CONSTRUCTION PLANS

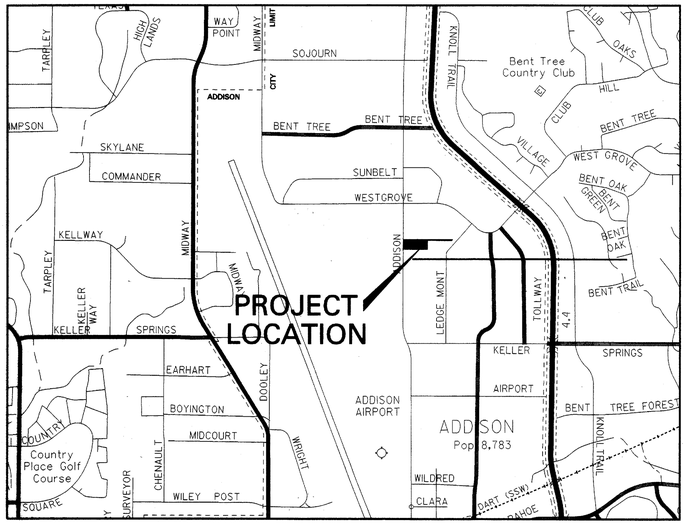
FOR

PAVING, DRAINAGE & UTILITIES

ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

MARCH 2006



VICINITY MAP

NTS

SHEET INDEX

1 COVER SHEET
2 FINAL PLAT
3 GENERAL NOTES
4 DIMENSION CONTROL PLAN
5 GRADING PLAN
6 PAVING PLAN & PROFILE - SHARED DRIVE A & SHARED DRIVE B
7 PAVING PLAN & PROFILE - SHARED DRIVE C, SHARED DRIVE D & SHARED DRIVE E
8 DRAINAGE AREA MAP
9 STORM DRAIN PLAN & PROFILE - SD-1 & SD-2
10 DETENTION GRADING & INLET DETAIL
11 WATER LAYOUT
12 SANITARY SEWER PLAN & PROFILE
13 TRAFFIC CONTROL
14 EROSION CONTROL
15 HORIZONTAL INLET - TYPE 'H' DETAIL
16 DRAINAGE CALCULATIONS
17 PAVING DETAILS

RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER

STATE OF TEXAS
BRYAN P. POWELL
94881
LICENSED
PROFESSIONAL ENGINEER

ENGINEER:

Carter :: Burgess

CARTER & BURGESS, INC.
7950 ELMBROOK DRIVE, SUITE 250
DALLAS, TX. 75247-4951

FF-6

PROJECT NO. 023313.010 C&B FILE NO 01- SHEET 1 OF 17

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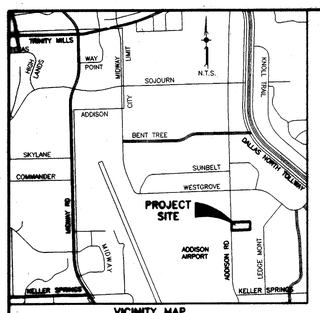
16420 ADDISON RD.

FF-6

ADDISON OFFICE CONDOS

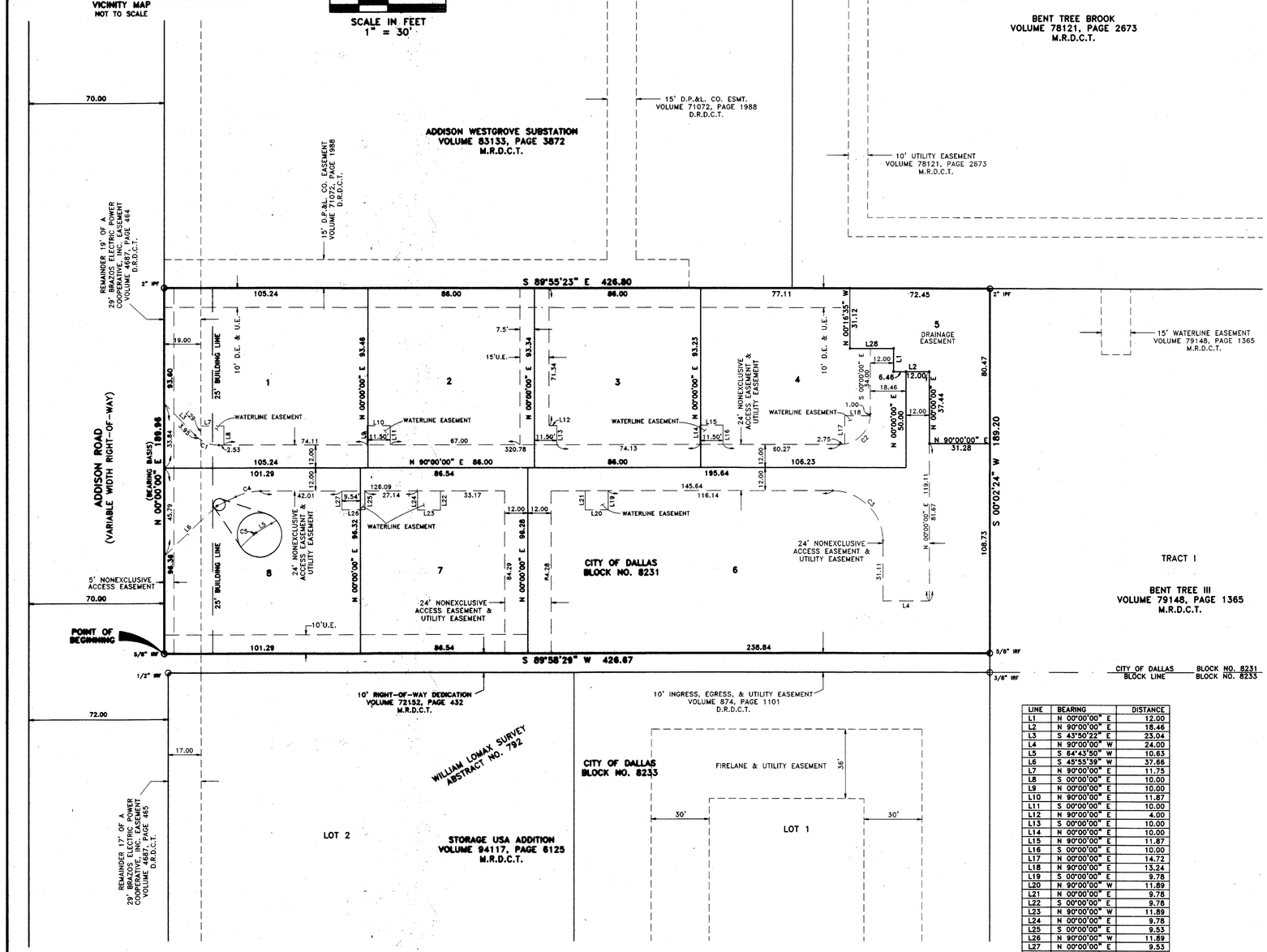
CONSTRUCTION PLANS

ADDISON OFFICE CONDOS



VICINITY MAP
NOT TO SCALE

30 15 0 30
SCALE IN FEET
1" = 30'



TRACT I

BENT TREE III
VOLUME 79148, PAGE 1365
M.R.D.C.T.

CITY OF DALLAS BLOCK NO. 8231
BLOCK LINE BLOCK NO. 8233

LINE	BEARING	DISTANCE
L1	N 00°00'00" E	12.00
L2	N 90°00'00" E	18.46
L3	S 43°50'22" E	23.04
L4	N 90°00'00" W	24.00
L5	S 64°43'50" W	10.63
L6	S 45°55'39" W	37.66
L7	N 90°00'00" E	11.75
L8	S 00°00'00" E	10.00
L9	N 00°00'00" E	10.00
L10	N 90°00'00" E	11.87
L11	S 00°00'00" E	10.00
L12	N 90°00'00" E	4.00
L13	S 00°00'00" E	10.00
L14	N 00°00'00" E	10.00
L15	N 90°00'00" E	11.87
L16	S 00°00'00" E	10.00
L17	N 00°00'00" E	14.72
L18	N 90°00'00" E	13.24
L19	S 00°00'00" E	9.78
L20	N 90°00'00" W	11.89
L21	N 00°00'00" E	9.78
L22	S 00°00'00" E	9.78
L23	N 90°00'00" W	11.89
L24	N 00°00'00" E	9.78
L25	S 00°00'00" E	9.53
L26	N 90°00'00" W	11.89
L27	N 00°00'00" E	9.53
L28	N 90°00'00" E	22.50
L29	S 00°00'00" E	7.28

CURVE	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	17.00	46°09'38"	N 66°55'11" W	13.33	13.70
C2	16.00	90°00'00"	S 45°00'00" W	22.63	25.13
C3	26.00	90°00'00"	S 45°00'00" E	36.77	40.84
C4	30.00	25°16'10"	N 77°21'55" E	13.12	13.23
C5	1.00	18°48'11"	N 55°19'44" E	0.33	0.33

LEGEND	
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT
IRF	IRON ROD FOUND
IPF	IRON PIPE FOUND
D.R.D.C.T.	DEED RECORDS OF DALLAS COUNTY, TEXAS
M.R.D.C.T.	MAP RECORDS OF DALLAS COUNTY, TEXAS

NOTES:

1.) BEARING BASIS IS THE EAST RIGHT-OF-WAY LINE OF ADDISON ROAD, A VARIABLE WIDTH R.O.W., ACCORDING TO THE PLAT RECORDED IN VOLUME 72152, PAGE 432 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS.

FIELD NOTES

BEING A 1.857 ACRE TRACT OF LAND SITUATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792, IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, AND BEING ALL OF LOT 1 OF THE CITY OF DALLAS BLOCK NO. 8231, ACCORDING TO THE FINAL PLAT OF KEMP ENGINEERING CO. INC. SUBDIVISION, AN ADDITION TO THE CITY OF DALLAS, RECORDED IN VOLUME 72152, PAGE 432 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS (M.R.D.C.T.), SAID LOT 1 BEING DEDICATED TO 16420 ADDISON ROAD, LTD. BY THE DEED RECORDED IN VOLUME 2005002, PAGE 7425 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS (D.R.D.C.T.). SAID 1.857 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 1 OF SAID KEMP ENGINEERING CO. INC. SUBDIVISION, SAID CORNER BEING AT THE INTERSECTION OF THE EXISTING NORTH LINE OF A 10 FOOT WIDE RIGHT-OF-WAY DEDICATION DEDICATED BY SAID KEMP ENGINEERING CO. INC. SUBDIVISION AND THE EXISTING EAST RIGHT-OF-WAY LINE OF ADDISON ROAD, A VARIABLE WIDTH RIGHT-OF-WAY;

THENCE, N 00°00'00" E, ALONG SAID EXISTING EAST RIGHT-OF-WAY LINE OF ADDISON ROAD, A DISTANCE OF 189.96 FEET TO A 2" IRON PIPE FOUND FOR THE NORTHWEST CORNER OF SAID LOT 1 OF SAID KEMP ENGINEERING CO. INC. SUBDIVISION AND THE COMMON SOUTHWEST CORNER OF ADDISON WESTGROVE SUBSTATION, AN ADDITION TO THE CITY OF ADDISON, RECORDED IN VOLUME 83133, PAGE 3872, M.R.D.C.T.;

THENCE, S 89°55'23" E, DEPARTING SAID EXISTING EAST RIGHT-OF-WAY LINE OF ADDISON ROAD, AND ALONG THE NORTH LINE OF SAID LOT 1 OF SAID KEMP ENGINEERING SUBDIVISION AND THE COMMON SOUTH LINES OF SAID ADDISON WESTGROVE SUBSTATION AND OF LOT 1, BLOCK 1 OF BENT TREE BROOK, AN ADDITION TO THE TOWN OF ADDISON, RECORDED IN VOLUME 78121, PAGE 2673, M.R.D.C.T., A DISTANCE OF 426.80 FEET TO A 2" IRON PIPE FOUND FOR THE NORTHEAST CORNER OF SAID LOT 1 OF KEMP ENGINEERING CO. INC. SUBDIVISION AND THE COMMON NORTHWEST CORNER OF TRACT I OF BENT TREE III, AN ADDITION TO THE TOWN OF ADDISON, RECORDED IN VOLUME 79148, PAGE 1365, M.R.D.C.T.;

THENCE, S 00°02'24" W, DEPARTING SAID COMMON LINE, AND ALONG THE EAST LINE OF SAID LOT 1 OF SAID KEMP ENGINEERING CO. INC. SUBDIVISION AND THE COMMON WEST LINE OF SAID TRACT I, A DISTANCE OF 189.20 FEET TO A 5/8" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID LOT 1 OF SAID KEMP ENGINEERING CO. INC. SUBDIVISION AND THE COMMON NORTHEAST CORNER OF THE AFORESAID 10 FOOT WIDE RIGHT-OF-WAY DEDICATION BY SAID KEMP ENGINEERING CO. INC. SUBDIVISION;

THENCE, S 89°58'29" W, DEPARTING SAID COMMON LINE, AND ALONG THE SOUTH LINE OF SAID LOT 1 OF SAID KEMP ENGINEERING CO. INC. SUBDIVISION AND THE COMMON EXISTING NORTH RIGHT-OF-WAY LINE OF SAID 10 FOOT WIDE RIGHT-OF-WAY DEDICATION, A DISTANCE OF 426.67 FEET TO THE POINT OF BEGINNING, AND CONTAINING 1.857 ACRES OF LAND, MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, EDUARDO MARTINEZ REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM A ACTUAL ON THE GROUND SURVEY OF THE LAND, AND THE MONUMENTS SHOWN HEREON WERE FOUND AND/OR PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF THE CITY PLAN COMMISSION OF THE CITY OF LANCASTER.

DATED NOVEMBER 10, 2005

EDUARDO MARTINEZ
TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5274

STATE OF TEXAS
REGISTERED
EDUARDO MARTINEZ
5274
PROFESSIONAL
LAND SURVEYOR

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED EDUARDO MARTINEZ, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 10th DAY OF NOVEMBER, 2005.

NOTARY PUBLIC, STATE OF TEXAS
COMMISSION EXPIRES: AUGUST 15, 2009

MICHAEL TREVINO
Notary Public, State of Texas
My Commission Expires
August 15, 2009

APPROVED

CHAIRMAN
PLANNING & ZONING COMMISSION

DATE

ATTEST

SECRETARY
PLANNING & ZONING COMMISSION

DATE

EXECUTED PRO-FORMA

MAYOR

DATE 1-6-06

THE UNDERSIGNED, THE CITY SECRETARY OF THE TOWN OF ADDISON, TEXAS, HEREBY CERTIFIES THAT THE FOREGOING FINAL PLAT OF ADDISON OFFICE CONDOS, AN ADDITION TO THE TOWN OF ADDISON, WAS SUBMITTED TO THE PLANNING AND ZONING COMMISSION AND APPROVED BY IT ON THE 7th DAY OF December, 2005.

CITY SECRETARY

HOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT 16420 ADDISON ROAD, LTD., DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE PROPERTY AS ADDISON OFFICE CONDOS, AN ADDITION TO THE TOWN OF ADDISON, TEXAS, AND SUBJECT TO THE CONDITIONS, RESTRICTIONS AND RESERVATIONS STATED HEREINAFTER, OWNER DEDICATES TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN THEREON.

THE EASEMENT SHOWN ON THIS PLAT ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED, INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF WATER, SANITARY SEWER, STORM SEWER, DRAINAGE, ELECTION, TELEPHONE, GAS AND CABLE TELEVISION. OWNER SHALL HAVE THE RIGHT TO USE THESE EASEMENTS, PROVIDED, HOWEVER, THAT IT DOES NOT UNREASONABLY INTERFERE OR IMPEDE WITH THE PROVISION OF THE SERVICES TO OTHERS. SAID UTILITY EASEMENTS ARE HEREBY BEING RESERVED BY MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. AN EXPRESS EASEMENT OF INGRESS AND EGRESS IS HEREBY EXPRESSLY GRANTED ON, OVER AND ACROSS ALL SUCH EASEMENTS FOR THE BENEFIT OF THE PROVIDER OF SERVICES FOR WHICH EASEMENTS ARE GRANTED.

ANY DRAINAGE AND FLOODWAY EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC'S USE FOREVER, BUT INCLUDING THE FOLLOWING COVENANTS WITH REGARDS TO MAINTENANCE RESPONSIBILITIES. THE EXISTING CHANNELS OR CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT WILL REMAIN AS AN OPEN CHANNEL, UNLESS REQUIRED TO BE ENCLOSED BY ORDINANCE, AT ALL TIMES AND SHALL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND FLOODWAY EASEMENT. THE TOWN WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID CREEK OR CREEKS OR FOR ANY DAMAGE OR INJURY OF PRIVATE PROPERTY OR PERSON THAT RESULTS FROM THE FLOW OF WATER ALONG SAID CREEK, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF WATER RUNOFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE BUILDING, FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND FLOODWAY EASEMENT. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE TOWN TO CHANNELIZE OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE, THEN IN SUCH EVENT, THE TOWN SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE AND FLOODWAY EASEMENT AT ANY POINT, OR POINTS, WITH ALL RIGHTS OR INGRESS AND EGRESS TO INVESTIGATE, SURVEY, ERECT, CONSTRUCT OR MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY BY THE TOWN FOR MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM OR SERVICE.

WATER MAIN AND SANITARY SEWER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION AND MAINTENANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEAN OUTS, FIRE HYDRANTS, WATER SERVICE AND SEWER SERVICES FROM THE MAIN TO CURB OR PAVEMENT LINE, AND THE DESCRIPTIONS OF SUCH ADDITIONAL EASEMENTS HEREIN GRANTED SHALL BE DETERMINED BY THEIR LOCATIONS AS INSTALLED.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.

WITNESS MY HAND THIS 6th DAY OF DECEMBER, 2005.

16420 ADDISON ROAD, LTD.

BY: 16420 ADDISON ROAD, LTD.
A LIMITED PARTNERSHIP

NAME: JAMES FEAGIN
TITLE: OWNER

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED JAMES FEAGIN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 6th DAY OF December, 2005.

NOTARY PUBLIC, STATE OF TEXAS
COMMISSION EXPIRES: 10-24-09

BRUCE D. BROWNE
NOTARY PUBLIC
STATE OF TEXAS
EXPIRES
10-24-2009

A
FINAL PLAT
OF

ADDISON OFFICE CONDOS

BEING A REPLAT OF
LOT 1, BLOCK 8231 OF
KEMP ENGINEERING CO. INC. SUBDIVISION
VOLUME 72152, PAGE 432
M.R.D.C.T.

OUT OF THE
WILLIAM LOMAX SURVEY, ABSTRACT NO. 792
IN THE
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

1.857 ACRES / 8 LOTS

OWNER/DEVELOPER: 16420 ADDISON ROAD, LTD.
16660 N. DALLAS PARKWAY, SUITE 2900
DALLAS, TEXAS 75248
CONTACT: JAMES FEAGIN

ENGINEER/SURVEYOR: Carter::Burgess

CARTER & BURGESS, INC.
7950 ELMBROOK DRIVE, SUITE 250
DALLAS, TX 75247-4961
(214) 638-0145

THIS PLAT FILED IN VOLUME _____, PAGE _____, M.R.D.C.T.

OCTOBER 2005

SHEET 1 OF 1

FILE NO: 01-7723

Thu Nov 10 14:06:26 2005
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PLAT CHECK: 08/11/05

GENERAL NOTES:

SANITARY SEWER

1. SANITARY SEWER MAINLINE PIPING SHALL MEET THE EXTRA STRENGTH REQUIREMENTS OF ASTM SPECIFICATION D3034, OR SDR 35 PVC FOR INSTALLATIONS LESS THAN TEN FEET DEEP. FOR INSTALLATIONS GREATER THAN TEN FEET, SDR 26 PVC SHALL BE USED. PIPE SHALL HAVE THE BELL AND SPIGOT TYPE JOINTS, CONSISTING OF INTEGRAL WALL SECTION WITH FACTORY INSTALLED COMPRESSION RUBBER RING GASKET, SECURELY LOCKED IN BELL GROOVE TO PROVIDE POSITIVE SEAL UNDER ALL INSTALLATION CONDITIONS. PIPE SHALL BE LAID WITH THE BELL END ON THE UP STREAM SIDE.

2. FITTINGS SHALL BE IDENTICAL WITH THE BELL AND SPIGOT CONFIGURATION OF THE PIPE, AND OF THE SAME CLASS RATING.

3. MAINLINE EMBEDMENT SHALL BE NCTCOG CLASS "B+" WITH THE ADDITION OF A LAYER OF GEO-TEXTILE FABRIC PRIOR TO THE PLACEMENT OF THE SAND, OR AS INDICATED ON APPROVED, ENGINEERED PLANS. BACK FILL SHALL BE NATIVE MATERIAL COMPACTED IN 8" LOOSE LIFTS TO 95% STANDARD PROCTOR DENSITY, WITH ZERO TO PLUS THREE OPTIMUM MOISTURE, AND FREE OF ANY ROCKS OR CLODS LARGER THAN THREE INCHES IN DIAMETER.

4. MANHOLES ARE TO BE POURED IN PLACE WITH CLASS F (NTCOG 7.4.5) MINIMUM CONCRETE MIX. MANHOLES SHALL BE WATERTIGHT. ASBESTOS CEMENT SLEEVES OR APPROVED EQUAL WITH RUBBER RING JOINT SHALL BE USED AT PIPE PENETRATIONS TO PROVIDE POSITIVE WATERTIGHT SEALS. CONNECTIONS AT EXISTING MANHOLES SHALL BE CORED.

5. THE CONTRACTOR OR PLUMBER SHALL MAKE ALL TAPS IN THE NEW OR EXISTING SEWER MAINS. WATER MUST BE PUMPED OUT OF THE TAPPING TRENCH THROUGHOUT THE OPERATION TO PREVENT INFLOW OF GROUNDWATER INTO THE SEWER SYSTEM. SERVICE TAPS SHALL BE MADE WITH STANDARD WYE FITTINGS SET AT 45 DEGREES OF VERTICAL. LATERAL LINES SHALL BE SDR 35 PVC LAID ON ONE QUARTER INCH PER FOOT MINIMUM GRADE TO THE PROPERTIE LINE. A DOUBLE CLEAN OUT SHALL BE PLACED AT THE PROPERTY LINE, AND SET AT FINISHED GRADE WITH AN 18"x18"x4" THICK CONCRETE LOCATOR PAD POURED IN ALL NON-PAVEMENT LOCATIONS. WYES TEES, AND BENDS ARE TO BE INCASED IN CLASS B CONCRETE 6 INCHES THICK. THE TOWN MUST INSPECT TAP PRIOR TO BACK FILL OPERATION. BACK FILL SHALL BE TWELVE INCHES OF SAND PLACED BY HAND SHOVEL ONLY. AFTER HAND OPERATION, THE REST OF THE TRENCH MAY BE MACHINE FILLED WITH SELECT FILL ABSENT OF ANY ROCKS OR CLODS LARGER THAN THREE INCHES IN DIAMETER. COMPACTION IN 6" LOOSE LIFTS.

STORM

1. ALL STORM SEWER PIPE SHALL BE CLASS III RCP

WATER

1. ALL MAINLINE, FIRE LINE, AND HYDRANT LEAD PIPING FROM 6-12 INCHES IN DIAMETER SHALL BE AWWA C909-98 MOLECULARLY ORIENTED PVC PRESSURE PIPE (CLASS 150MIN., CLASS 200 FOR FIRE LINES) WITH CAST IRON O.D., OR, WHEN PIPE PENETRATES METER VAULT WALLS IT SHALL BE DUCTILE IRON. PIPE JOINTS SHALL BE RUBBER RING AND INTEGRAL THICKENED BELL, ASSEMBLED WITH A FACTORY SUPPLIED LUBRICANT. CAST IRON FITTINGS SHALL BE MECHANICAL RESTRAINED JOINT (EBAA IRON "MEGA-LUG" OR EQUAL) TYPE, AND POLY-WRAPPED (8MIL) PRIOR TO BACK FILL, 4 INCH PIPE FOR FIRE LINE SERVICES SHALL BE AWWA C900-75, DR-14, CLASS 200 PVC.

2. EMBEDMENT SHALL COMPLY WITH NCTCOG CLASS "B+" EMBEDMENT OF CRUSHED STONE TO THE SPRING LINE OF THE PIPE, WITH SAND (12" MIN) OVER THE PIPE. A LAYER OF GEO-TEXTILE FABRIC SHALL BE PLACED ON TOP OF THE STONE PRIOR TO THE PLACEMENT OF THE SAND.

3. TRACER WIRE SHALL BE PLACED ON PIPE PRIOR TO EMBEDMENT. WIRE SHALL BE #12 PLASTIC COATED COPPER WIRE, TIED TO ALL VALVES AND FIRE HYDRANTS, AND EXTENDING TO SIX (6) INCHES ABOVE FINISHED GRADE ALONG THE OUTSIDE OF ALL VALVE STACKS AND HYDRANTS.

4. FINISH BACK FILL SHALL BE NATIVE SOIL FREE OF ALL ROCKS AND CLODS GREATER THAN THREE INCHES IN DIAMETER, COMPACTED TO 95% STANDARD PROCTOR DENSITY, IN 6 INCH MAXIMUM LOOSE LIFTS, WITH ZERO TO PLUS THREE OPTIMUM MOISTURE, TRENCHES UNDER PAVEMENT SHALL BE BACKFILLED WITH "FLOWABLE FILL" TO THE LEVEL INDICATED BY THE PAVEMENT THICKNESS, PENDING THE APPROVAL OF THE TOWN'S ENGINEERING DEPARTMENT. SUBMIT A "BATCH DESIGN" FOR ANY FLOWABLE FILL TO BE USED. (MINIMUM COMPRESSION STRENGTH 400PSI)

5. SERVICE TAPS MUST MEET TOWN OF ADDISON STANDARDS. SEE GENERAL REQUIREMENTS FOR WATER SERVICE FOR WATER SERVICE DETAILS. ALL TAPS MUST BE INSPECTED PRIOR TO BACK FILLING.

PAVEMENT

1. THE PAVEMENT SHALL BE 6" REINFORCED CONCRETE (3,600 PSI) WITH A 6" REINFORCED MONOLITHIC CURB.

2. THE PAVEMENT SHALL BE PLACED ON 6" LIME STABILIZED SUBGRADE.

RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER

STATE OF TEXAS
BRYAN P. POWELL
94881
LICENSED
PROFESSIONAL ENGINEER

DATE	REVISION	MADE	CKD	APPD

Carter=Burgess

Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

GENERAL NOTES

ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON		POWELL	NTS	MARCH'06	01-6628	3 OF 17

DGN=d:\SLD\023313010\MSGRA\313ign01.dgn - ON=1,3-16,18,20-56

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C&B JOB No. 023313010

PRF=\\DAI-SQ2\SANVOL2\P\ATOOOM\313ign01.prf - ROT=90.000000 - SCALE=20.000000 TBL=O:\PLT-TBL\LANDEVNT.tbl USER=tipton JOB#=(UNKNOWN) PLOTTED Thu Mar 09 13:08:2006
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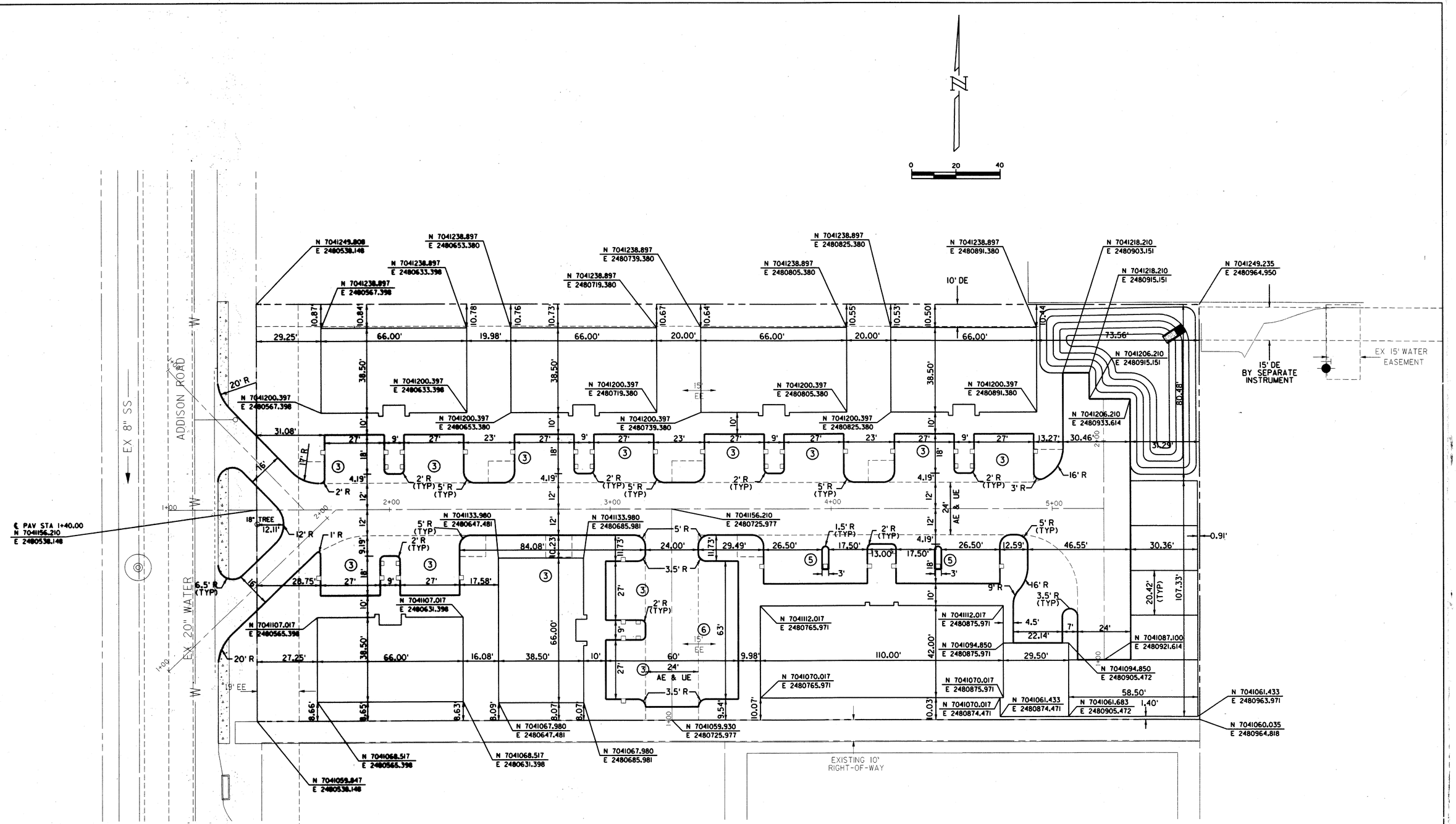

NOTE:
ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE EDGE OF BUILDING

RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER

DATE	REVISION	MADE	CKD	APPD

Carter=Burgess

Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

DIMENSION CONTROL PLAN
ADDISON OFFICE CONDOS

BRYAN P. POWELL 94881 LICENSED PROFESSIONAL ENGINEER

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON		POWELL	1" = 20'	MARCH'06	01-6628	4 OF 17

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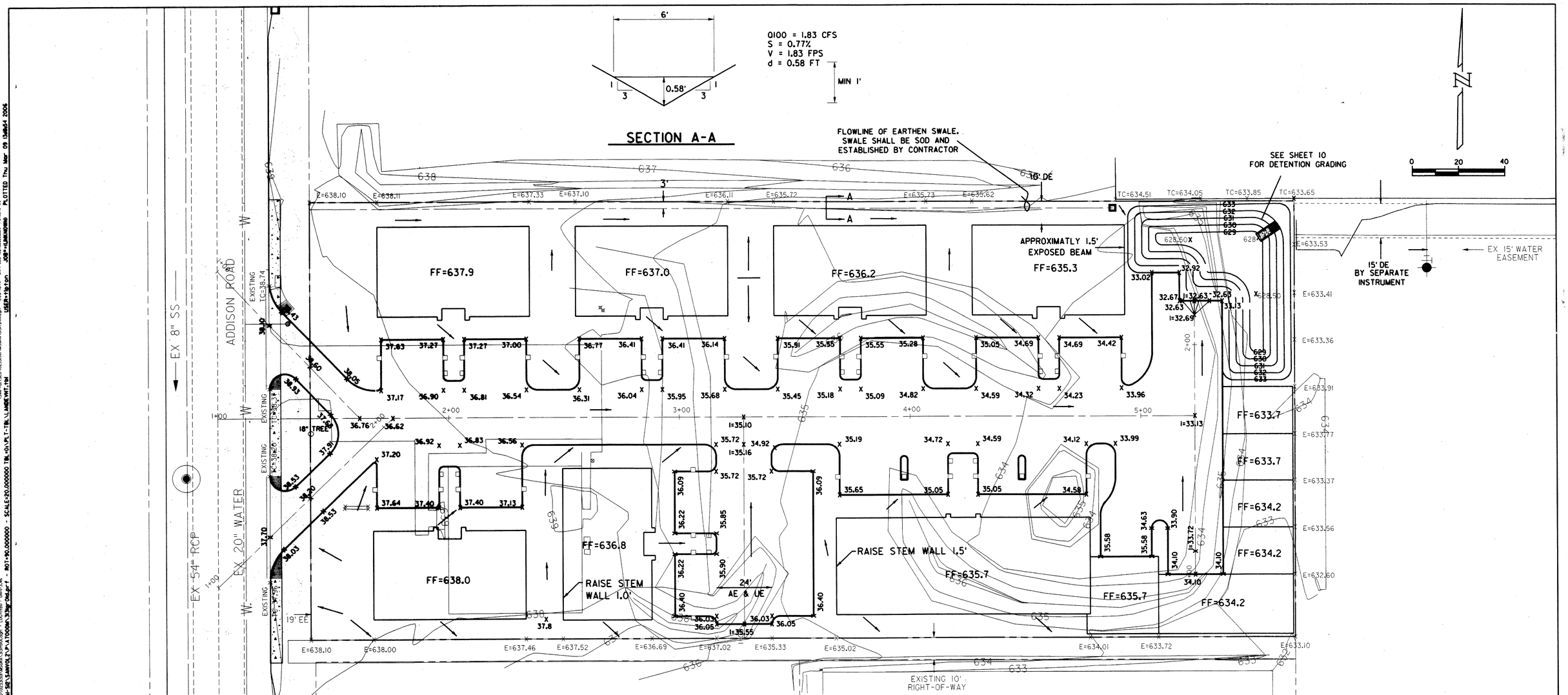
C&B JOB No. 023313010



NOTES:

1. ALL GRADES ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
2. ALL DRIVES AND PARKING AREAS SHALL HAVE A 6 INCH CURB.
3. ARCHITECT AND/OR CONTRACTOR TO ENSURE THAT STEM WALLS ARE AT AN ELEVATION THAT WILL NOT ALLOW WATER TO PENETRATE BUILDING STRUCTURE WHERE FINISH FLOOR ELEVATIONS ARE LOWER THAN THE SURROUNDING GRADES.

BENCHMARKS

1.) "" CUT ON INLET SW CORNER OF RATLIFF AND ADDISON ROAD.
ELEV. 637.20

2.) "" CUT ON INLET EAST SIDE OF ADDISON ROAD, 20' 35/64 SOUTH OF THE SOUTHWEST CORNER OF SUBJECT TRACT.
ELEV. 637.92

LEGEND

x 88.88	PROPOSED SPOT ELEVATIONS (TOP OF PAVEMENT)
———	PROPOSED FLOW DIRECTION
FF=888.8	PROPOSED FINISHED FLOOR
E=888.88	EXISTING GRADE
I=888.88	INVERT ELEVATION
EE	ELECTRICAL EASEMENT
AE & UE	ACCESS & UTILITY EASEMENT

RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER

STATE OF TEXAS
BRYAN P. POWELL
94881
LICENSED
PROFESSIONAL ENGINEER

DATE	REVISION	MADE	CKD	APPD

Carter=Burgess
Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

GRADING PLAN
ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	SPONSEL	POWELL	1" = 20'	MARCH'06	01-6628	5 OF 17

DGN=d:\SLD\023330\MSGRA\313gr01.dgn - ON=1,3-16,18,20-56

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C&B JOB No. 023313010

BENCHMARKS

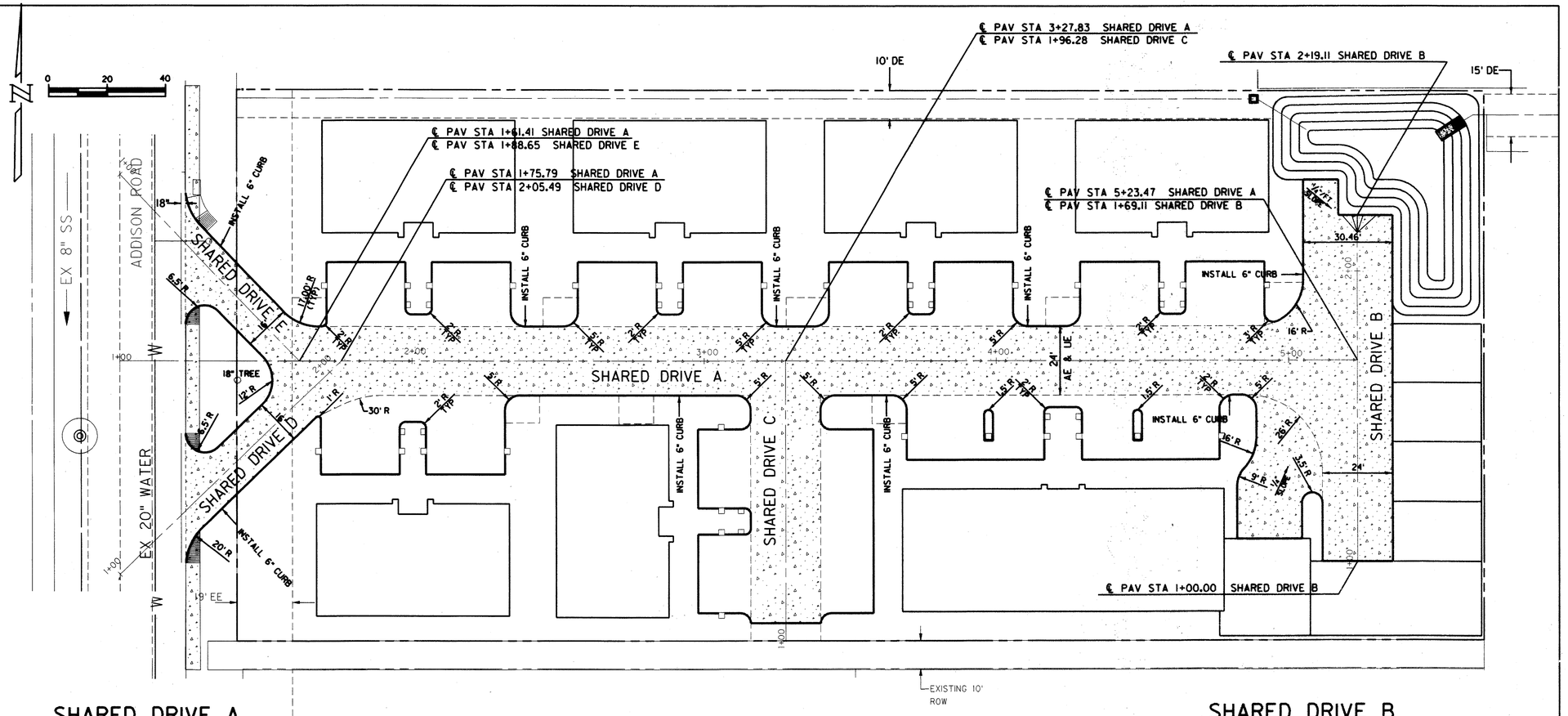
1.) "" CUT ON INLET SW CORNER OF RATLIFF AND ADDISON ROAD. ELEV. 637.20

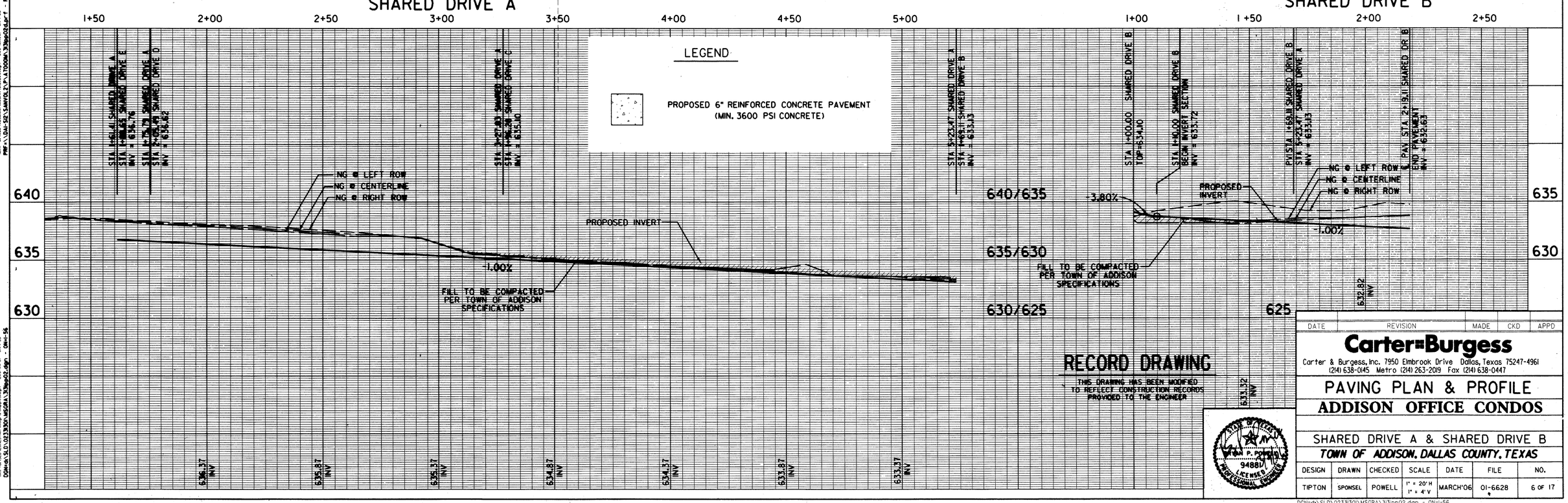
2.) "" CUT ON INLET EAST SIDE OF ADDISON ROAD, 20' 35/64 SOUTH OF THE SOUTHWEST CORNER OF SUBJECT TRACT. ELEV. 637.92

NOTES:

1. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM FIELD OBSERVATIONS OF AVAILABLE RECORDS FURNISHED BY EACH UTILITY BUT ARE NOT NECESSARILY EXACT. VERIFY THE LOCATION OF EACH UTILITY IN ADVANCE OF TRENCHING OR BORING.

2. ALL SIDEWALKS, BARRIER FREE RAMPS, HANDICAP SPACES, & PARKING SPACES BY OTHERS AND ARE NOT A PART OF THESE PLANS (SEE ARCHITECTURAL PLANS)





RECORD DRAWING

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DATE	REVISION	MADE	CKD	APPD

Carter=Burgess

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PAVING PLAN & PROFILE
ADDISON OFFICE CONDOS

SHARED DRIVE A & SHARED DRIVE B

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

STATE OF TEXAS — BRYAN P. POWELL — 94881 — LICENSED — PROFESSIONAL ENGINEER

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	SPONSEL	POWELL	1" = 20' H 1" = 4' V	MARCH'06	01-6628	6 OF 17

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C&B JOB No. 023313010

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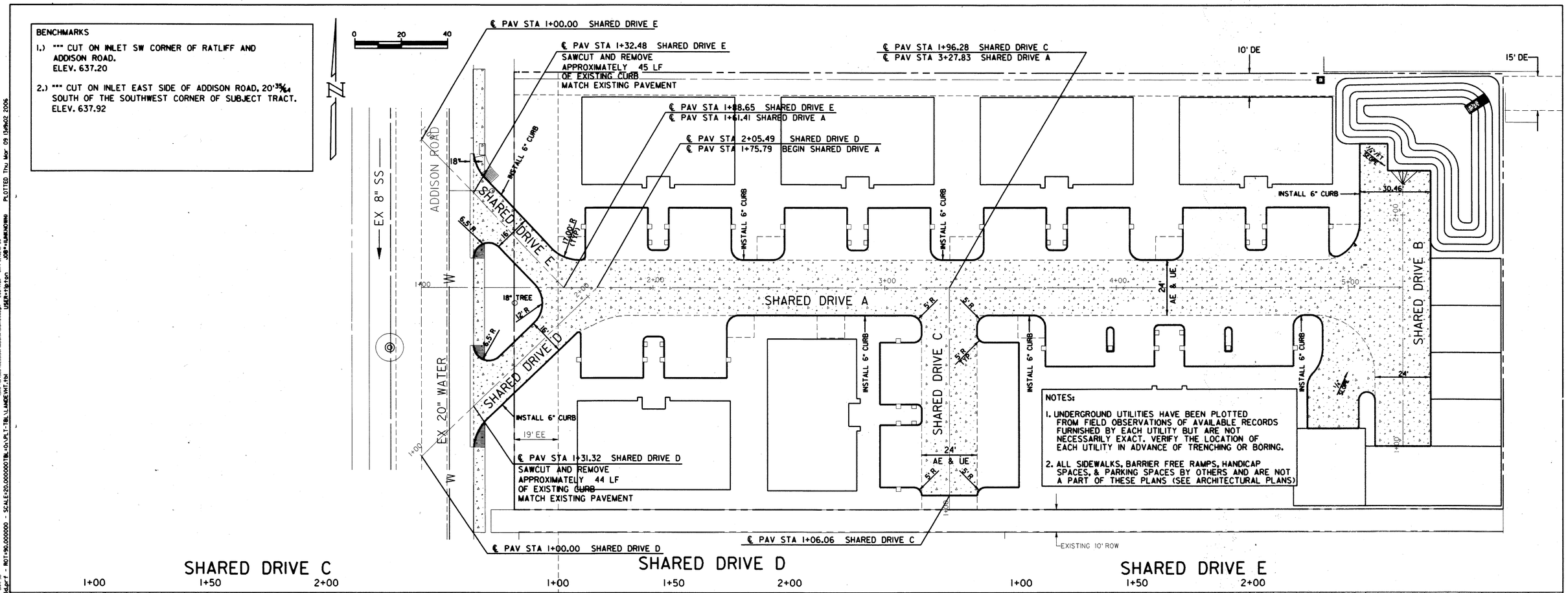

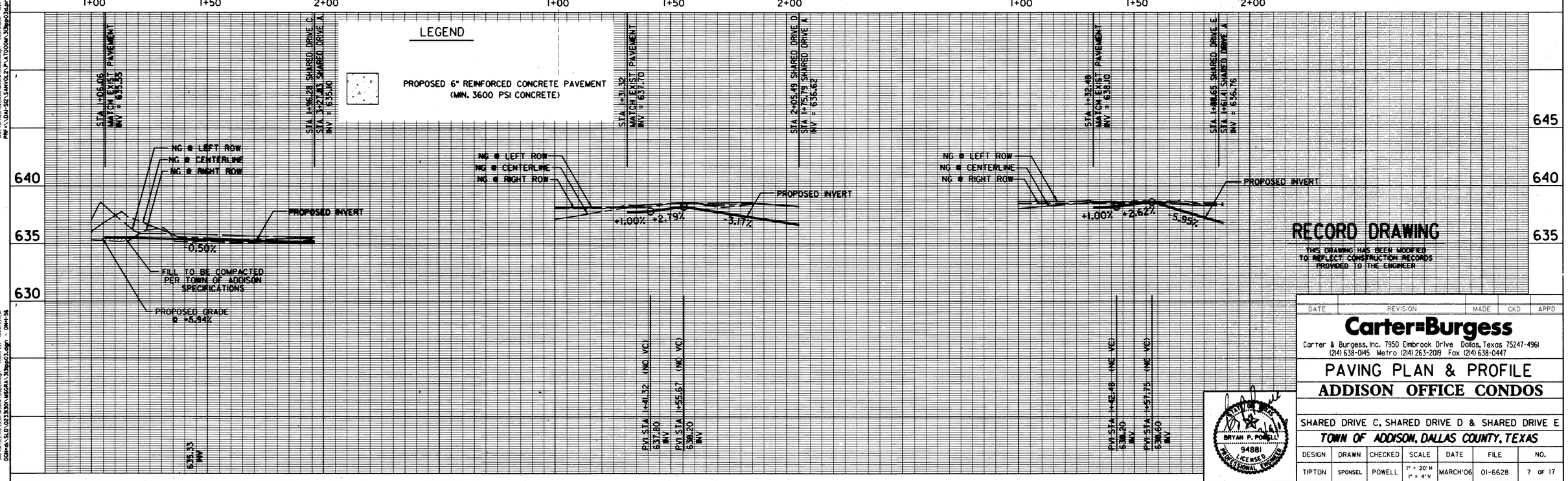

RECORD DRAWING

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DATE	REVISION	MADE	CKD	APPD

Carter Burgess

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(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

PAVING PLAN & PROFILE

ADDISON OFFICE CONDOS

SHARED DRIVE C, SHARED DRIVE D & SHARED DRIVE E

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	SPONSEL	POWELL	1" = 20' H 1" = 4' V	MARCH'06	01-6628	7 OF 17

STATE OF TEXAS BRYAN P. POWELL 94881 LICENSED PROFESSIONAL ENGINEER

DGN=d:\SLD\023313\01\MSGRA\313bp03.dgn - ONH-56

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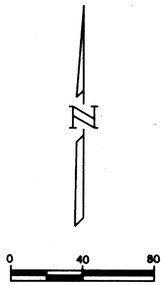

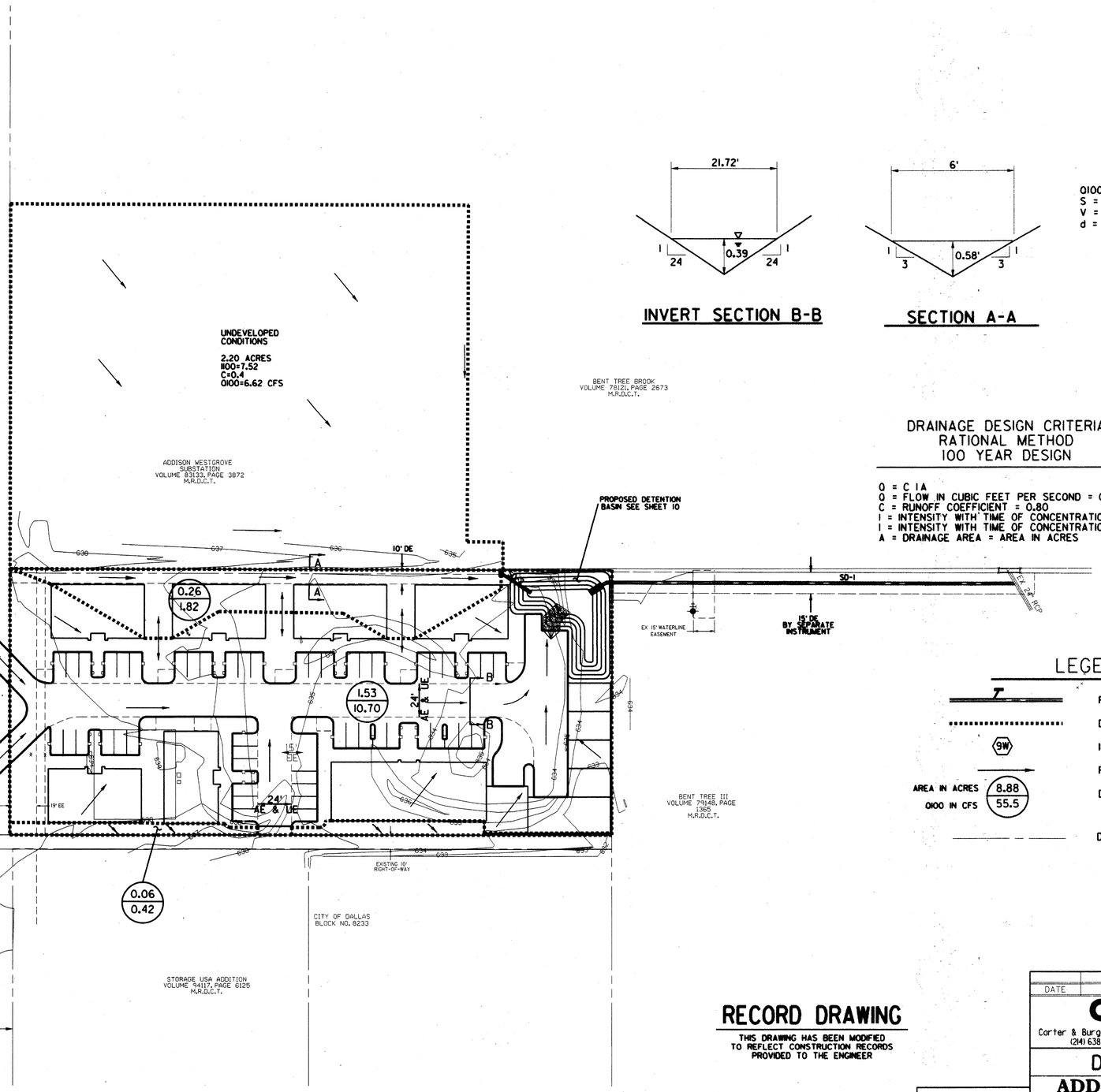

INVERT SECTION B-B

SECTION A-A

Q100 = 1.83 CFS
S = 0.77%
V = 1.83 FPS
d = 0.58 FT

DRAINAGE DESIGN CRITERIA
RATIONAL METHOD
100 YEAR DESIGN

Q = C I A
Q = FLOW IN CUBIC FEET PER SECOND = CFS
C = RUNOFF COEFFICIENT = 0.80
I = INTENSITY WITH TIME OF CONCENTRATION OF 15 MINUTES = 7.52
I = INTENSITY WITH TIME OF CONCENTRATION OF 10 MINUTES = 8.74
A = DRAINAGE AREA = AREA IN ACRES

LEGEND

- PROPOSED STORM DRAIN LINE W/INLET
- DRAINAGE DIVIDE
- 9W — INLET NUMBER
- FLOW DIRECTION
- AREA IN ACRES 8.88 / Q100 IN CFS 55.5 — DRAINAGE AREA
- DRAINAGE SWALE

RECORD DRAWING

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STATE OF TEXAS
BRYAN P. POWELL
94881
LICENSED
PROFESSIONAL ENGINEER
3/13/06

DATE	REVISION	MADE	CKD	APPD

Carter&Burgess

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DRAINAGE AREA MAP
ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON		POWELL	1" = 40'	MARCH'06	01-6628	8 OF 17

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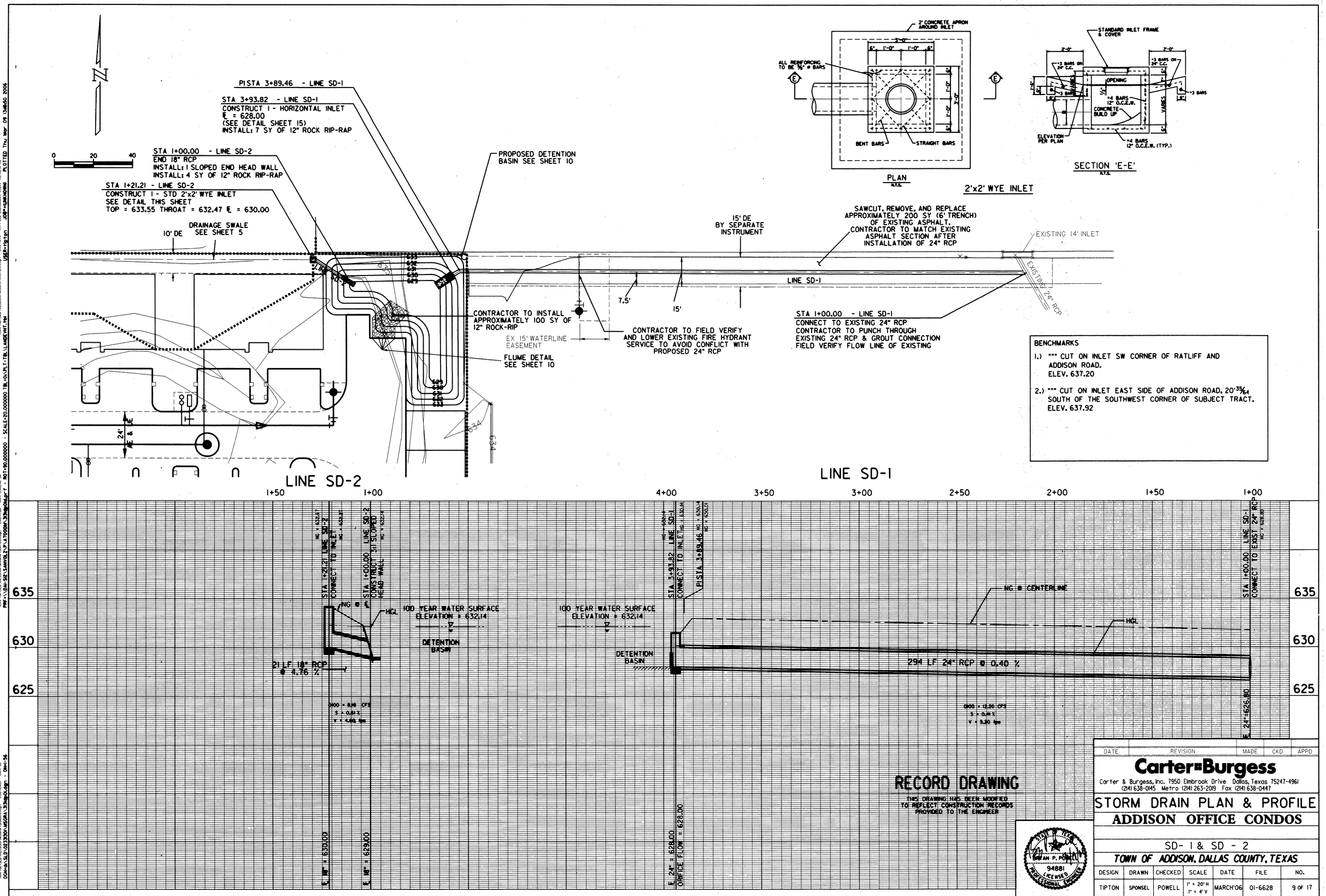
C&B JOB No. 023313010


PISTA 3+89.46 - LINE SD-1
STA 3+93.82 - LINE SD-1
CONSTRUCT 1 - HORIZONTAL INLET
FL = 628.00
(SEE DETAIL SHEET 15)
INSTALL: 7 SY OF 12" ROCK RIP-RAP
STA 1+00.00 - LINE SD-2
END 18" RCP
INSTALL: 1 SLOPED END HEAD WALL
INSTALL: 4 SY OF 12" ROCK RIP-RAP
STA 1+21.21 - LINE SD-2
CONSTRUCT 1 - STD 2'x2' WYE INLET
SEE DETAIL THIS SHEET
TOP = 633.55 THROAT = 632.47 FL = 630.00
DRAINAGE SWALE
SEE SHEET 5
10' DE
PROPOSED DETENTION
BASIN SEE SHEET 10
15' DE
BY SEPARATE
INSTRUMENT
SAWCUT, REMOVE, AND REPLACE
APPROXIMATELY 200 SY (6' TRENCH)
OF EXISTING ASPHALT.
CONTRACTOR TO MATCH EXISTING
ASPHALT SECTION AFTER
INSTALLATION OF 24" RCP
EXISTING 14' INLET
EXISTING 24" RCP
LINE SD-1
7.5'
15'
CONTRACTOR TO INSTALL
APPROXIMATELY 100 SY OF
12" ROCK-RIP
EX 15' WATERLINE
EASEMENT
FLUME DETAIL
SEE SHEET 10
CONTRACTOR TO FIELD VERIFY
AND LOWER EXISTING FIRE HYDRANT
SERVICE TO AVOID CONFLICT WITH
PROPOSED 24" RCP
STA 1+00.00 - LINE SD-1
CONNECT TO EXISTING 24" RCP
CONTRACTOR TO PUNCH THROUGH
EXISTING 24" RCP & GROUT CONNECTION
FIELD VERIFY FLOW LINE OF EXISTING
0 20 40
LINE SD-2
LINE SD-1
1+50
1+00
4+00
3+50
3+00
2+50
2+00
1+50
1+00
2' CONCRETE APRON
AROUND INLET
ALL REINFORCING
TO BE ⅝" ø BARS
BENT BARS
STRAIGHT BARS
PLAN
N.T.S.
2'x2' WYE INLET
STANDARD INLET FRAME
& COVER
OPENING
#4 BARS
12" O.C.E.W.
CONCRETE
BUILD UP
ELEVATION
PER PLAN
#4 BARS
12" O.C.E.W. (TYP.)
VARIES
SECTION 'E-E'
N.T.S.
BENCHMARKS
1.) "" CUT ON INLET SW CORNER OF RATLIFF AND
ADDISON ROAD.
ELEV. 637.20
2.) "" CUT ON INLET EAST SIDE OF ADDISON ROAD, 20'35/64
SOUTH OF THE SOUTHWEST CORNER OF SUBJECT TRACT.
ELEV. 637.92
635
630
625
NG @ ℄
HGL
100 YEAR WATER SURFACE
ELEVATION = 632.14
DETENTION
BASIN
21 LF 18" RCP
@ 4.76 %
Q100 = 8.16 CFS
S = 0.81 %
V = 4.49 fps
STA 1+21.21 LINE SD-2
CONNECT TO INLET
STA 1+00.00 LINE SD-2
CONSTRUCT 1 SLOPED
HEAD WALL
STA 3+93.82 LINE SD-1
CONNECT TO INLET
PISTA 3+89.46
NG @ CENTER LINE
294 LF 24" RCP @ 0.40 %
Q100 = 12.20 CFS
S = 0.40 %
V = 5.20 fps
STA 1+00.00 LINE SD-1
CONNECT TO EXIST 24" RCP
E 24"=626.80
E INV = 630.00
E INV = 629.00
E 24" = 628.00
ORIFICE FLOW = 628.00
RECORD DRAWING
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TO REFLECT CONSTRUCTION RECORDS
PROVIDED TO THE ENGINEER
STATE OF TEXAS
BRYAN P. POWELL
94881
LICENSED
PROFESSIONAL ENGINEER
DATE
REVISION
MADE
CKD
APPD
Carter&Burgess
Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447
STORM DRAIN PLAN & PROFILE
ADDISON OFFICE CONDOS
SD- 1 & SD - 2
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
DESIGN
DRAWN
CHECKED
SCALE
DATE
FILE
NO.
TIPTON
SPONSEL
POWELL
1" = 20' H
1" = 4' V
MARCH'06
01-6628
9 OF 17
DGN=dg:\SLD\023313011\MSGRA\313idp01.dgn - DNH-56
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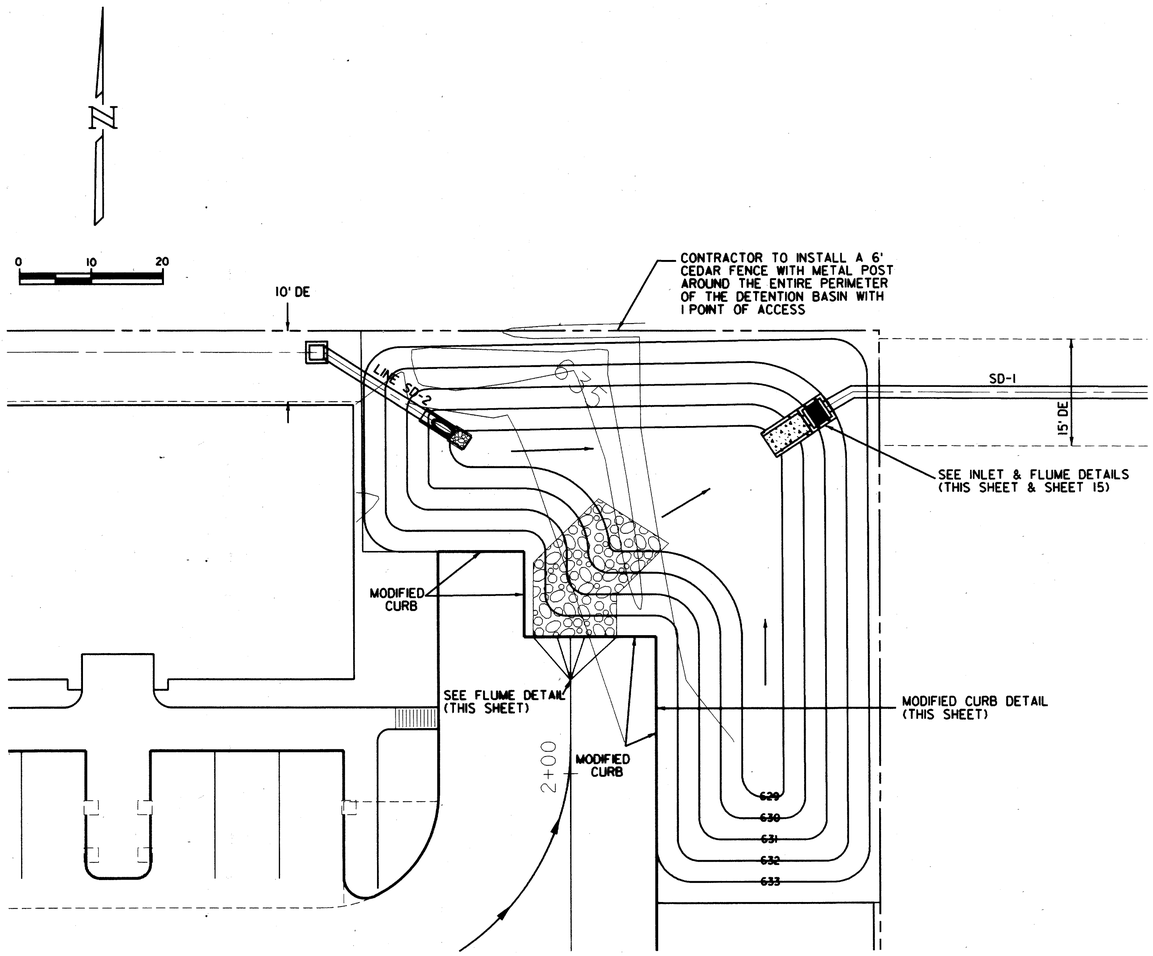
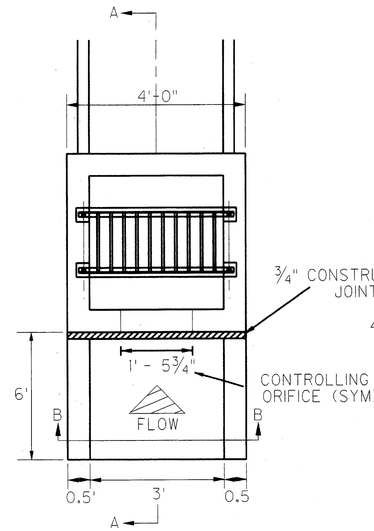
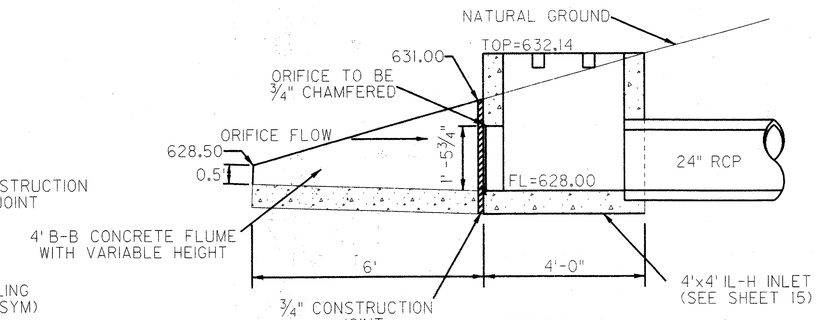
C&B JOB No. 023313010



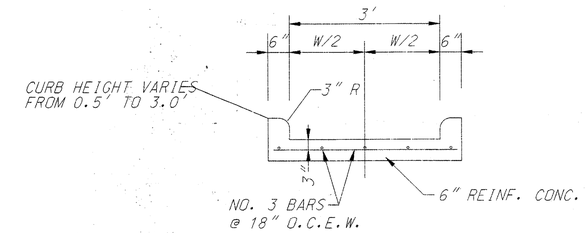
DETENTION BASIN BOTTOM GRADING
SCALE = 1" = 10'



PLAN VIEW
N.T.S.



SECTION A-A
N.T.S.



SECTION B-B

INLET AND FLUME DETAILS
N.T.S.

BENCHMARKS

1.) "" CUT ON INLET SW CORNER OF RATLIFF AND ADDISON ROAD.
ELEV. 637.20

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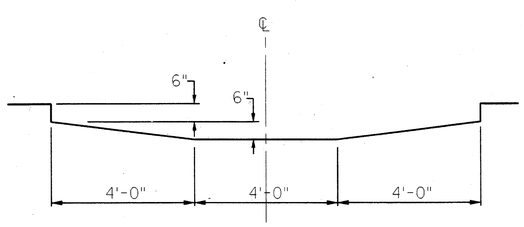
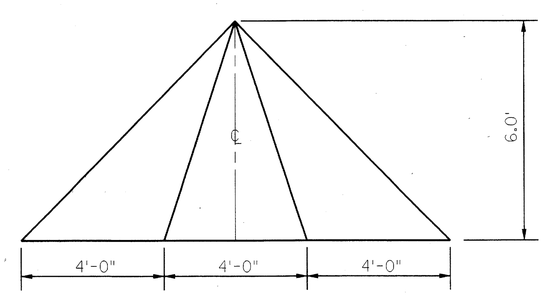
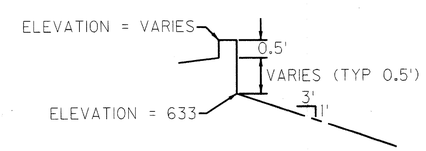
ELEV. 637.92





STREET FLUME DETAILS
N.T.S.



MODIFIED CURB AROUND DETENTION POND
N.T.S.

RECORD DRAWING

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DATE	REVISION	MADE	CKD	APPD

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DETENTION GRADING & INLET DETAIL

ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	SPONSEL	POWELL	1" = 20'	MARCH'06	01-6628	10 OF 17

DGN=d:\SLD\023330\MSGRA\313ld#01.dgn - ON=1-56

STATE OF TEXAS — PYOTR I. GULER — 87141 — LICENSED PROFESSIONAL ENGINEER — 3-9-06

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C&B JOB No. 023313010

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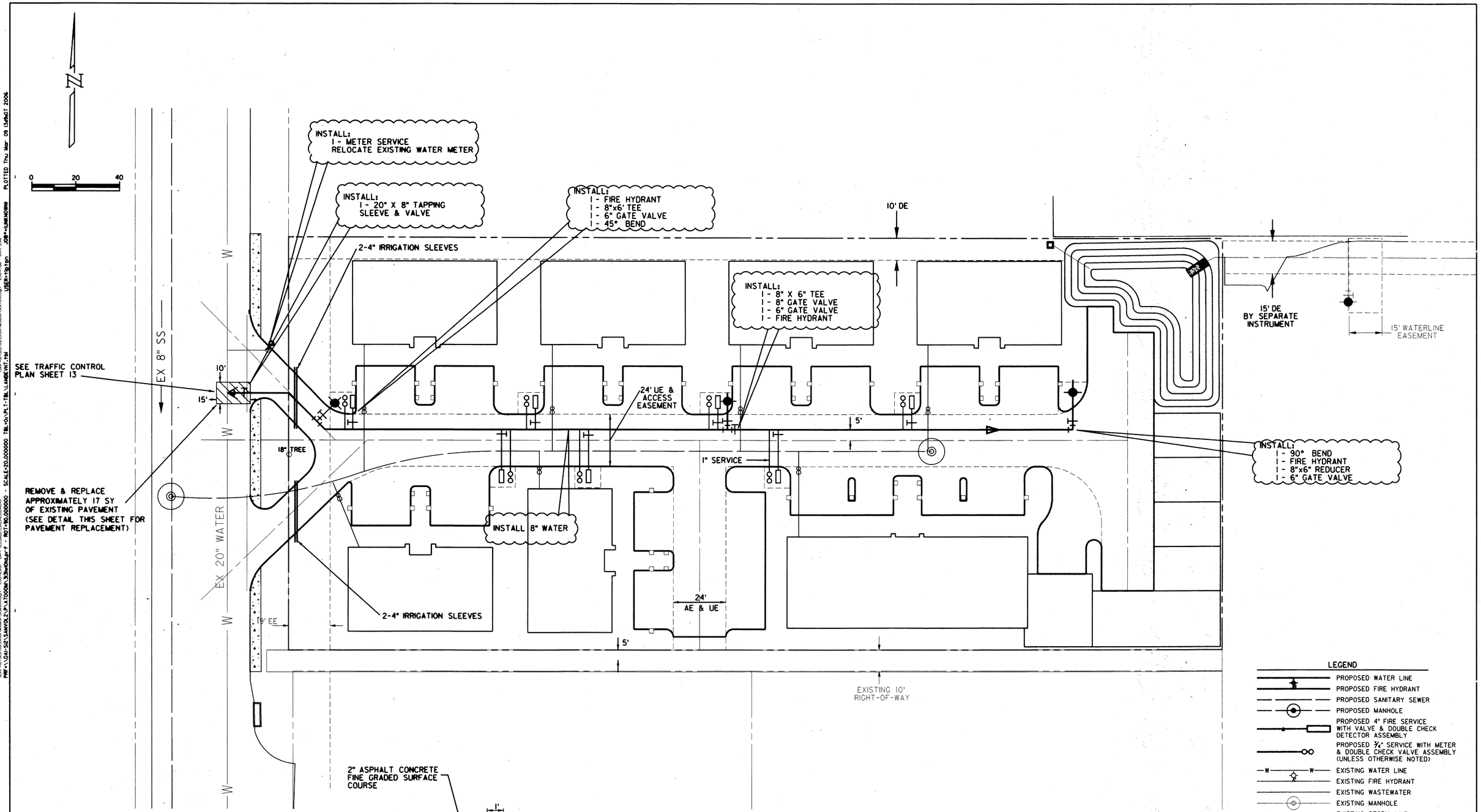

PAVEMENT REPLACEMENT DETAIL
NTS

RECORD DRAWING

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Carter Burgess

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WATER LAYOUT
ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	SPONSEL	POWELL	1" = 20'	MARCH'06	01-6628	11 OF 17

STATE OF TEXAS
BRYAN P. POWELL
94881
LICENSED
PROFESSIONAL ENGINEER

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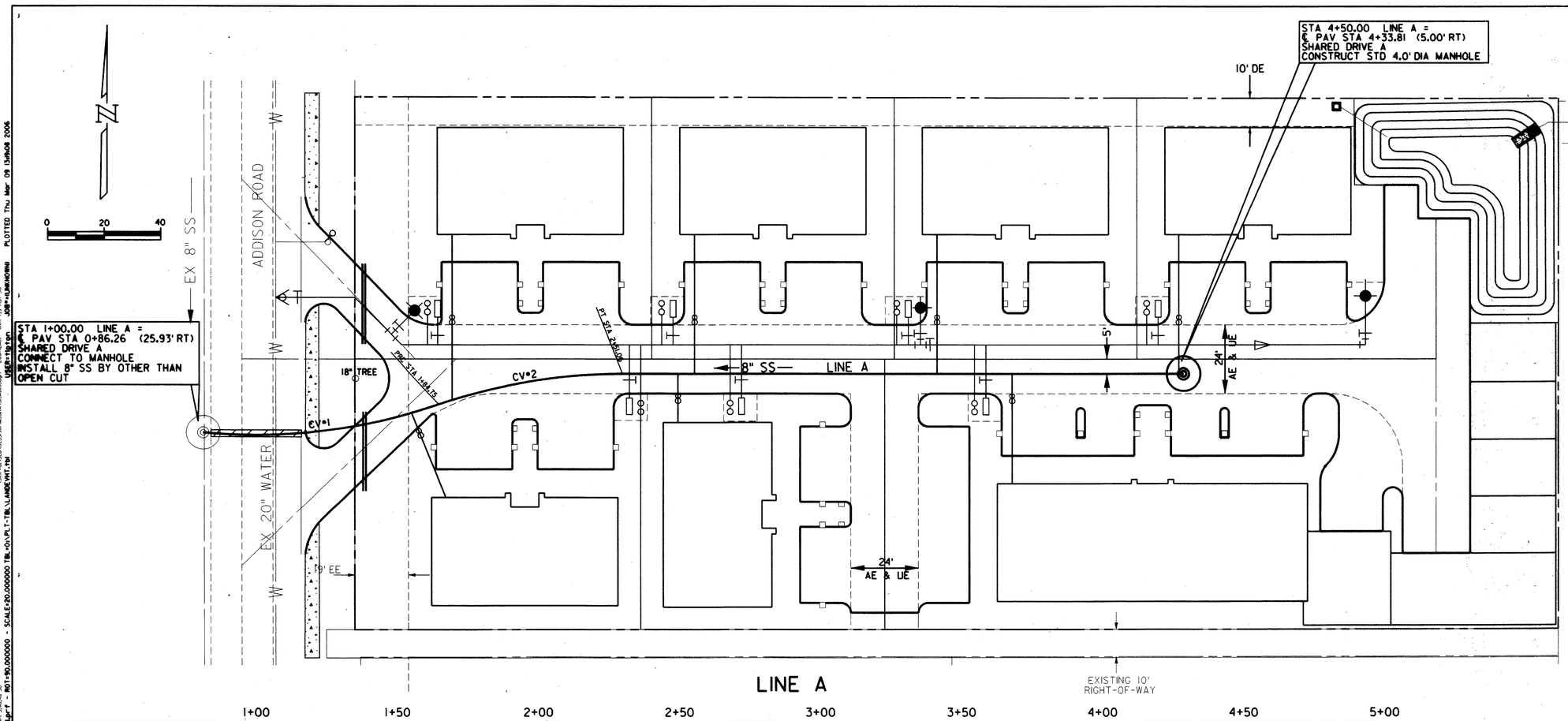
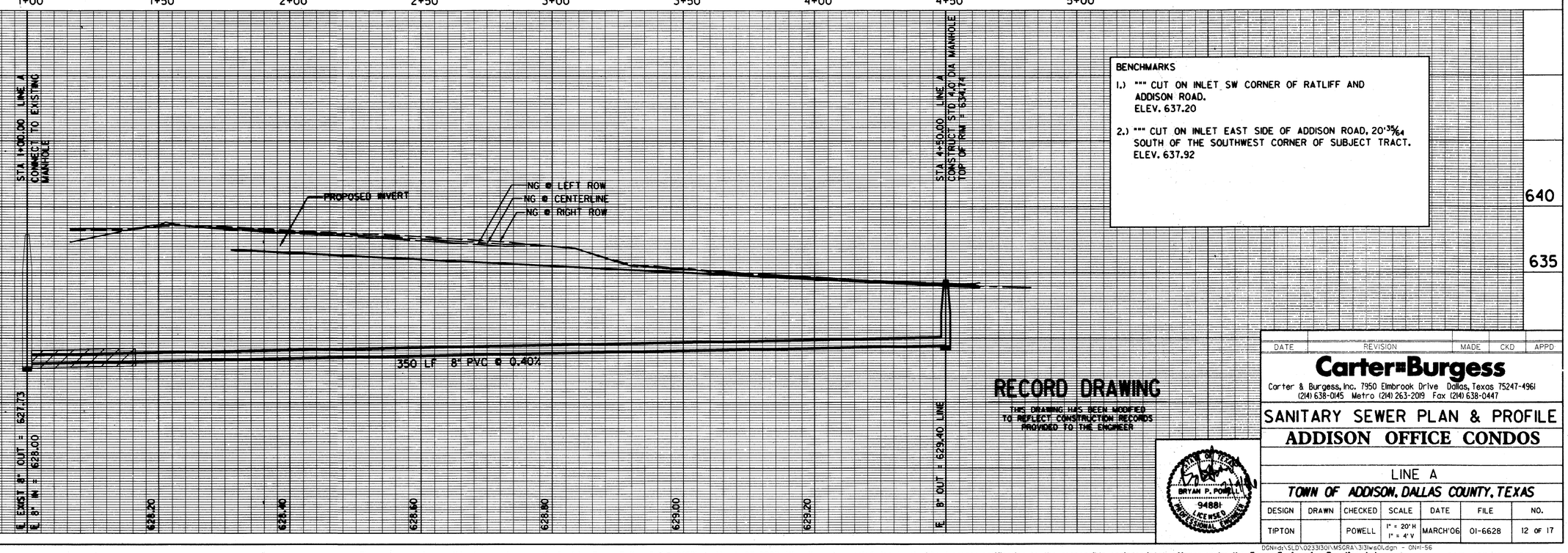


CENTERLINE CURVE DATA

CURVE #1	Δ = 24° 16'44" R = 200.00' L = 84.75' CHORD = N83° 08'39"E 84.12'
CURVE #2	Δ = 18° 59'43" R = 200.00' L = 66.31' CHORD = N80° 30'08"E 66.00'

LEGEND

- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED MANHOLE
- PROPOSED 4" FIRE SERVICE WITH VALVE & DOUBLE CHECK DETECTOR ASSEMBLY
- PROPOSED ¾" SERVICE WITH METER & DOUBLE CHECK VALVE ASSEMBLY
- DOUBLE CLEANOUT
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WASTEWATER
- EXISTING MANHOLE
- EXISTING STORM LINE



BENCHMARKS

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ELEV. 637.20

2.) "" CUT ON INLET EAST SIDE OF ADDISON ROAD, 20'35/64 SOUTH OF THE SOUTHWEST CORNER OF SUBJECT TRACT.
ELEV. 637.92

RECORD DRAWING

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BRYAN P. POWELL 94881 LICENSED PROFESSIONAL ENGINEER

DATE	REVISION	MADE	CKD	APPD

Carter Burgess

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(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

SANITARY SEWER PLAN & PROFILE
ADDISON OFFICE CONDOS

LINE A

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON		POWELL	1" = 20' H 1" = 4' V	MARCH'06	01-6628	12 OF 17

DGN=dg:\SLD\023313\01\MSGRA\3131ws01.dgn - ONH-56

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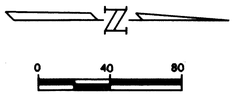
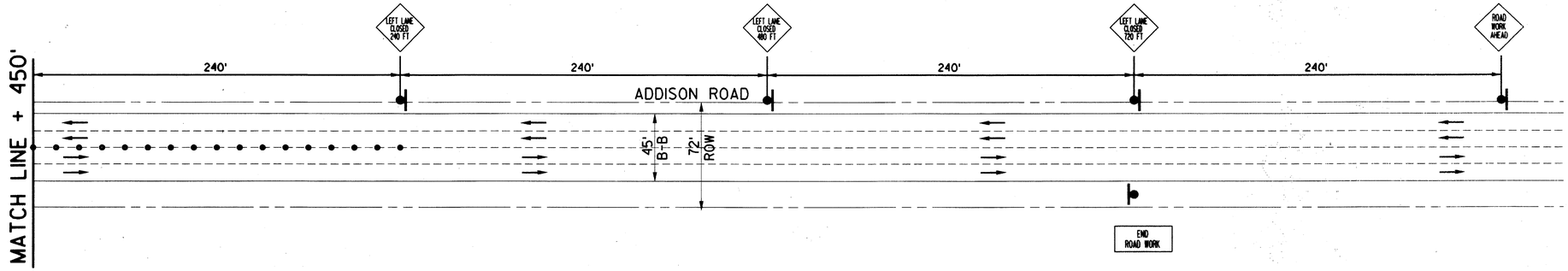
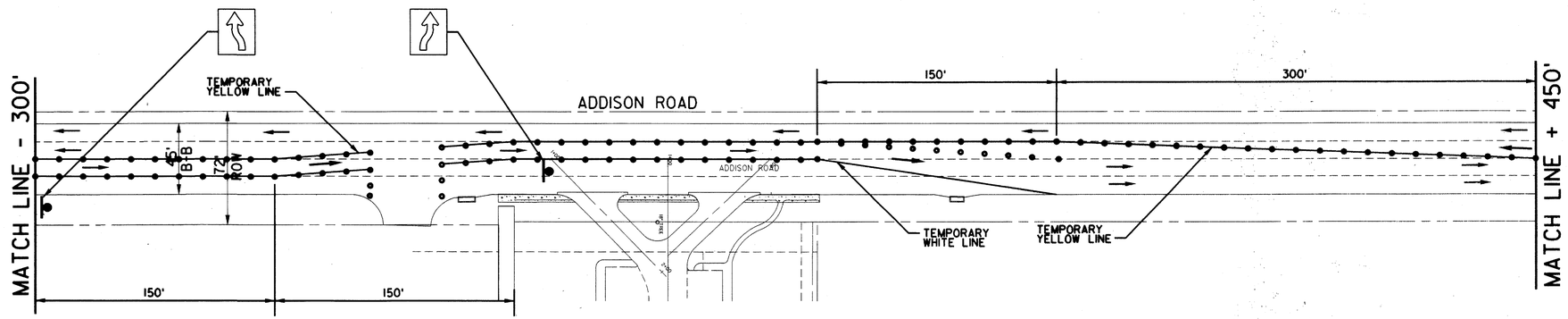
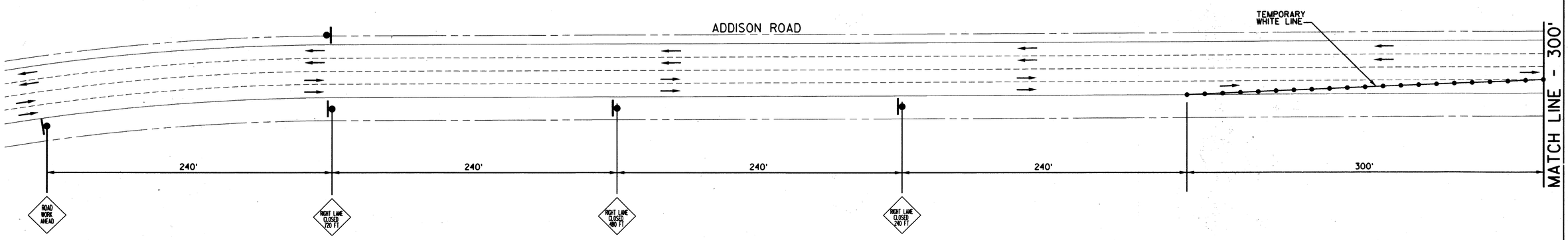
C.B. JOB No. 023313010







END CONSTRUCTION



TRAFFIC CONTROL NOTES:

1. ALL SIGNAGE, BARRICADES, AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

2. LOCATIONS SHOWN FOR SIGNAGE AND PAVEMENT MARKINGS ARE APPROXIMATE; FINAL LOCATIONS MAY CHANGE DUE TO POST CONSTRUCTION CONDITIONS AND PRESENCE OF OTHER PHYSICAL FEATURES. FINAL LOCATION OF ALL TRAFFIC CONTROL DEVICES SHALL BE FIELD VERIFIED WITH CITY PRIOR TO INSTALLATION AT NO ADDITIONAL COST.

3. ALL PAVEMENT MARKINGS OTHER THAN BUTTONS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.

4. ALL SIGNS SHALL BE ENGINEERING GRADE AND THE SIZES SHALL BE STANDARD UNLESS OTHERWISE NOTED.

5. NO TRAFFIC LANE OR SIDEWALK ALONG ADDISON ROAD IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT FROM THE TOWN OF ADDISON. CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 AM TO 3:30 PM WORKDAYS

LEGEND

- WARNING SIGN (FREE STANDING)
- TRAFFIC CONES
- TRAFFIC FLOW DIRECTION
- CONSTRUCTION AREA

RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER

BRYAN P. POWELL 94881 LICENSED PROFESSIONAL ENGINEER

DATE	REVISION	MADE	CKD	APPD

Carter=Burgess

Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

TRAFFIC CONTROL PLAN

ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
RYAN	SPONSEL	POWELL	1" = 40'	MARCH'06	01-6628	13 OF 17

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The seal appearing on this document was authorized by Bryan P. Powell, P.E. 94881, on March 07, 2006. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

C&B JOB No. 0233130I0

PLOTTED: Thu Mar 09 13:24:05 2006
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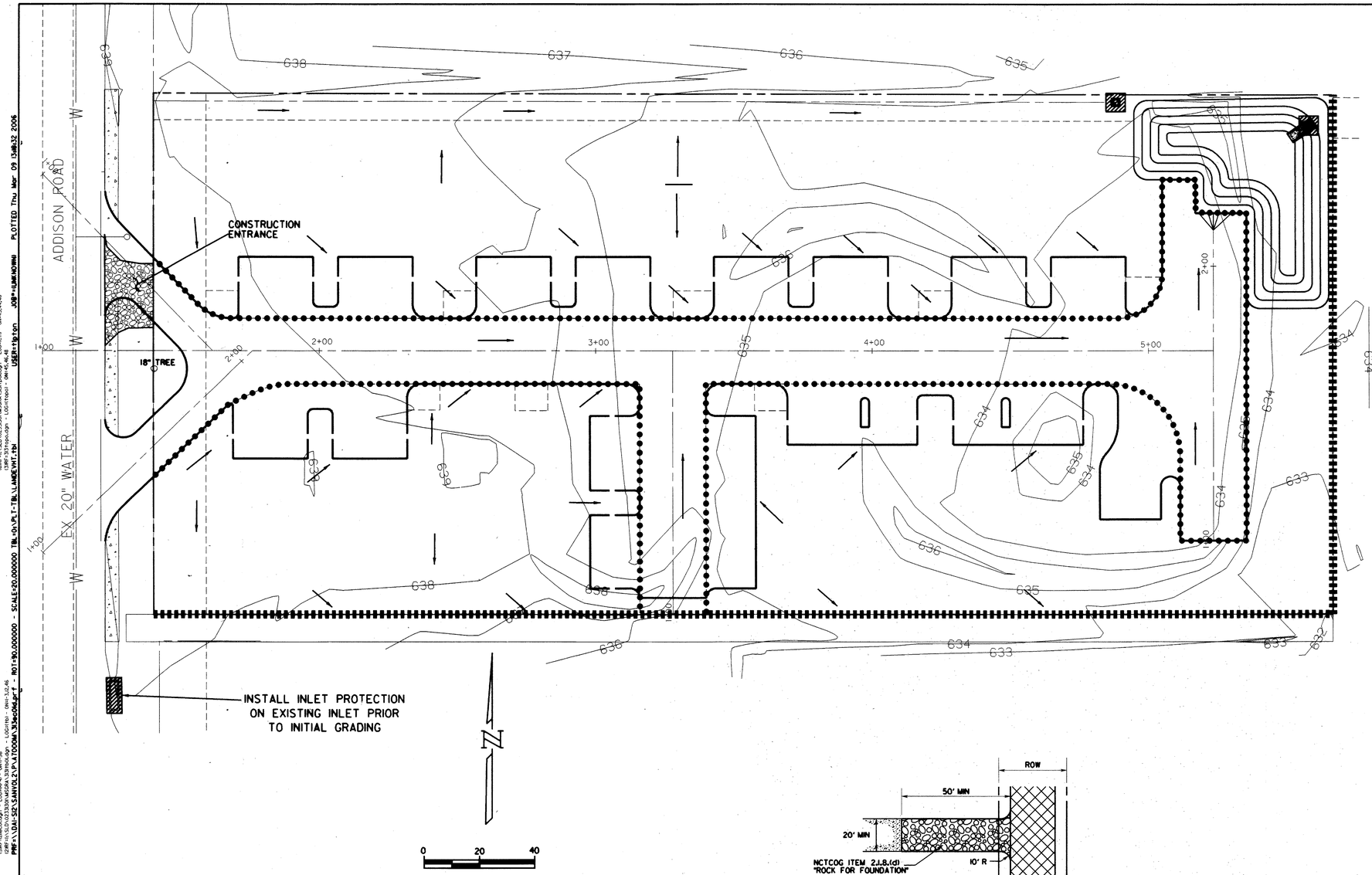


EROSION CONTROL NOTES:

1. ALL PROCEDURES AND MATERIALS USED FOR EROSION CONTROL SHALL BE APPROVED BY THE CITY OF ADDISON.
2. THE LOCATION OF EROSION CONTROL DEVICES AND INSTALLATION SHALL BE AS SHOWN IN THESE PLANS. ADDITIONAL EROSION CONTROL AND/OR ADJUSTMENT OF LOCATIONS FOR EROSION CONTROL MAY OCCUR PER THE CITY OF ADDISON.
3. SILT FENCES SHALL BE MIRAFI 100X OR APPROVED EQUAL AND INSTALLED PER MANUFACTURER RECOMMENDATIONS.
4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES ALREADY IN PLACE. CONTRACTOR SHALL REMOVE AND REPLACE EROSION CONTROL AS NEEDED FOR CONSTRUCTION OR ACCESS. ALL EROSION CONTROL MUST BE IN PLACE AT THE END OF EACH DAY.
5. ALL PERIMETER SWALES SHALL BE GRADED PRIOR TO EXTENSIVE ONSITE STREET AND SITE GRADING.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE WHATEVER MEANS ARE NECESSARY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS, STORM DRAIN SYSTEMS AND INLETS FROM EROSION DEPOSITS.
7. EROSION CONTROL DEVICES COULD BE SILT FENCE, VEGETATIVE BUFFER STRIP, DIVERSION SWALES (WINDROWS), AND OTHER DEVICES ALLOWED BY THE EPA. FLOW FROM DIVERSION SWALES WILL BE FILTERED THROUGH STRUCTURAL CONTROLS SUCH AS SILT FENCES, ETC. PRIOR TO BEING RELEASED INTO PAVED AREAS OR STORM SEWER SYSTEMS.
8. CONTROLS SHOULD BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND PER THE DETAILS ON THIS SHEET.
9. IF SEDIMENT ESCAPES THE SITE, OFF-SITE ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
10. SEDIMENT MUST BE REMOVED FROM TRAPS AND PONDS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
11. THIS EROSION CONTROL PLAN AND ACCOMPANYING STORM WATER POLLUTION PREVENTION PLAN DOES NOT ADDRESS A BATCH PLANT BEING PLACED ON THIS SITE. IF THE OPERATOR DESIRES COVERAGE FOR A BATCH PLANT, SOME MODIFICATIONS ARE NECESSARY. A SEPARATE BATCH PLANT EROSION CONTROL PLAN AND STORM WATER POLLUTION PREVENTION PLAN MAY BE OBTAINED BY THE BATCH PLANT OWNER.
12. THIS EROSION CONTROL PLAN AND ACCOMPANYING STORM WATER PREVENTION PLAN ASSUMES NO EXCESS EXCAVATED MATERIAL WILL BE PLACED OUTSIDE THE LIMITS OF THIS SITE. MODIFICATIONS TO THE EROSION CONTROL PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN WILL BE NECESSARY IF EXCESS EXCAVATED MATERIAL IS NOT KEPT ON-SITE.

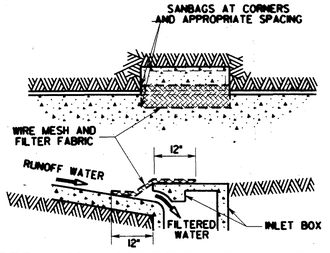
INSTRUCTIONS TO OPERATOR

OPERATOR SHALL

1. ACTIVELY MAINTAIN THIS EROSION CONTROL PLAN AND THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN.
2. POST CONSTRUCTION SITE NOTICE PROVIDED IN SWPPP AT OR NEAR THE CONSTRUCTION ENTRANCE.
3. WRITE NAME AND DATE AT EACH LOCATION WHERE EROSION CONTROL DEVICE IS INSTALLED.
4. SHOW ON THESE PLANS LOCATION AND WRITE NAME AND DATE OF INSTALLATION ON ALL CONSTRUCTION ENTRANCES, EQUIPMENT STORAGE LOCATIONS, MATERIAL STORAGE LOCATIONS, VEHICLE WASHES, AND SANITARY FACILITIES.
5. WITH A HIGHLIGHTER, MARK THOSE AREAS WHERE VEGETATION HAS BEEN STRIPPED OR WHERE SOIL HAS BEEN DISTURBED. DATE OF DISTURBANCE SHALL BE PLACED IN THESE AREAS. SEE LEGEND.
6. SOLID FILL, WITH A HIGHLIGHTER, THOSE AREAS WHERE CONSTRUCTION HAS CEASED AND PERMANENT VEGETATION IS BEING ESTABLISHED. SEE LEGEND.
7. DATE REMOVAL OF EROSION CONTROL DEVICES AND NOTE REASON FOR REMOVAL IN THE SWPPP.
8. CROSS OUT AND DATE ANY LOTS THAT HAVE BEEN TRANSFERRED TO A SEPARATE OPERATOR. A NOTICE OF CHANGE SHALL BE MAILED TO THE TCEQ. AND A COPY SHALL BE PLACED IN THE SWPPP.
9. PRIOR TO BEGINNING OPERATOR SHALL MAKE COPIES OF PLAN. IF CURRENT PLAN BECOMES TOO CROWDED FOR USE, OPERATOR SHALL PLACE "SEE REVISED PLAN" WITH DATE ON CURRENT PLAN, AND BEGIN TO USE A COPY FOR NEW PLAN.

EROSION CONTROL MEASURES

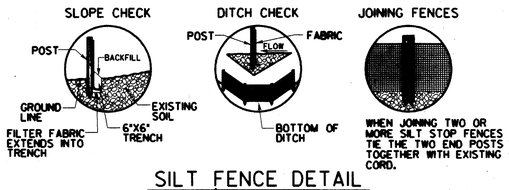
- EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO ANY LAND DISTURBANCE OR INITIAL GRADING. (BY GRADING CONTRACTOR.)
- EROSION CONTROL DEVICES TO BE INSTALLED DURING UNDERGROUND UTILITY CONSTRUCTION (BY UTILITY CONTRACTOR.)
- EROSION CONTROL DEVICES TO BE INSTALLED AFTER FINAL GRADING AND/OR AFTER PAVEMENT CONSTRUCTION AND CURB BACKFILL. (BY PAVING CONTRACTOR)
- ROCK CHECK DAMS - TO BE INSTALLED PRIOR TO GRADING.
- LAND AREAS DISTURBED (HIGHLIGHT WITH A HATCH PATTERN.)
- FINAL STABILIZATION (HYDROMULCH OR PERMANENT STRUCTURE) (FULLY HIGHLIGHT.)
- LOTS OR AREAS TRANSFERRED FROM THIS OPERATOR TO ANOTHER OPERATOR
- FLOW DIRECTION (POST CONSTRUCTION)



SEDIMENT BARRIER AT INLETS

OR APPROVED EQUAL AFTER PAVEMENT CONSTRUCTION

(NOT TO SCALE)

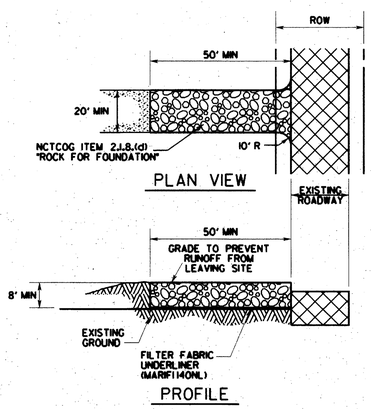


SILT FENCE DETAIL

(NOT TO SCALE)

NOTE:

1.) SILT FENCE FABRIC SHALL BE MIRAFI 100 X OR EQUAL.
2.) INSTALL SILT FENCES AND HAY BALES AT LOCATIONS DIRECTED BY OWNER.
3.) FENCE POSTS SHALL BE GALVANIZED STEEL AND MAY BE ROLLED, FORMED OR TUBULAR IN SECTION. "T" POSTS MAY BE USED WHEN IN CONFORMANCE WITH SPECIFICATION.



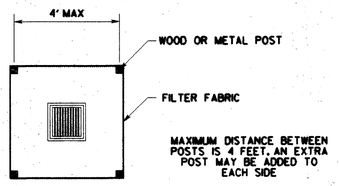
CONSTRUCTION ENTRANCE DETAIL

(NOT TO SCALE)

IF APPLICABLE, A TRAFFIC RATED CATTLE GUARD MAY BE USED AS A SEDIMENT TRAPPING DEVICE, STRATEGICALLY PLACED ALONG THE CONSTRUCTION ENTRANCE

NOTE:

1. APPROXIMATE AREA TO BE DISTURBED IS 2.0 ACRES FOR CONSTRUCTION
2. CONSTRUCTION ENTRANCE LOCATION TO BE SELECTED BY CONTRACTOR AND APPROVED BY OWNER.



NOTE:
BOTTOM OF THE FILTER FABRIC IS BURIED IN TRENCH THE SAME AS WHEN IT IS INSTALLED AS A SILT FENCE SEE SILT FENCE DETAIL, THIS SHEET

SILT FENCE INLET SEDIMENT FILTER

(NOT TO SCALE)

RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER

STATE OF TEXAS
JEFFREY A. BUTSON
95609
LICENSED
PROFESSIONAL ENGINEER
03/10/06

DATE	REVISION	MADE	CKD	APPD

Carter=Burgess

Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

EROSION CONTROL PLAN
ADDISON OFFICE CONDOS

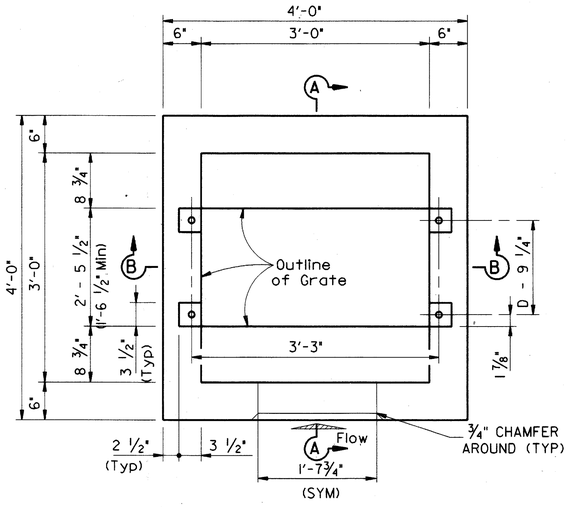
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	SMITH	BUTSON	1" = 20'	MARCH'06	01-6628	14 OF 17

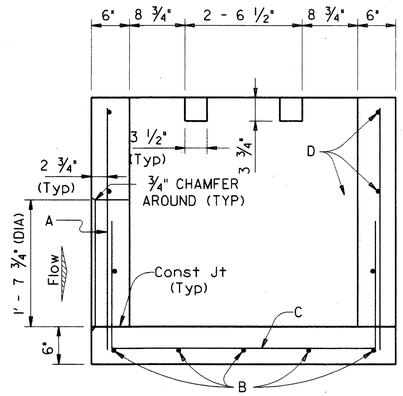
- DNH-56

The seal appearing on this document was authorized by Jeffrey A. Butson, P.E. 95609, on March 09, 2006. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

C&B JOB No. 023313010

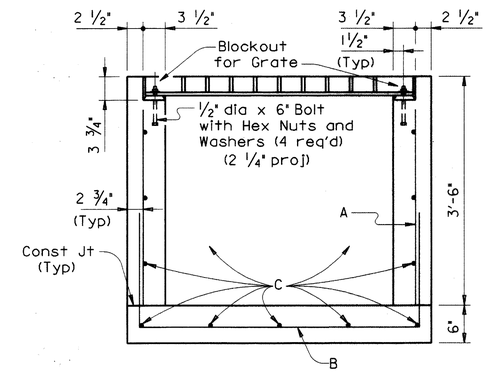


PLAN

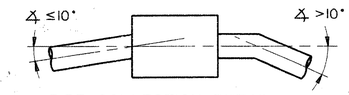


SECTION A-A

Space Bars A, B, C and D at 12" Max

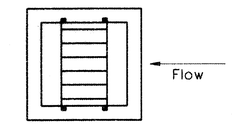


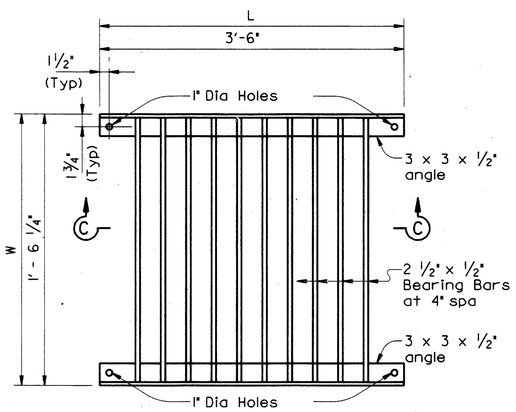
SECTION B-B



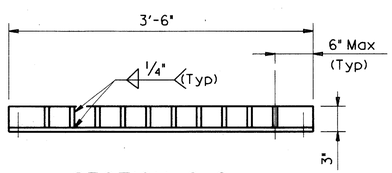
PIPE CONNECTION DETAIL

Connecting pipes should enter within 10° of normal to inlet wall. If necessary, pipe elbow or curved approach alignment should be used to stay within this limit.

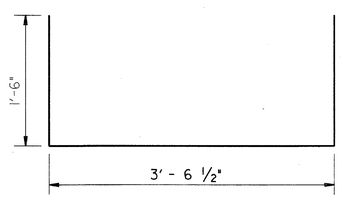




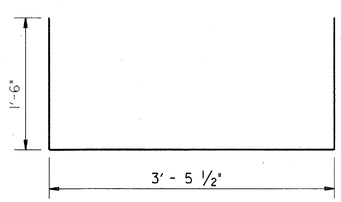
PLAN ~ GRATE



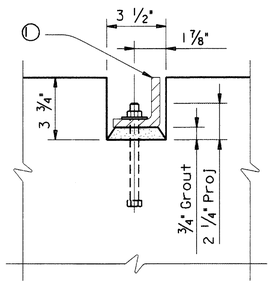
SECTION C-C



BARS B



BARS C



GRATE MOUNTING DETAIL

1 Interior angle with 4 ~ 1/2" dia x 6" Bolts, Hex Nuts and Washers

GENERAL NOTES:

Quantities shown hereon are for Contractor's information only. Unless otherwise shown in the plans, payment will be made for each inlet of the Type specified.

Alternate design drawings bearing the seal of a registered professional engineer will be acceptable for precast construction of the inlets.

Shop drawings will not be required.

The Contractor may with the approval of the Engineer furnish inlets of equivalent structural design.

In areas of conflict between reinforcing steel, blockouts, pipes, anchor bolts or other reinforcing steel, the reinforcement shall be bent or adjusted to clear as directed by the Engineer.

Structural Steel for grates shall conform to the requirements of ASTM Designation A-36 or AISI Designation M1010-M1020.

All reinforcing steel shall be #4 unless otherwise noted.

The pipe diameter, "D", to be used in determining horizontal dimensions of Type "H" inlet, shall be the largest pipe entering or exiting the inlet which would control that particular wall dimension. For vertical dimension, use largest "D" or 1'-0" above highest pipe soffit as a minimum dimension.

All steel components except reinforcing, shall be galvanized after fabrication. Galvanizing damaged during transport or construction shall be repaired in accordance with the specifications.

DISCLAIMER:
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PATH:

LEVELS DISPLAYED

Texas Department of Transportation
Bridge Division

HORIZONTAL INLET TYPE H

IL-H

FILE: il-hstde.dgn	DN: TxDOT	CK: TER	DW: MCB	CK: TER/GAF	
©TxDOT September 2000	DISTRICT	FEDERAL AID PROJECT			SHEET
REVISIONS					15 OF 17
	COUNTY		CONTROL	SECT	JOB	HIGHWAY

DETENTION BASIN FLOW DATA

Description	Direct Area (Acres)	Diverted Area (Acres)	Total Area (Acres)	Time of Conc. • (min)	Waited Coef. "c"	Intensity 100 Year (In./Hr.)	100 Yr Flow Rate (cfs)	REMARKS
1	2	3	4	5	6	7	8	9
I. SIDE DITCH DRAINAGE AREA •••••								
PROPOSED CONDITIONS ••	0.26		0.26	10	0.80	8.74	1.82	For design of West property line swale.
including: Commercial Development	0.26		0.26	10	0.80	8.74	1.82	
II. OFFSITE AREA ••••								
EXISTING CONDITIONS •	2.2		2.2	15	0.40	7.52	6.62	
III. STORM DRAIN LINE SD-1	2.46		2.46	15	0.44	7.52	8.18	Only for design of SD-1
IV. PROPOSED BUSINESS TRACT FLOW								
EXISTING CONDITIONS •	1.86		1.86	15	0.40	7.52	5.59	
PROPOSED CONDITIONS ••	1.86		1.86	10	0.80	8.74	13	
including: Commercial Development	1.86		1.86	10	0.80	8.74	13	
V. TOTAL ULTIMATE OUTFLOW •••								
EXISTING CONDITIONS	4.06		4.06	15	0.40	7.52	12.2	Flow for sizing the controlling structure.
PROPOSED CONDITIONS	4.06		4.06	15	0.58	7.52	17.8	Assumed with detained offsite flow.

Notes: • - Time of Concentration is estimated, based on single-family residential development land use.
•• - Detention volume determined as a difference of the proposed Commercial and single-family residential land use.
••• - Detention Basin Controlling structure sized based on ultimate combined outflow through detention basin.
•••• - Offsite area flows is assumed to be detained by others.

DETENTION BASIN CALCULATIONS

Designation Area	EXISTING Coef. "c"	EXISTING Tc (min)	EXISTING Intensity (in/hr.)	PROPOSED Coef. "c"	PROPOSED Tc (min)	PROPOSED Intensity (in/hr.)	Total Area Existing (Ac.)	Total Area Proposed (Ac.)	Rain Frequency (yr.)	Qmain Existing (cfs)	Qmain Proposed (cfs)	Qmain Released (cfs)	High Water Elevation (Ft.)	Storage Volume (c.f.)
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Addison Business Tract	0.40	15	7.52	0.58	15	7.52	4.06	4.06	100	12.2	17.8	12.2	632.14	5,663

DETENTION BASIN DESIGN
for 100 Year Storm

Project: Addison Business Tract
Location: City of Addison Texas
Project No.: 023313.010
Date: 10/25/2005
Designed By: PC
Checked By: BP

Limitations set of a usage of the Modified Rational Method for this Design = 600 Ac.

Existing site condition: Watershed Area = 1.86 Ac. 0.003 Sq.Miles
K = 1 Cu = 0.4 Tc (u) = 15 Storm Frequency = 100
Rain Intensity Iu = 7.52 in/hr. Peak Runof 5.59 cfs.

Proposed site condition: Watershed Area = 1.86 Ac. 0.003 Sq.Miles
K = 1 Cd = 0.8 Tc (d) = 10 Storm Frequency = 100
Rain Intensity Id = 8.74 in/hr. Peak Runoff Rate Qd = 13.00 cfs.

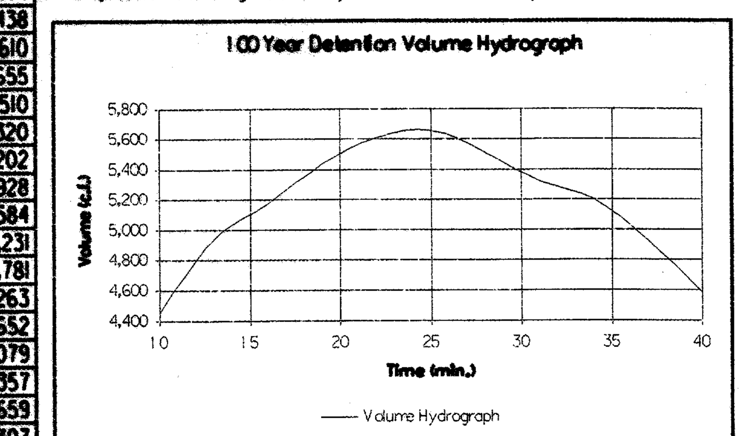
Rainfall Duration Interval = 3 min. Actual Rate of Relies Qr = 5.59 cfs.
Total Design Rainfall (TR = I • Tc/60): 1.46 in. Total Design Runoff (R = K•C•TR): 1.16 in.
Total Design Runoff Volume @ Proposed Site Condition (Vl = A•R•3630): 7,864 cf.
Peak Runoff Ratio (qo / qi): 0.43

HYDROGRAPH SIMULATIONS

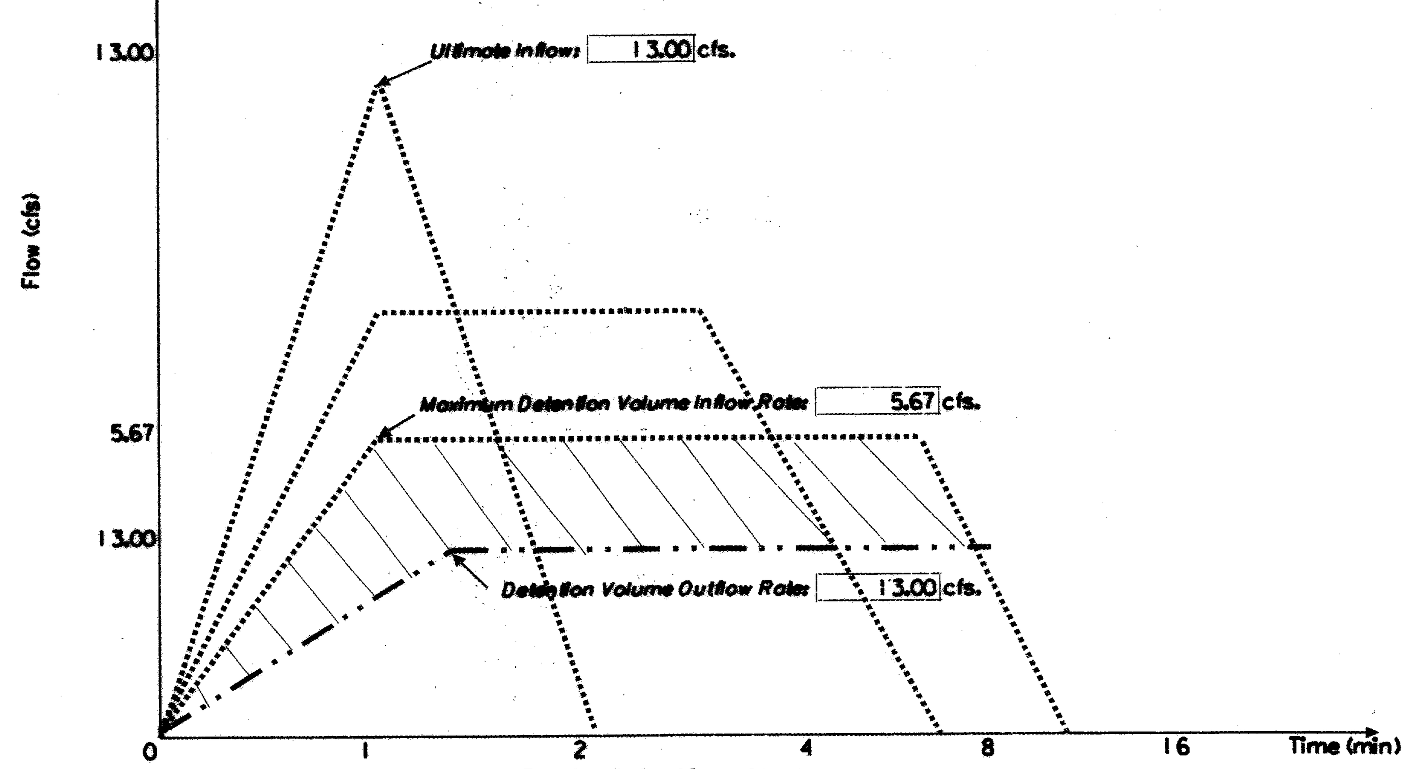
Triangular pattern of Design Storm Duration (Tb=Vl/Qd•30): 20.2 min.
Required Design Storm Duration (Tp=Tb•3/8): 7.6 min.
Time Lag of Design Storm Duration (Tlag=Tc (d)-Tp): 2.4 min.
Total Runoff Volume from project site at existing condition (Vo = Tb•Qo•30): 3,388 cf.
Hydrograph Required Storage Volume per Modified Rational Method (SVh = Vl-Vo): 3,576 cf.
The same in (acre-ft) 0.08 acre-ft.
Required Detention Ratio to total Runoff Volume (Vs / Vr): 0.314
Hydrograph Required Storage Volume per Technical Release (TR-55) by USDA (SVh = Vl•Vs/Vr): 0 cf.
The same in (acre-ft) 0 acre-ft.

ROUTING SIMULATIONS

Line	Rainfall Duration t (min.)	Rainfall Intensity I (in/hr.)	Proposed Inflow Rate Q' (cfs.)	Volume (c.f.) (in) V'	Volume (c.f.) (out) Vo	Required Storage Volume S V (cf.)	COMMENTS & ASSUMPTIONS
0	1	2	3	4	5	6	7
1	10	8.74	13.01	7,806	3,354	4,452	1. Detention Design is based on Modified Rational Method.
2	13	8.01	11.92	9,298	4,360	4,937	2. Runoff rates for the Peak Runoff Ratio are calculated per Rational Method.
3	16	7.38	10.98	10,541	5,366	5,174	3. This spreadsheet is using data of City of Addison rain intensity duration.
4	19	6.96	10.36	11,810	6,373	5,438	
5	22	6.61	9.84	12,989	7,379	5,610	
6	25	6.29	9.36	14,040	8,385	5,655	
7	28	5.96	8.87	14,902	9,391	5,510	
8	31	5.68	8.45	15,717	10,397	5,320	
9	34	5.47	8.14	16,606	11,404	5,202	
10	37	5.25	7.81	17,338	12,410	4,928	
11	40	5.04	7.50	18,000	13,416	4,584	
12	43	4.86	7.23	18,653	14,422	4,231	
13	46	4.68	6.96	19,210	15,428	3,781	
14	49	4.50	6.70	19,698	16,435	3,263	
15	52	4.33	6.44	20,093	17,441	2,652	
16	55	4.18	6.22	20,526	18,447	2,079	
17	58	4.02	5.98	20,810	19,453	1,357	
18	61	3.88	5.77	21,118	20,459	659	
19	64	3.81	5.67	21,773	21,466	307	
20	67	3.73	5.55	22,311	22,472	-161	



Routing Required Storage Volume SV^R = Max(Sv): 5,655 cf.
The same in (acre-ft) 0.13 acre-ft.
Required Storage Volume SV = Max(Sv, S^R): 5,655 cf.
Required Storage Volume in (acre-ft): 0.13 acre-ft.
Designed Storage Volume in (acre-ft): 0.13 acre-ft.



Detention Basin-C Outflow Hydrograph
N.T.S.

OUTFLOW PIPE DESIGN

PROJECT: Addison Business Tract
LOCATION: City of Addison
Project No.: 023313.010 Date: 10/28/2005
CULVERT LOCATION: Detention Outflow System
Designed By: PC Checked: BP
Inlet Control/Entrance Flow Coefficient K = 1
CULVERT SLOPE: S = 0.41% = 0.004 ft/ft
CULVERT LENGTH: L = 294 ft
Culvert N = 0.013

Entrance Code No.	CULVERT DESCRIPTION (entrance type)	Design Q (cfs.)	SIZE D (in.)	INLET CONTROL HW/D	INLET CONTROL HW (ft.)	OUTLET CONTROL Ke	H (ft.)	Dc (ft.)	(Dc+D)/2 (ft.)	TW (ft.)	ho (ft.)	L× So (ft.)	HW (ft.)	CONTROLLING HW (ft.)	OUTLET V (fps.)	COMMENTS
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
1	Inlet	12.20	24	0.96	1.93	0.20	1.14	1.25	1.63	2.20	2.20	1.20	2.14	2.14	5.2	

HEADWATER COMPUTATION — OUTLET CONTROL (HW=H+ho-LSo)

Number of 1 pcs.

Controlling Orifice Design

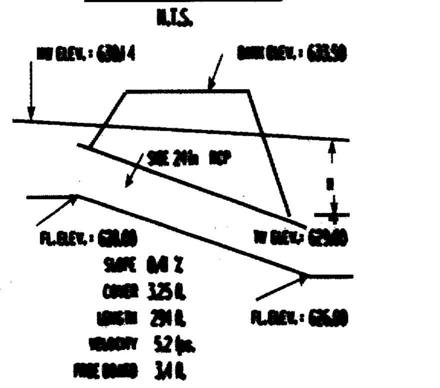
Q = K x A° x (2g x (h1 - h2))^0.5
Orifice Flo 12.20 cfs.
Required Area of Orifice (Ao): 1.73 sq. ft.
Required Diameter of Orifice (Do): 17.81 in.
Water head prior to orifice (h1): 4.14 ft.
Water head after orifice (h2): 2.14 ft.
Flow Coefficient (K=Cd): 0.62
Weir flow Elevation: 628.00
Required Weir Elevation: 632.14
Weir Controlling flow Elevation: 632.14 ok

Spillway Weir Analyses

h = (Qu/C/L...)^(2/3)
Spillway Ultimate Flow(Qu): 5.60 cfs.
Length of Weir (Lw): 16 ft.
Sides of Weir Contraction each
Head of th 0.22 ft.
Height of I 4.14 ft.
Coef. of th 3.29
Weir Elevat 632.14
Spillway Water Elevation: 632.36
Size of Inlet: 3' x 3' Grate Inlet

3'x3' Grate Inlet

FINAL DESIGN
N.T.S.



OUTFLOW PIPE DESIGN

PROJECT: Addison Business Tract
LOCATION: City of Addison
Project No.: 023313.010 Date: 10/28/2005
CULVERT LOCATION: Backside Drainage, Line SD-1
Designed By: PC Checked: BP
Inlet Control/Entrance Flow Coefficient K = 1
CULVERT SLOPE: S = 4.76% = 0.0476 ft/ft
CULVERT LENGTH: L = 21 ft
Culvert N = 0.013

Entrance Code No.	CULVERT DESCRIPTION (entrance type)	Design Q (cfs.)	SIZE D (in.)	INLET CONTROL HW/D	INLET CONTROL HW (ft.)	OUTLET CONTROL Ke	H (ft.)	Dc (ft.)	(Dc+D)/2 (ft.)	TW (ft.)	ho (ft.)	L× So (ft.)	HW (ft.)	CONTROLLING HW (ft.)	OUTLET V (fps.)	COMMENTS
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
1	3' x 3' Drop Inlet	8.18	18	1.09	1.64	0.20	0.53	1.10	1.30	3.14	3.14	1.00	2.67	2.67	11.6	

HEADWATER COMPUTATION — OUTLET CONTROL (HW=H+ho-LSo)

Culvert approach open channel analysis

Channel N = 0.030

Line No.	CHANNEL LOCATION	Rain Intensity (year)	Design Flow Qd (cfs)	Bottom Width Wb (ft)	Side Slope (Z/1)	Depth d (ft)	Top Width (ft)	Slope S (%)	Hyd Rad H r (ft)	Vel. Flow V (fps)	Flow Area A (sq.ft.)
1	UPSTREAM	100	1.82	0	3	0.58	3	0.77	0.27	1.8	1.0

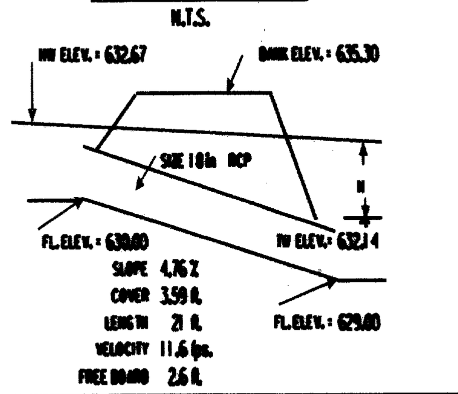
CHANNEL GEOMETRY

Drop Inlet Sizing

h = (Qu/C/L...)^(2/3)
Spillway Ultimate Flow(Qu) = 5.60 cfs.
Length of Weir (Lw) = 12 ft.
Sides of Weir Contraction = 8 each
Head of th 0.27 ft.
Height of I 0 ft.
Coef. of th 3.40
Inflow Elevation = 634.00
High Water 634.27
Size of Inlet: 3' x 3' Drop Inlet

Number of 1 pcs.

FINAL DESIGN
N.T.S.

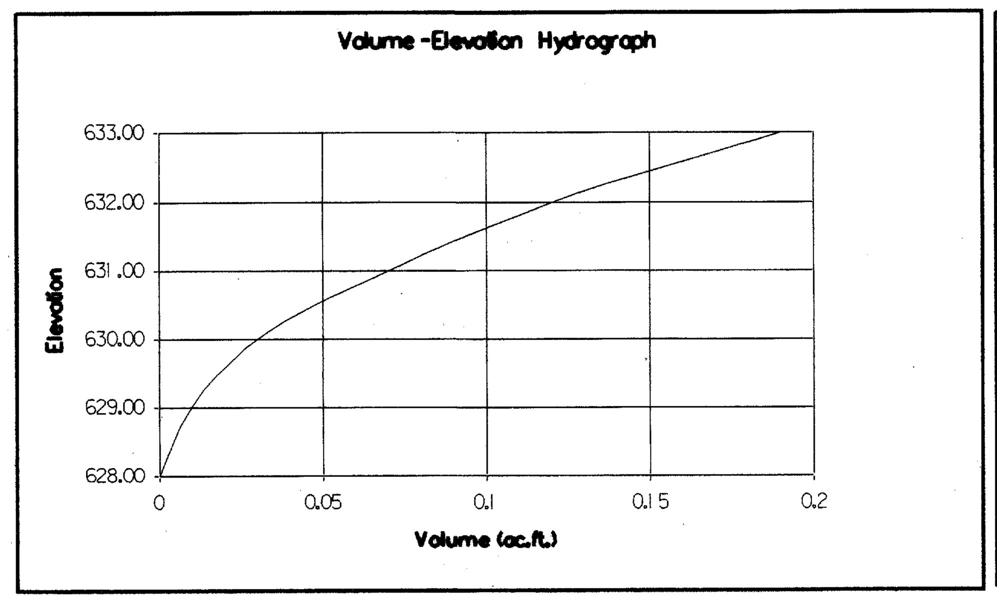


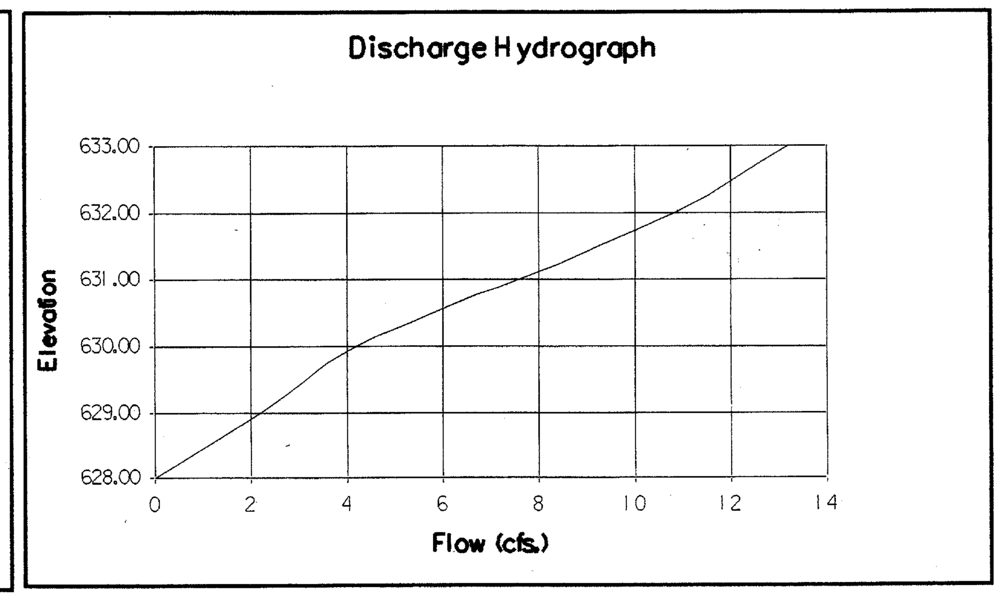
DETENTION VOLUME ANALYSIS

Volume Elev.	Area (sq.ft.)	Area (ac.)	Volume (ac.ft.)	Volume Sum	Flow
628.00	0	0.000	0.00	0.00	0
629.00	759	0.017	0.01	0.01	2.2
630.00	1,325	0.030	0.02	0.03	4.2
631.00	1,943	0.045	0.04	0.07	7.6
632.00	2,824	0.065	0.05	0.12	10.8
633.00	3,645	0.084	0.07	0.19	13.2

100 YEAR DETENTION VOLUME ANALYSIS
Require Detention Volume = 0.13 ac.ft.
Require High Water Elevation : 632.14
Design High Water Elevation : 632.14
Design Detention Volume = 0.13 ac.ft.

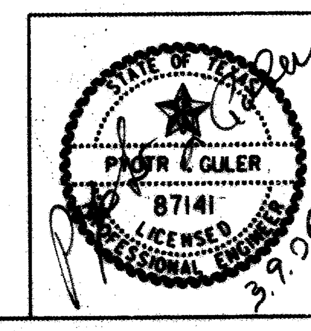
Notes:
1. Incremental volume computed by the Conic Method for Reservoir Volumes.
2. Volume = (1/3) x (EL2 - EL1) x (Area1 + Area2 + sq. rt. (Area1 x Area2))
Where: EL1 - Lower elevation of increment; EL2 - Upper elevation of increment.
Area1 - Lower area of increment; Area2 - Upper area of increment.





RECORD DRAWING

THIS DRAWING HAS BEEN MODIFIED TO REFLECT CONSTRUCTION RECORDS PROVIDED TO THE ENGINEER



DATE	REVISION	MADE	CKD	APPD

Carter■Burgess
Carter & Burgess, Inc. 7950 Elmbrook Drive Dallas, Texas 75247-4961
(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

DRAINAGE CALCULATIONS
ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	GUERIN	POWELL	1" = 20'	MARCH'06	01-6628	16 OF 17

DGN=d:\SLD\023313O1\MSGRA\313ld+02.dgn - ON=1-56

The seal appearing on this document was authorized by Pyotr I. Guler, P.E. 87141, on March 09, 2006. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

C&B JOB No. 023313010

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(4)RF=PAVEMENT.DGN - LOG=(RF6) - ON=1-63
(1)RF=d:\SLD\023313O1\MSGRA\aocla01.dgn - LOG=(LA1) - ON=1,7-12,15,16,18,21,27,30,34,35,44,45
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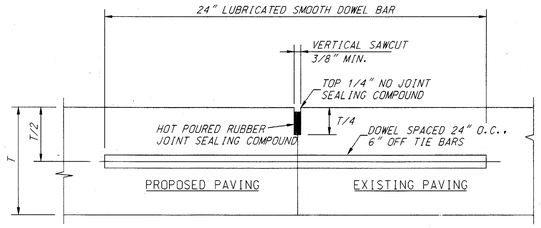
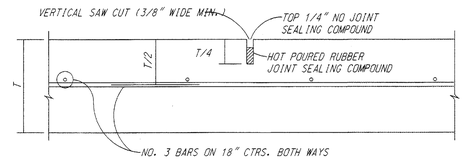


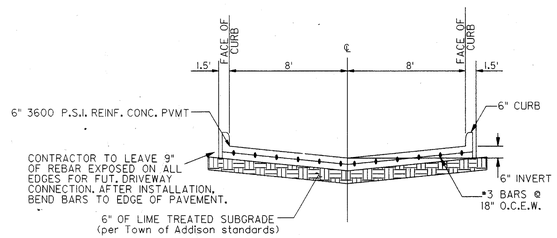
NOTE:
1. T-8" AND GREATER NO. 6 BAR. T-6" AND LESS NO. 5 BAR
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. HAND DRILLING NOT ACCEPTABLE. DAMAGE TO EXISTING PAVEMENT SHALL BE REMOVED BY CONTRACTOR AND JOINT CONSTRUCTED AT CONTRACTORS EXPENSE.
4. DOWEL BAR SHOWN IS IN ADDITION TO TIE BARS (12" O.C.-6" OFF DOWELS).
5. TIE BARS SHALL BE NO. 5 BAR DEFORMED. TIE BAR SHALL HAVE A LENGTH OF 24 INCHES.

LONGITUDINAL BUTT JOINT



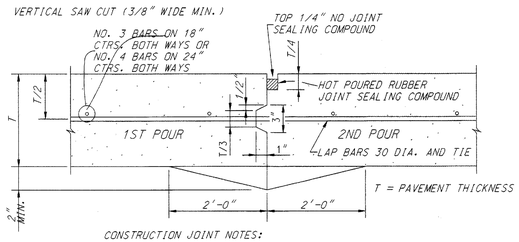
TRANSVERSE JOINTS SPACED 15 FT. C.-C. (MAX.)
LONGITUDINAL JOINTS SPACED 20 FT. C.-C. (MAX.)

SAWED DUMMY JOINT



TYPICAL SECTION SHARED DRIVE D & E

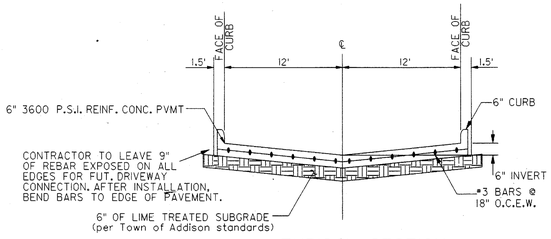
N.T.S.



CONSTRUCTION JOINT NOTES:

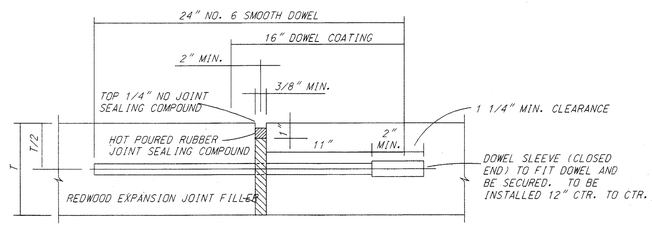
1. CONTRACTOR SHALL PROTECT KEYWAY PRIOR TO SECOND POUR. IF LONGITUDINAL KEYWAY IS DAMAGED, CONTRACTOR SHALL REPAIR WITH THE USE OF LONGITUDINAL BUTT JOINT (DRILL DOWELS INTO FIRST POUR).
2. THICKENED EDGES ARE REQUIRED FOR FUTURE WIDENING ONLY.

CONSTRUCTION JOINT



TYPICAL SECTION SHARED DRIVE A,B, & C

N.T.S.



TRANSVERSE EXPANSION JOINT NOTES:

1. DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.
2. TRANSVERSE EXPANSION JOINTS SHALL BE SPACED AT 60 FT. MAXIMUM AND AT ALL INTERSECTIONS.

TRANSVERSE EXPANSION JOINT

RECORD DRAWING

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DATE	REVISION	MADE	CKD	APPD

Carter=Burgess

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(214) 638-0145 Metro (214) 263-2019 Fax (214) 638-0447

PAVING DETAILS

ADDISON OFFICE CONDOS

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	CHECKED	SCALE	DATE	FILE	NO.
TIPTON	GUERIN	POWELL	1" = 20'	MARCH'06	01-6628	17 OF 17

BRYAN P. POWELL 94881 LICENSED PROFESSIONAL ENGINEER

DGN=d:\SLD\023330\MSGRA\3(3)pd-1.dgn - ON=1-56

The seal appearing on this document was authorized by Bryan P. Powell, P.E. 94881, on March 07, 2006. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

C&B JOB No. 023313010

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