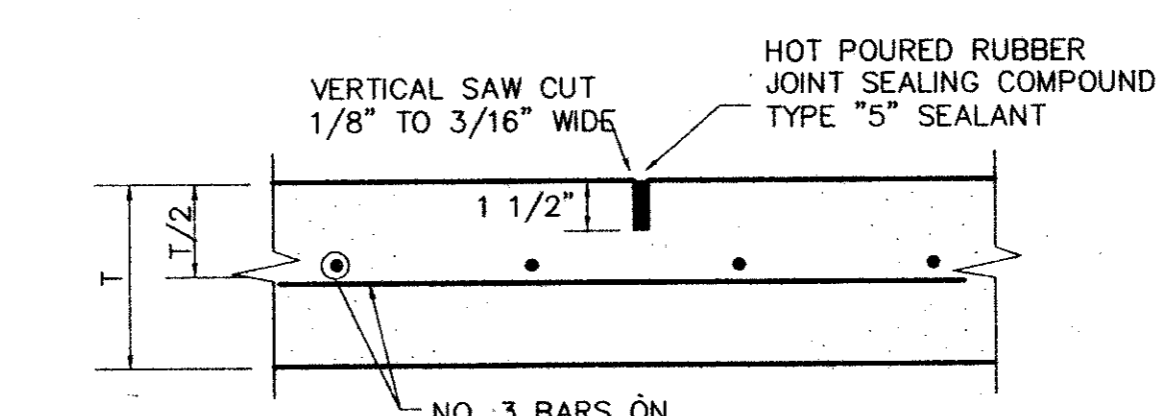
CONSTRUCTION JOINT
N.T.S.



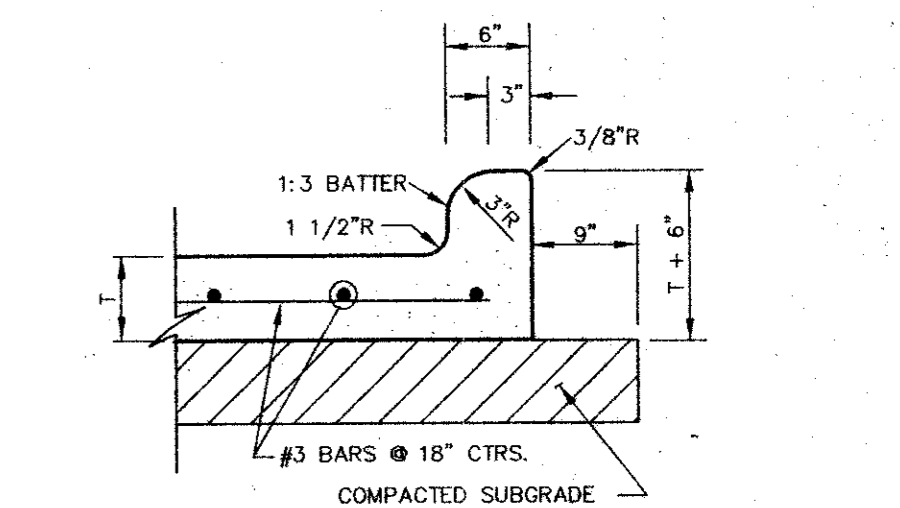
TYPICAL PAVING SECTION
N.T.S.



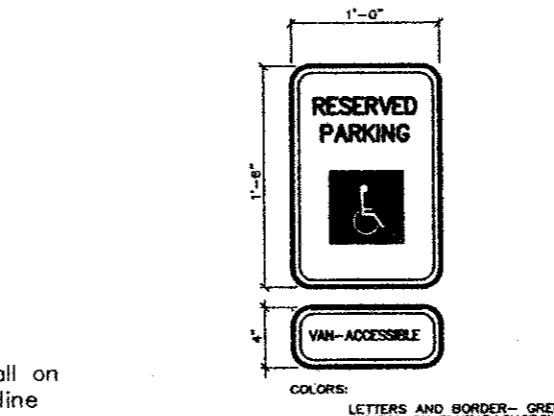
CURB OPENING/FLUME
N.T.S.



SAWED DUMMY (CONTROL) JOINT
N.T.S.



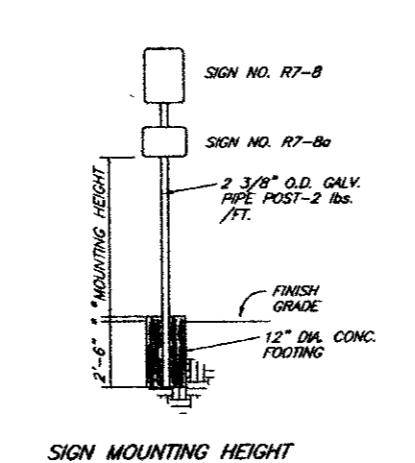
TYPICAL PAVEMENT SECTION
N.T.S.



TYPICAL SIGNAGE DETAIL
N.T.S.

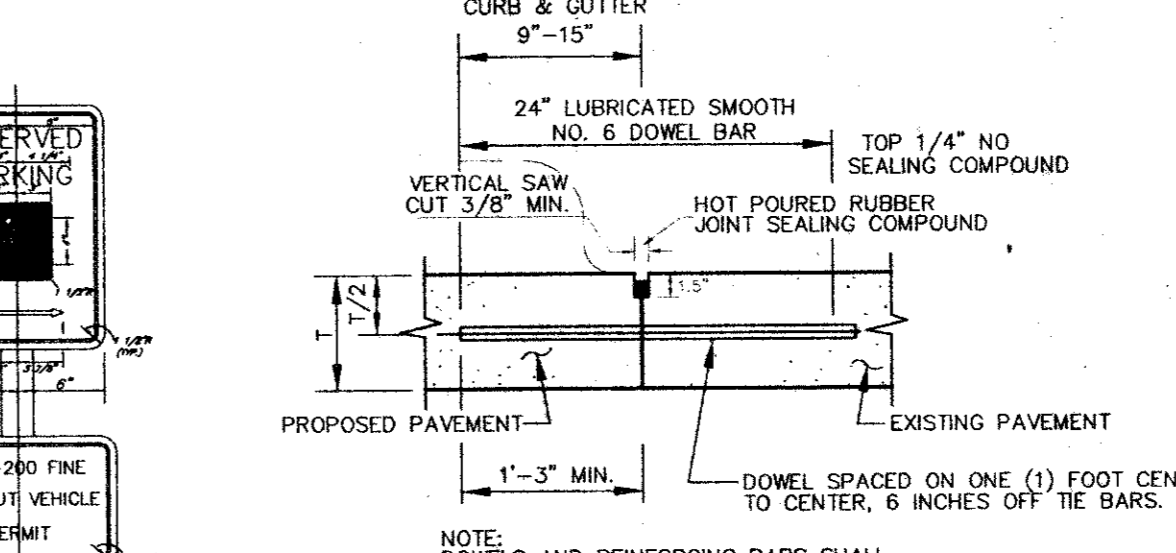
SAWED DUMMY (CONTROL) JOINT
N.T.S.

SENT TREE VALLEY
VOLUME 81191, PAGE 1913

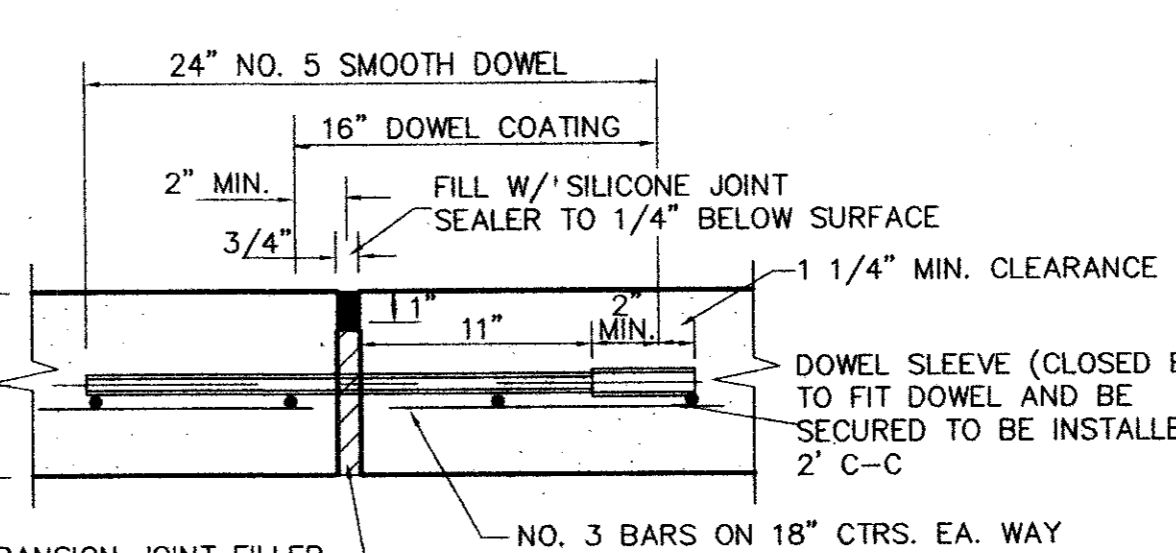


NOTE:
ALL SIGN HARDWARE TO BE GALVANIZED
COLORS
SIGN ON PLATE
SIGN ON BOARDER - GREEN
SIGN ON BOARDER - WHITE
SIGN ON BOARDER - BLUE BACKGROUND
SIGN ON BOARDER - WHITE
SIGN ON BOARDER - GREEN
SIGN ON BOARDER - WHITE
* USE SINGLE AND/OR DOUBLE BEADED ARROWS
MAY BE USED ON SIGNS TO MARK INTERSECTING
RESERVED PARKING SPACES. ARROWS SHOULD BE
CONTINUED EACH SIDE TO BE USED TO MARK A
SINGLE SPACE. FURNISH AND INSTALL SIGNS
PER SIGN LOGIC AS DIRECTED
* SIGN MOUNTING HEIGHT
5'-0" TO 5'-6" - LOCATED IN GRASS OR
PLANT BEDS
7'-0" WHERE LOCATED IN PAVED AREAS

SAWED DUMMY (CONTROL) JOINT
N.T.S.



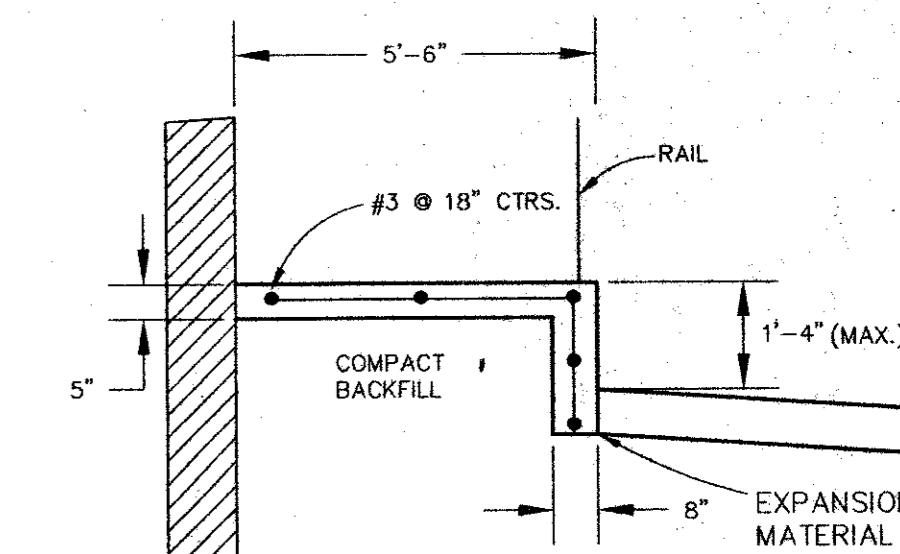
LONGITUDINAL BUTT JOINT
N.T.S.



EXPANSION JOINT
N.T.S.

NOTE:
DOWELS AND REINFORCING BARS SHALL
BE SUPPORTED BY AN APPROVED DEVICE.

- LEGEND**
- BFR - Barrier Free Ramp
 - Existing Curb
 - Proposed Curb
 - Proposed 5" Pavement
5" 3500 psi
Concrete Reinforced w/ #3 Bars
@ 18" O.C.E.W.
(Parking Areas)
 - Proposed 6" Pavement
6" 3500 psi
Concrete Reinforced w/ #3 Bars
@ 18" O.C.E.W.
(Fire Lane & Drive Approaches)



HANDICAP RAMP
SECTION A-A
N.T.S.

PAVING PLAN
16200 ADDISON ROAD OFFICE BLDG.
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

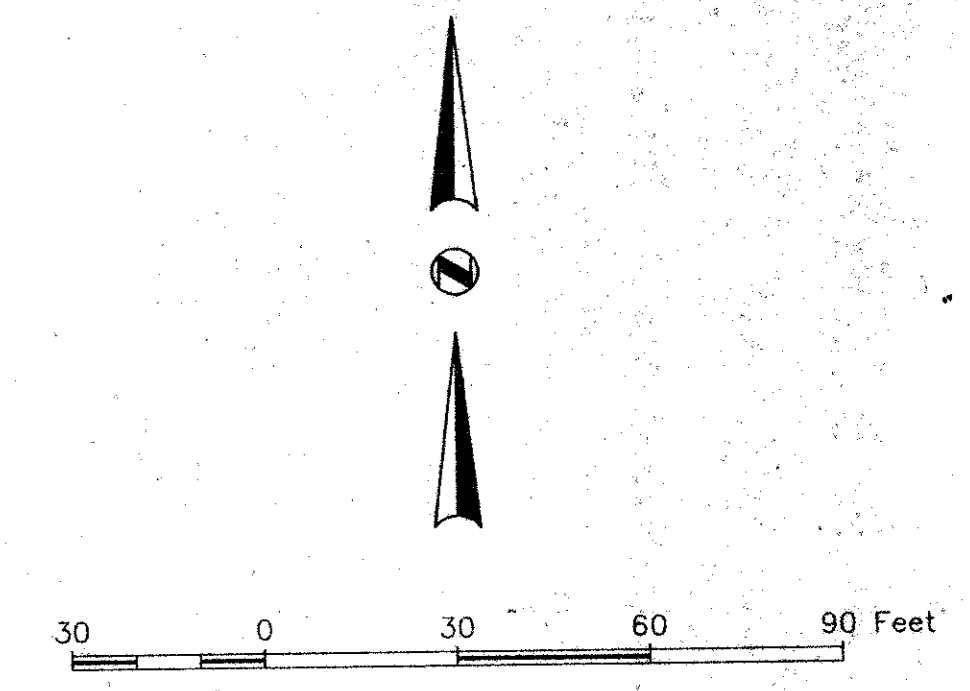
BROCKETTE · DAVIS · DRAKE, inc.
consulting engineers
Civil & Structural Engineering · Surveying
4144 North Central Expressway, Suite 1100 Dallas, Texas 75204
(214)824-3647, fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	1"=30'	BDD	C97318	C-4

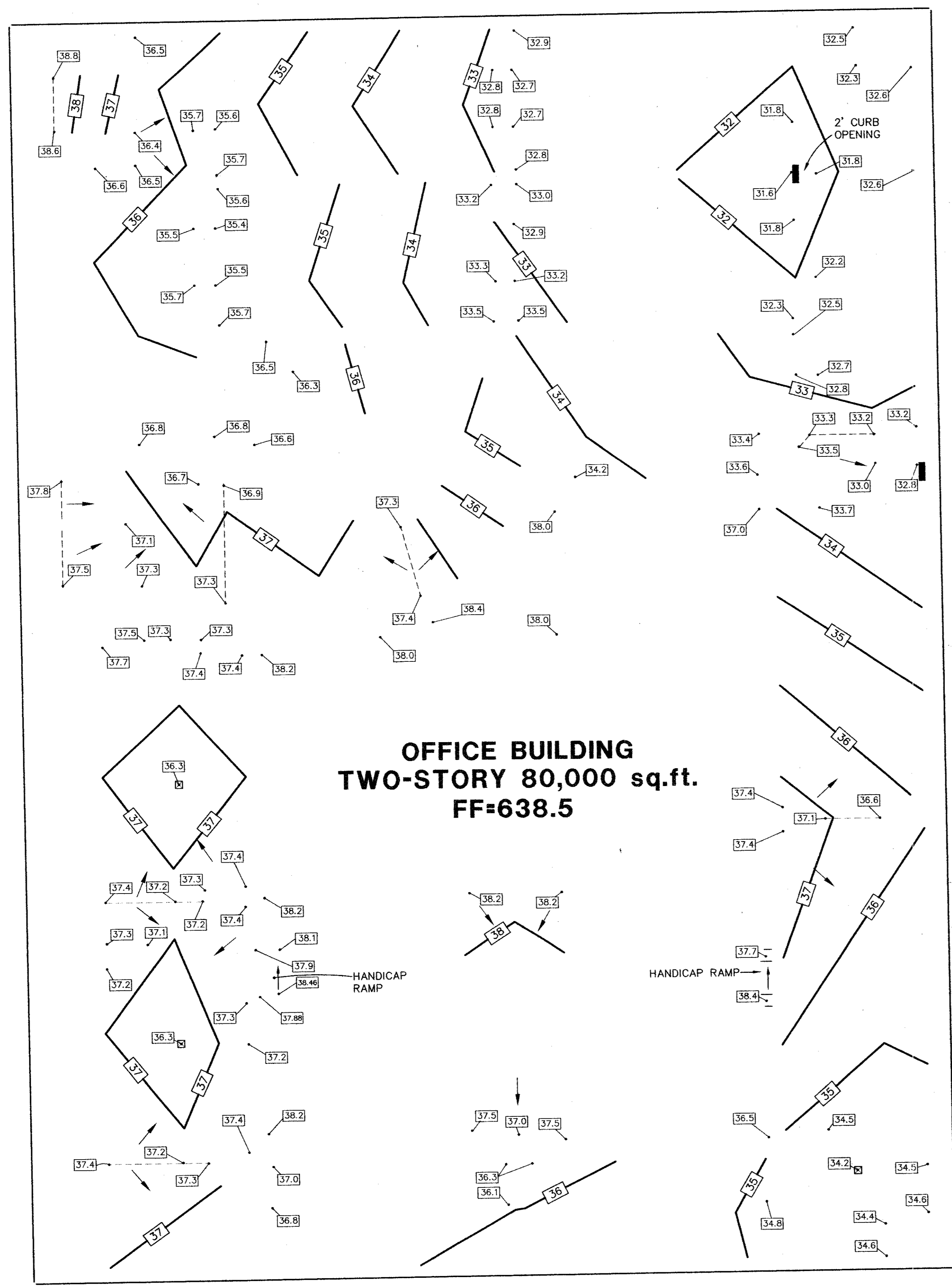
James A. Riley
11/6/98

AS-BUILT

NOTE:
THESE PLANS HAVE BEEN REVISED
TO CONFORM WITH CONSTRUCTION
RECORDS PROVIDED BY CONTRACTOR.



ADDISON ROAD 60' R.O.W.



General Notes

1. All materials and construction shall conform to the Town of Addison's Standards and Specifications except as noted herein or by the City.
2. All storm sewer pipe 18" and larger shall be Class III RCP.
3. Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
4. Concrete for inlets and drainage structures shall be 3000 psi at 28 days.
5. Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
6. Contractor shall protect all public utilities in the construction of this project.
7. The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
8. If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
9. See Water and Sanitary Sewer Plan for additional information related to other utility construction.
10. All trench backfill for storm sewer shall be compacted as required by City.
11. It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
12. Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
13. Prior to placing any fill material, all existing surfaces, vegetation, loose fill, and debris should be removed to a minimum depth of 6". All exposed surfaces should then be scarified, watered as required, and recompact to a minimum density of 95% of the maximum dry density as defined by ASTM D 698 (Standard Proctor Test) at a moisture content between -1 and +3 percent above optimum moisture content.
14. Drainage should be maintained away from the foundations, both during and after construction.
15. Areas of construction shall be properly barricaded for the protection of the public.

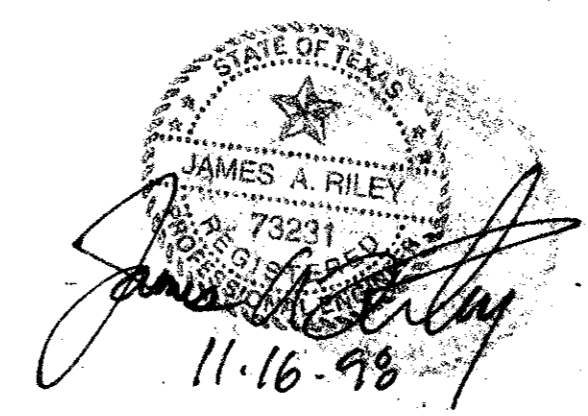
LEGEND

- 535 — Existing Contour
- 35 — Proposed Contour
- 16530.00
9529.50
— 35.3 — Existing Spot Elevation
- 35.3 — Proposed Spot Elevation
- Flow Arrow
- Existing Curb
- Proposed Curb
- Sawcut
- XXXXXXXXXX Existing Storm Sewer Line
- ==== Proposed Storm Sewer Line
- ==== Retaining Wall

AS-BUILT

NOTE:
THESE PLANS HAVE BEEN REVISED
TO CONFORM WITH CONSTRUCTION
RECORDS PROVIDED BY CONTRACTOR.

GRADING PLAN							
16200 ADDISON ROAD OFFICE BLDG.							
TOWN OF ADDISON							
DALLAS COUNTY, TEXAS							
Civil & Structural Engineering · Surveying 4144 North Central Expressway, Suite 1100 Dallas, Texas 75204 (214) 824-3647, fax (214) 824-7064							
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.	
JAR	CRN	11/97	1"=30'	BDD	C97318	C-5	

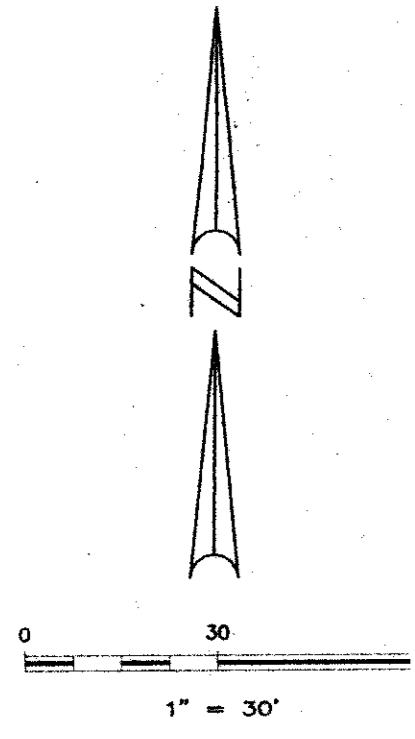


BENCHMARK:
SQUARE CUT FOUND ON CONCRETE
PORCH AT 16301 ADDISON ROAD.
ELEVATION: 638.46

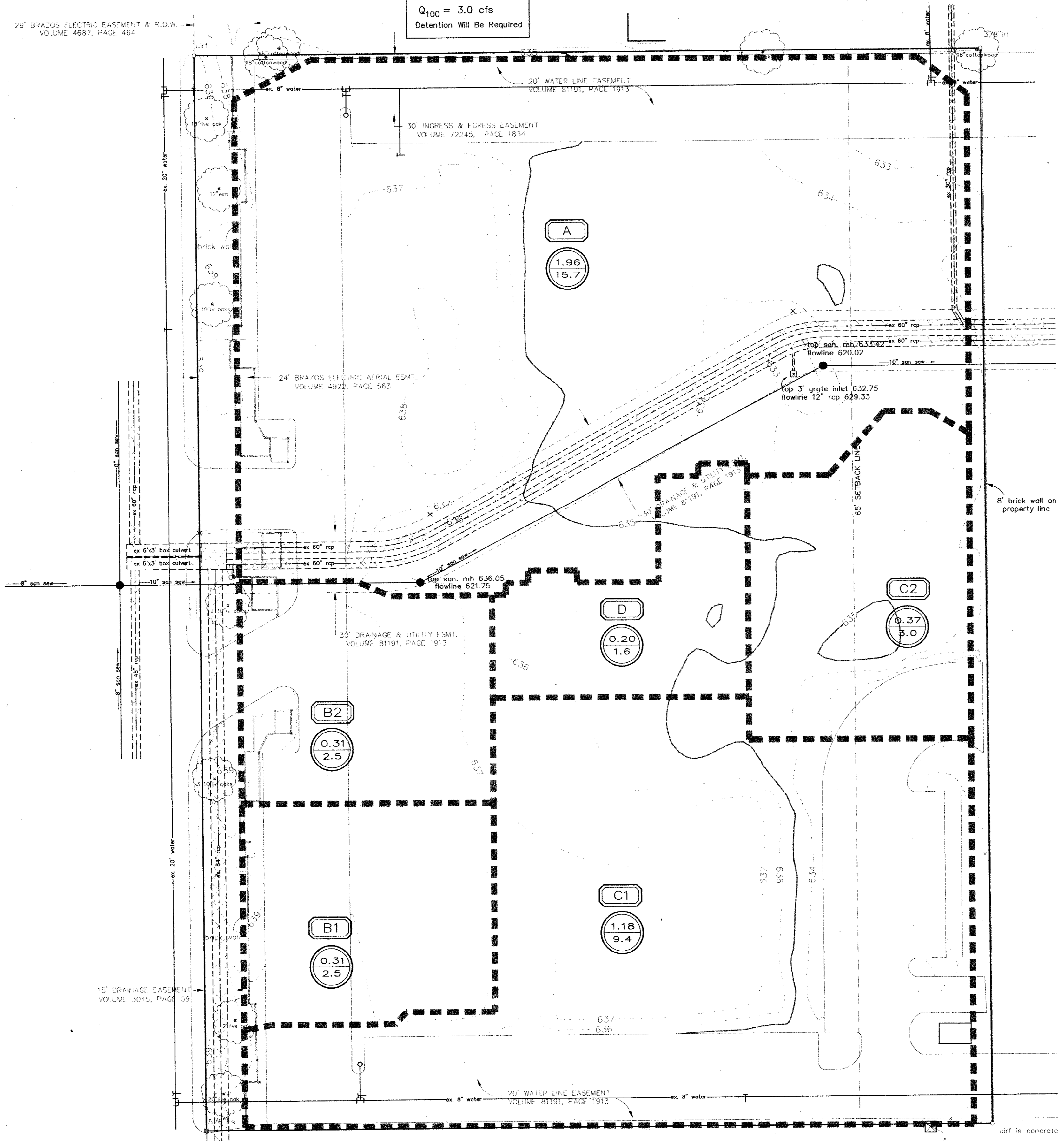
BENCHMARK:
SQUARE CUT SET ON 10' INLET EAST
SIDE ADDISON ROAD AT ENTRANCE INTO
SUBJECT PROPERTY.
ELEVATION: 637.51

OFFSITE DRAINAGE

A = 1.00 Acre
 $I_{100} = 7.56$ in/hr
 C = 0.40
 $t_c = 15$ min.
 $Q_{100} = 3.0$ cfs
 Detention Will Be Required



29' BRAZOS ELECTRIC EASEMENT & R.O.A.
 VOLUME 4687, PAGE 464

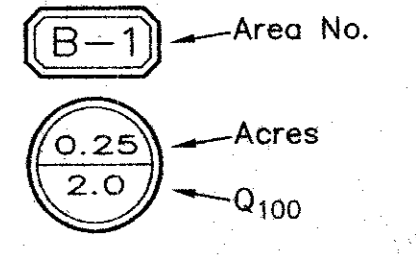


LEGEND

- 550 — Existing Contour
- 50 — Proposed Contour
- Flow Arrow
- Existing Curb
- Proposed Curb
- Sawcut
- Drainage Divide Line

DRAINAGE CRITERIA

$Q = C I A$
 $C = 0.90$
 $I_{100} = 8.88$ in/hr
 $t_c = 10$ min.



DRAINAGE AREA MAP
 16200 ADDISON ROAD OFFICE BLDG.
 TOWN OF ADDISON
 DALLAS COUNTY, TEXAS

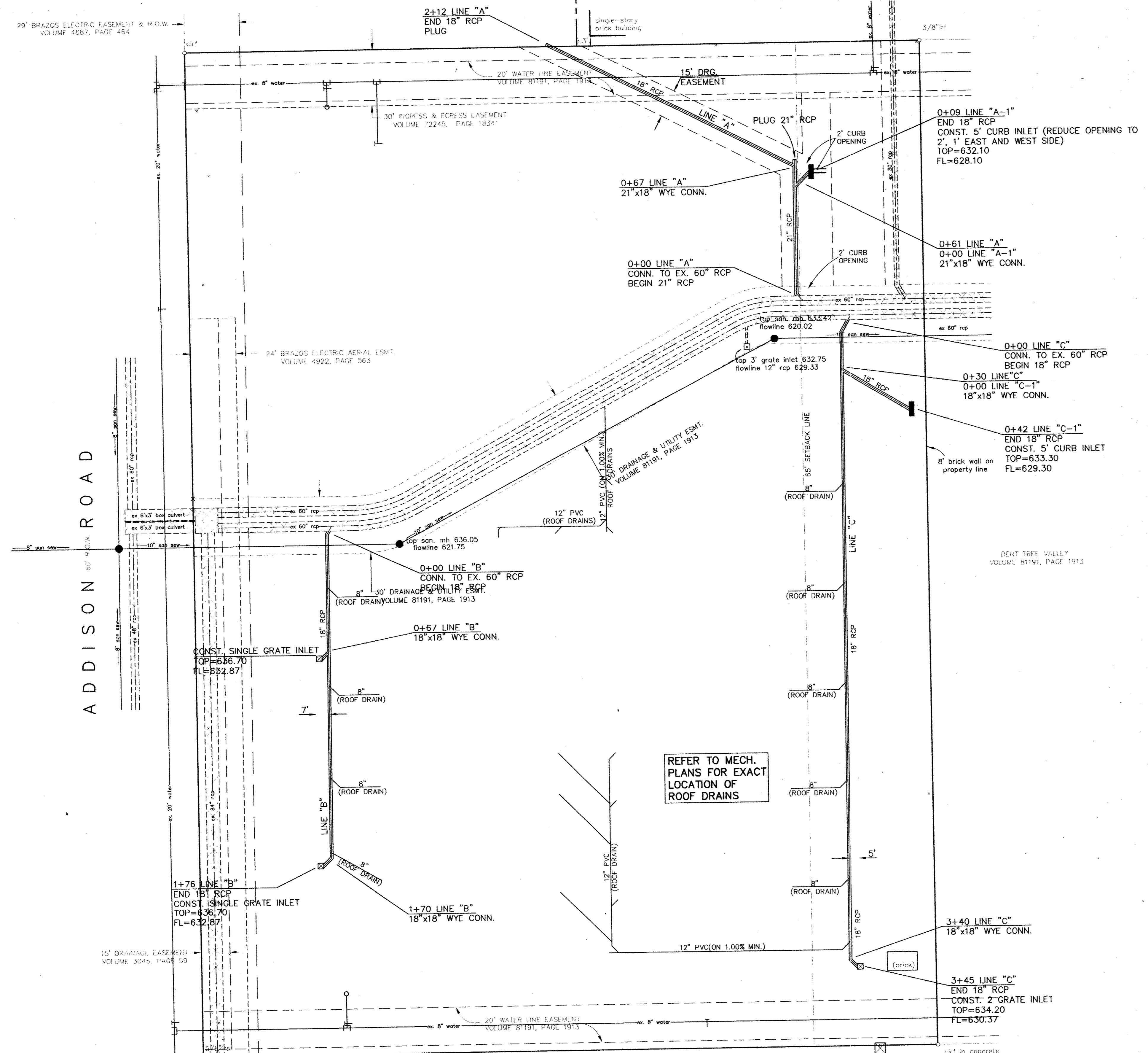
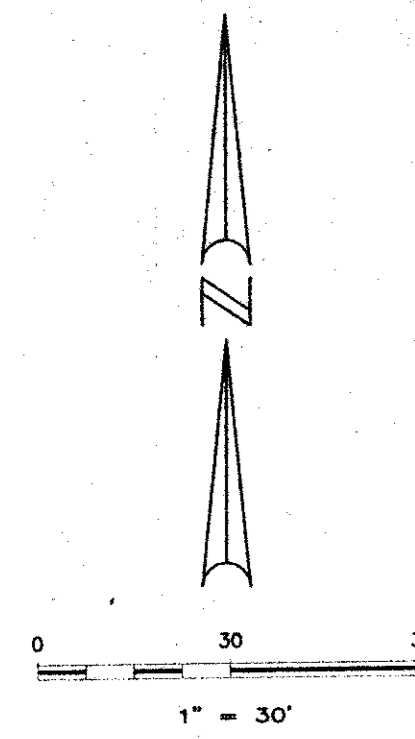
BROCKETTE • DAVIS • DRAKE, inc.
 consulting engineers
 Civil & Structural Engineering-Surveying
 4144 North Central Expressway, Suite 1100 Dallas, Texas 75204
 (214)824-3647, fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	1"=30'	BDD	C97318	C-6.

STATE OF TEXAS
 JAMES A. RILEY
 73231
 11.16.98

AS-BUILT

NOTE:
 THESE PLANS HAVE BEEN REVISED
 TO CONFORM WITH CONSTRUCTION
 RECORDS PROVIDED BY CONTRACTOR.



General Notes

1. All materials and construction shall conform to the Town of Addison's Standards and Specifications except as noted herein or by the City.
2. All storm sewer pipe 18" and larger shall be Class III RCP.
3. Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
4. Concrete for inlets and drainage structures shall be 3000 psi at 28 days.
5. Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
6. Contractor shall protect all public utilities in the construction of this project.
7. The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
8. If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
9. See Water and Sanitary Sewer Plan for additional information related to other utility construction.
10. All trench backfill for storm sewer shall be compacted as required by City.
11. It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
12. Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
13. Prior to placing any fill material, all existing surfaces, vegetation, loose fill, and debris should be removed to a minimum depth of 6". All exposed surfaces should then be scarified, watered as required, and recompact to a minimum density of 95% of the maximum dry density as defined by ASTM D 698 (Standard Proctor Test) at a moisture content between -1 and +3 percent above optimum moisture content.
14. Drainage should be maintained away from the foundations, both during and after construction.
15. Areas of construction shall be properly barricaded for the protection of the public.

LEGEND

- Existing Curb
- Proposed Curb
- Sawcut
- Existing Storm Sewer
- Proposed Storm Sewer

REFER TO MECH. PLANS FOR EXACT LOCATION OF ROOF DRAINS

STATE OF TEXAS
 JAMES A. RILEY
 73231
James A. Riley
 11.16.98

AS-BUILT

NOTE:
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 RECORDS PROVIDED BY CONTRACTOR.

STORM SEWER PLAN
 16200 ADDISON ROAD OFFICE BLDG.
 TOWN OF ADDISON
 DALLAS COUNTY, TEXAS

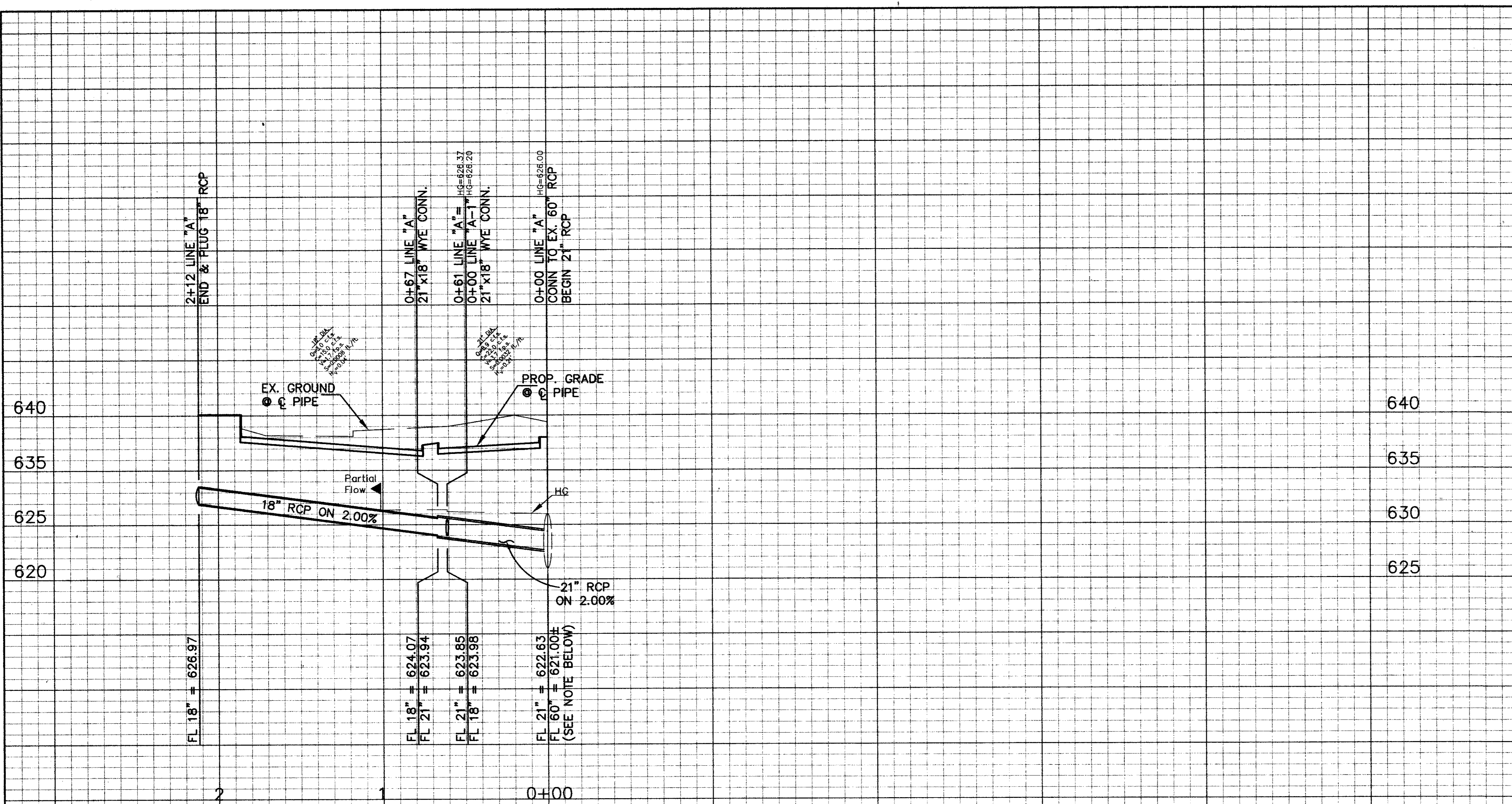
BROCKETTE • DAVIS • DRAKE • inc.
 consulting engineers
 Civil & Structural Engineering-Surveying
 4144 North Central Expressway, Suite 1100 Dallas, Texas 75204
 (214)824-3647, fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	1"=30'	BDD	C97318	C-7

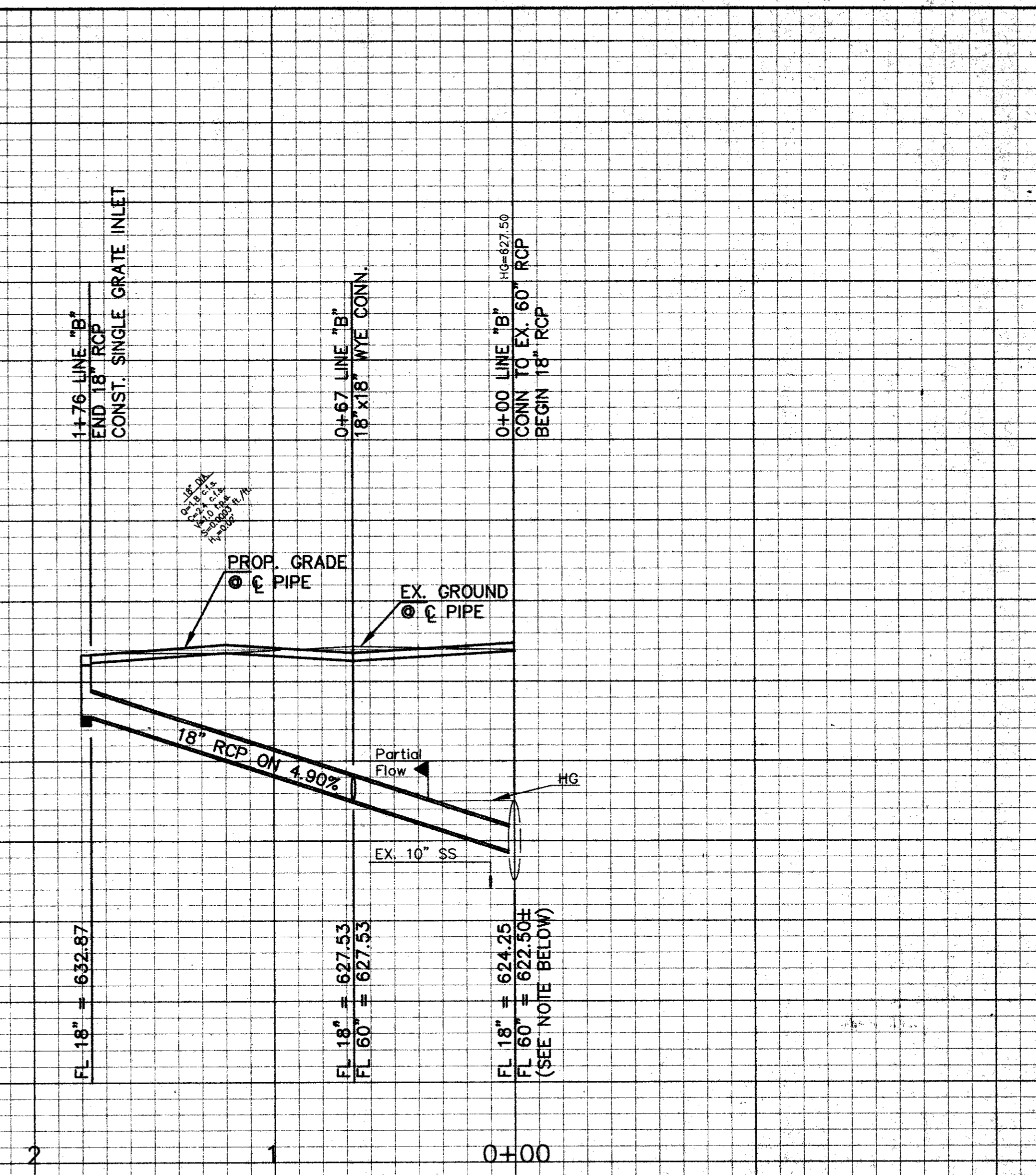
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LAKI W & PROPERTIES, INC.
 VOLUME 79914, PAGE 1382

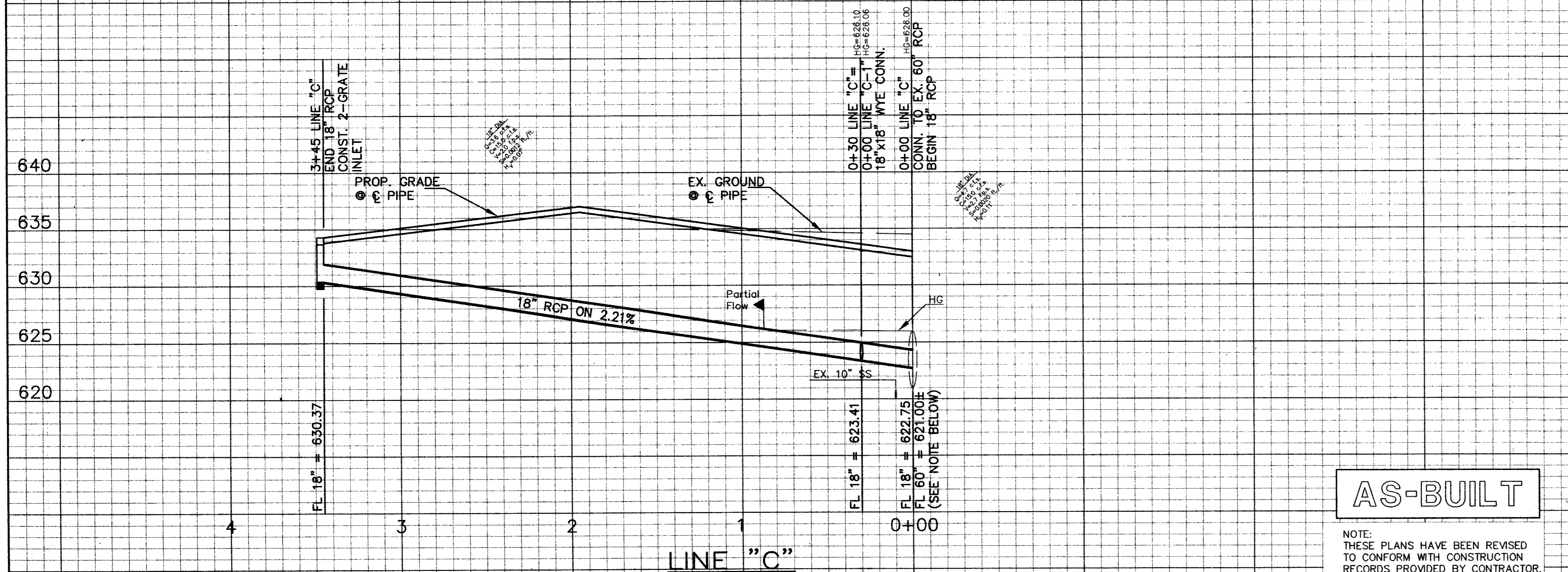
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LINE "A"



LINE "B"



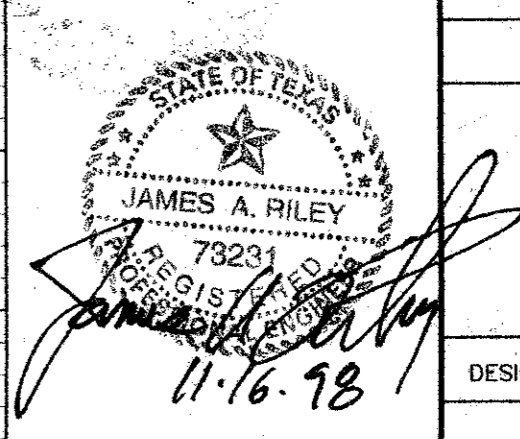
LINE "C"

BENCHMARK:
 SQUARE CUT FOUND ON CONCRETE
 PORCH AT 16301 ADDISON ROAD.
 ELEVATION: 638.46

BENCHMARK:
 SQUARE CUT SET ON 10' INLET EAST
 SIDE ADDISON ROAD AT ENTRANCE INTO
 SUBJECT PROPERTY.
 ELEVATION: 637.51

STORM SEWER PROFILES
 16200 ADDISON ROAD OFFICE BLDG.
 TOWN OF ADDISON
 DALLAS COUNTY, TEXAS

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 □ consulting engineers
 Civil & Structural Engineering · Surveying
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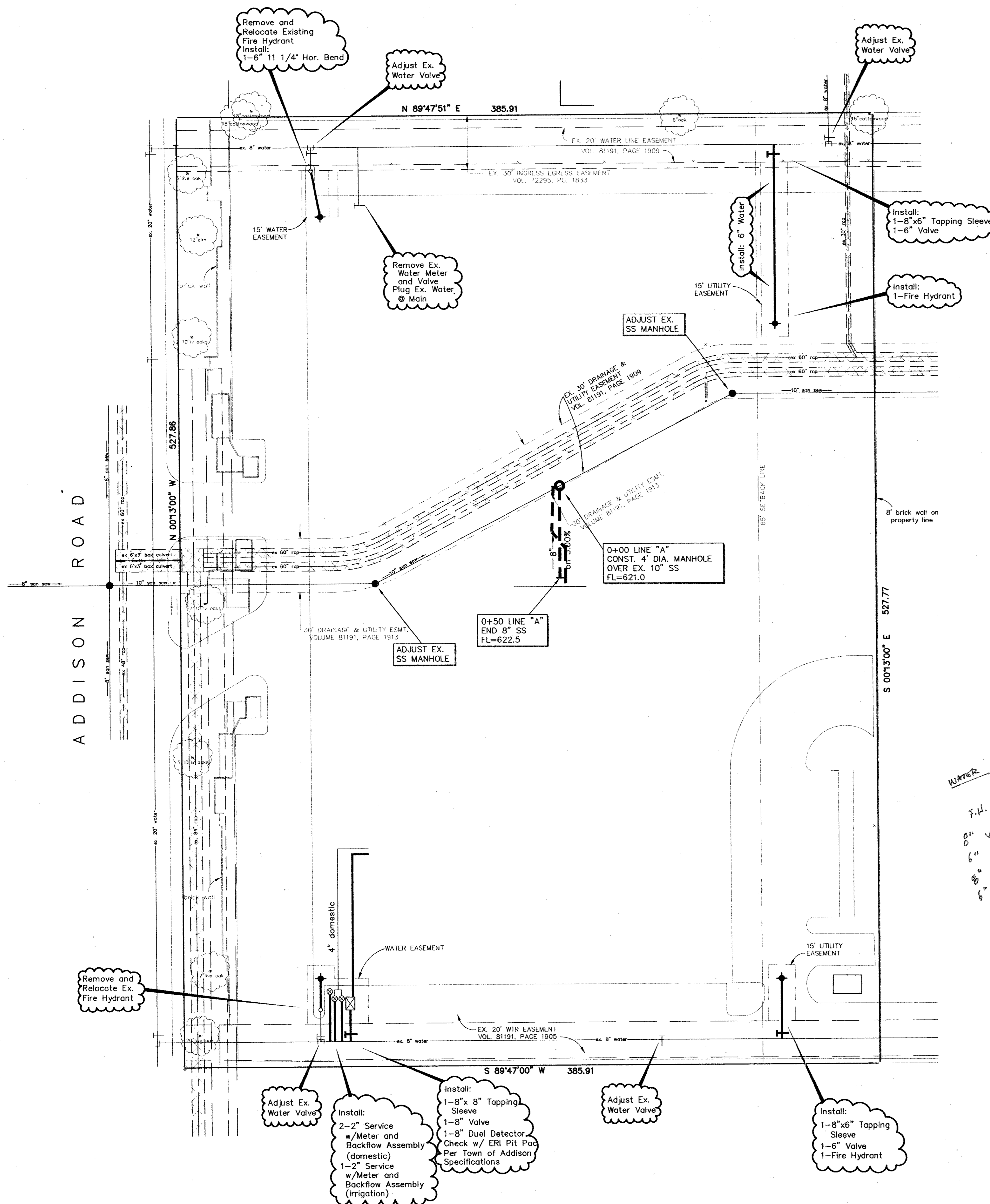
AS-BUILT

NOTE:
 THESE PLANS HAVE BEEN REVISED
 TO CONFORM WITH CONSTRUCTION
 RECORDS PROVIDED BY CONTRACTOR.

NOTE:
 CONTRACTOR SHALL VERIFY
 THE EXACT HORIZONTAL &
 VERTICAL LOCATION OF EX.
 60" RCP.
 (MIN. PIPE SLOPE = 0.40%)

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	HOR: 1"=40' VER: 1"=6'	BDD	C97318	C-8

STWPROF1.DWG



General Notes:

- All construction shall be in accordance with these plans and Town of Addison's ordinances and specifications.
- All materials and workmanship shall conform to "Standard Specifications for Public Works", published by the North Texas Council of Governments, except as modified by the Town of Addison.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities shall be determined by the Contractor prior to construction. Contractor shall have a trench safety plan prepared for all excavation in excess of 5 feet deep. It shall be the duty of Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- Contractor shall secure all necessary permits and contracts prior to commencing construction.
- It shall be the responsibility of the Contractor to protect all public utilities and other property in the construction of this project. Property damaged during this construction shall be repaired or replaced at the contractor's expense to the satisfaction of the owner.
- Concrete blocking shall be provided on water mains at all bends and fire hydrant per City Standards.
- Pavement affected by construction shall be replaced to match existing. Grassed areas affected shall be re-sodded with like materials.
- All public water mains shall be PVC-C900 water pipe.
- The water line shall be constructed with a minimum of 48" of cover.
- Set nozzle of fire hydrant at a height between 18" and 24" from finished ground elevation.
- The Certificate of Acceptance (COA) will not be issued until all water appurtenances have been adjusted to their final position.
- All water meter assemblies shall have Town of Addison approved testable backflow prevention devices. These devices shall be installed, tested, and certified to be working prior to issuance of a certificate of occupancy.
- Upon installation of meters, the owner or agent shall go to 5350 Belt Line Road to pay the proper deposit and initiate service.

WATER
 F.H. 4
 8" Val 1
 6" Val 11
 8" WTR 20
 6" WTR 35 + 100 + 25

LEGEND

- Existing Curb
- Proposed Curb
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line

AS-BUILT

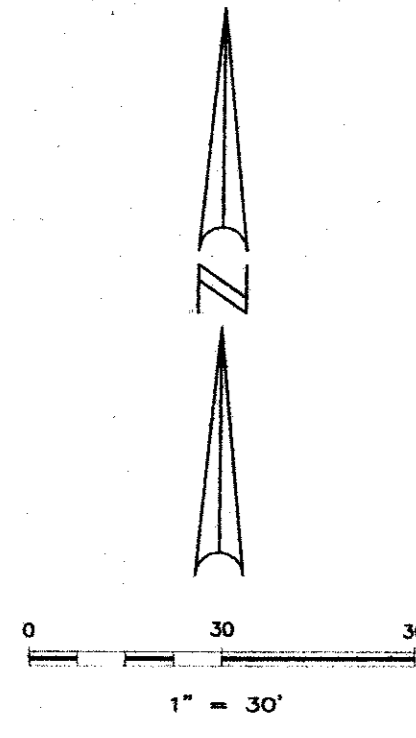
NOTE:
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 TO CONFORM WITH CONSTRUCTION
 RECORDS PROVIDED BY CONTRACTOR.

James A. Riley
 11.16.98

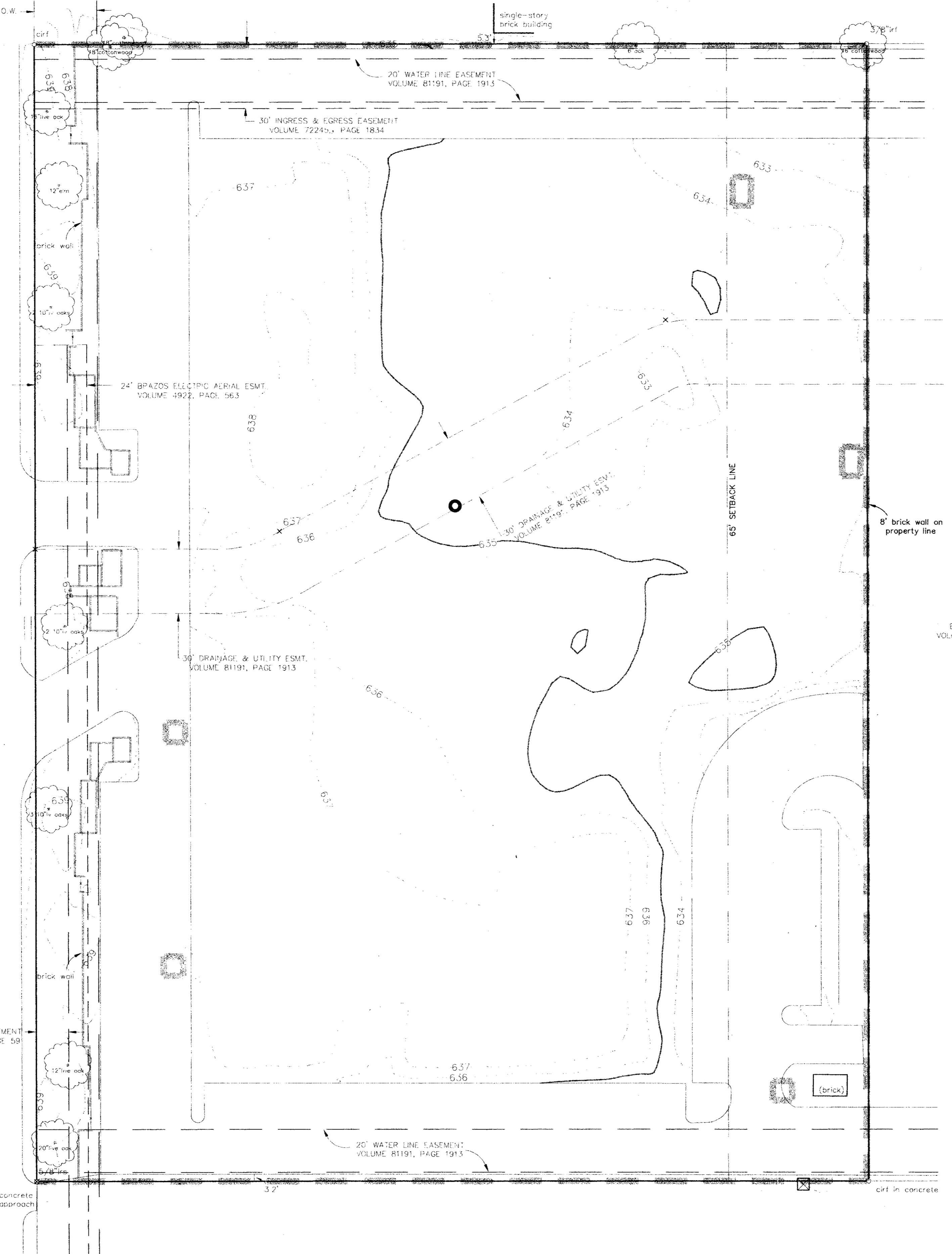
WATER AND SANITARY SEWER PLAN
 16200 ADDISON ROAD OFFICE BLDG.
 TOWN OF ADDISON
 DALLAS COUNTY, TEXAS

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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	1"=30'	C97318		C-9



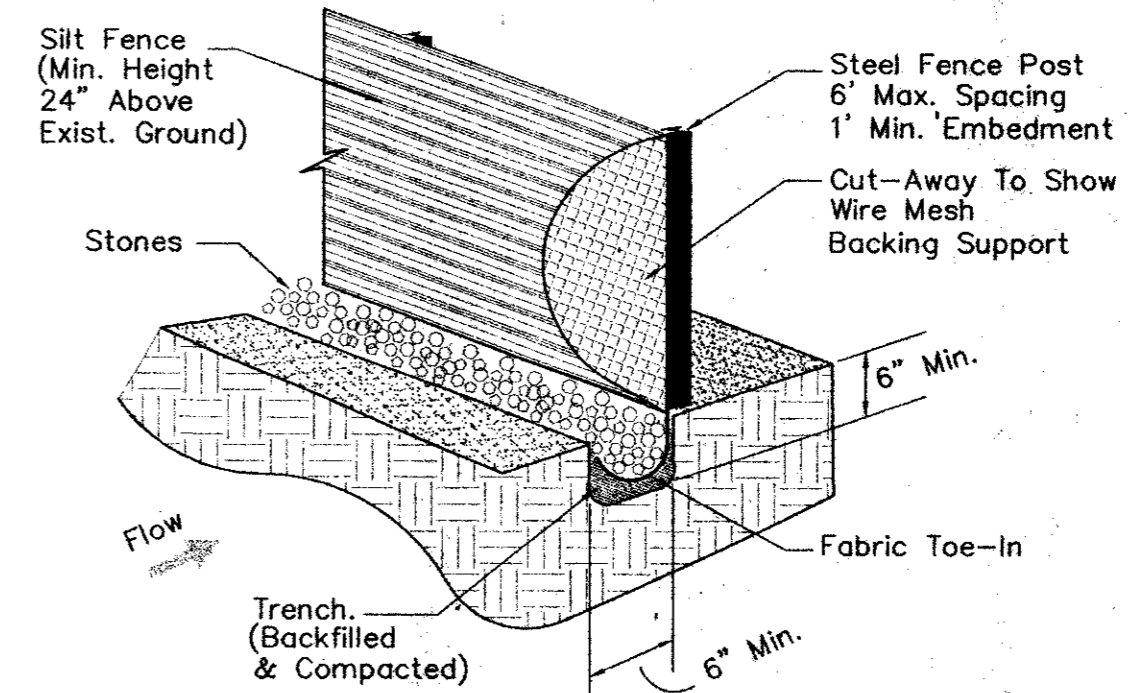
29' BRAZOS ELECTRIC EASEMENT & R.O.W.
VOLUME 4687, PAGE 464



ADDISON ROAD
60' R.O.W.

CONSTRUCTION NOTES - SILT FENCE

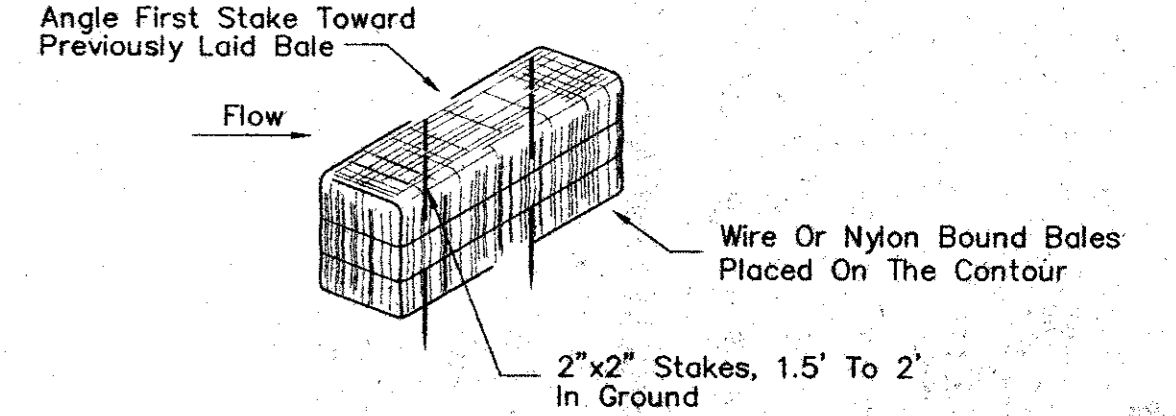
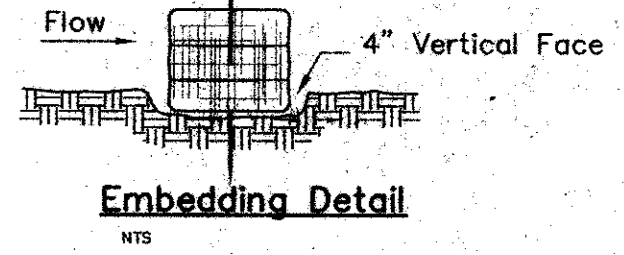
1. Steel posts which support the silt fence shall be installed on a slight angle toward the anticipated runoff source. The post must be embedded a minimum of one foot.
2. The toe of the silt fence shall be trenched in with a spade or mechanical trencher, so that the downslope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g. pavement), weight fabric flap with washed gravel on the uphill side to prevent flow under fence.
3. The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material.
4. Silt fence shall be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel support post. There shall be a 6 inch double overlap, securely fastened where ends of fabric meet.
5. Inspection shall be made weekly or after each rainfall. Repair or replacement shall be made promptly as needed.
6. Silt fence shall be removed when the site is completely stabilized so as not to block or impede storm flow or drainage.
7. Accumulated silt shall be removed when it reaches a depth of 6 inches. The silt shall be disposed of at an approved site and in such a manner as to not contribute to additional siltation.



SILT FENCE DETAIL

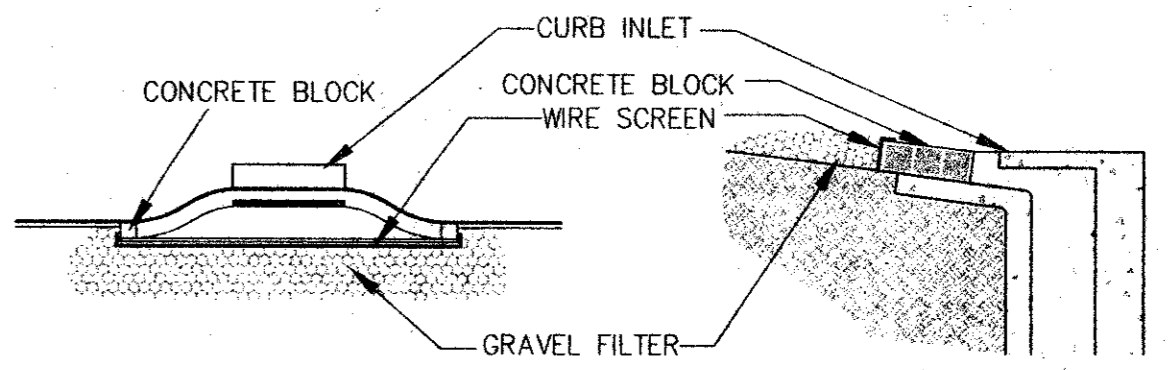
CONSTRUCTION NOTES - HAYBALES

1. Bales shall be placed in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be embedded in the soil a minimum of 4" where possible.
3. Bales shall be securely anchored in place by stakes or re-bars driven through the bales. The first stake in each bale shall be angled toward previously laid bale to force bales together.
4. Inspection shall be frequent and repair or replacement shall be made promptly as needed by contractor.
5. On curb inlets, after paving has been completed place hay bales along throat of inlet to keep trash & silt from entering inlet.
6. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.
7. Accumulated silt shall be removed when it reaches a depth of six inches.



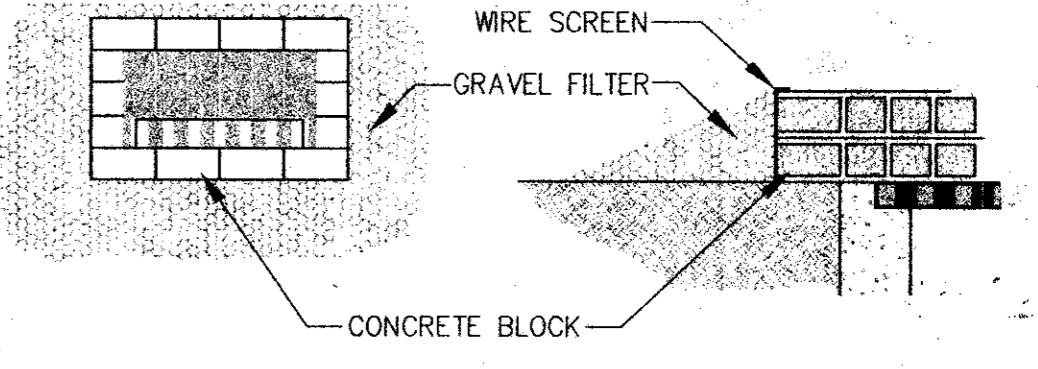
Anchor Detail
TEMPORARY HAYBALE BARRIER DETAIL

BENT TREE VALLEY
VOLUME 81191, PAGE 1913

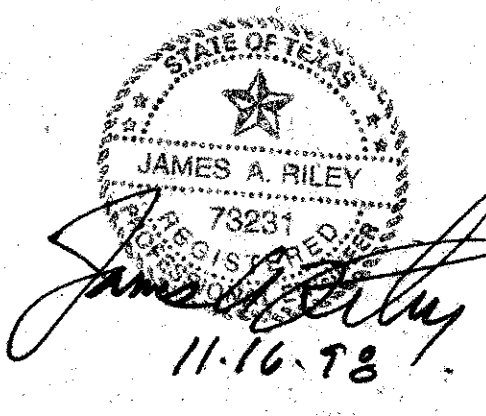


CURB INLET PROTECTION

BLOCK AND GRAVEL PROTECTION
Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends abutting. Opening in the blocks should face outward, not upward. Wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.



DROP INLET PROTECTION



AS-BUILT

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

- LEGEND**
- 535 - Existing Contour
 - 35 - Proposed Contour
 - Flow Arrow
 - Existing Curb
 - Proposed Curb
 - Sawcut
 - Existing Storm Sewer Line
 - Proposed Storm Sewer Line
 - Silt Fence

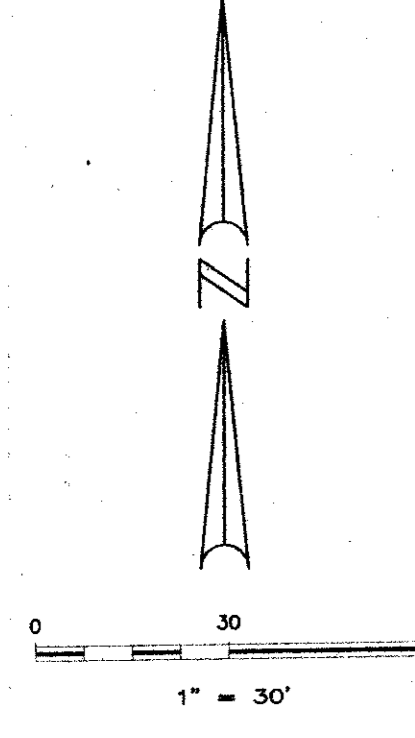
STORMWATER POLLUTION PREVENTION PLAN
16200 ADDISON ROAD OFFICE BLDG.
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

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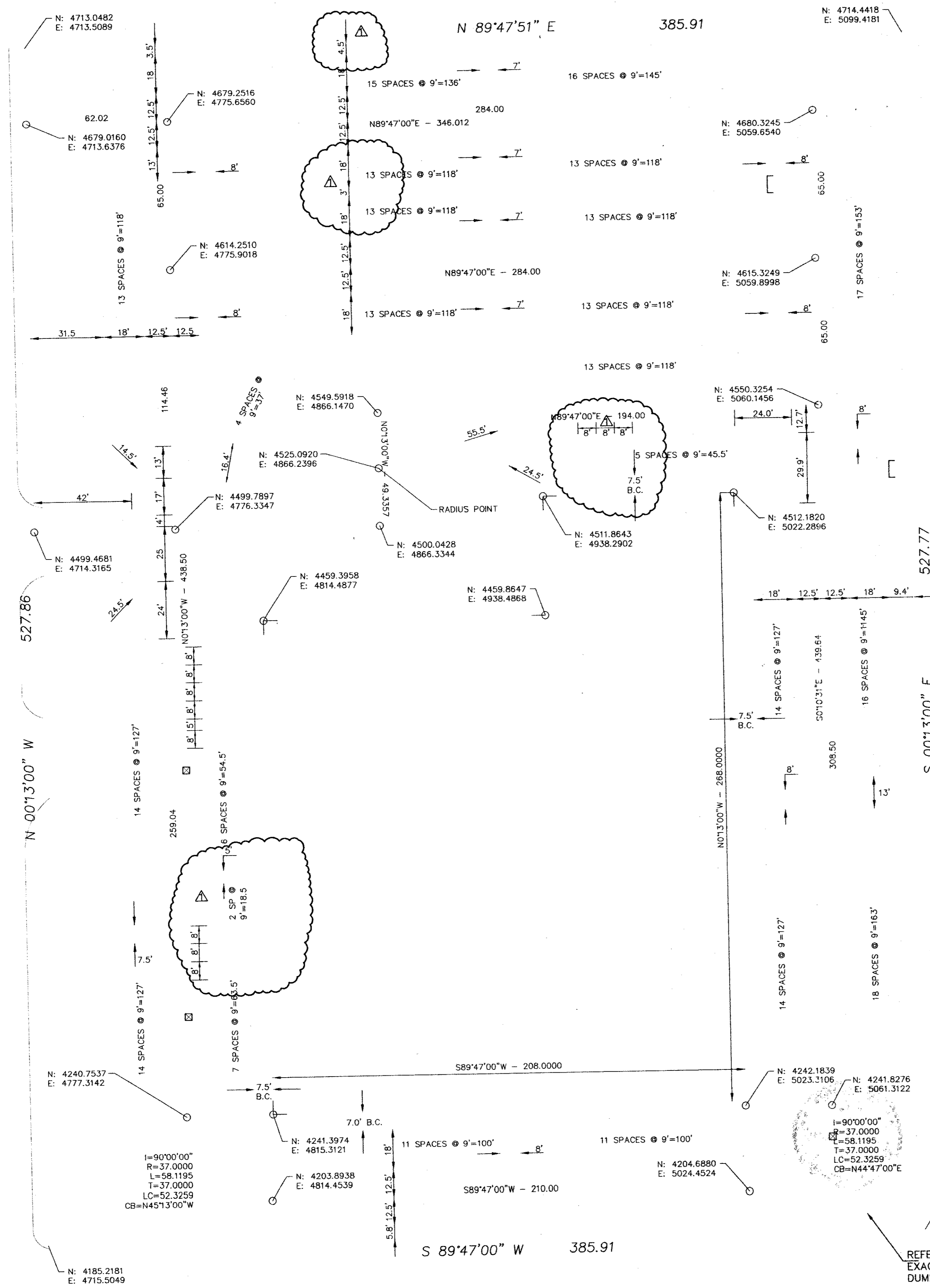
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	1"=30'	C97318		C-10

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ADDISON ROAD



STATE OF TEXAS
JAMES A. RILEY
73231
REGISTERED SURVEYOR
11.16.98
AS-BUILT

NOTE:
THESE PLANS HAVE BEEN REVISED
TO CONFORM WITH CONSTRUCTION
RECORDS PROVIDED BY CONTRACTOR.

REVISED 4/23/98

HORIZONTAL CONTROL PLAN
16200 ADDISON ROAD OFFICE BLDG.
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	CRN	11/97	1"=30'	BDD	C97318	C-11