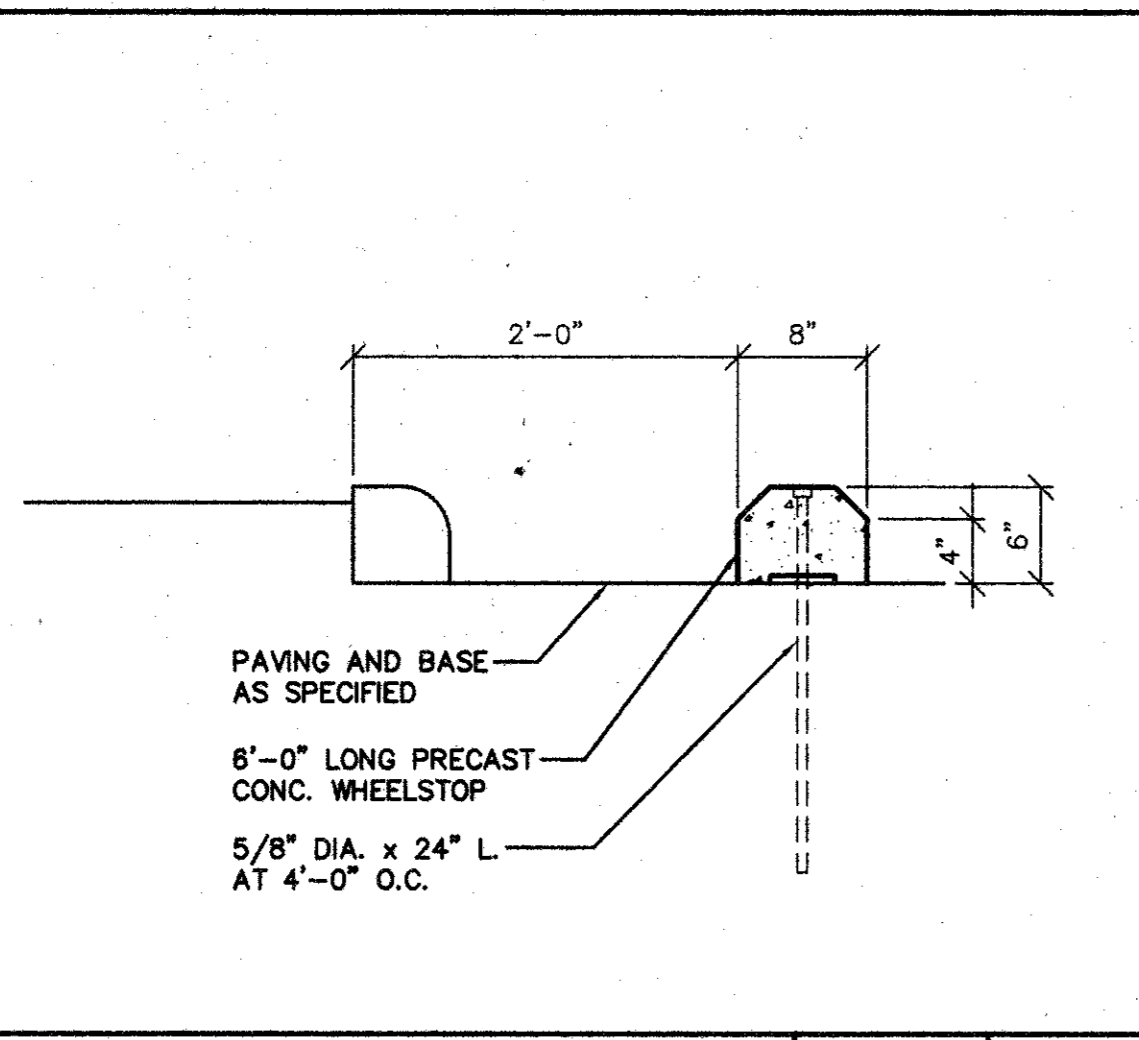
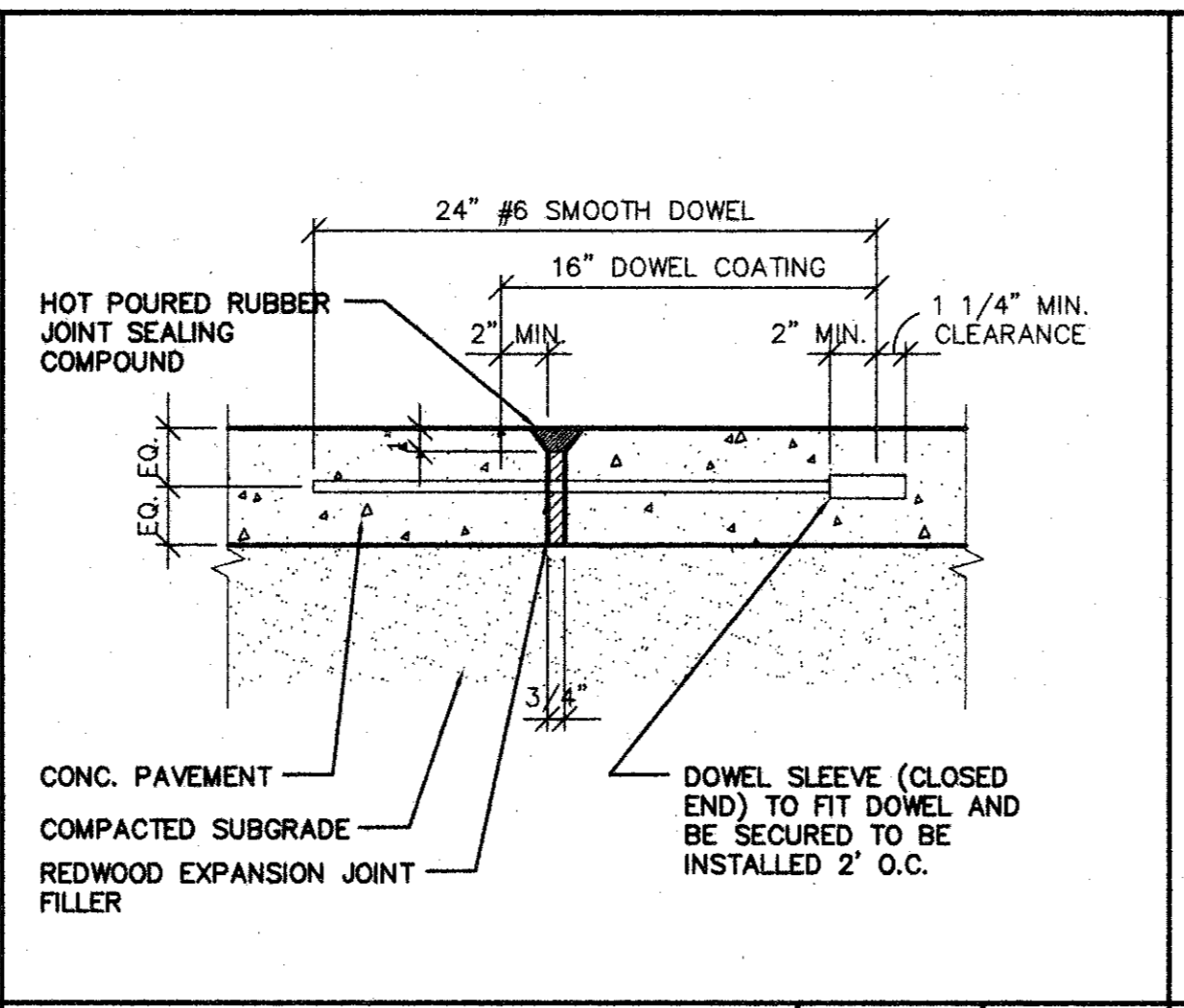


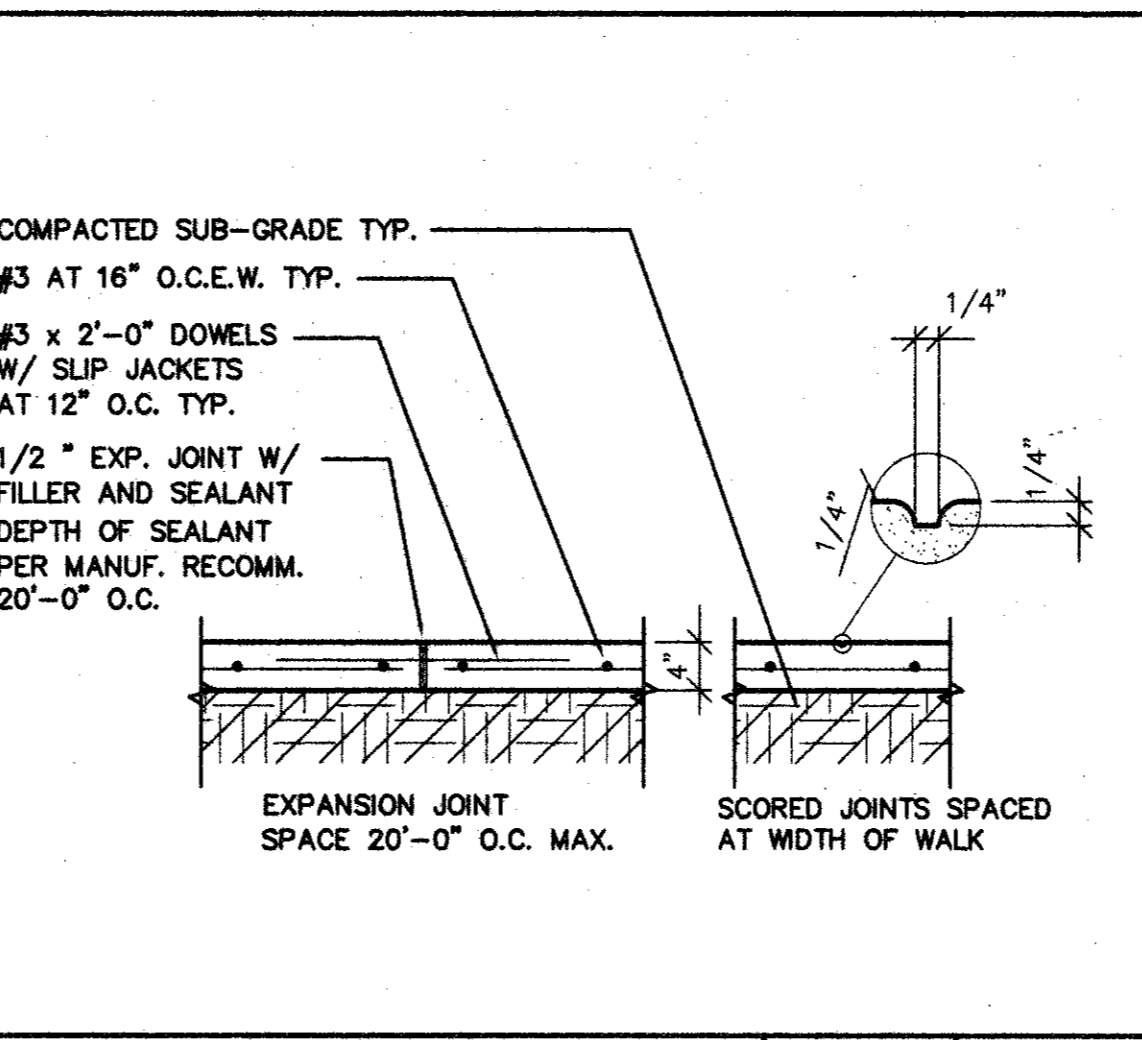
**SAWCUT DETAIL** SCALE: 1 1/2"=1'-0" **1.112**



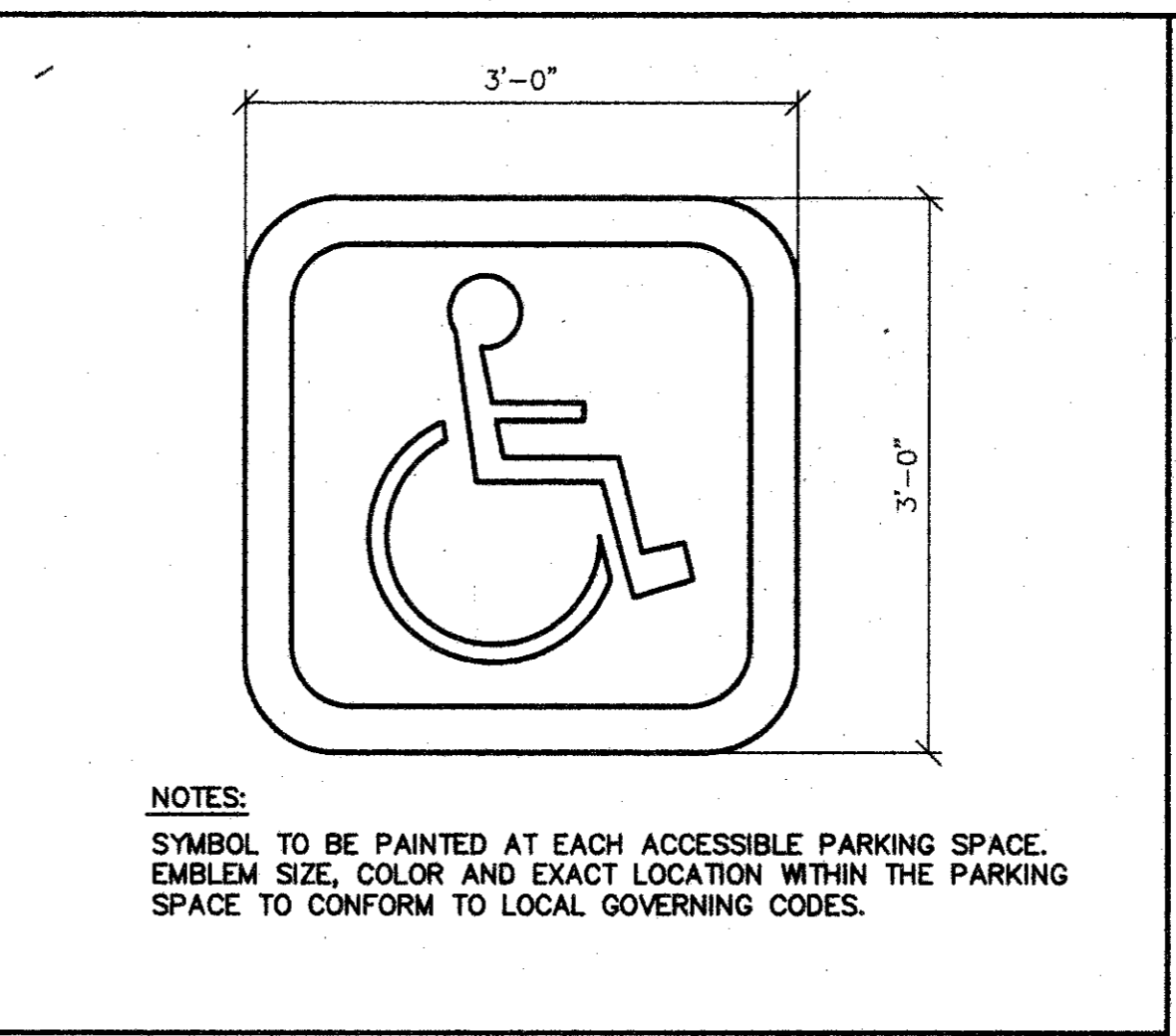
**WHEELSTOP** SCALE: 1"=1'-0" **1.110**



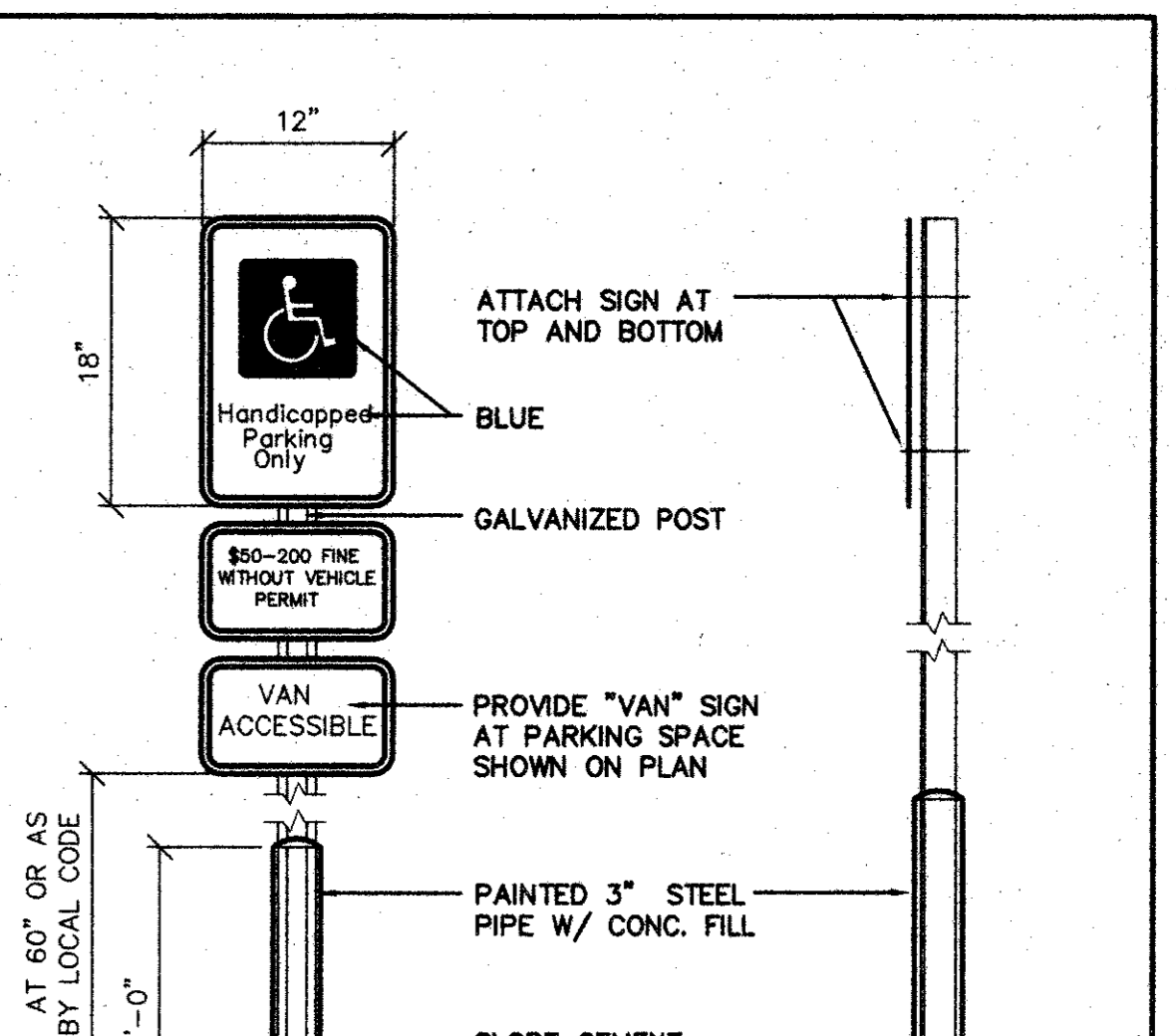
**EXPANSION JOINT** SCALE: 1 1/2"=1'-0" **1.108**



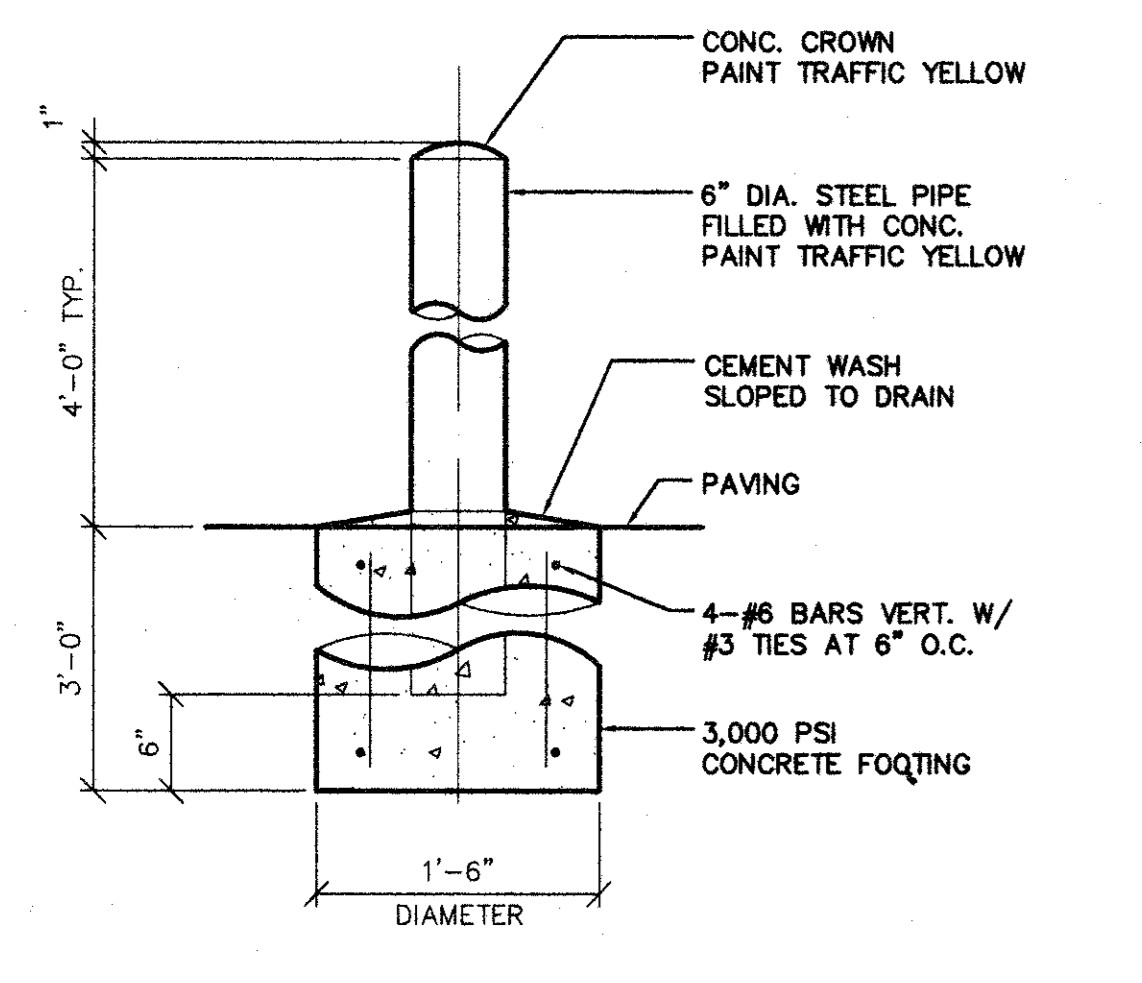
**CONC. WALK** SCALE: 3/4"=1'-0" **1.106**



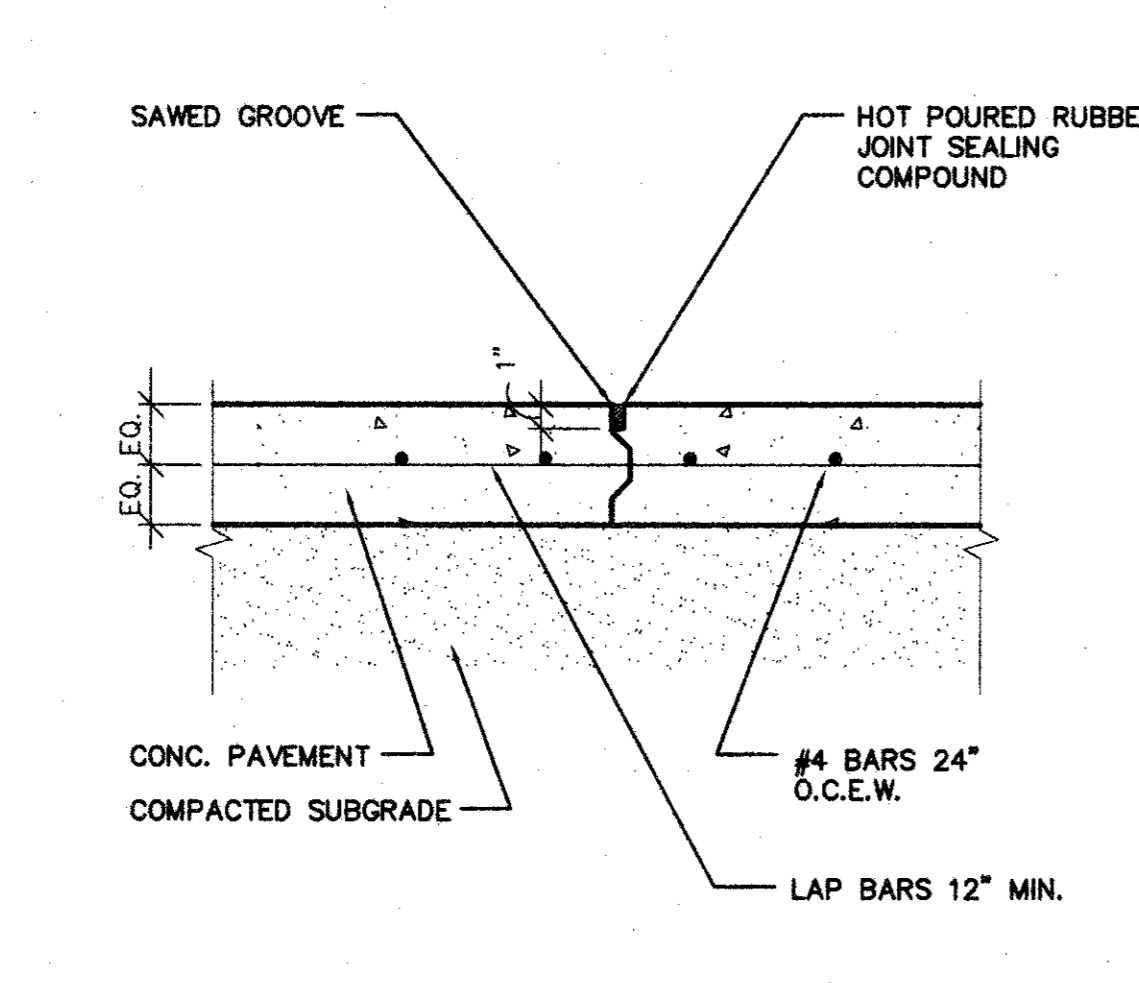
**HANDICAP SYMBOL** SCALE: 1"=1'-0" **1.104**



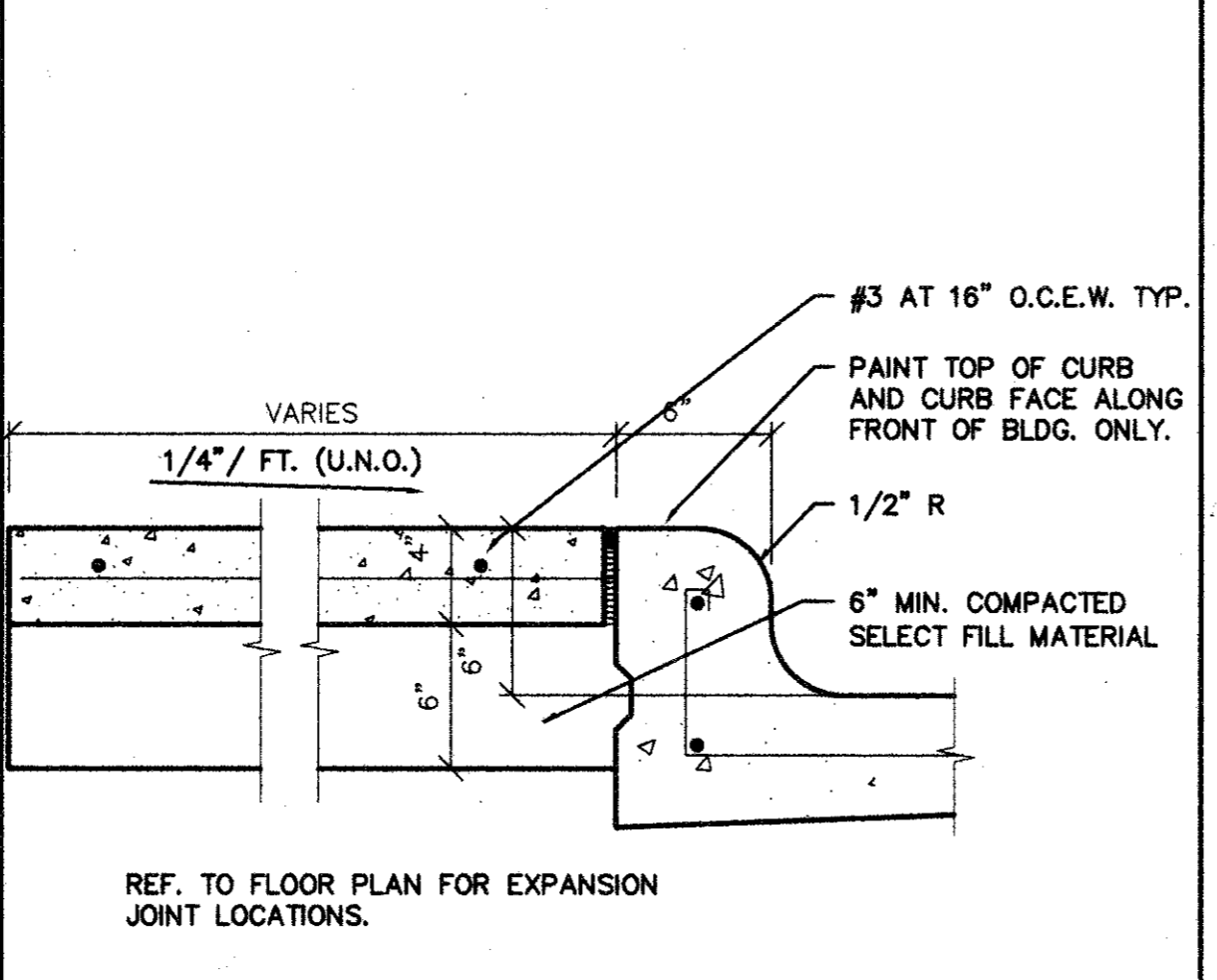
**HANDICAP SIGN** SCALE: 1"=1'-0" **1.102**



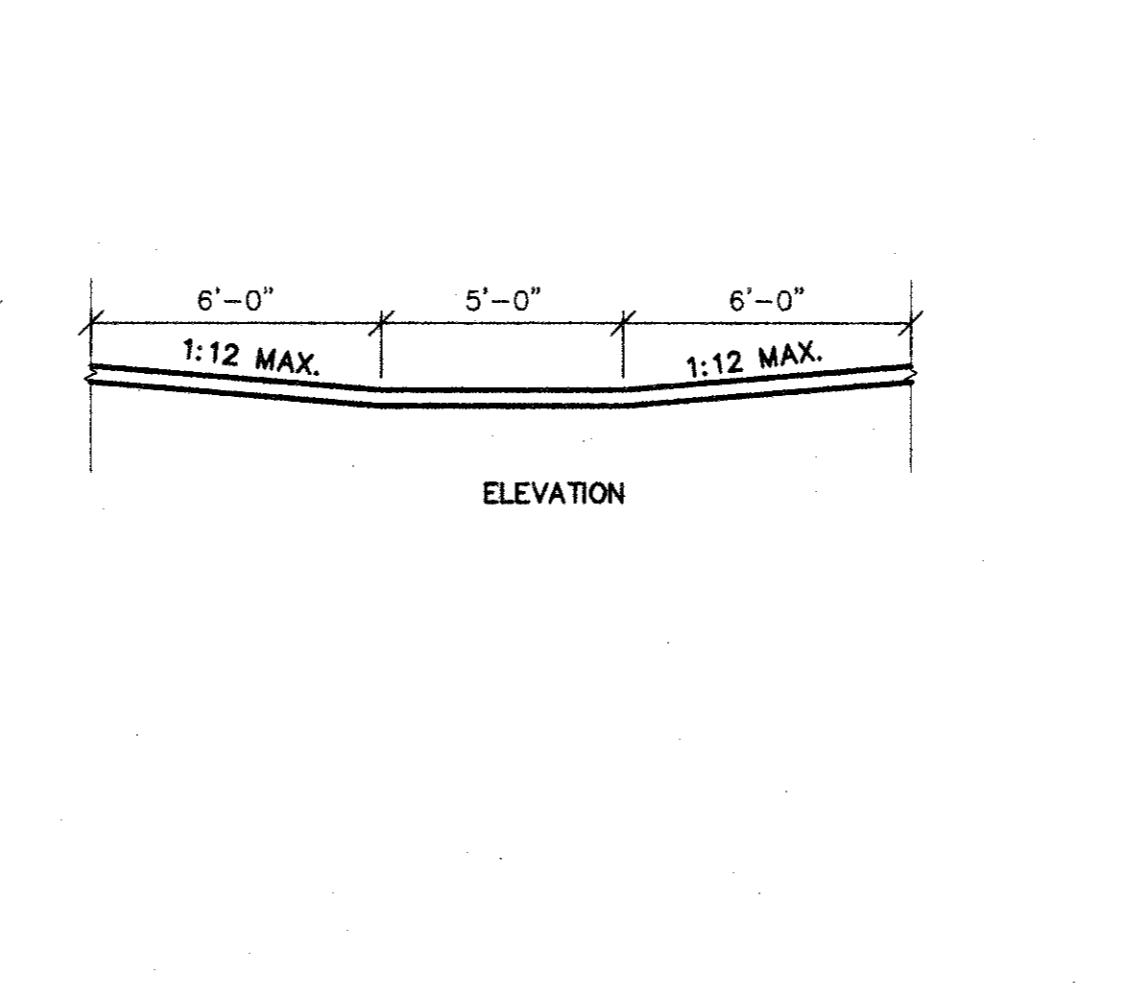
**PIPE BOLLARD** SCALE: 1"=1'-0" **1.109**



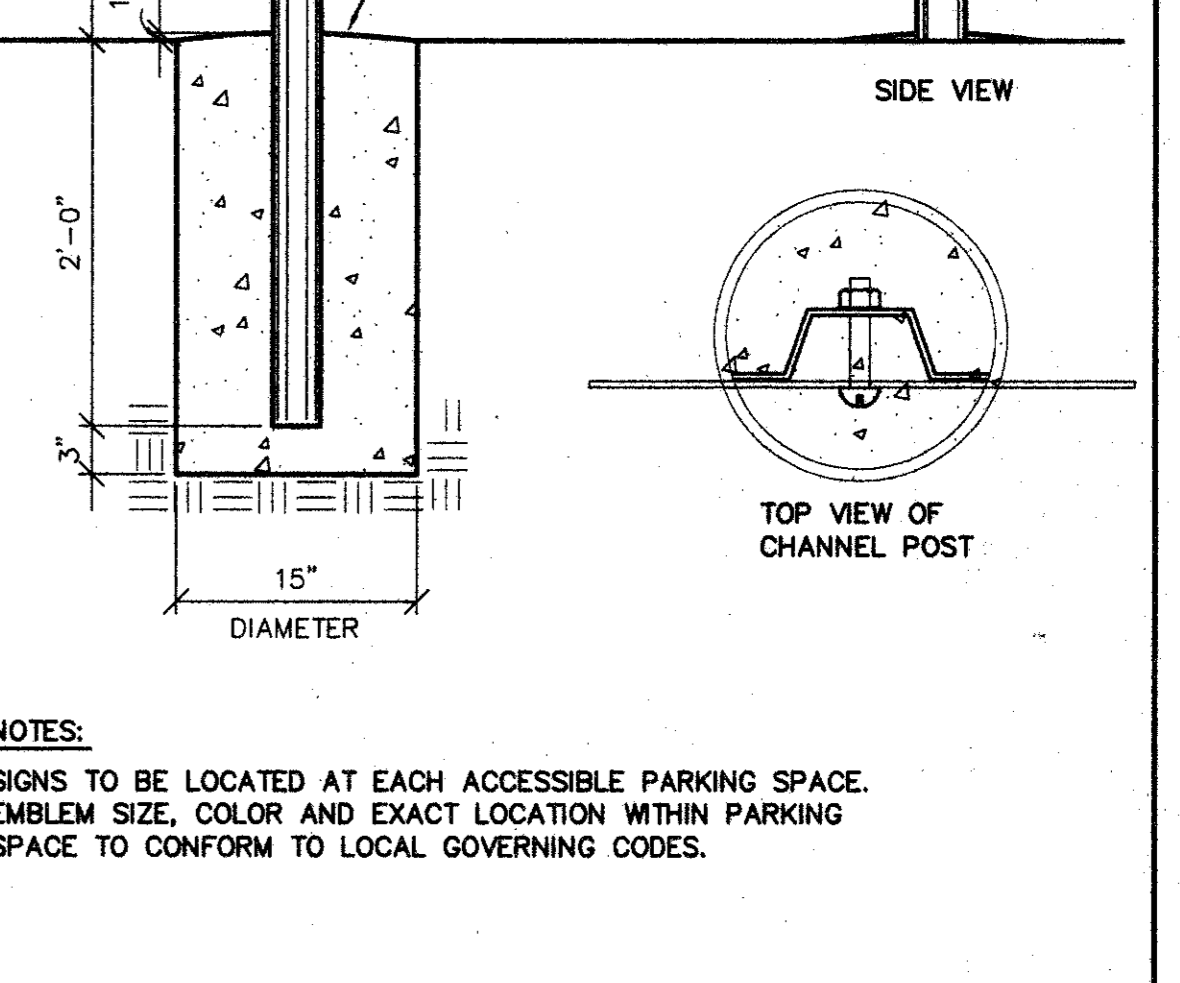
**KEYWAY JOINT** SCALE: 1 1/2"=1'-0" **1.107**



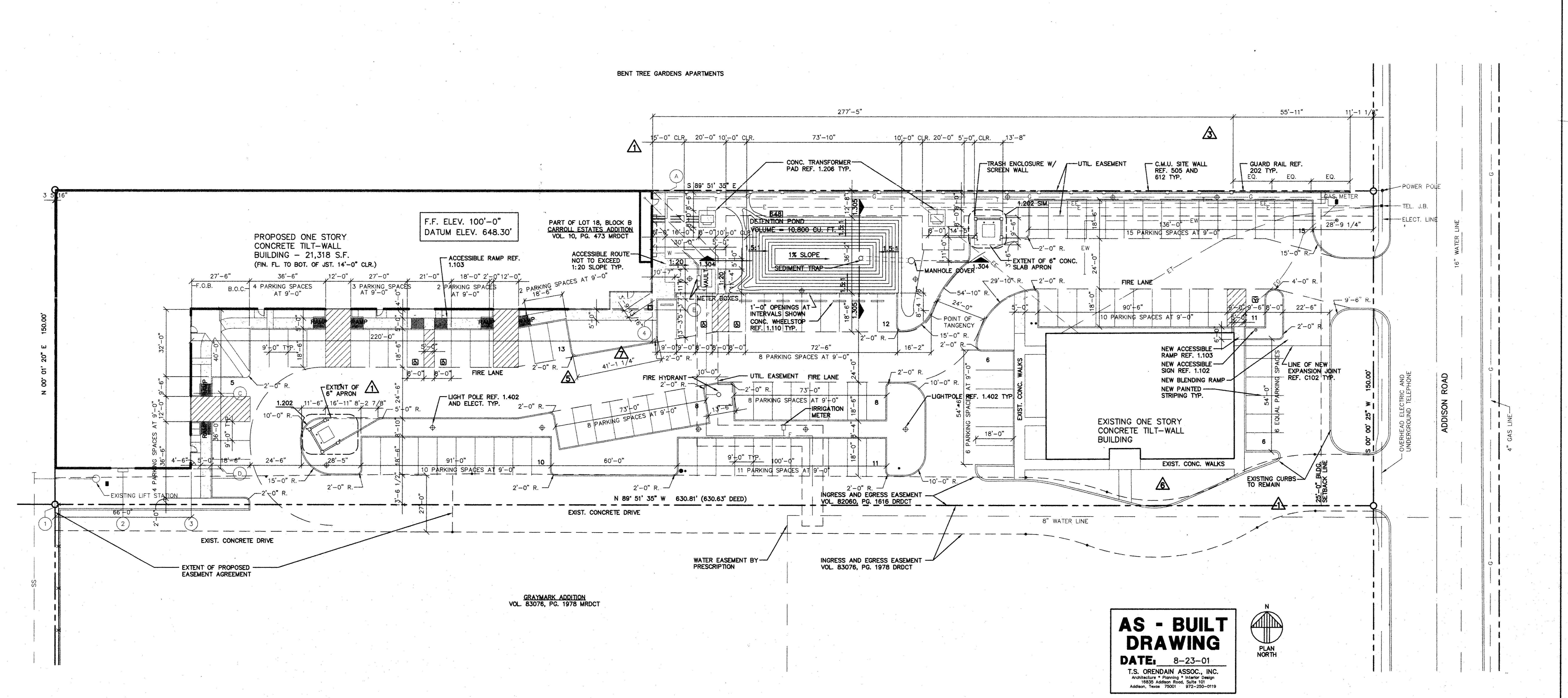
**CURB DETAIL** SCALE: 1 1/2"=1'-0" **1.105**



**HANDICAP PARKING** SCALE: 1/4"=1'-0" **1.103**



**HANDICAP SIGN** SCALE: 1"=1'-0" **1.102**

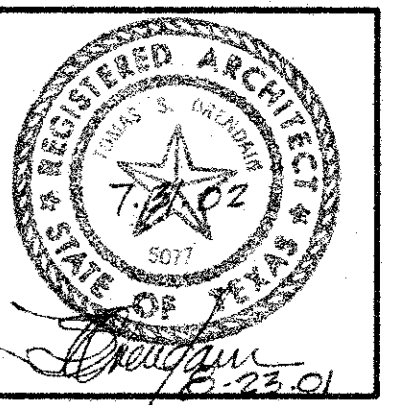


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**SITE PLAN** SCALE: 1"=20'-0" **1.101**

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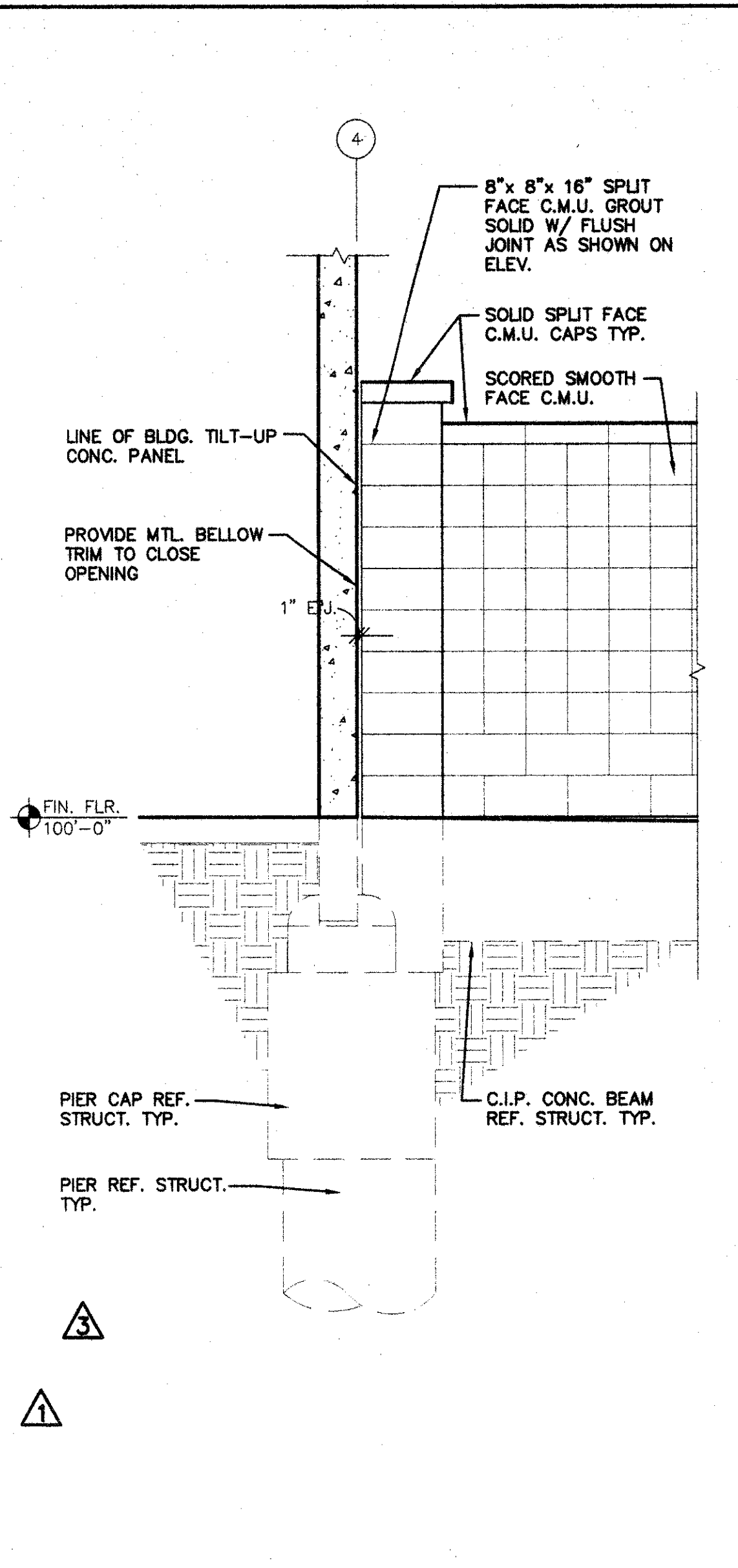


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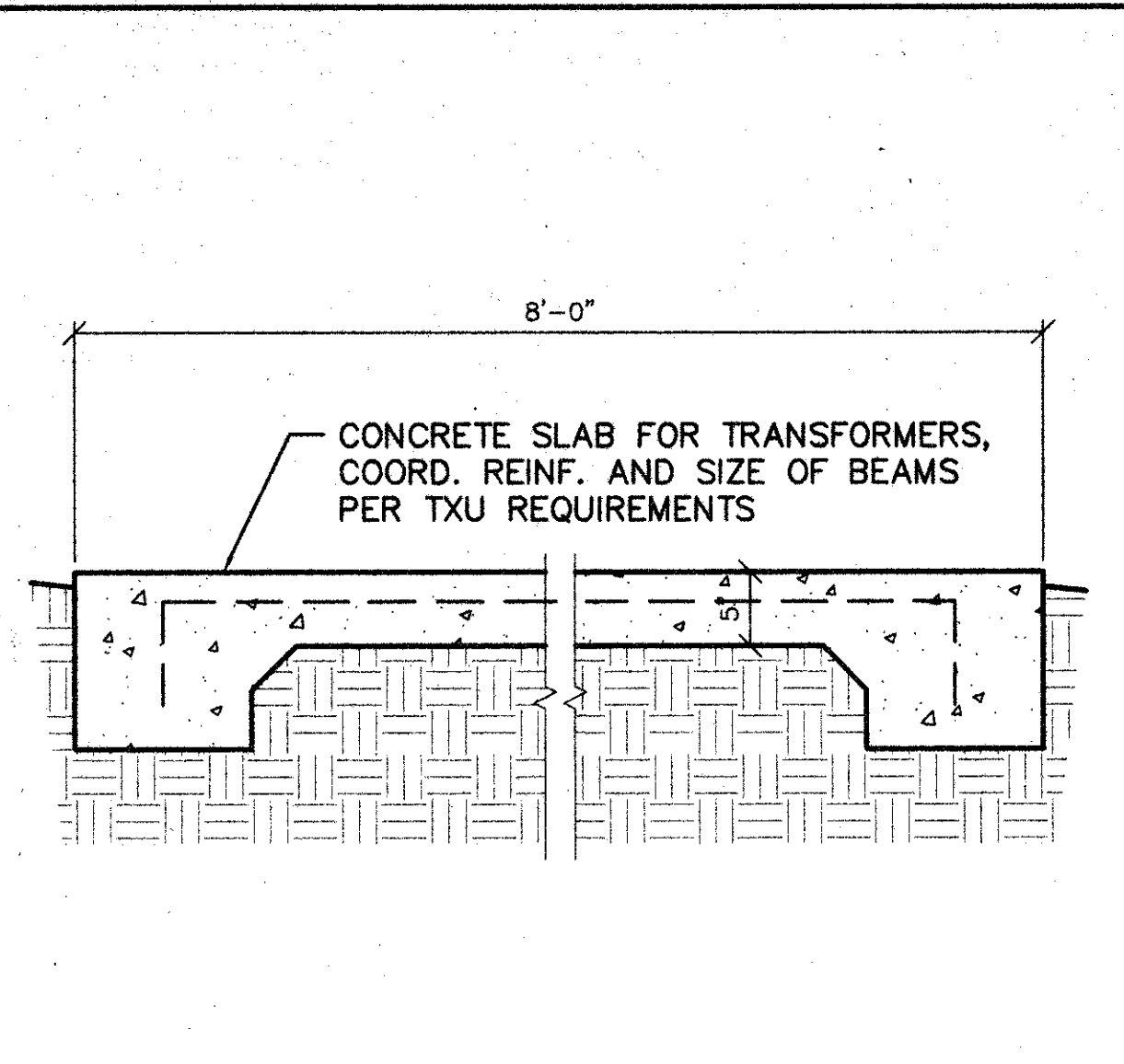
JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description
2-25-2000	100% ISSUED FOR CONSTRUCTION
8-9-2000	GENERAL REVISION
9-13-2000	SITE WALL REVISION
11-20-2000	DRIVE ADDED
12-8-2000	EXIST. PARKING REVISION
2-9-2001	GENERAL REVISION

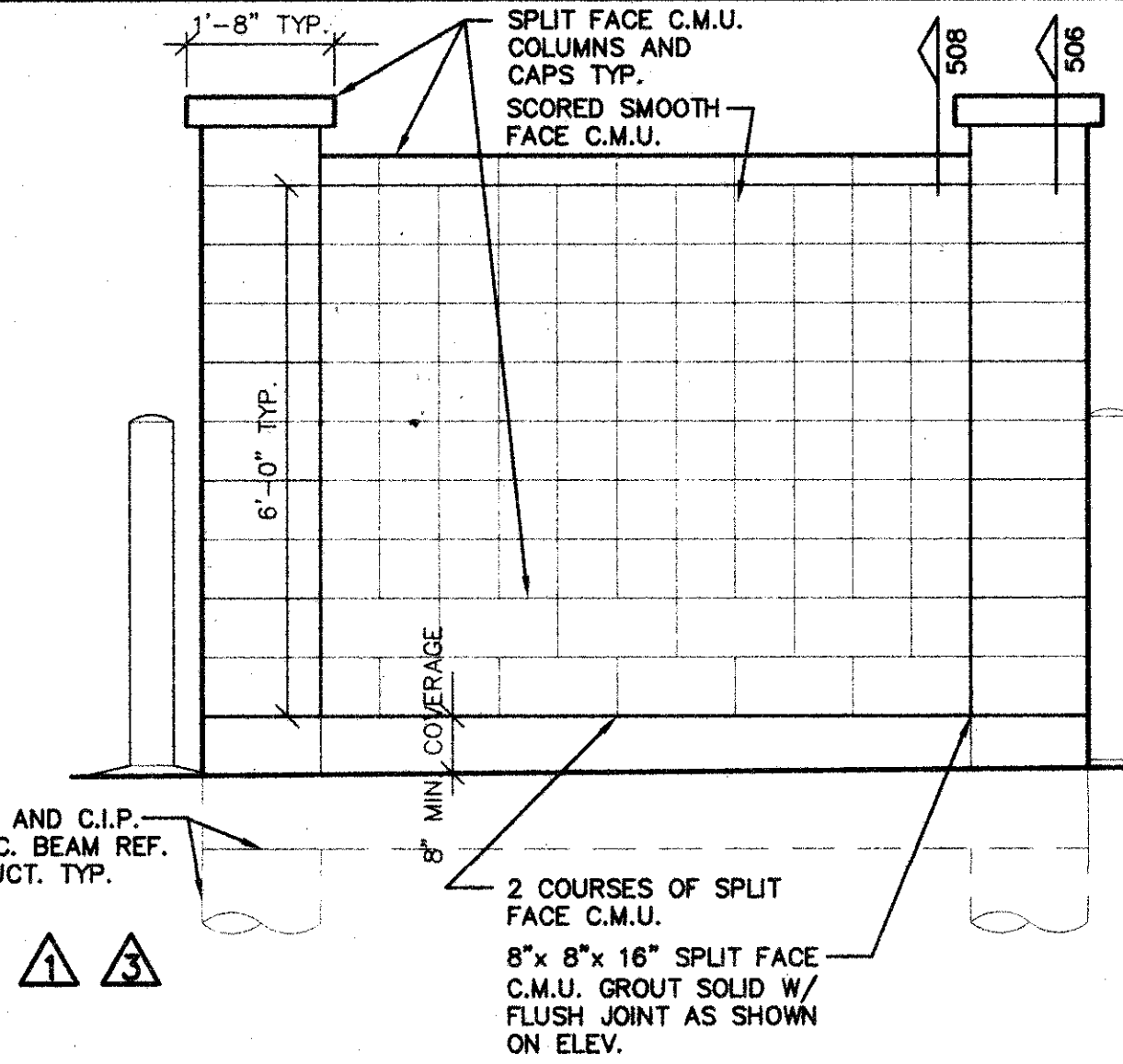
**SITE PLAN AND DETAILS**



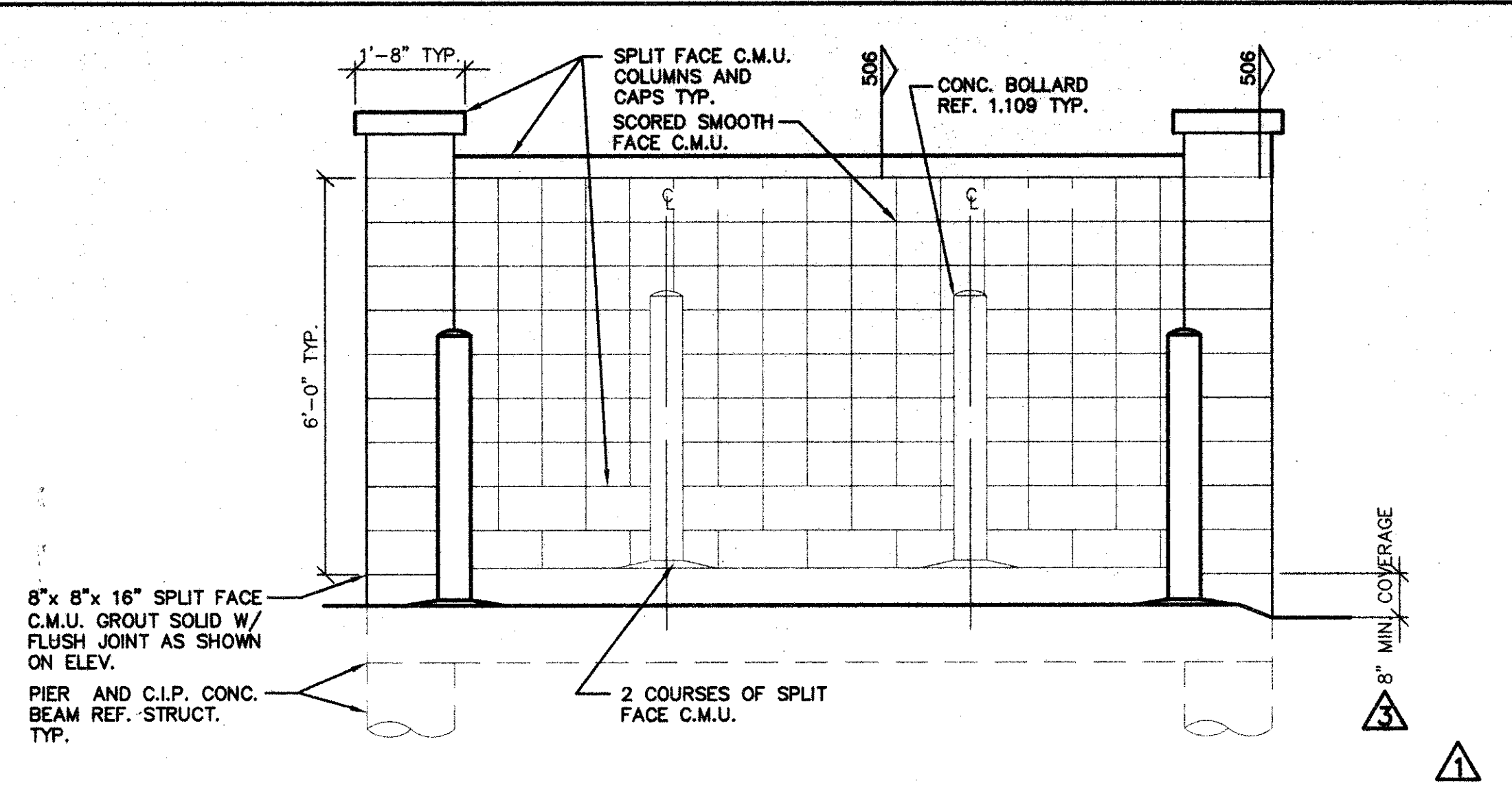
WALL DETAIL SCALE: 1/2"=1'-0" 1.207



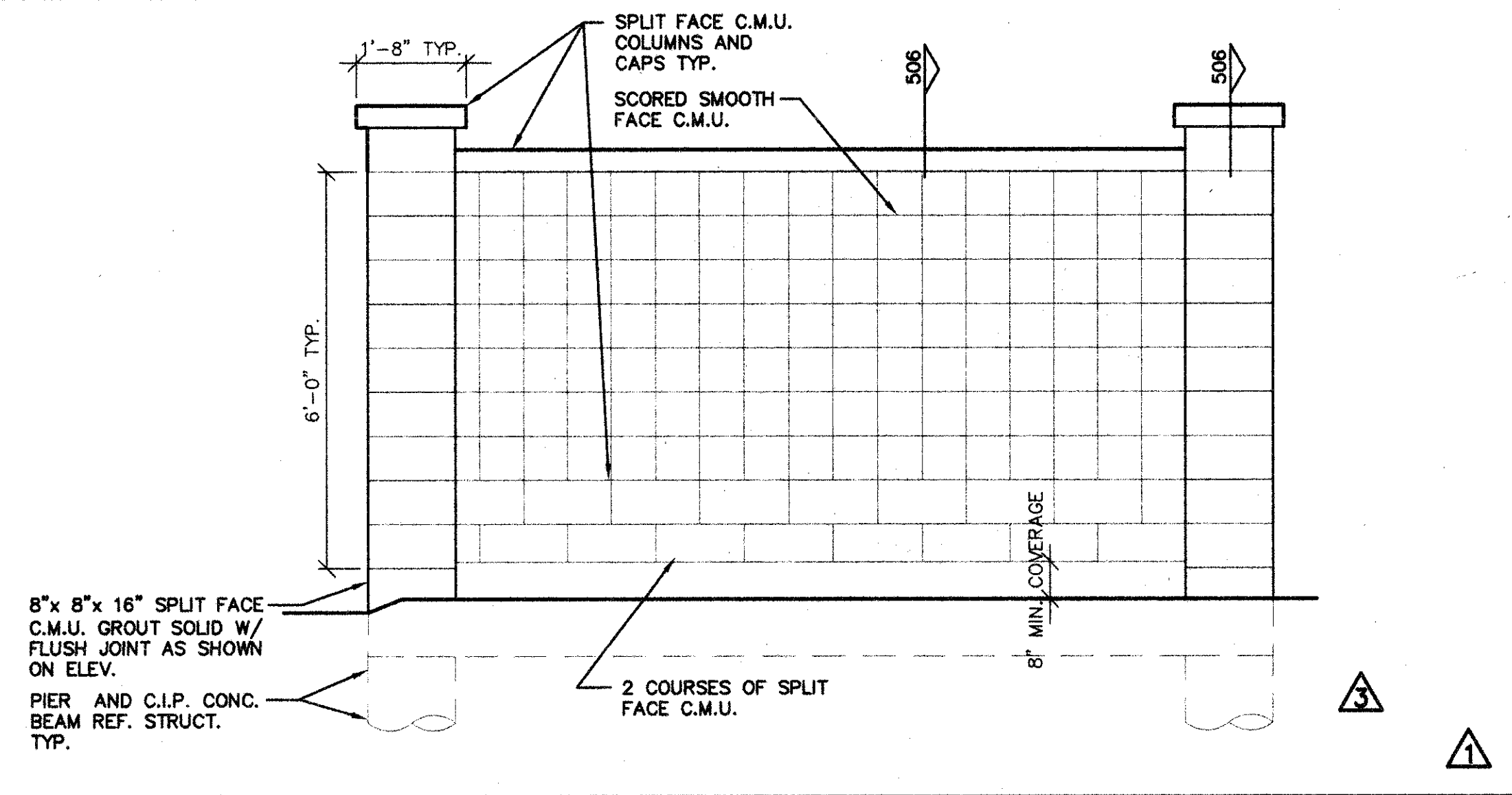
DIKE DETAIL SCALE: 1"=1'-0" 1.206



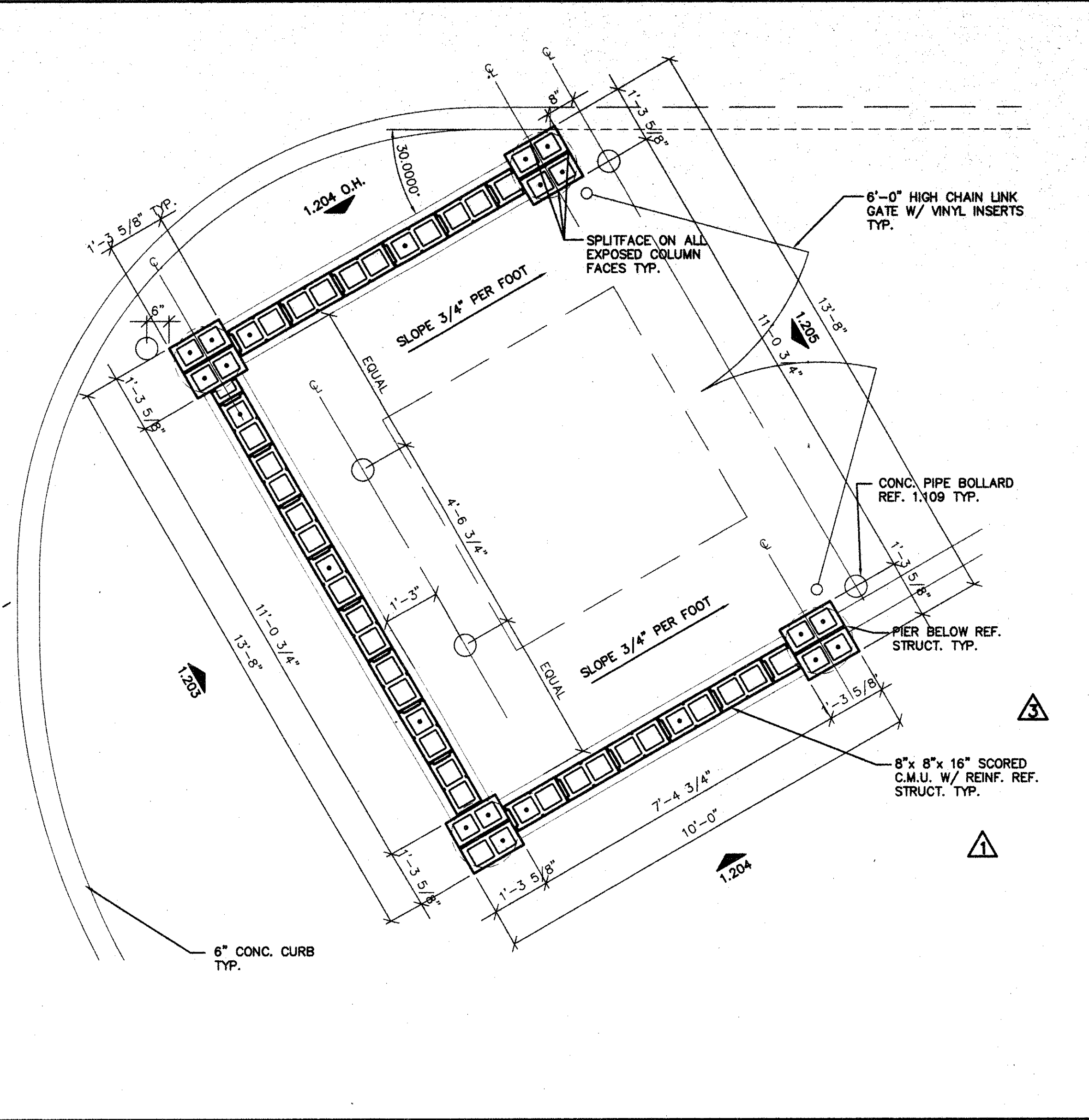
SCREEN ELEVATION SCALE: 1/2"=1'-0" 1.204



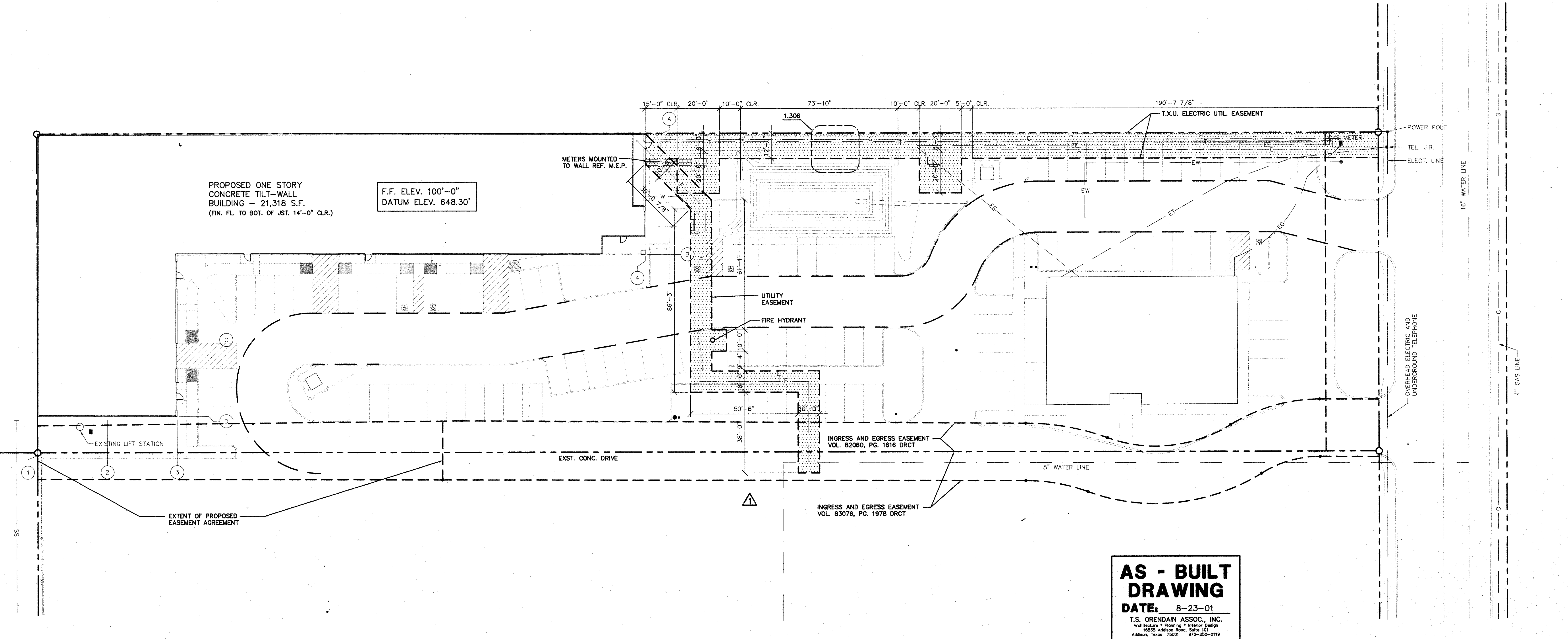
SCREEN ELEVATION SCALE: 1/2"=1'-0" 1.205



SCREEN ELEVATION SCALE: 1/2"=1'-0" 1.203



DUMPSTER PLAN SCALE: 1/2"=1'-0" 1.202

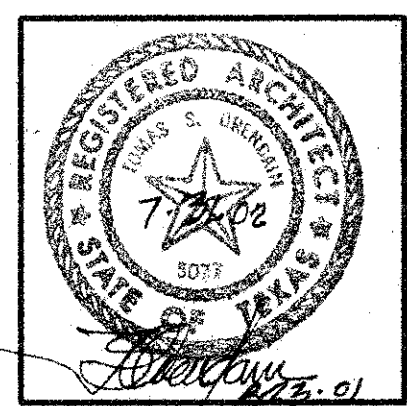


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UTILITY EASEMENT LAYOUT SCALE: 1"=20'-0" 1.201

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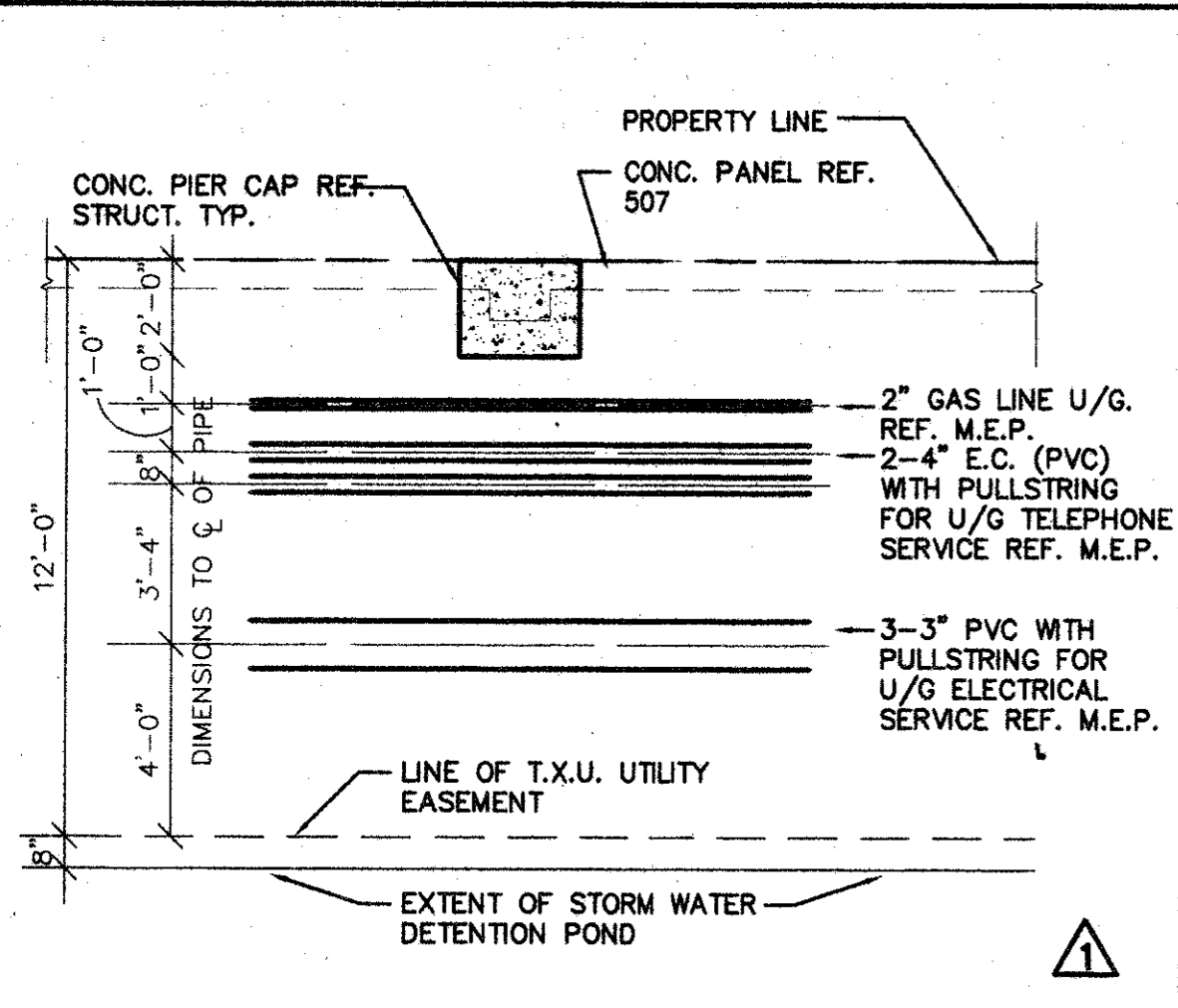


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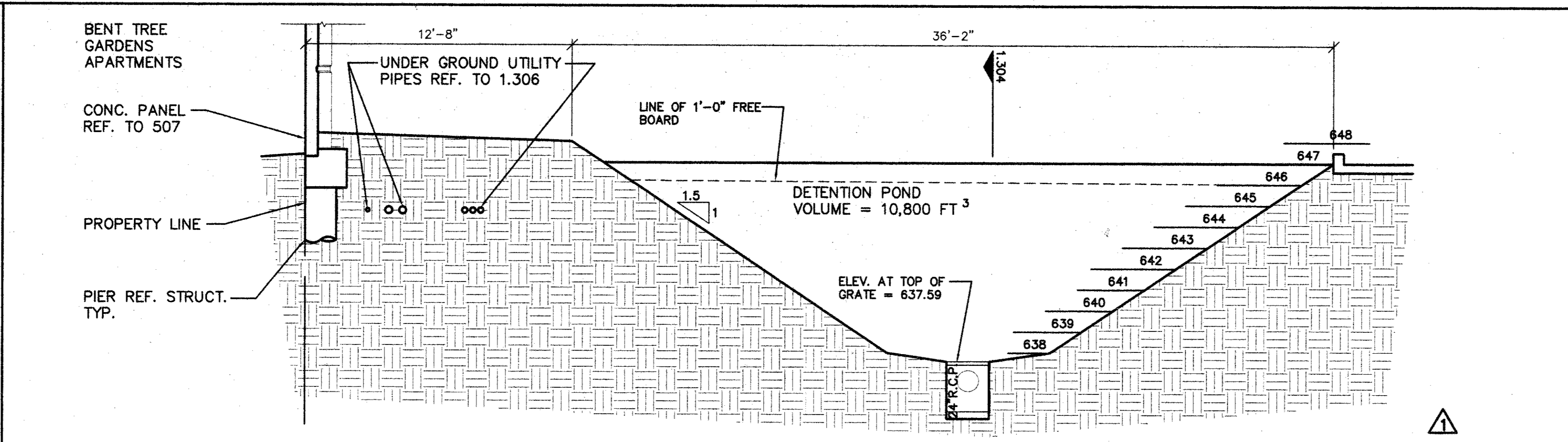
JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description
3-22-99	UTILITY EASEMENT REVISION
2-25-2000	100% ISSUED FOR CONSTRUCTION
8-9-2000	GENERAL REVISION
9-13-2000	△ SITE WALL REVISION

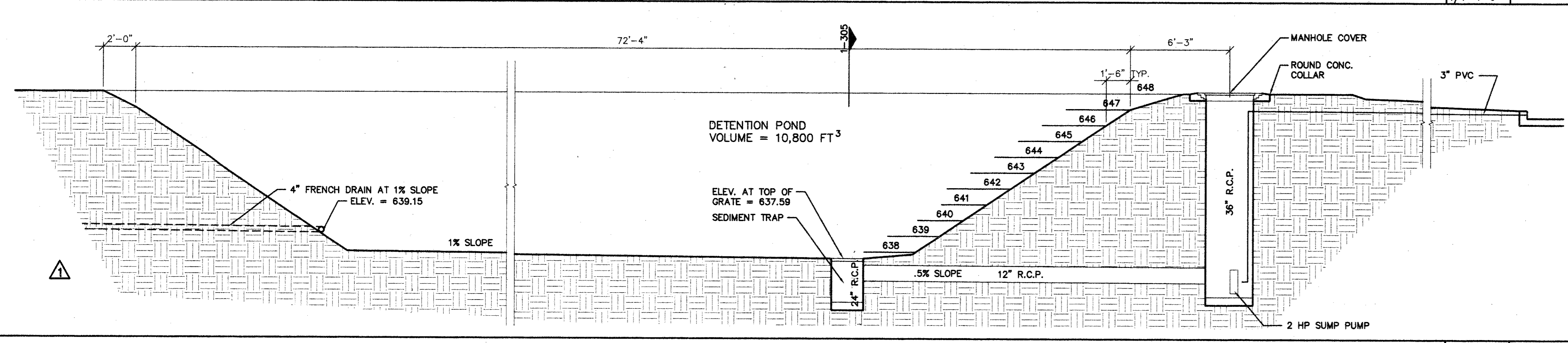
UTILITY EASEMENT LAYOUT



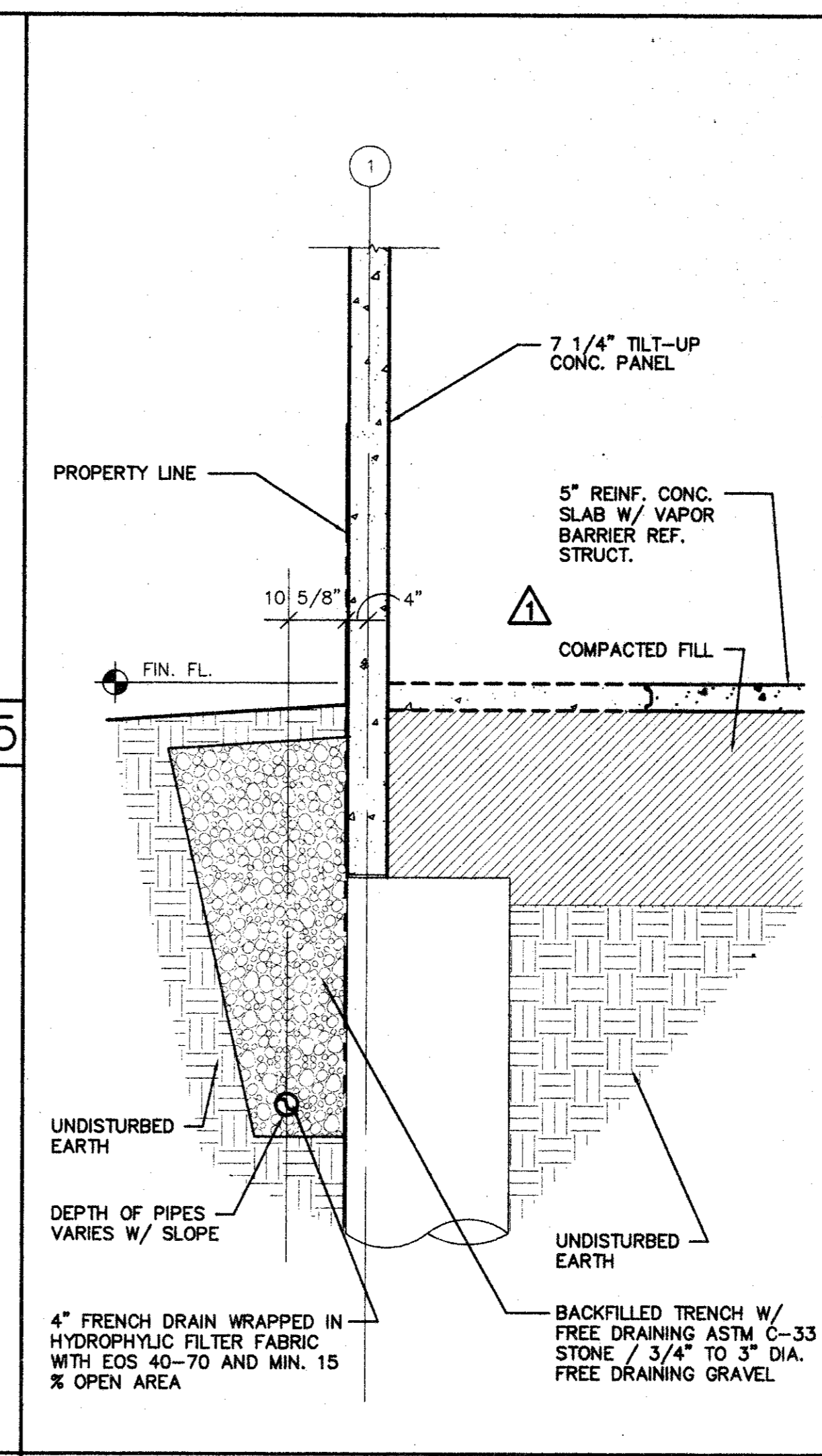
UTILITY DETAIL SCALE: 1/4"=1'-0" 1.306



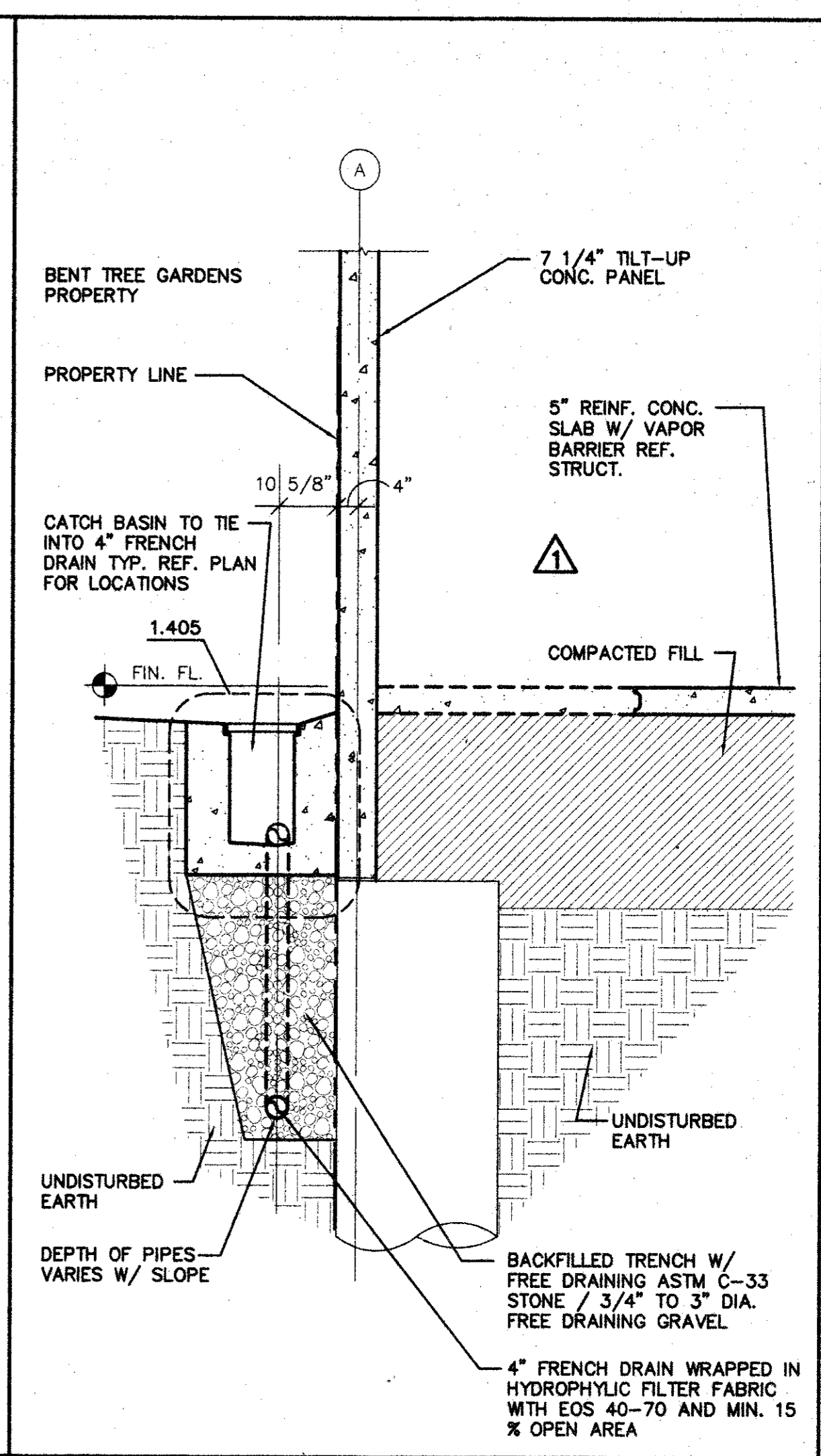
SECTION SCALE: 1/4"=1'-0" 1.305



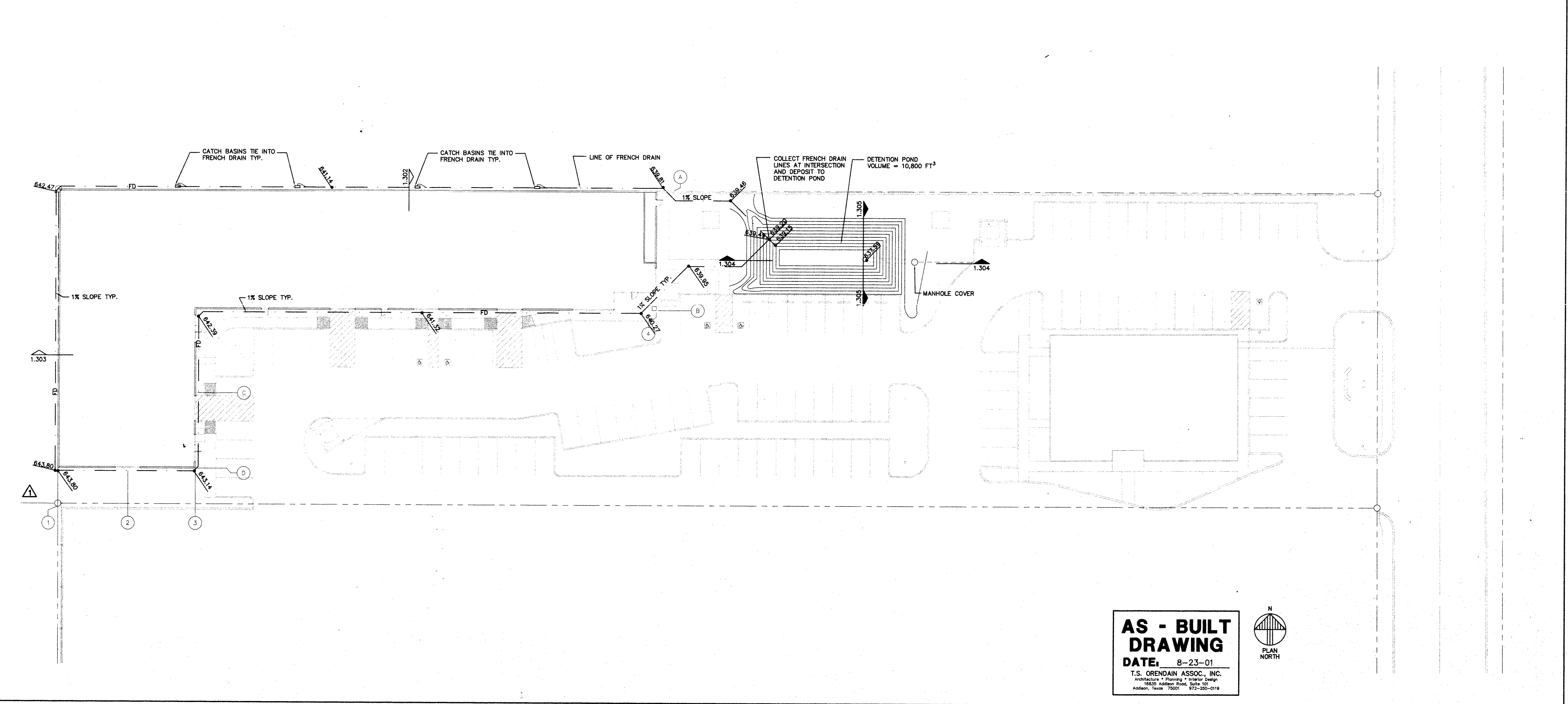
SECTION SCALE: 1/4"=1'-0" 1.304



SECTION SCALE: 1/2"=1'-0" 1.303



SECTION SCALE: 1/2"=1'-0" 1.302



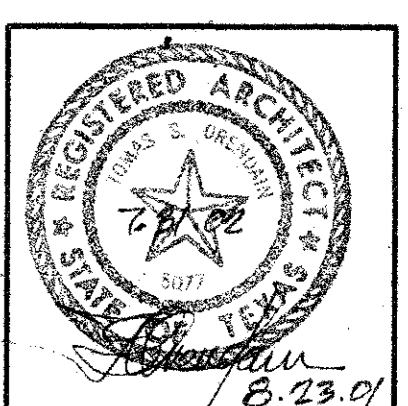
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FRENCH DRAIN PLAN SCALE: 1"=20'-0" 1.301

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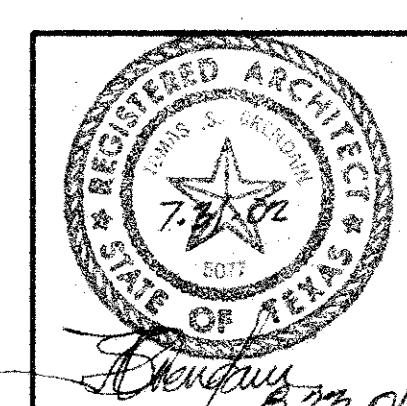
**to**  
 T.S. Orendain Associates Inc.  
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 16835 Addison Road  
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 JOB: 8396 DATE: 2-25-2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description
2-25-2000	100% ISSUED FOR CONSTRUCTION
6-9-2000	GENERAL REVISION

FRENCH DRAIN PLAN AND DETAILS

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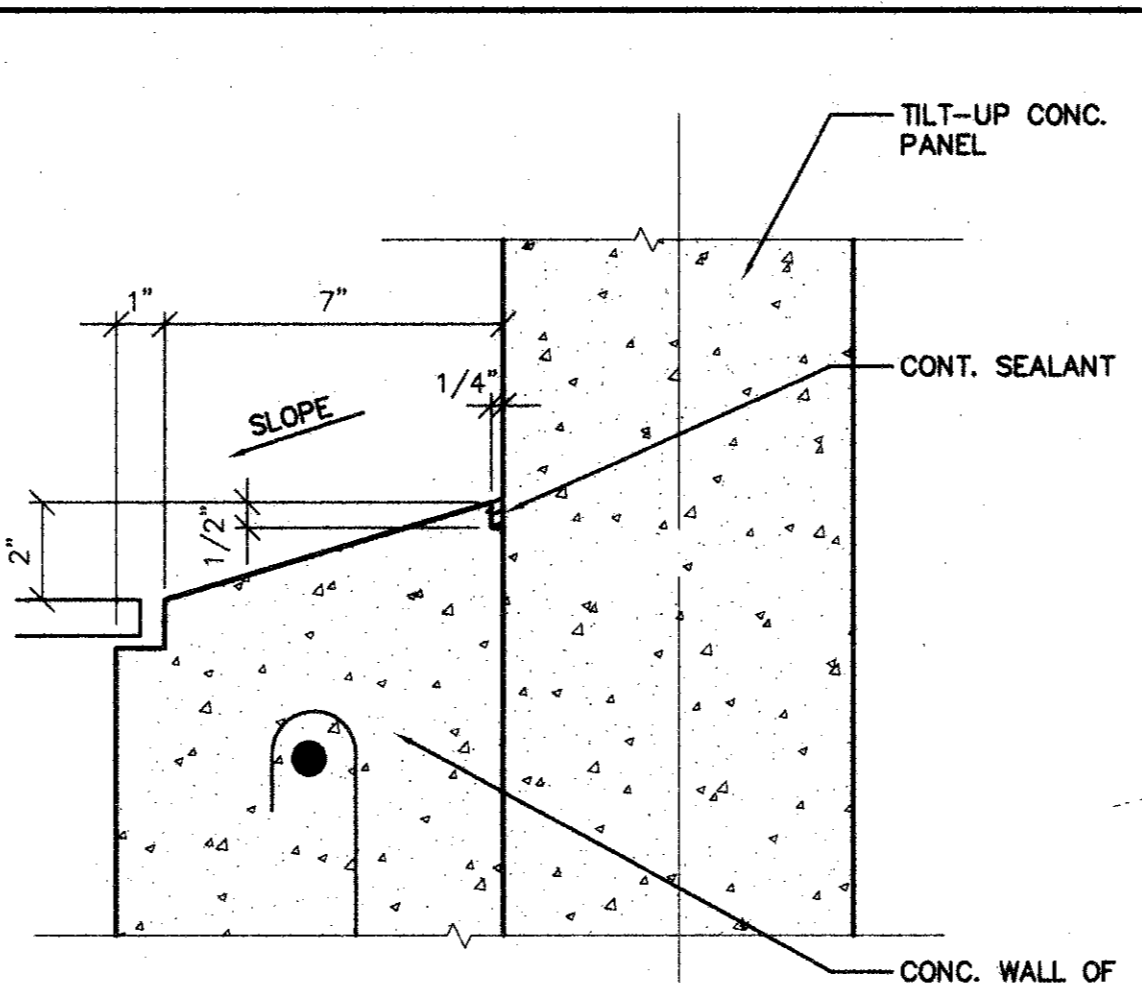
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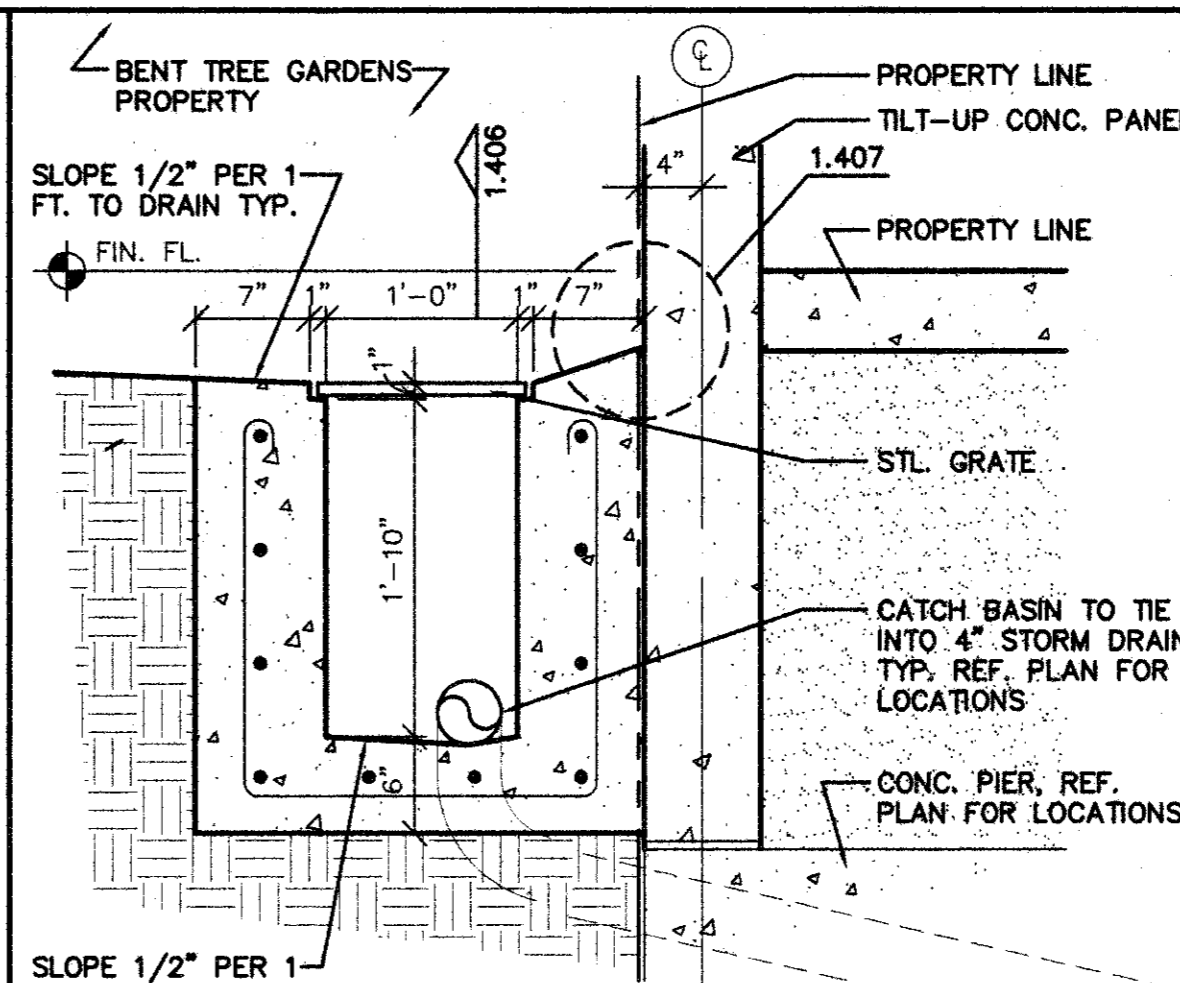
Date	By / Description
2-25-2000	100% ISSUED FOR CONSTRUCTION
8-9-2000	GENERAL REVISION

JOINT LAYOUT

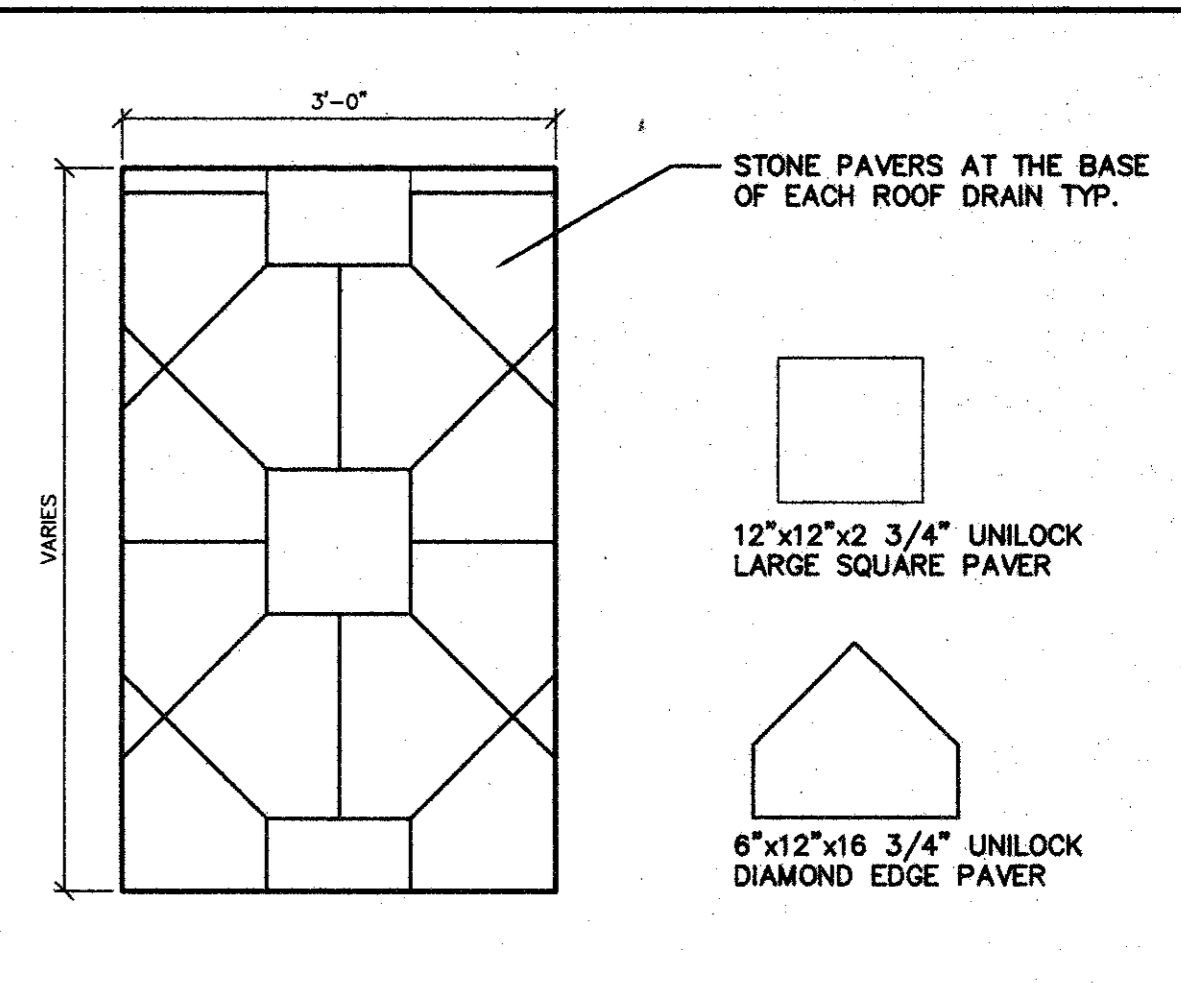
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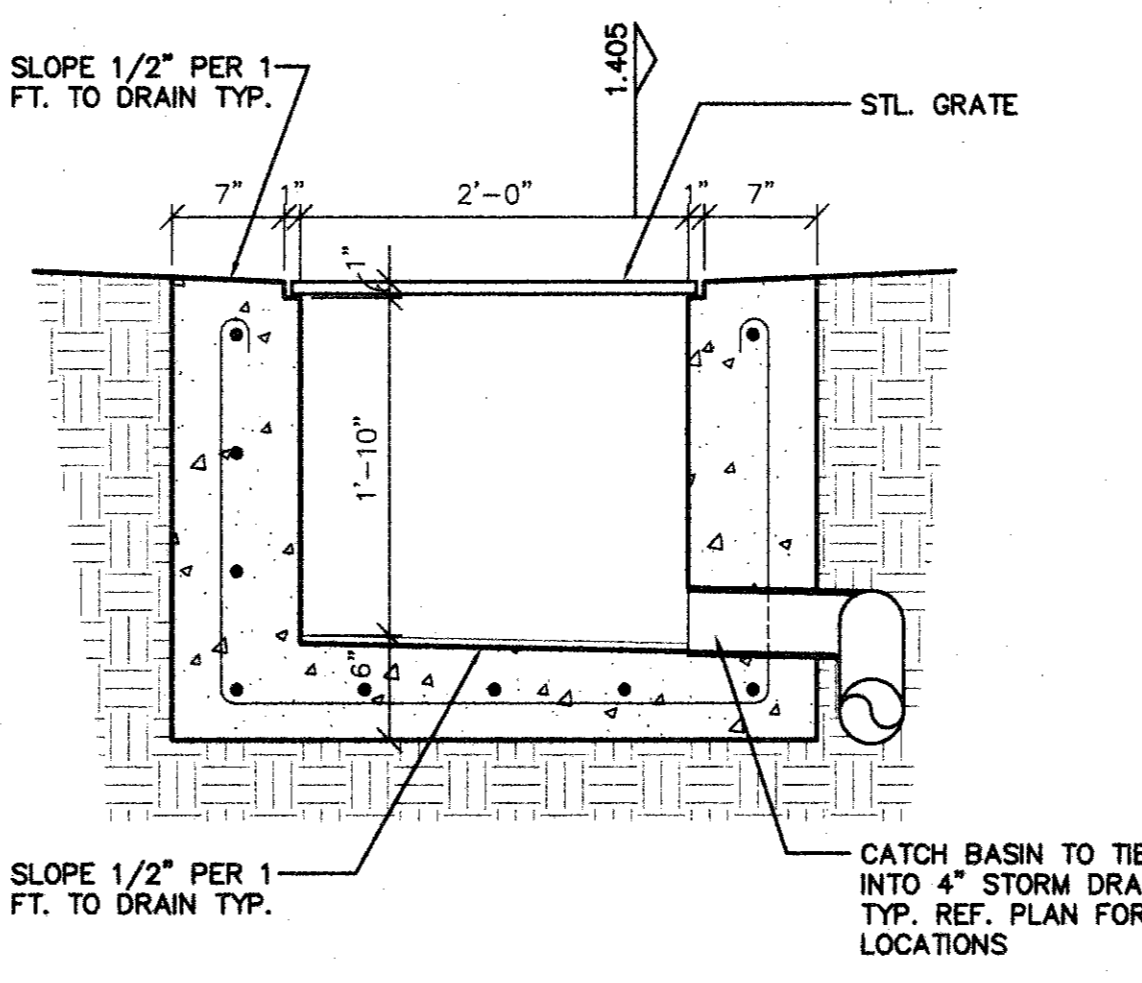
JOINT DETAIL SCALE: 3/4"=1'-0" 1.407



BASIN DETAIL SCALE: 1"=1'-0" 1.405



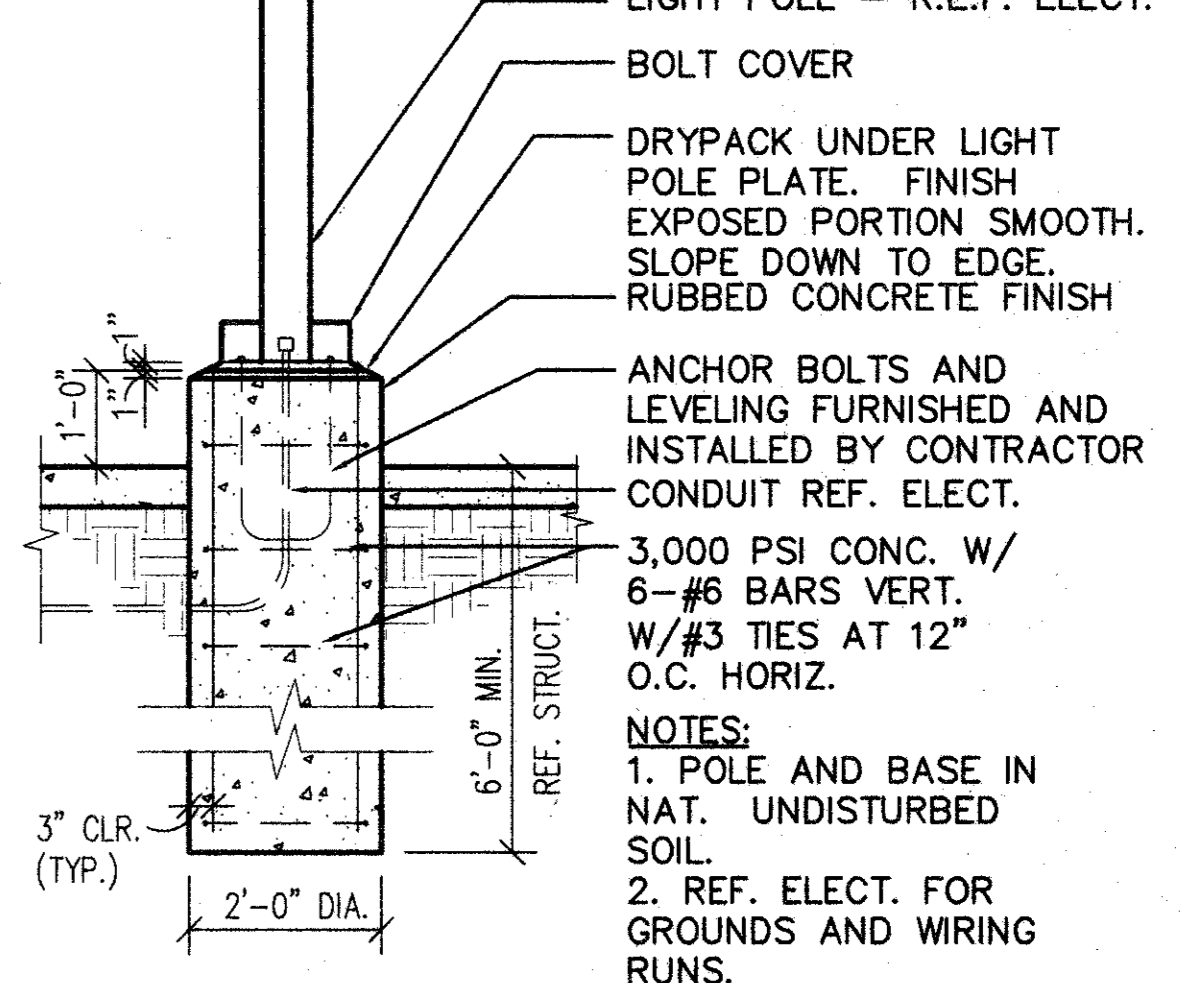
PAVER DETAIL SCALE: 3/4"=1'-0" 1.403



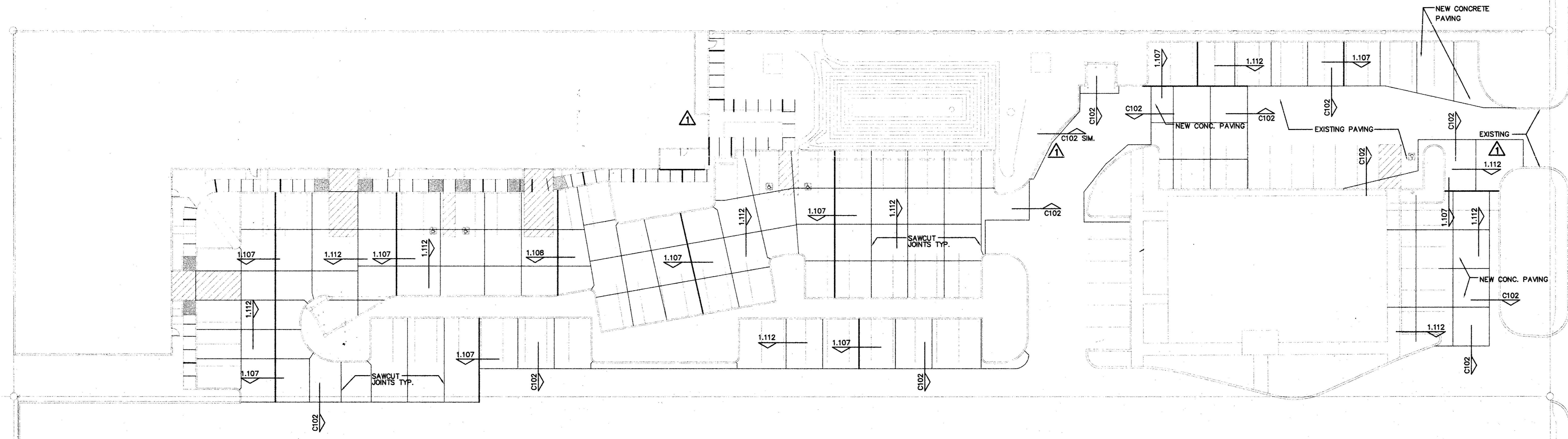
BASIN DETAIL SCALE: 1"=1'-0" 1.406



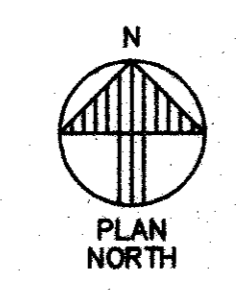
NOT USED SCALE: NONE 1.404



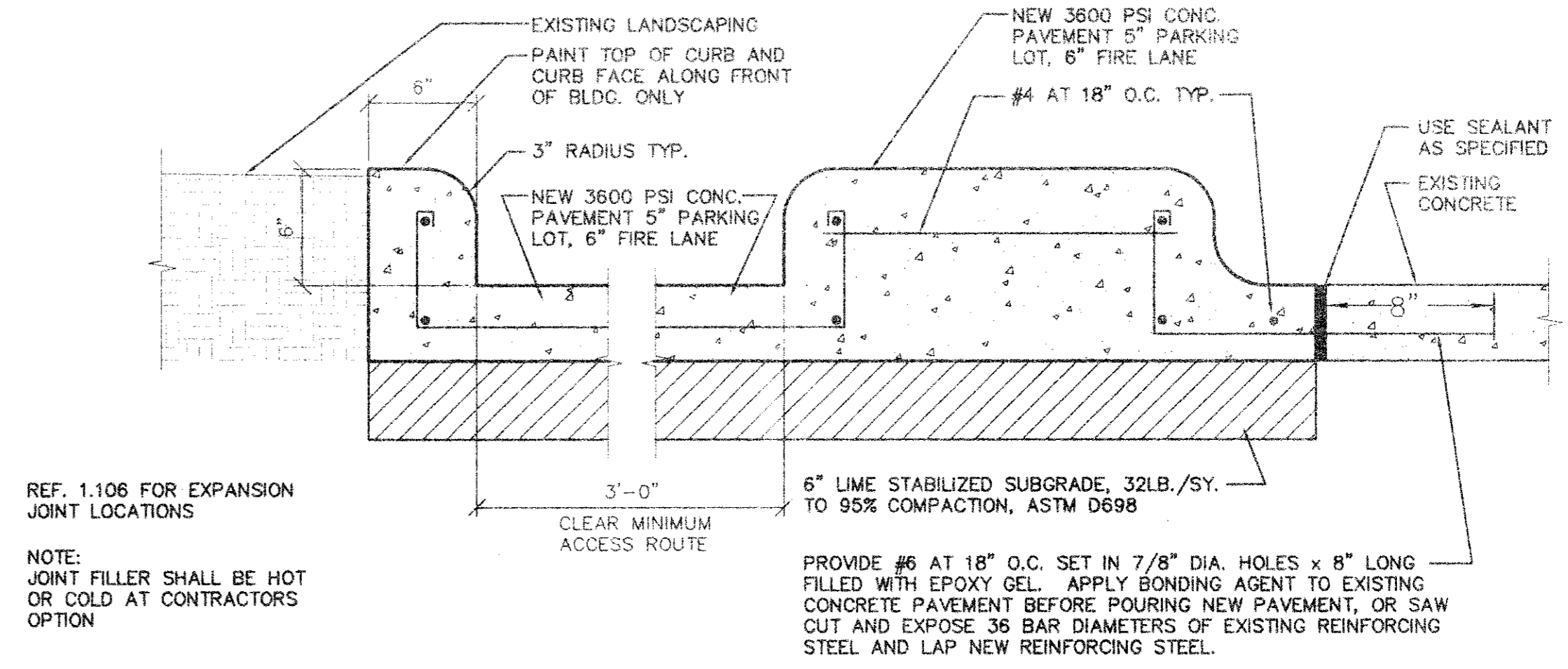
LIGHT POLE BASE SCALE: 1/2"=1'-0" 1.402



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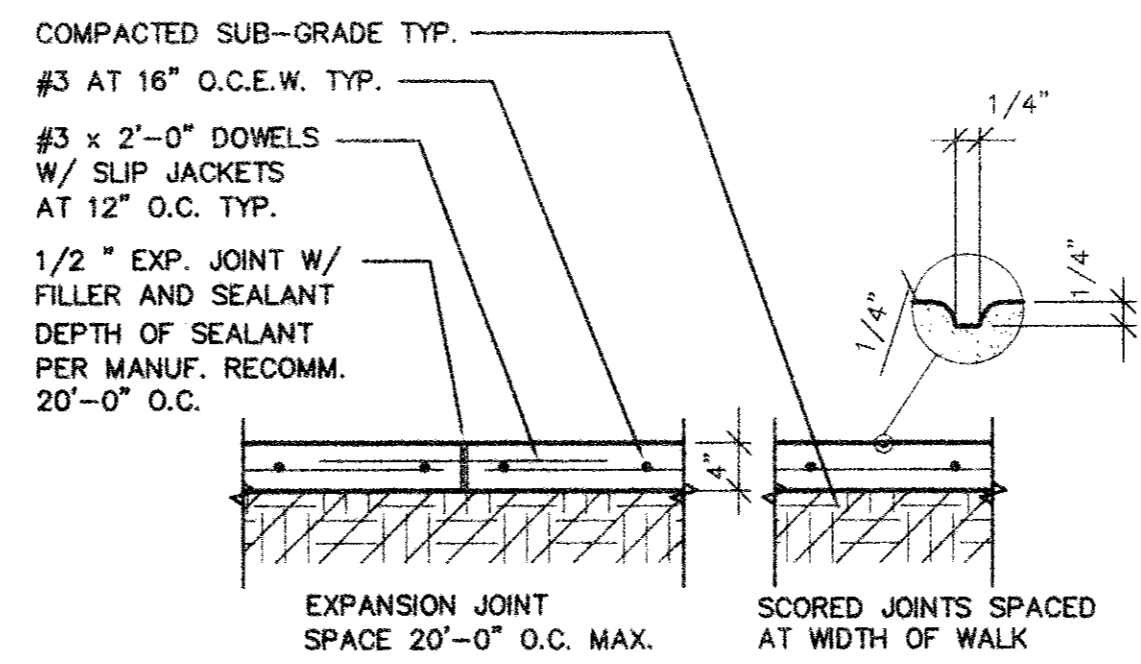
JOINT PLAN SCALE: 1"=20'-0" 1.401



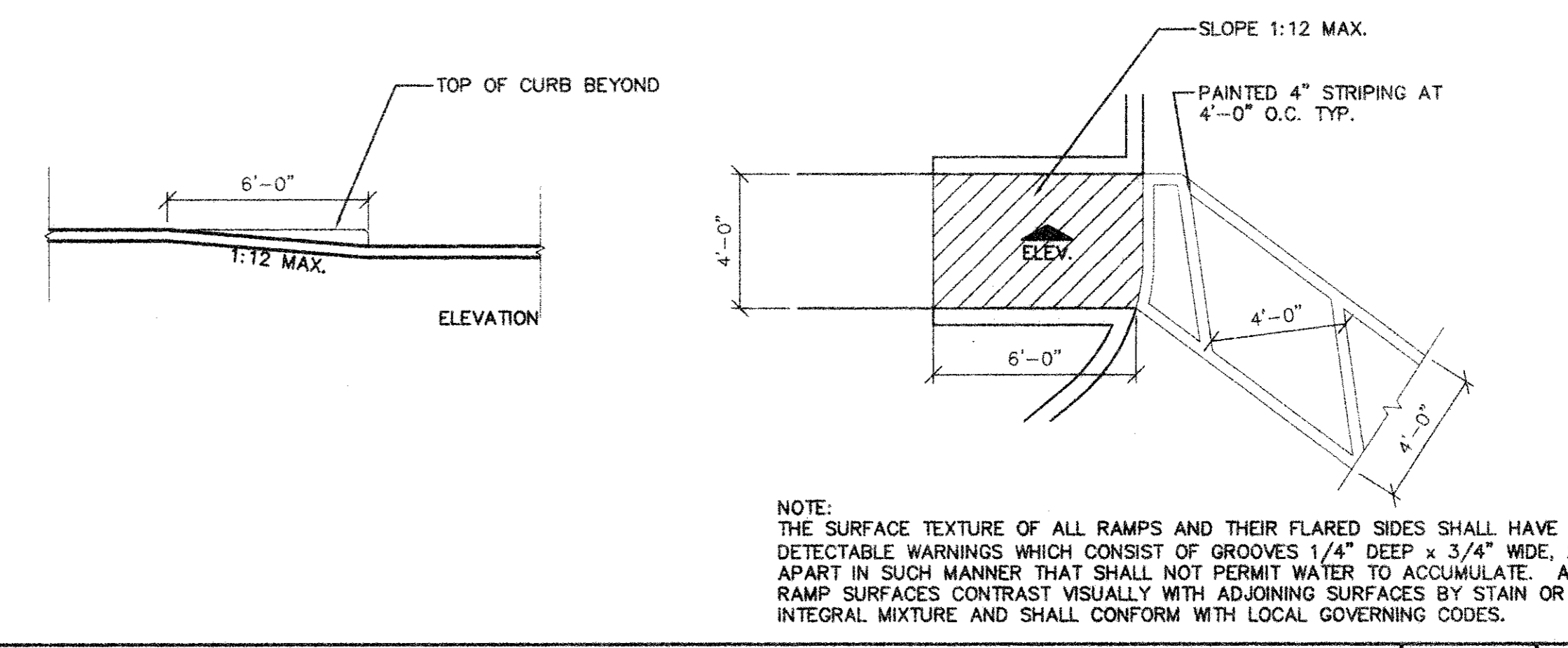
REF. 1.106 FOR EXPANSION JOINT LOCATIONS  
 NOTE: JOINT FILLER SHALL BE HOT OR COLD AT CONTRACTORS OPTION

PROVIDE #6 AT 18" O.C. SET IN 7/8" DIA. HOLES x 8" LONG FILLED WITH EPOXY GEL. APPLY BONDING AGENT TO EXISTING CONCRETE PAVEMENT BEFORE POURING NEW PAVEMENT, OR SAW CUT AND EXPOSE 3/8 BAR DIAMETERS OF EXISTING REINFORCING STEEL AND LAP NEW REINFORCING STEEL.

CURB DETAIL SCALE: 1 1/2"=1'-0" 103

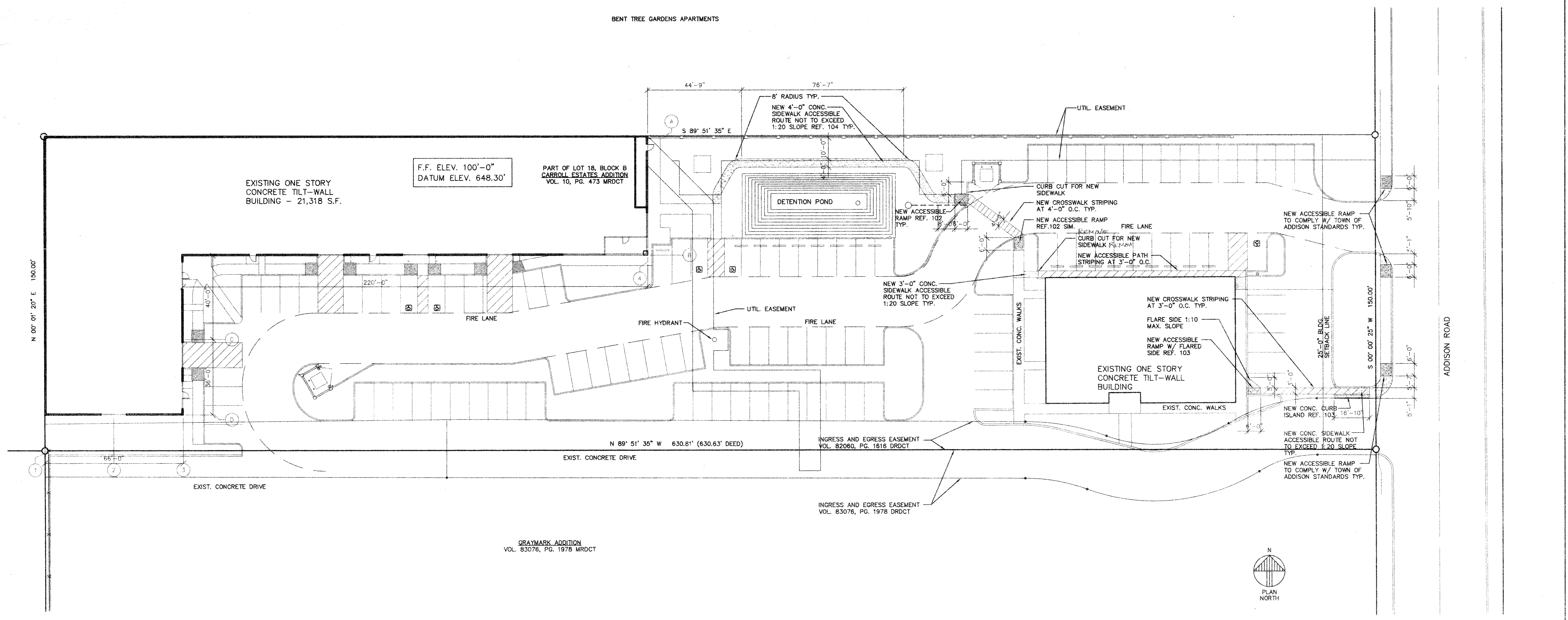


CONC. WALK SCALE: 3/4"=1'-0" 104



NOTE: THE SURFACE TEXTURE OF ALL RAMPS AND THEIR FLARED SIDES SHALL HAVE DETECTABLE WARNINGS WHICH CONSIST OF GROOVES 1/4" DEEP x 3/4" WIDE, 2" APART IN SUCH MANNER THAT SHALL NOT PERMIT WATER TO ACCUMULATE. ALL RAMP SURFACES CONTRAST VISUALLY WITH ADJOINING SURFACES BY STAIN OR INTEGRAL MIXTURE AND SHALL CONFORM WITH LOCAL GOVERNING CODES.

HANDICAP PARKING SCALE: 1/4"=1'-0" 102



SITE PLAN SCALE: 1"=20'-0" 101

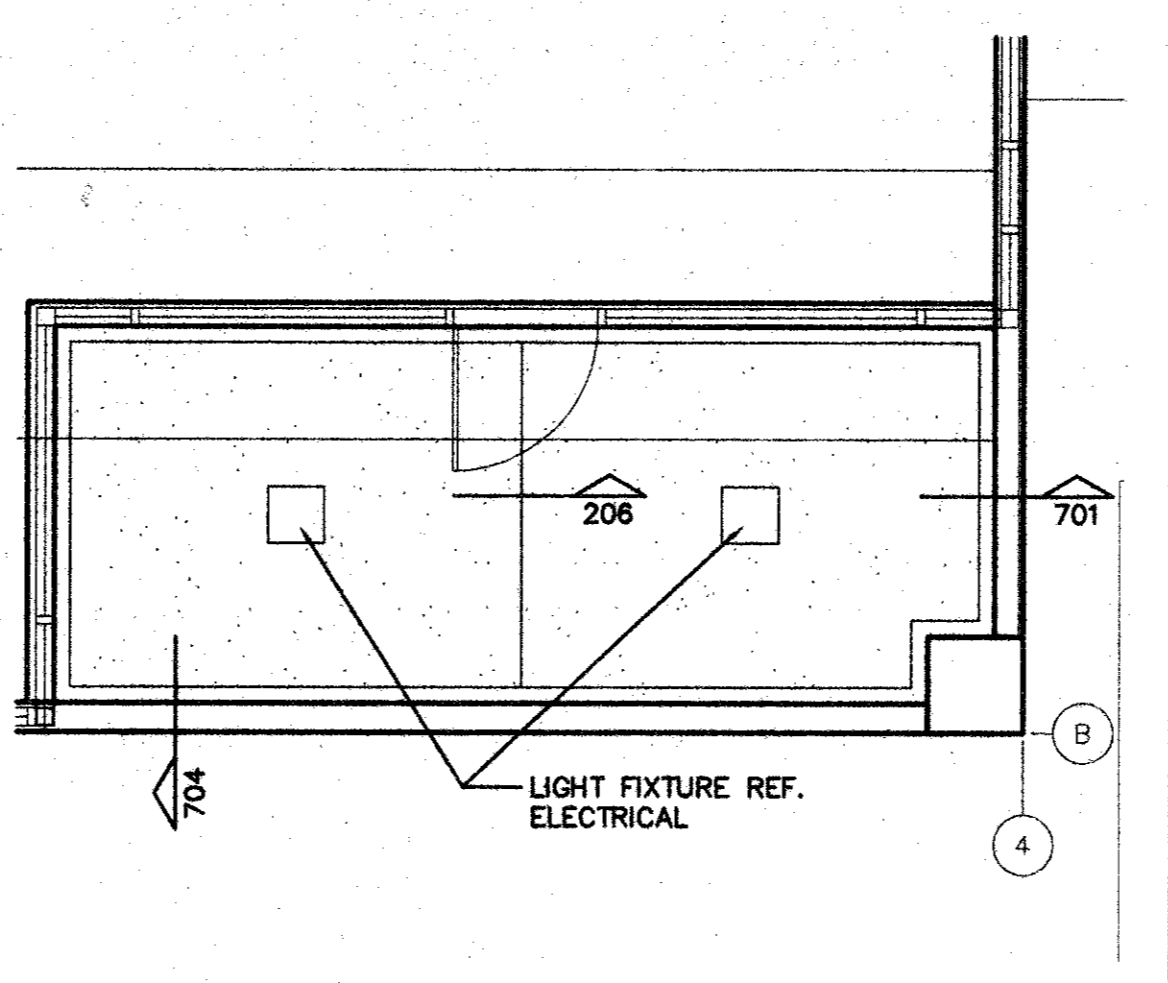
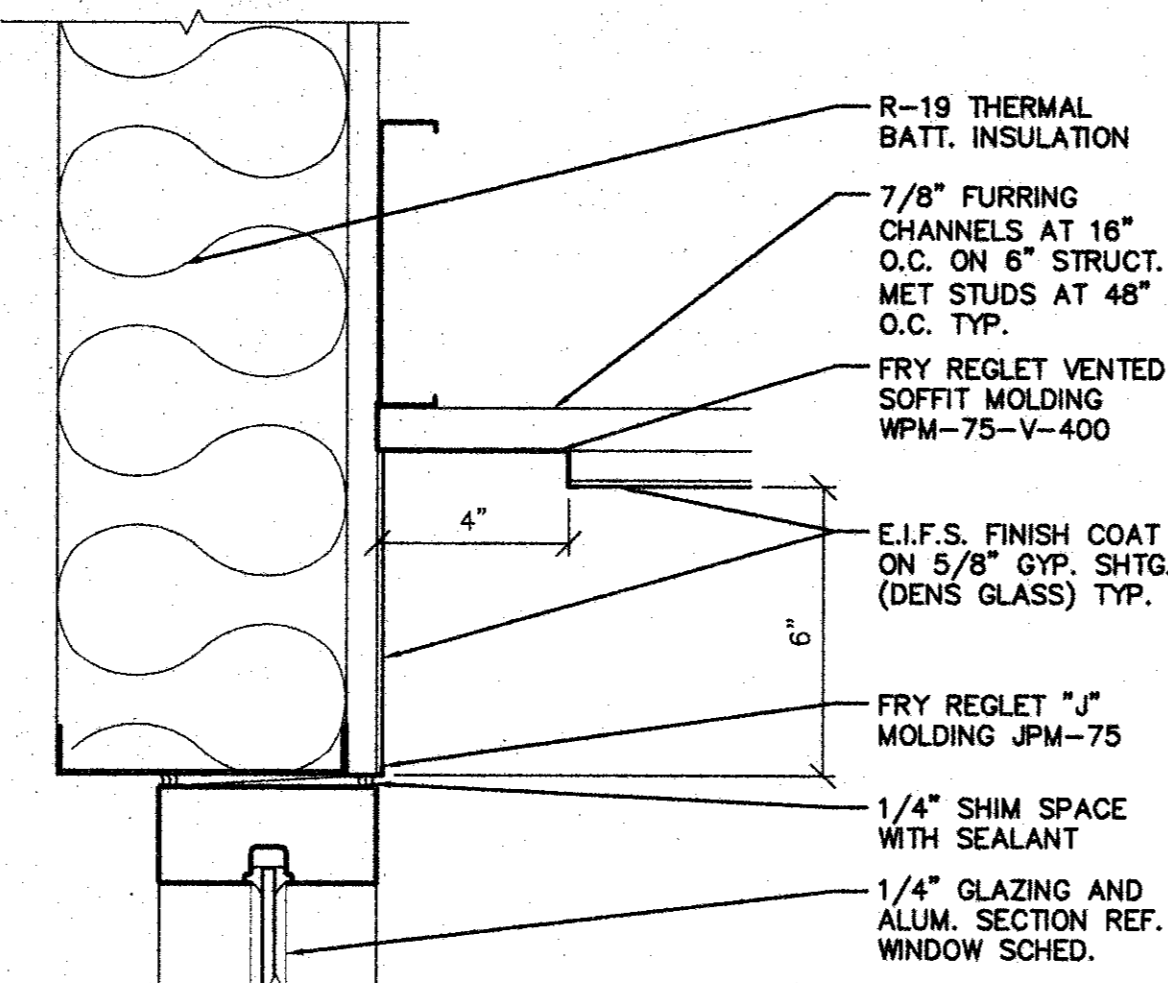
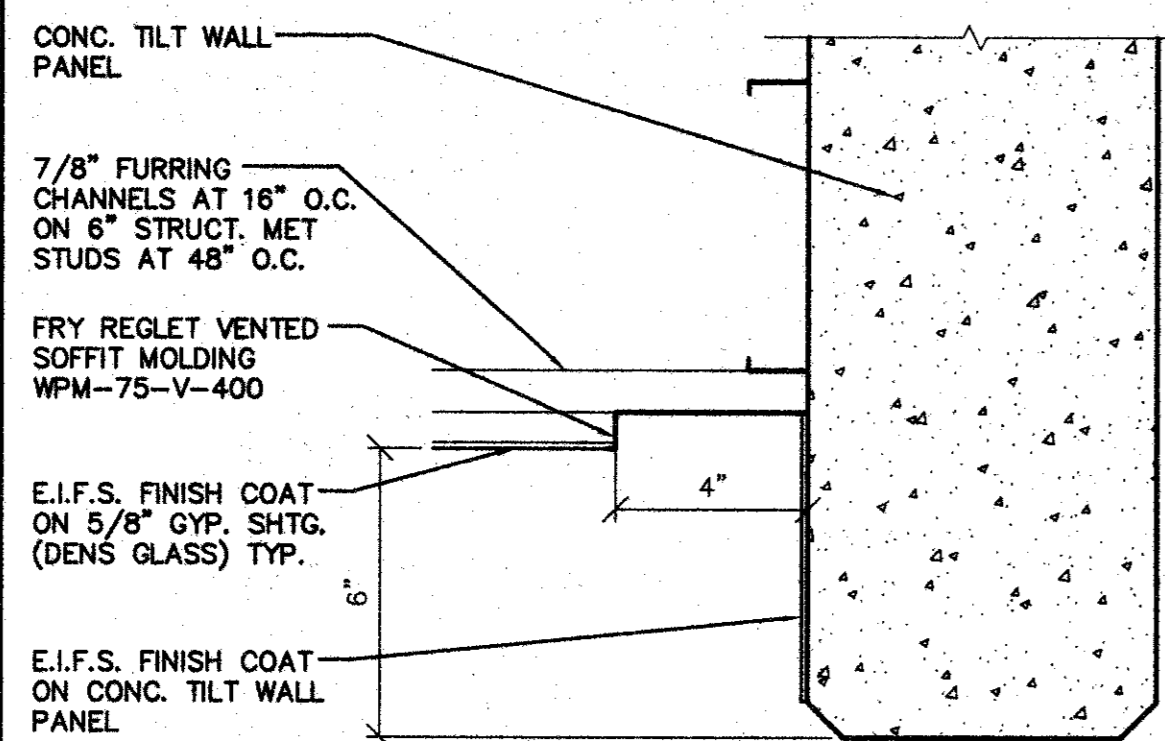
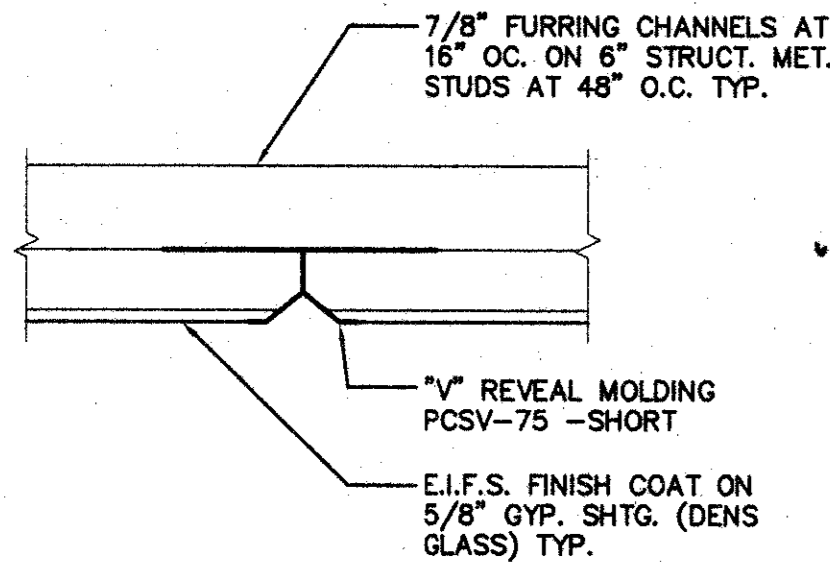
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**to**  
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 Architectural & Interior Design  
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 Addison, Texas 75001  
 (972) 250-0119  
 JOB: 8396.01 DATE: 10-17-01  
 DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description

SITE PLAN AND DETAILS  
 A-1



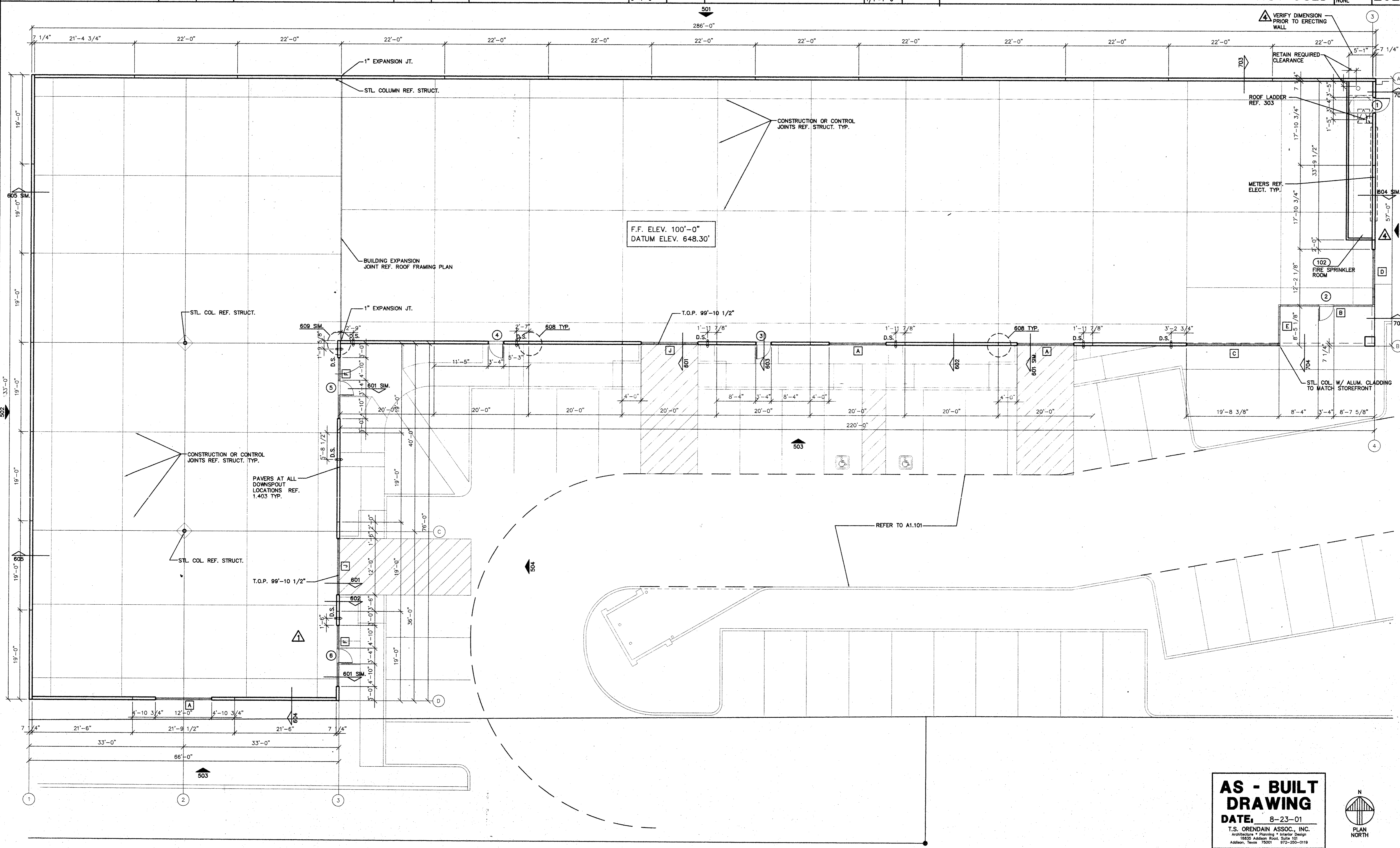
CEILING DETAIL SCALE: 3/8"=1'-0" 206

CEILING DETAIL SCALE: 3/8"=1'-0" 205

CEILING DETAIL SCALE: 3/8"=1'-0" 204

REFLECTED CEILING SCALE: 1/4"=1'-0" 203

NOT USED SCALE: NONE 202

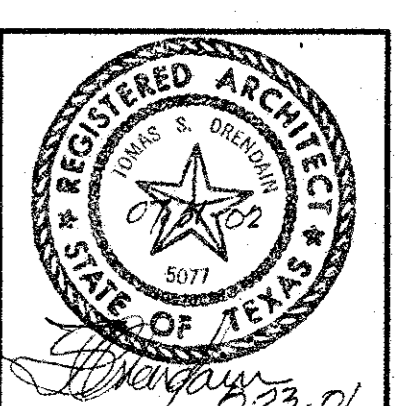


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FLOOR PLAN SCALE: 1/8"=1'-0" 201

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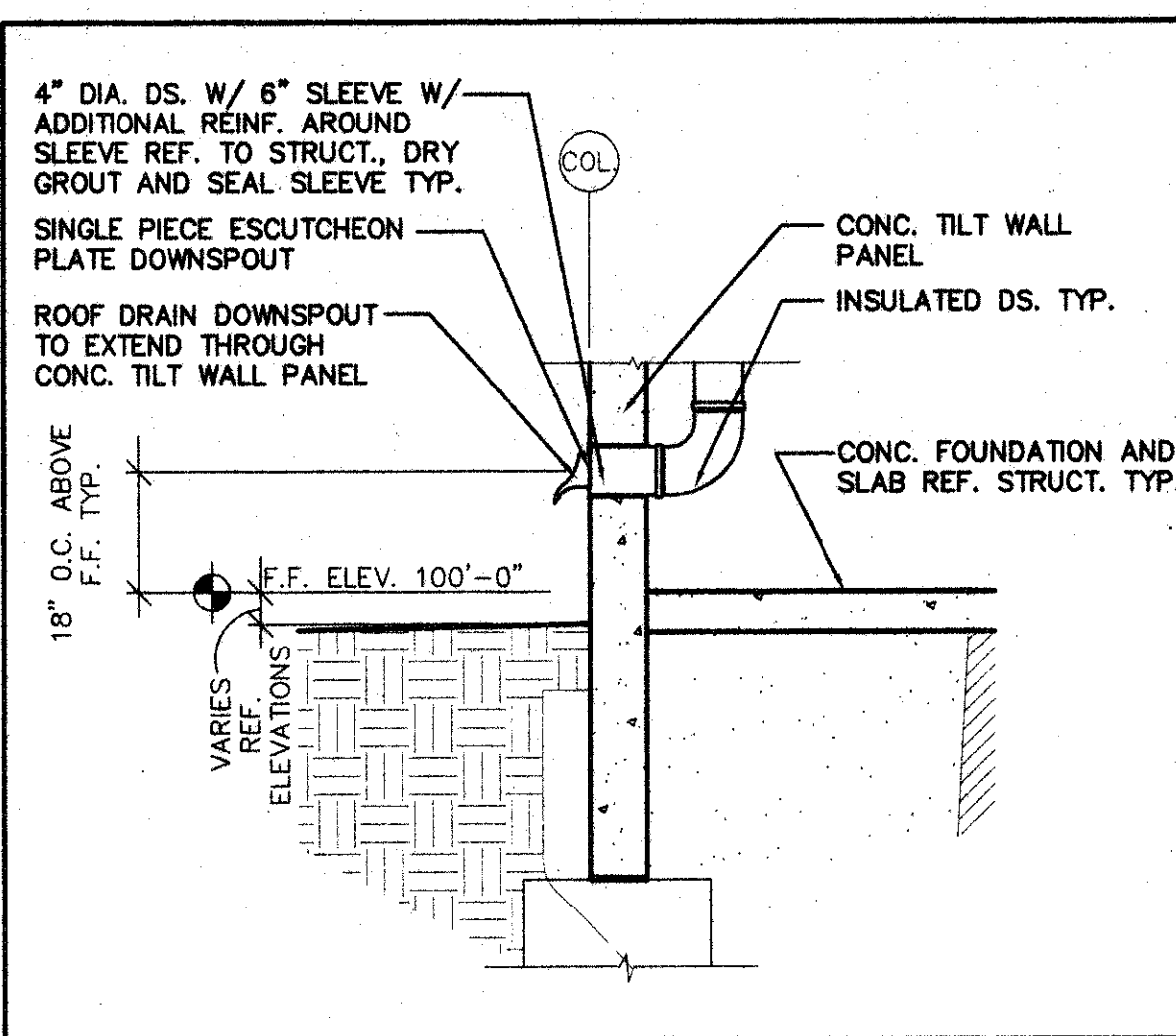
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JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

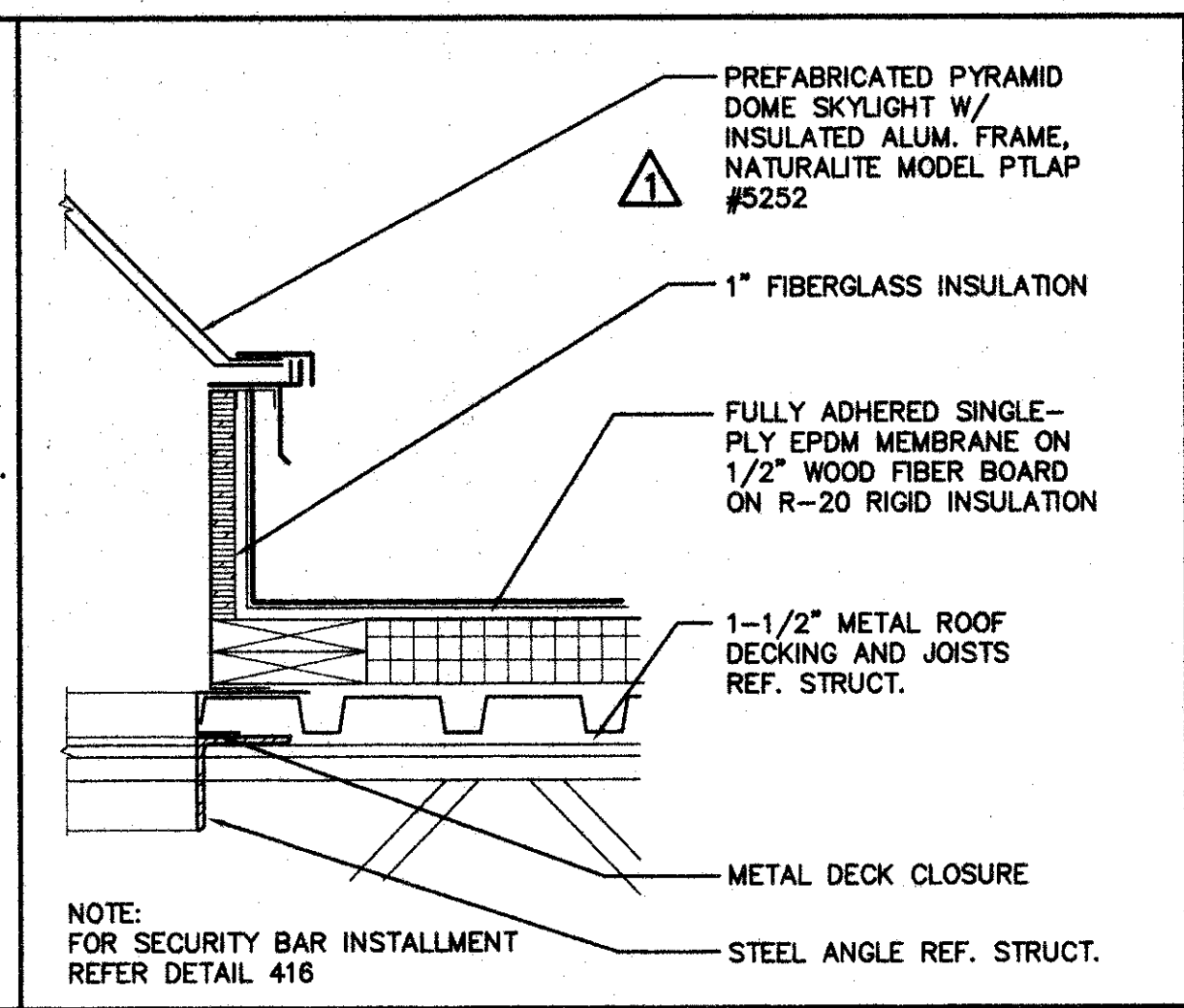
Date	Issued For / Description	By
8-5-97	SCHEMATIC CITY REVIEW	
9-30-98	PERMIT ISSUE	
11-1-99	T.D.L.R.	
2-25-2000	100% ISSUED FOR CONSTRUCTION	
6-9-2000	GENERAL REVISION	
11-3-2000	FIRE SPRINKLER ROOM REVISION	

FLOOR PLAN

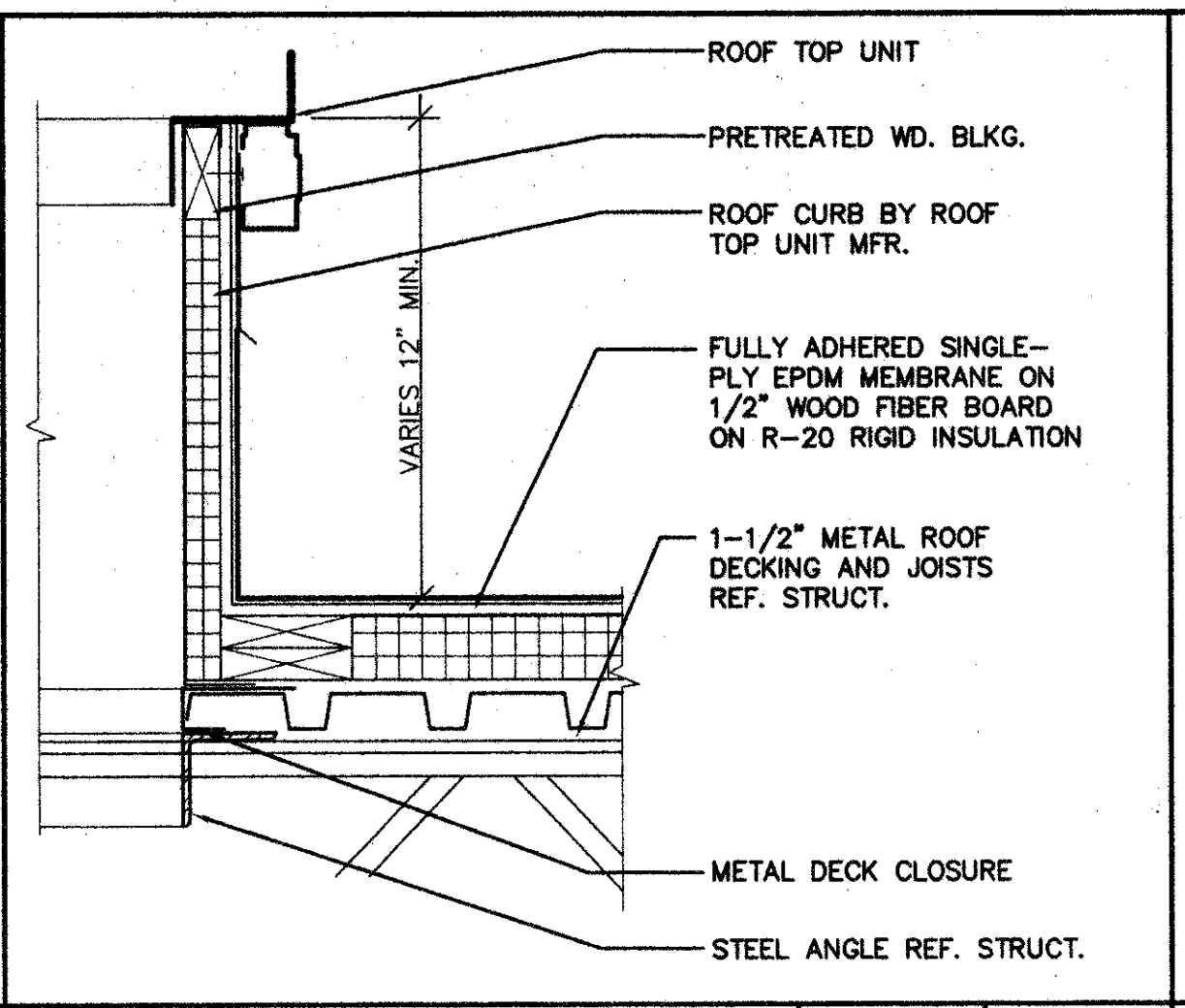
A-2



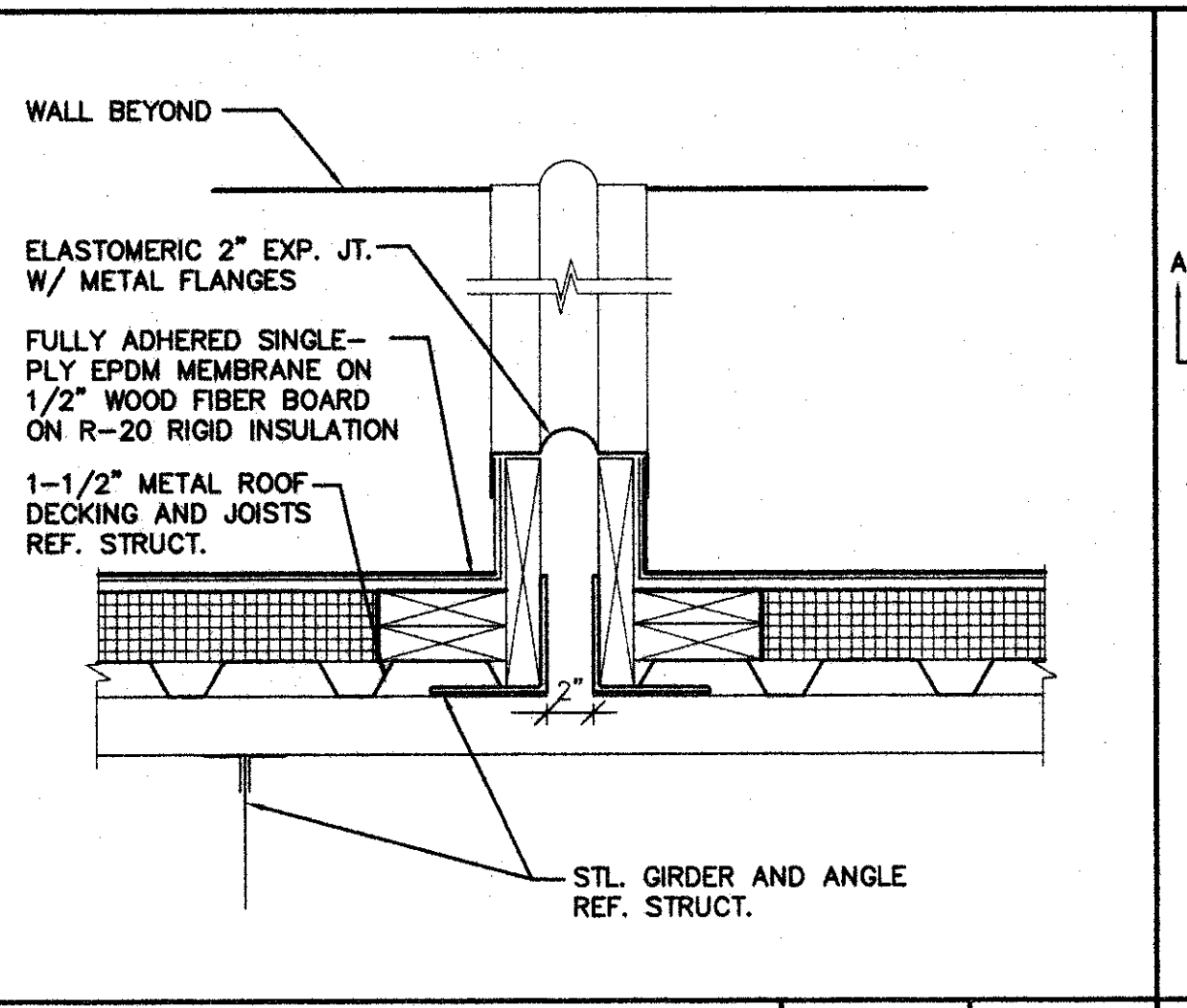
DOWNSPOUT DETAIL SCALE: 1 1/2"=1'-0" 307



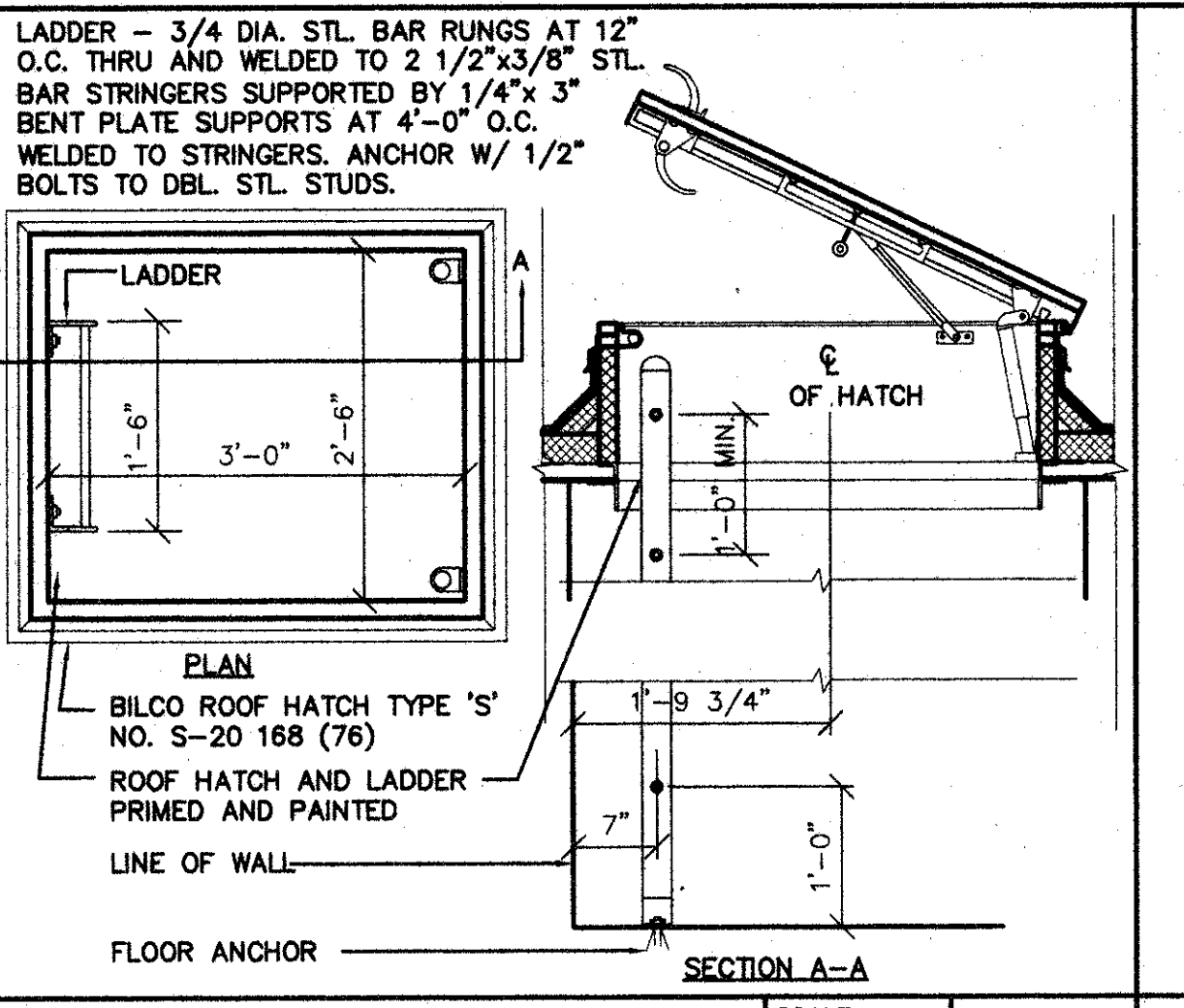
SKYLIGHT DETAIL SCALE: 1 1/2"=1'-0" 306



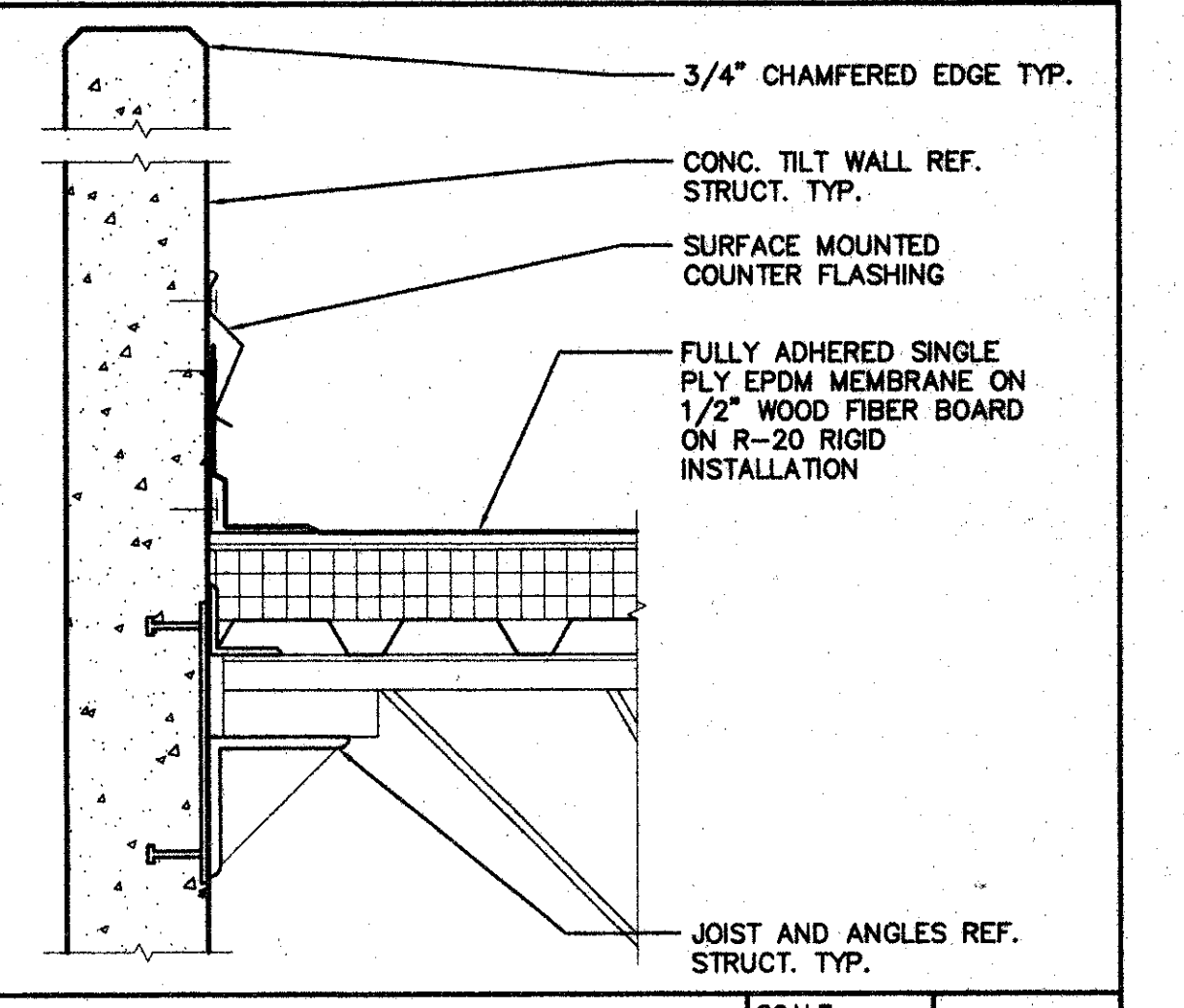
MECH. CURB DETAIL SCALE: 1 1/2"=1'-0" 305



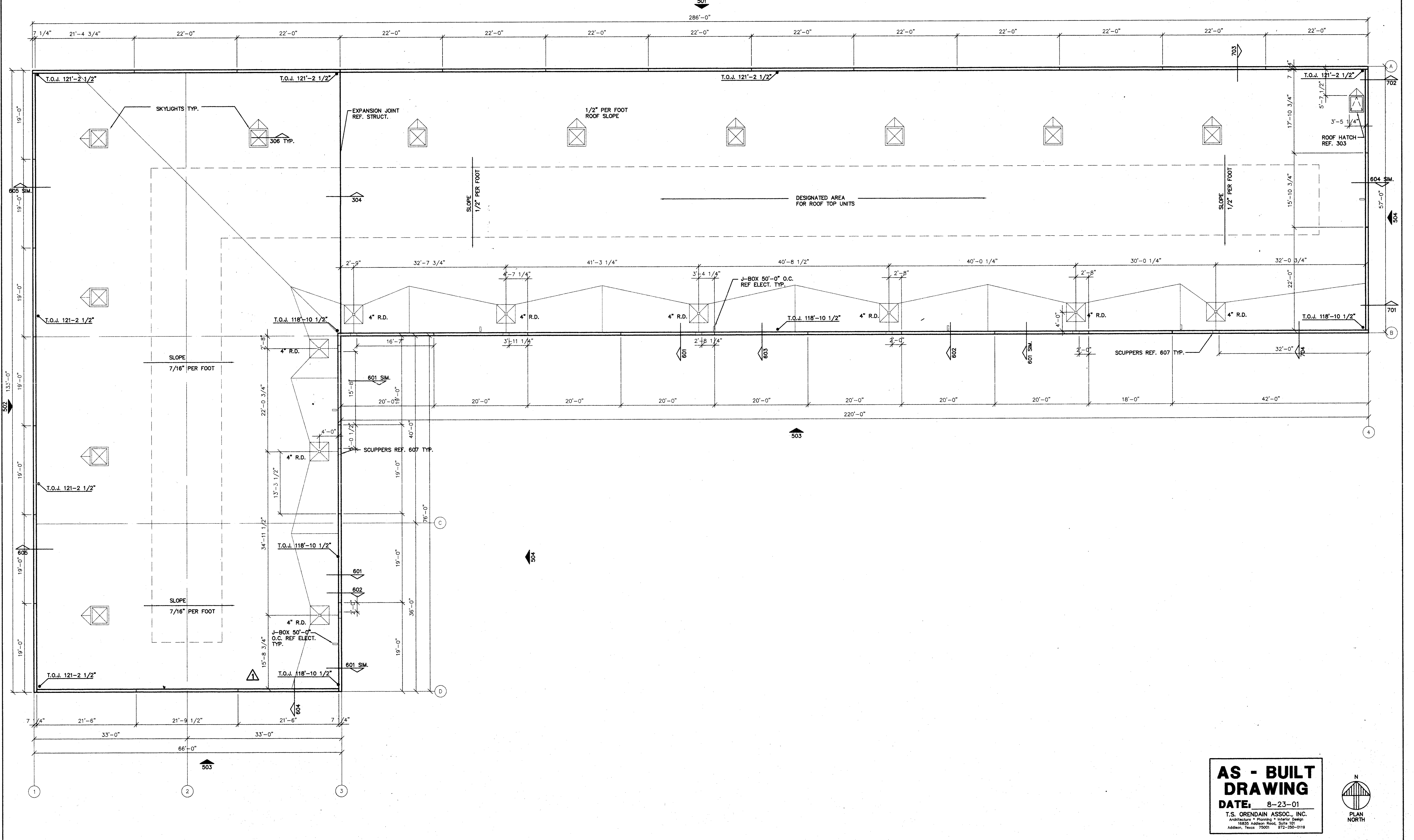
ROOF EXPANSION JT. SCALE: 1 1/2"=1'-0" 304



ROOF HATCH DETAIL SCALE: 3/4"=1'-0" 303

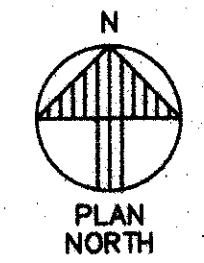


ROOF DETAIL SCALE: 1 1/2"=1'-0" 302



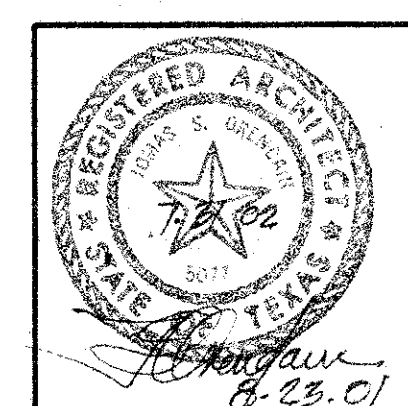
ROOF PLAN SCALE: 1/8"=1'-0" 301

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JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description
8-5-97	SCHEMATIC CITY REVIEW
9-30-98	PERMIT ISSUE
11-1-99	T.O.I.R.
2-9-2000	100% ISSUED FOR CONSTRUCTION
6-9-2000	GENERAL REVISION

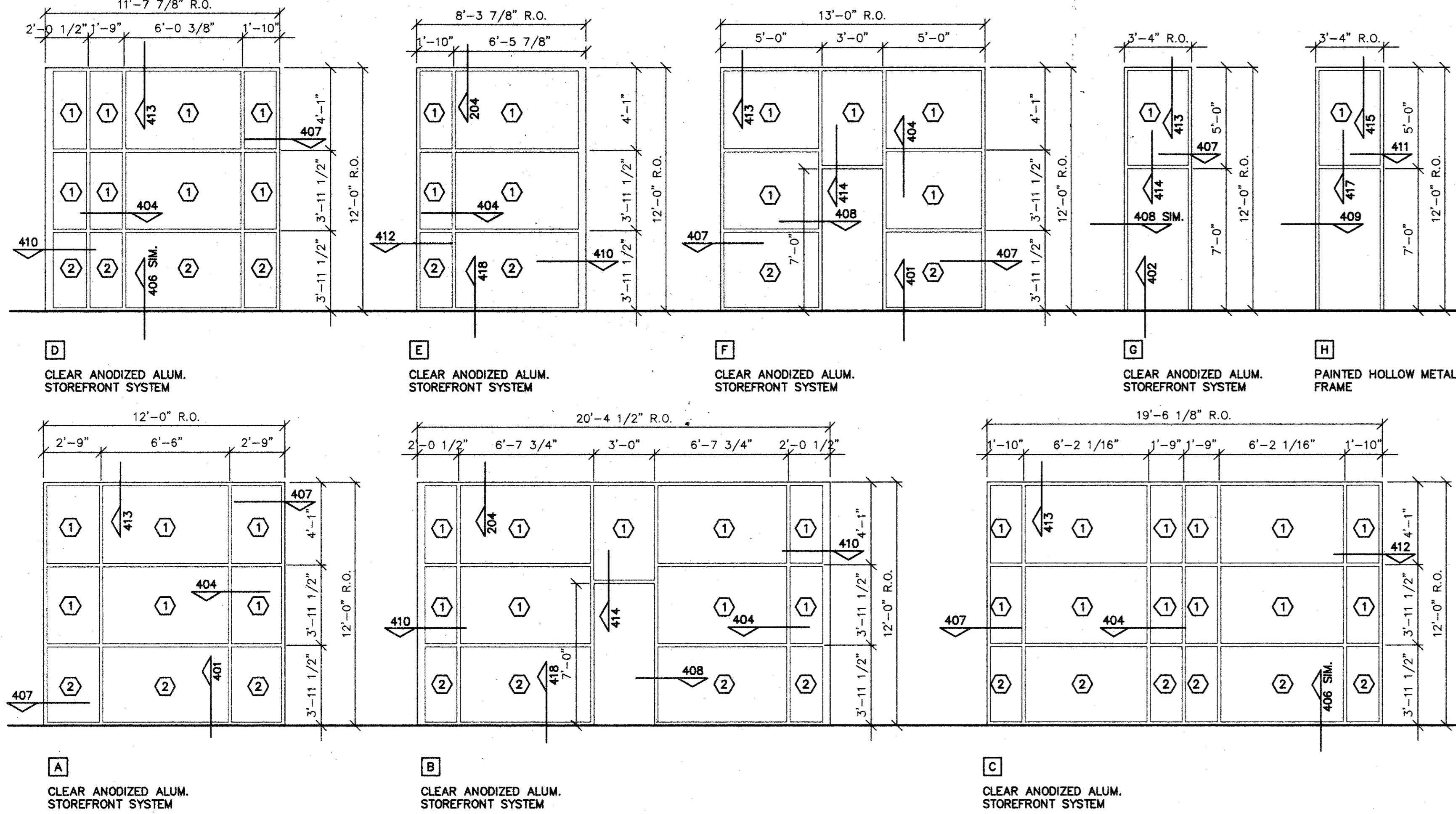
ROOF PLAN AND DETAILS

A-3



**GLAZING SCHEDULE:**

- ① 1/4" GREEN TINTED GLASS
- ② 1/4" GREEN TINTED TEMPERED GLASS



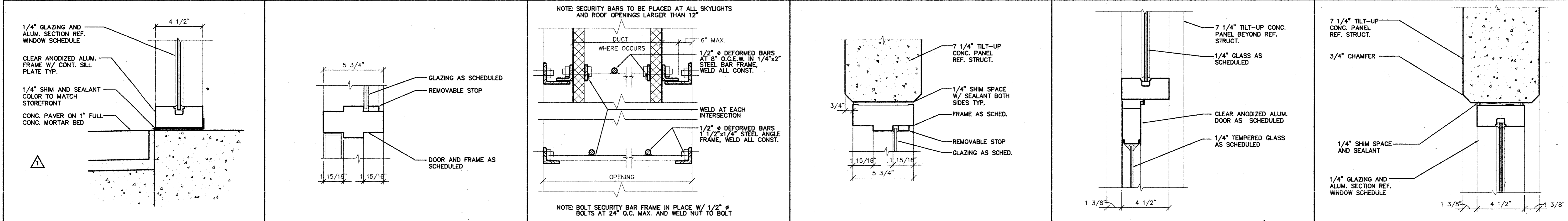
**DOOR SCHEDULE**

DR. NO.	LOCATION		DOOR					FRAME				FEATURES		NOTES					
	FROM	TO	SIZE	THK.	TYPE	MAT'L	FIN.	C	HW. SET	MAT'L	FIN.	C	HEAD		JAMB	SILL	OTHER	LABEL	THRES
1	102	EXT.	3'-0"x7'-0"	1 3/4"	B	H.M.	P		1	H.M.	P		414	407	402				
2	101	EXT.	3'-0"x7'-0"	1 3/4"	A	ALUM/GL.	CLR.		1	ALUM.	CLR.		414	407	402				
3	101	EXT.	3'-0"x7'-0"	1 3/4"	A	ALUM/GL.	CLR.		1	ALUM.	CLR.		414	407	402				
4	101	EXT.	3'-0"x7'-0"	1 3/4"	A	ALUM/GL.	CLR.		1	ALUM.	CLR.		414	407	402				
5	101	EXT.	3'-0"x7'-0"	1 3/4"	A	ALUM/GL.	CLR.		1	ALUM.	CLR.		414	407	402				
6	101	EXT.	3'-0"x7'-0"	1 3/4"	A	ALUM/GL.	CLR.		1	ALUM.	CLR.		414	407	402				
7																			
8																			
9																			
10																			
11																			
12																			
13																			
14																			
15																			

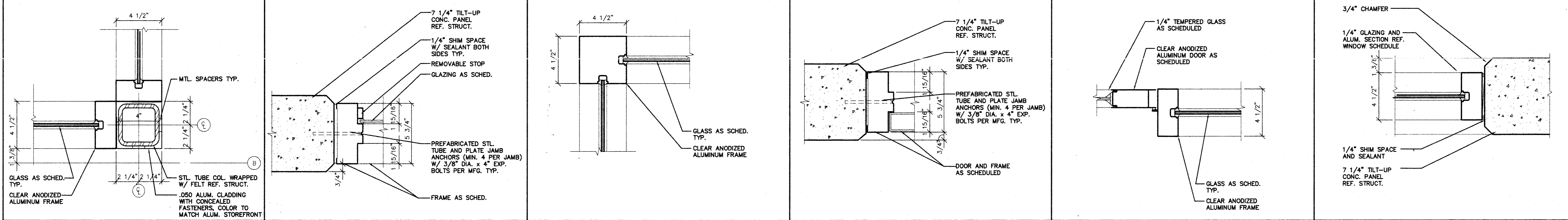
DOOR SCHEDULE SCALE: NONE 419

**AS - BUILT DRAWING**  
 DATE: 8-23-01  
 T.S. ORENDAIN ASSOC., INC.  
 Architecture • Planning • Interior Design  
 16835 Addison Road, Suite 101  
 Addison, Texas 75001 972-250-0519

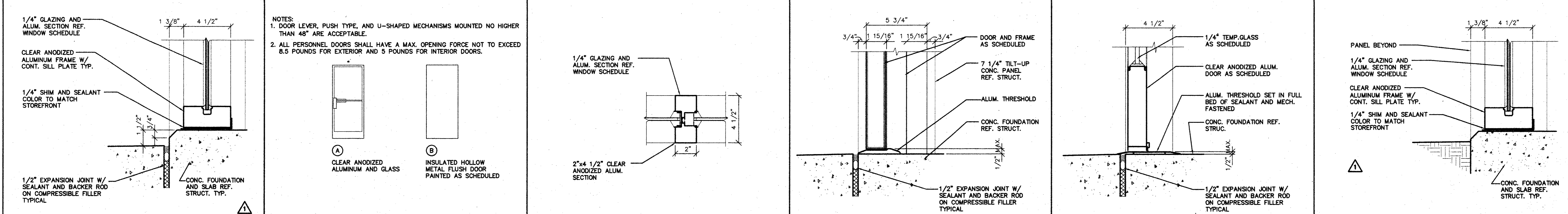
**WINDOW TYPES** SCALE: 1/4"=1'-0" 421



SILL DETAIL SCALE: 3/8"=1'-0" 418 H.M. MULLION DETAIL SCALE: 3/8"=1'-0" 417 SECURITY BAR DT. SCALE: 3/8"=1'-0" 416 H.M. HEAD DETAIL SCALE: 3/8"=1'-0" 415 HEAD DETAIL SCALE: 3/8"=1'-0" 414 HEAD DETAIL SCALE: 3/8"=1'-0" 413



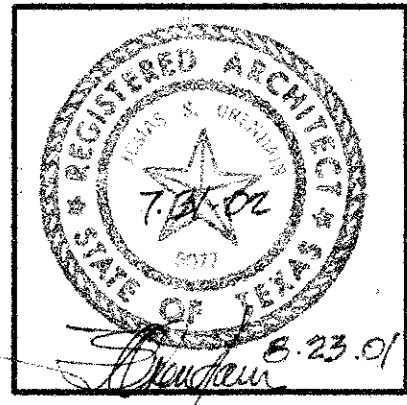
JAMB DETAIL SCALE: 3/8"=1'-0" 412 H.M. JAMB DETAIL SCALE: 3/8"=1'-0" 411 CORNER MULLION DT. SCALE: 3/8"=1'-0" 410 H.M. JAMB DETAIL SCALE: 3/8"=1'-0" 409 JAMB DETAIL SCALE: 3/8"=1'-0" 408 JAMB DETAIL SCALE: 3/8"=1'-0" 407



SILL DETAIL SCALE: 3/8"=1'-0" 406 DOOR TYPES SCALE: 1 1/4"=1'-0" 405 MULLION DETAIL SCALE: 3/8"=1'-0" 404 H.M. DOOR SILL SCALE: 3/8"=1'-0" 403 SILL DETAIL SCALE: 3/8"=1'-0" 402 SILL DETAIL SCALE: 3/8"=1'-0" 401

**AMO**  
 16835 ADDISON ROAD  
 SUITE 101  
 ADDISON, TX 75001  
 PHONE: 972-250-3167  
 FAX: 972-250-3167

**ADDISON PARK CENTRE  
 OFFICE/TECH./FLEX.  
 PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS



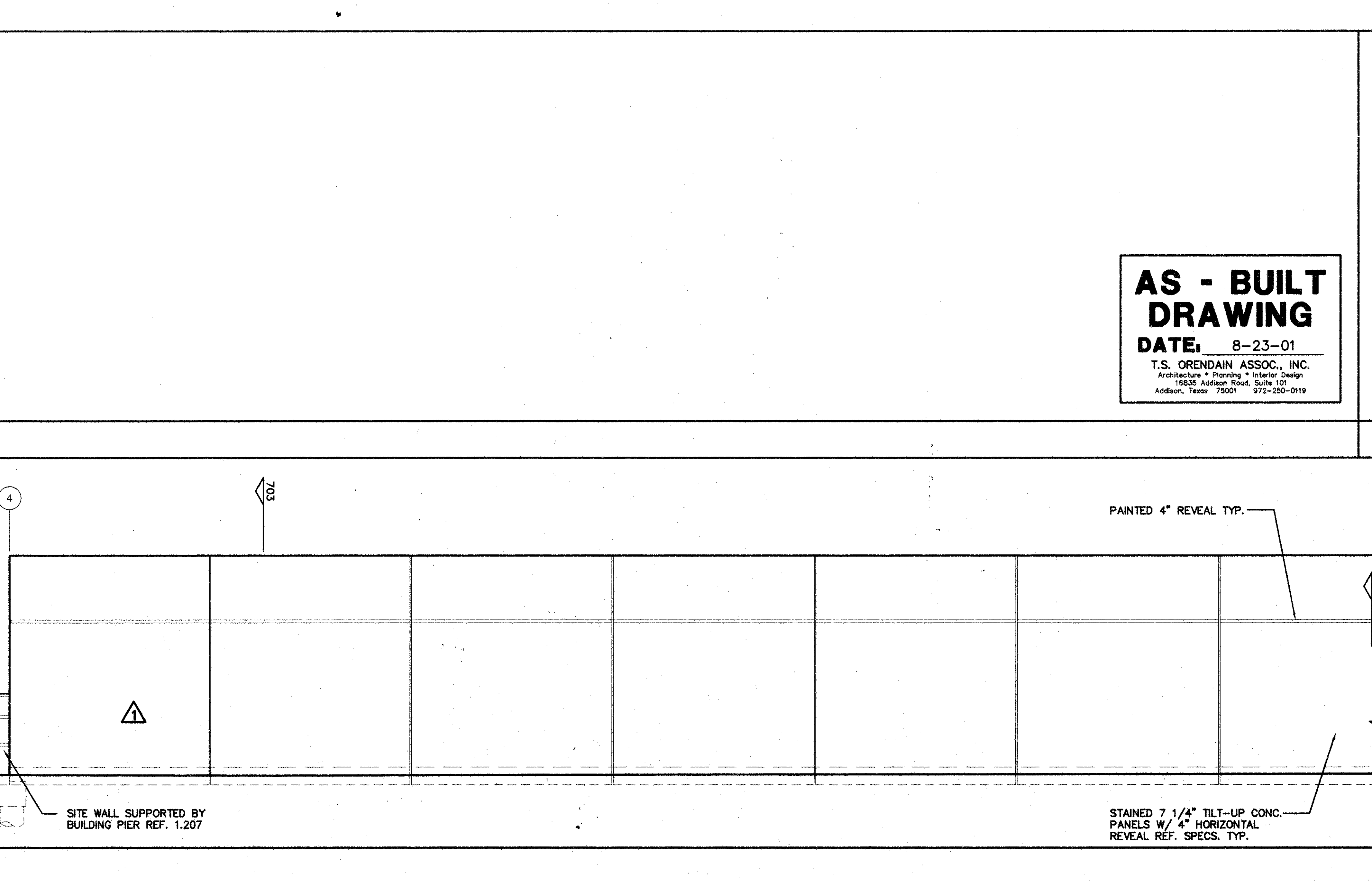
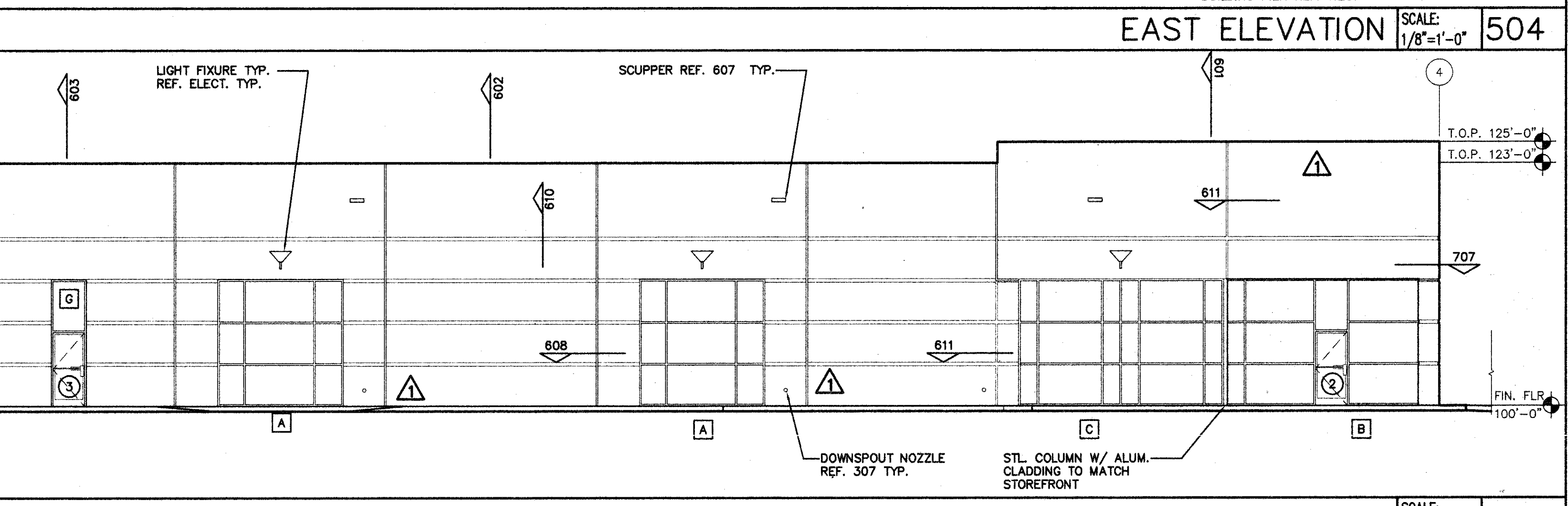
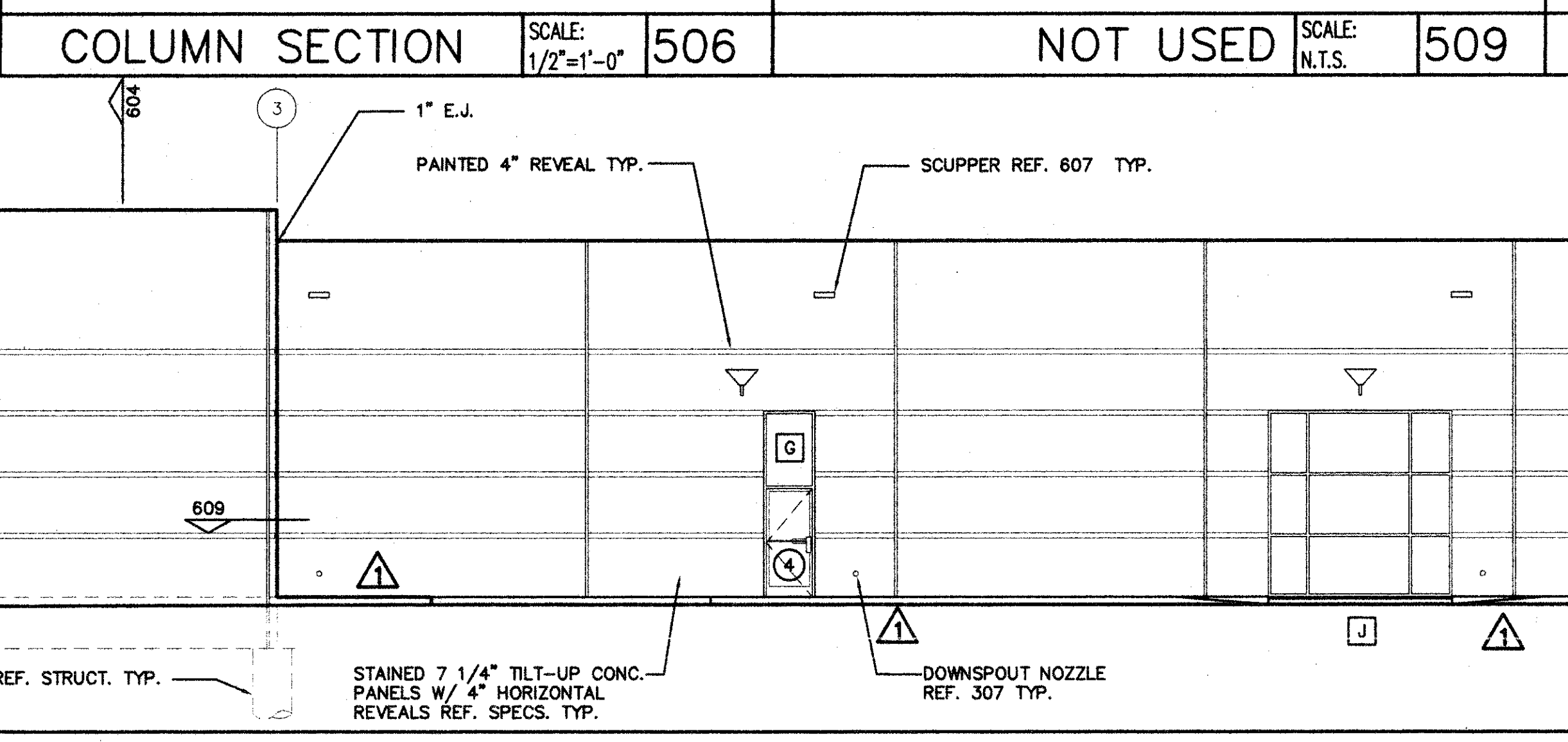
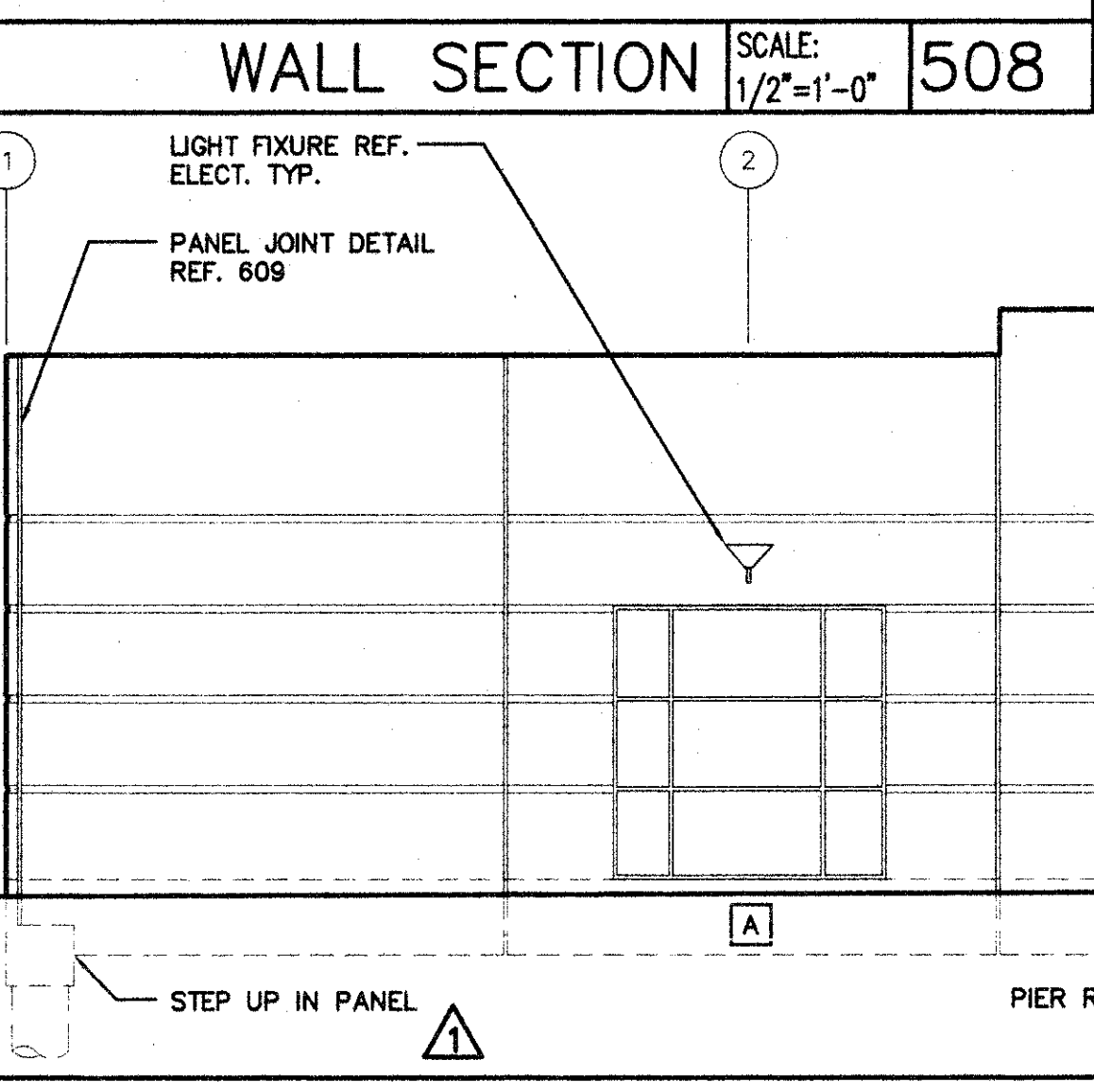
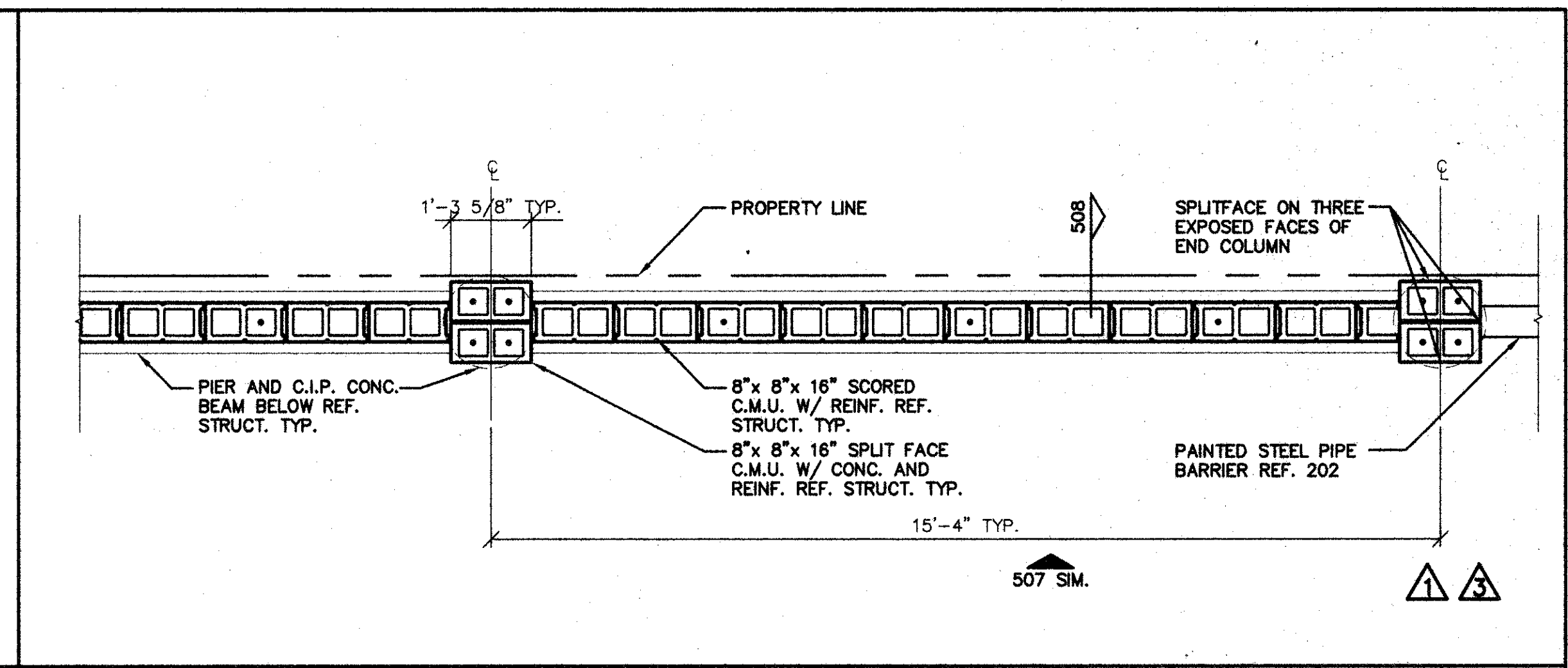
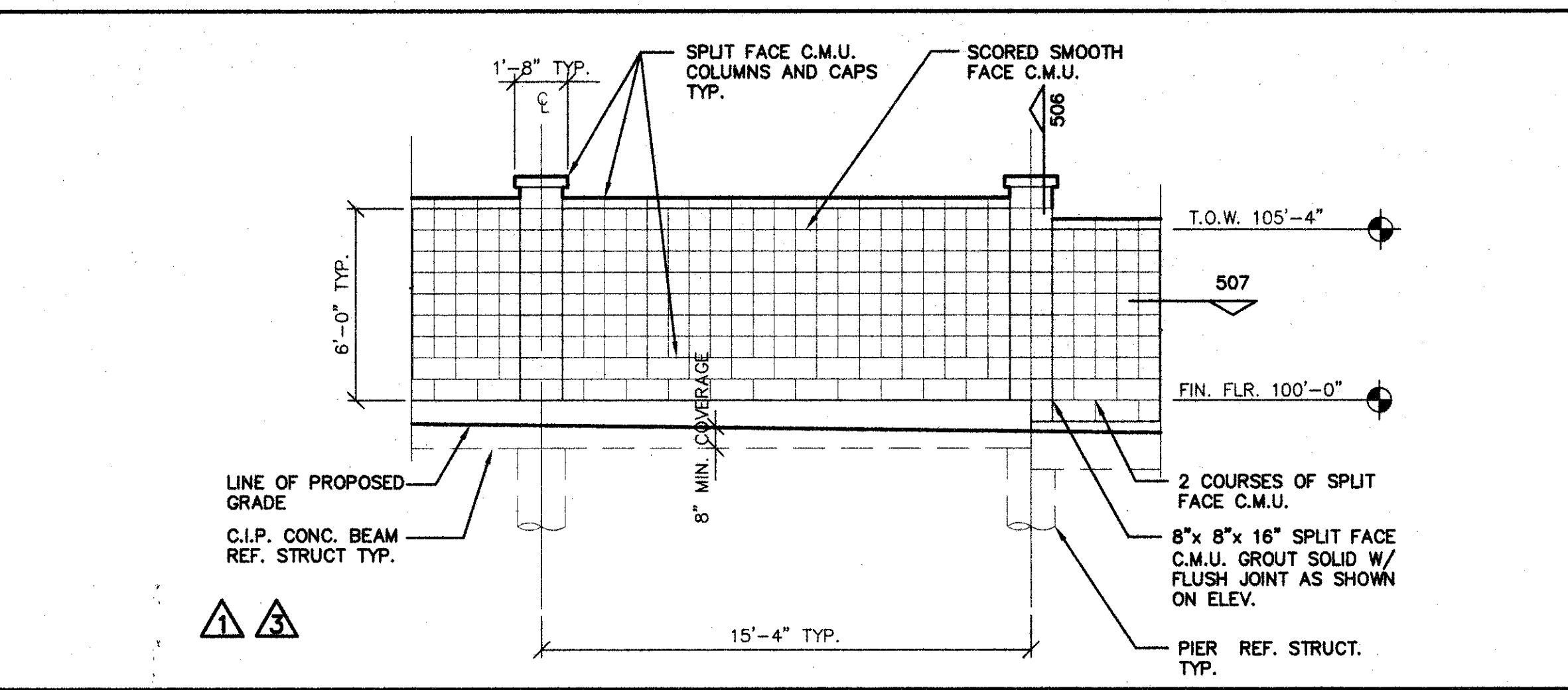
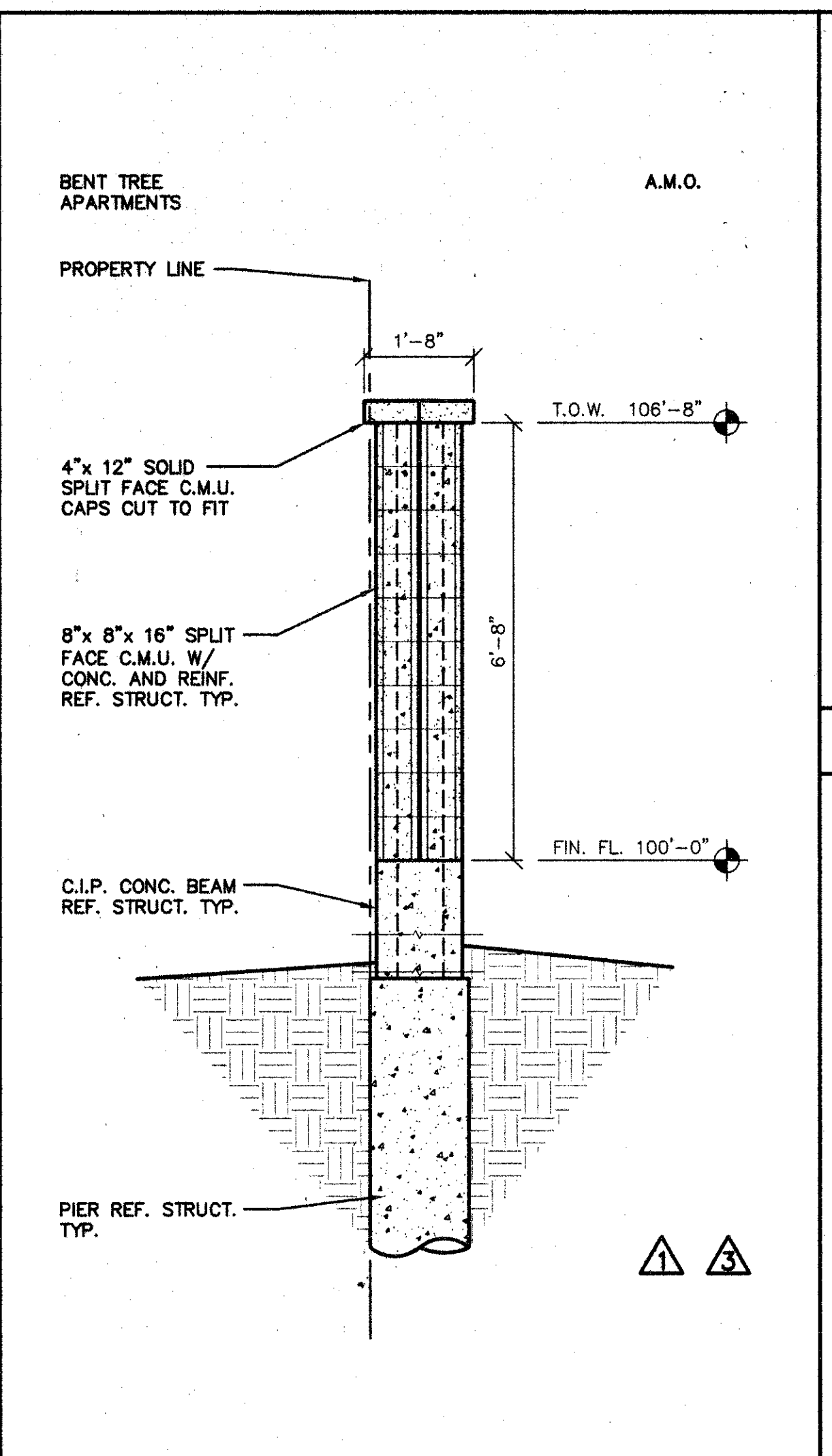
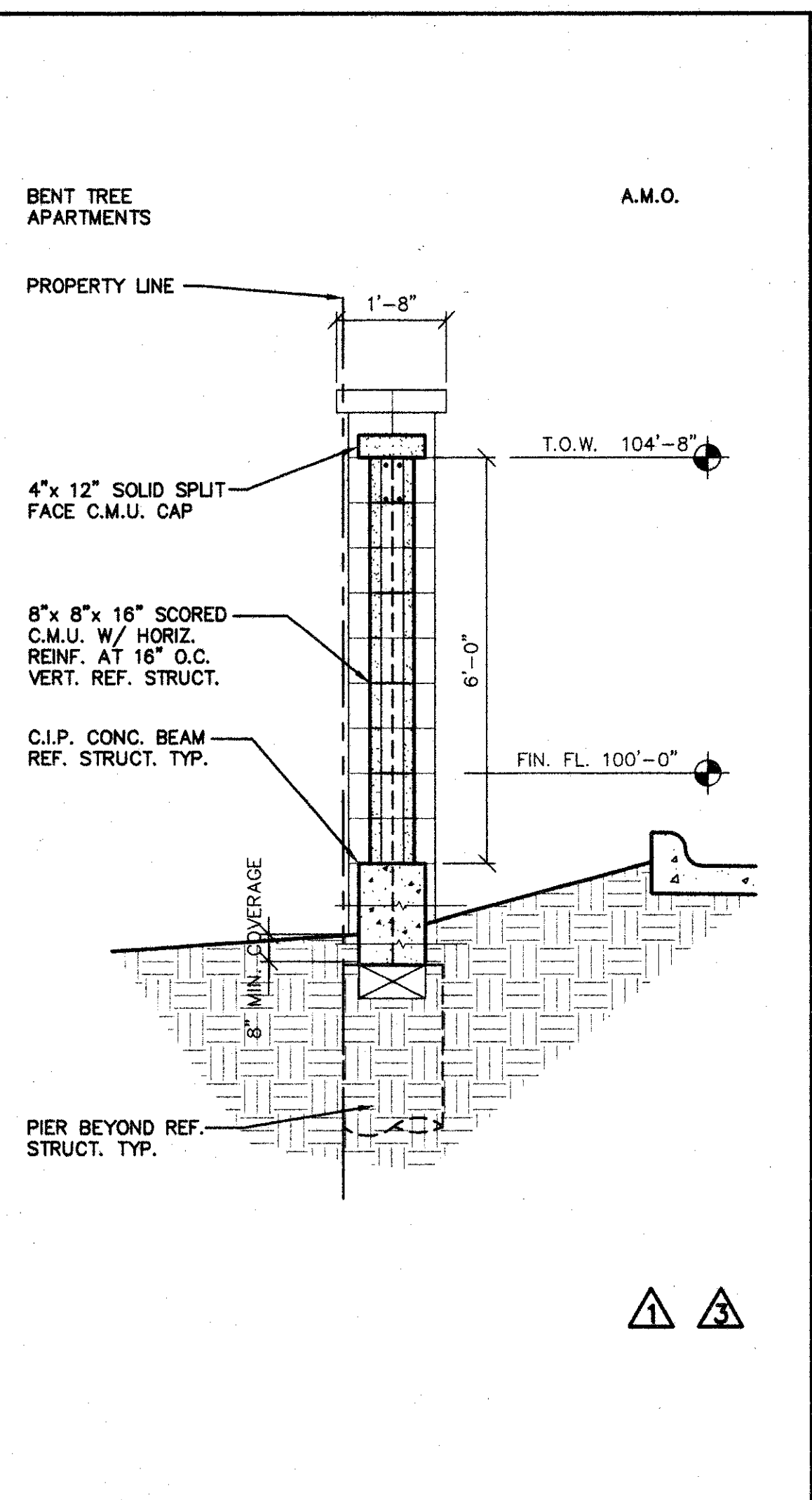
**to**  
 T.S. Orendain Associates Inc.  
 Architecture • Planning • Interior Design

16835 Addison Road  
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 Addison, Texas 75001  
 (972) 250-0519

JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

Issued For / Description	By
SCHEMATIC QTY REVIEW	
T.D.L.R.	
T.D.L.R.	
100% ISSUED FOR CONSTRUCTION	
GENERAL REVISION	

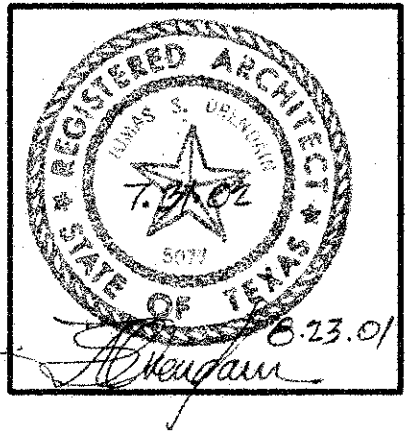
WINDOW TYPES,  
 DOOR SCHEDULE,  
 AND DETAILS



**AS - BUILT  
DRAWING**  
DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
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Addison, Texas 75001 972-250-0119

**AMO**  
16835 ADDISON ROAD  
SUITE 101  
ADDISON, TX 75001  
972-250-3177  
FAX: 972-250-3177

**ADDISON PARK CENTRE  
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16835 ADDISON ROAD ADDISON, TEXAS



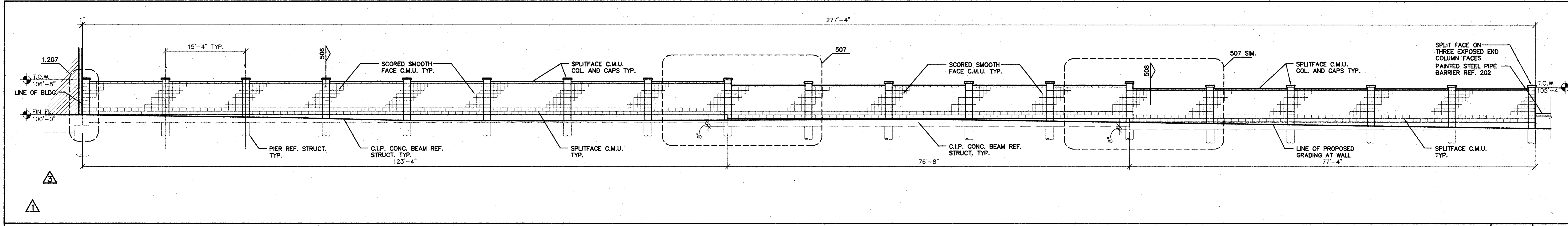
**to**  
T.S. Orendain Associates Inc.  
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(972) 250-0119

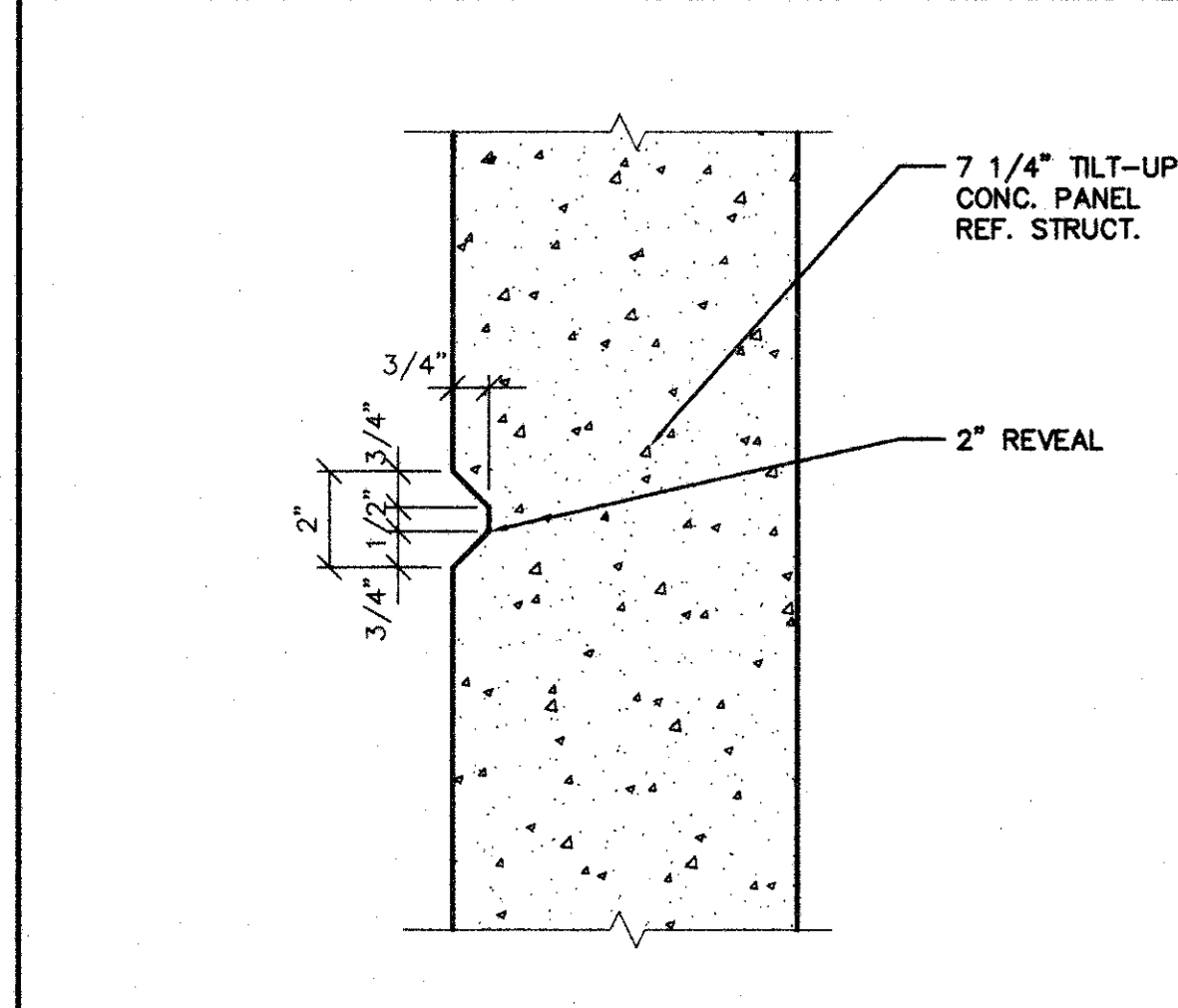
JOB: 8396 DATE: 2/25/2000  
DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description	By
6-5-97	SCHEMATIC CITY REVIEW	
9-30-98	PERMIT ISSUE	
11-1-99	T.D.L.R.	
2-25-00	TOOK ISSUED FOR CONSTRUCTION	
6-9-2000	GENERAL REVISION	
9-13-2000	SITE WALL REVISION	

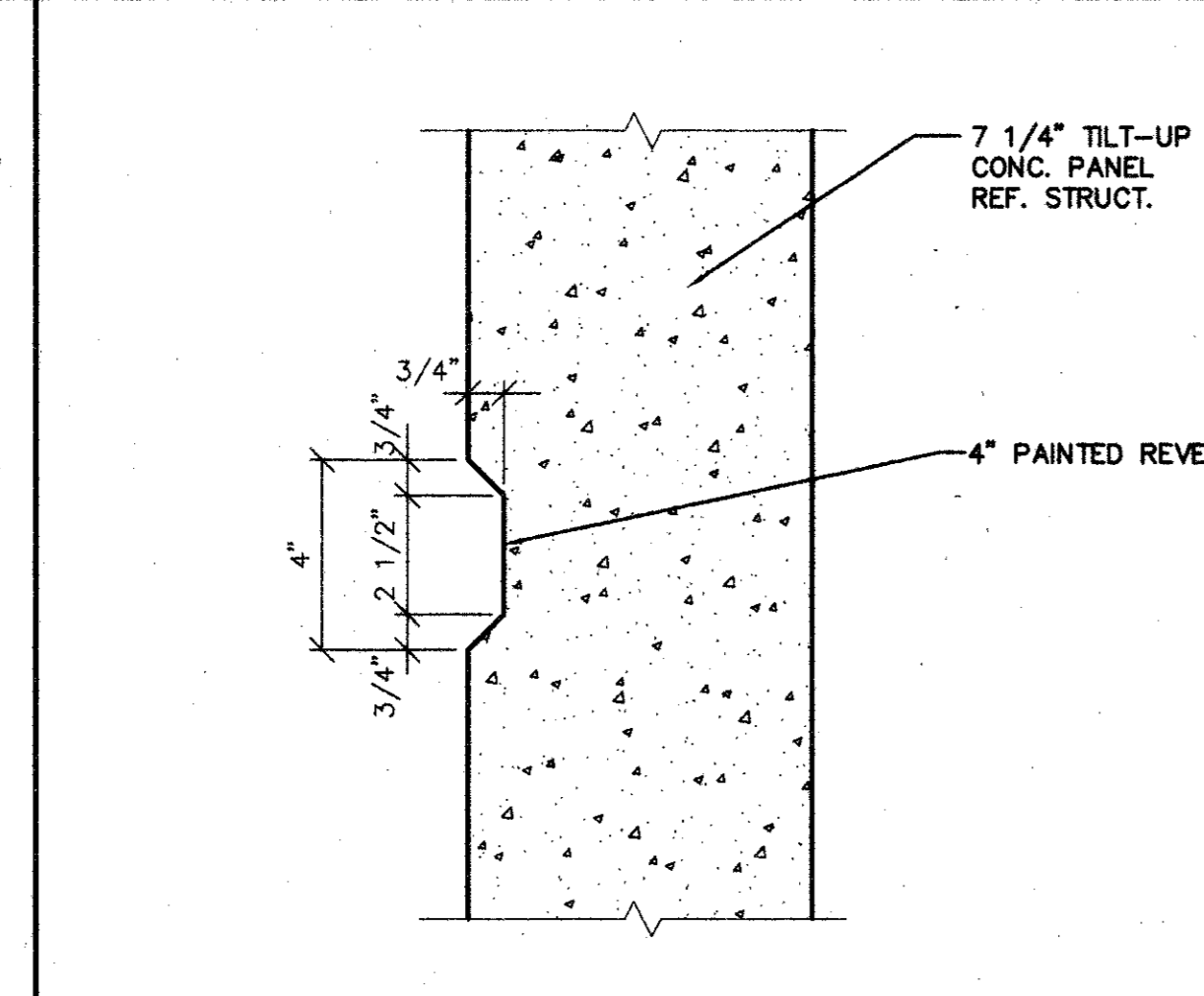
EXTERIOR ELEVATIONS



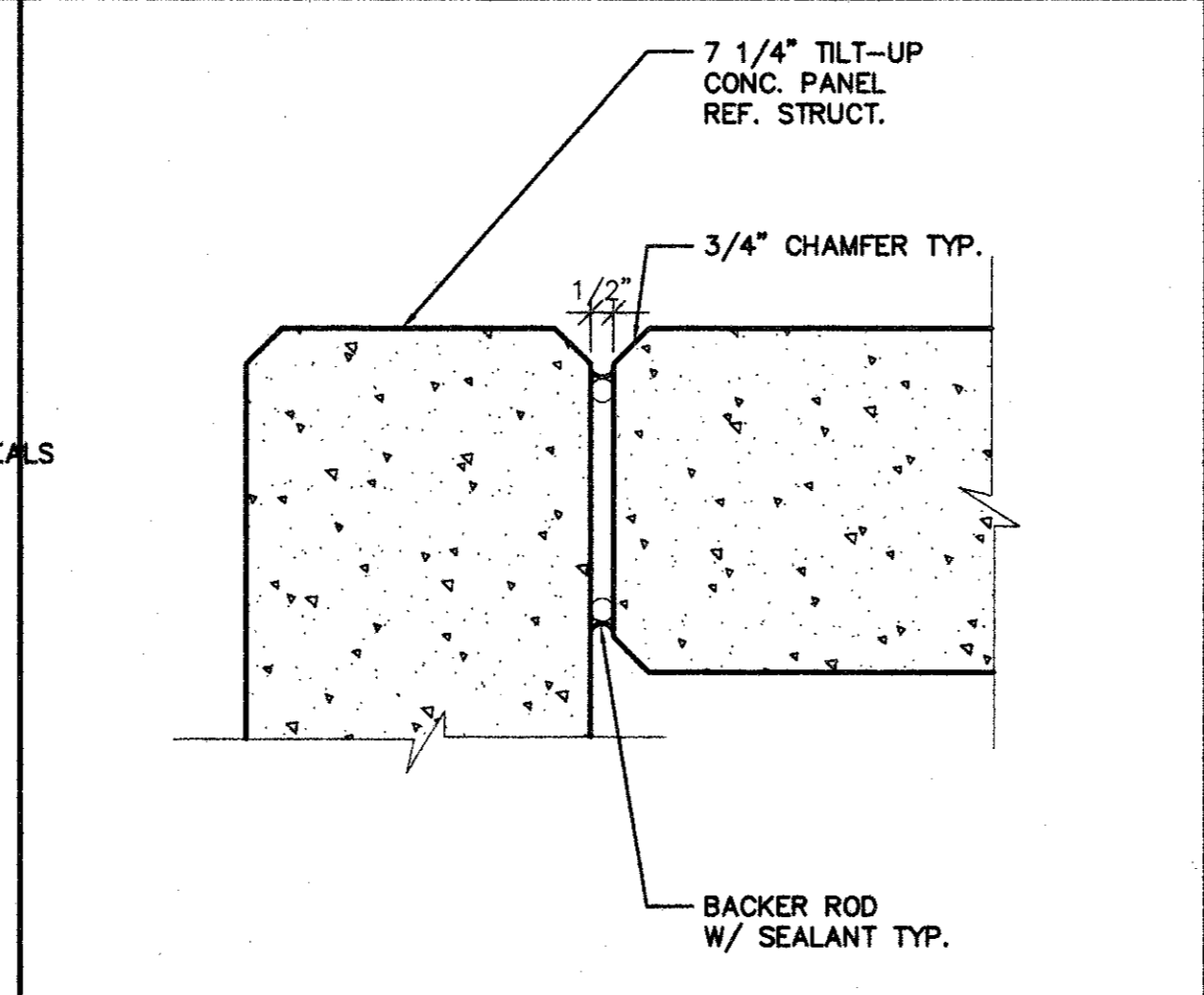
SITE WALL ELEVATION SCALE: 1/8"=1'-0" 612



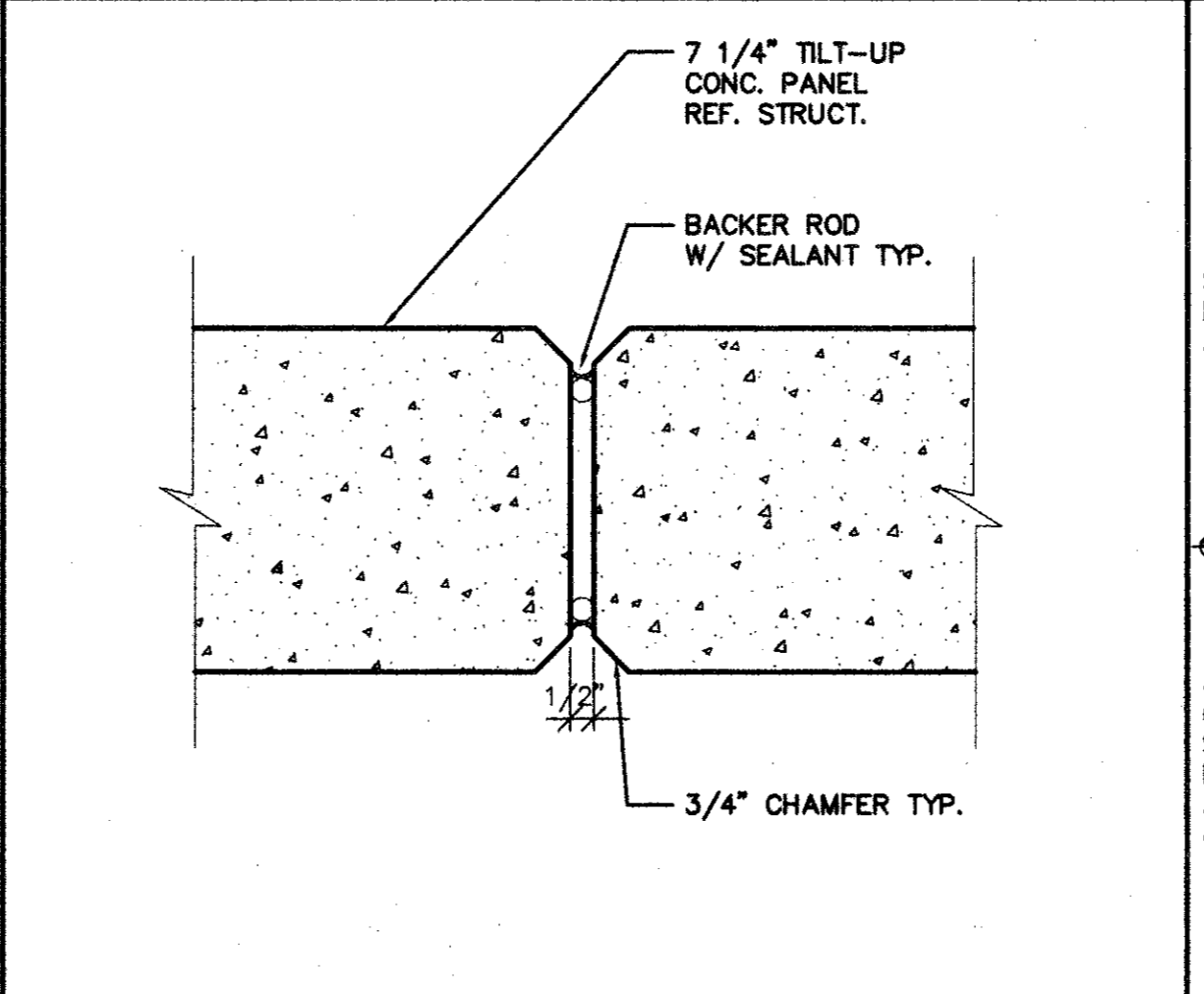
REVEAL DETAIL SCALE: 3/8"=1'-0" 611



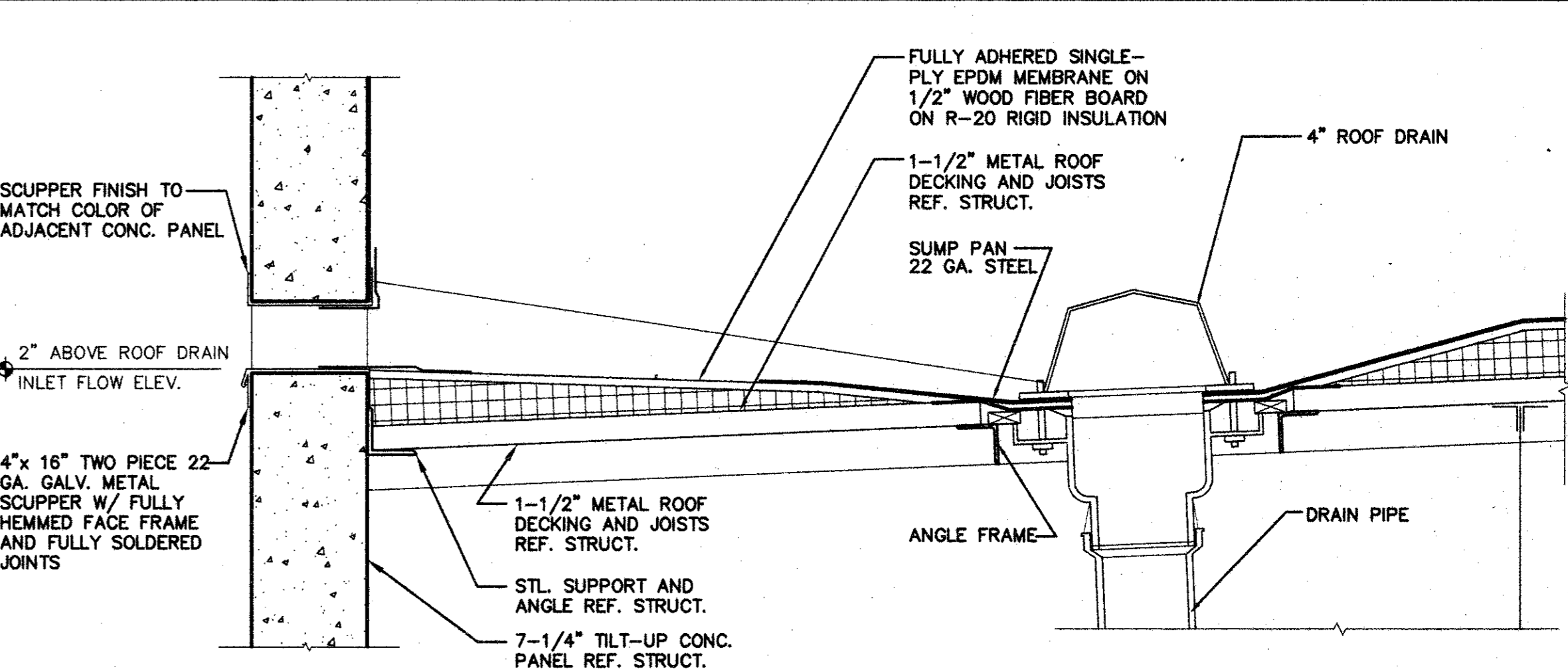
REVEAL DETAIL SCALE: 3/8"=1'-0" 610



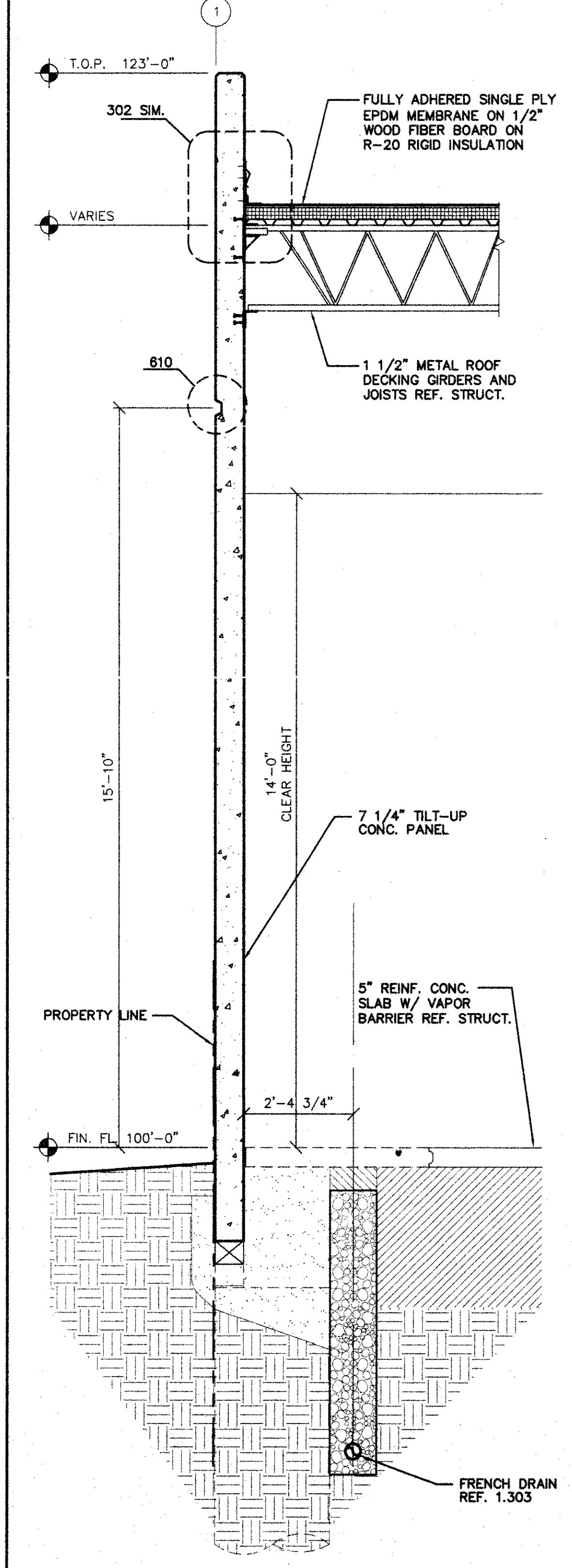
PANEL JOINT DETAIL SCALE: 3/8"=1'-0" 609



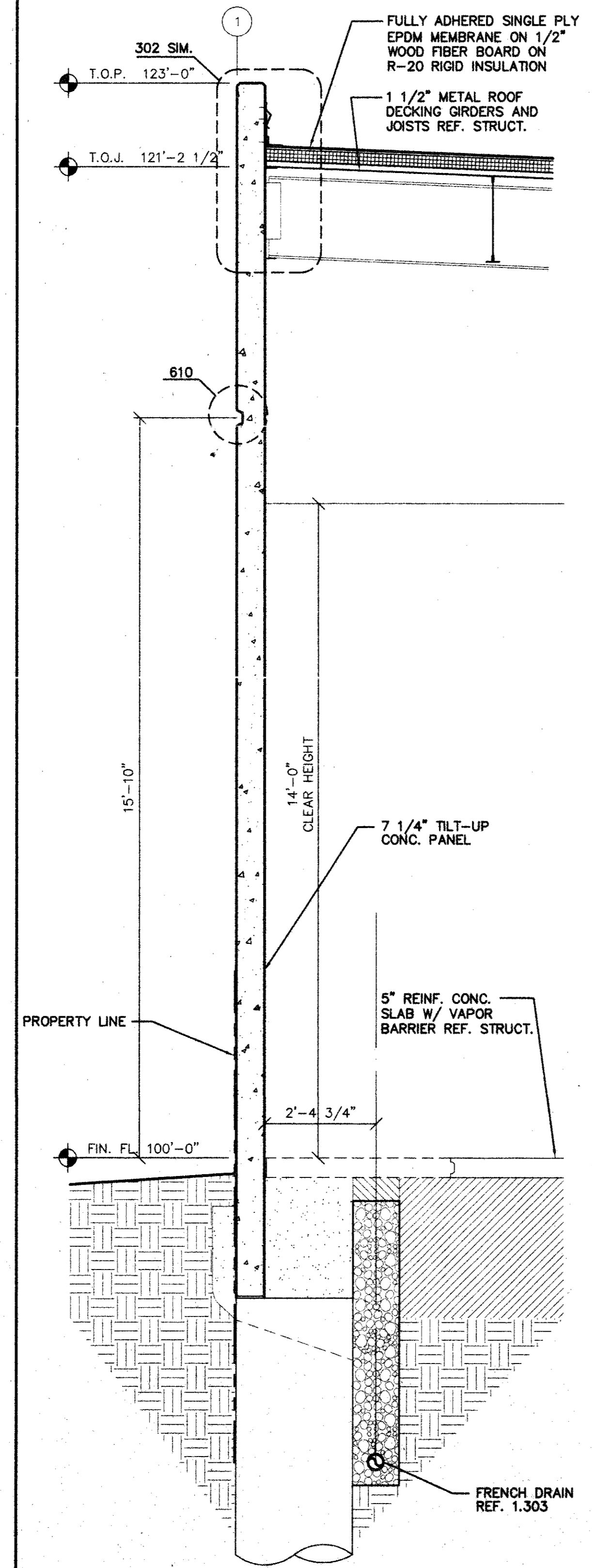
PANEL JOINT DETAIL SCALE: 3/8"=1'-0" 608



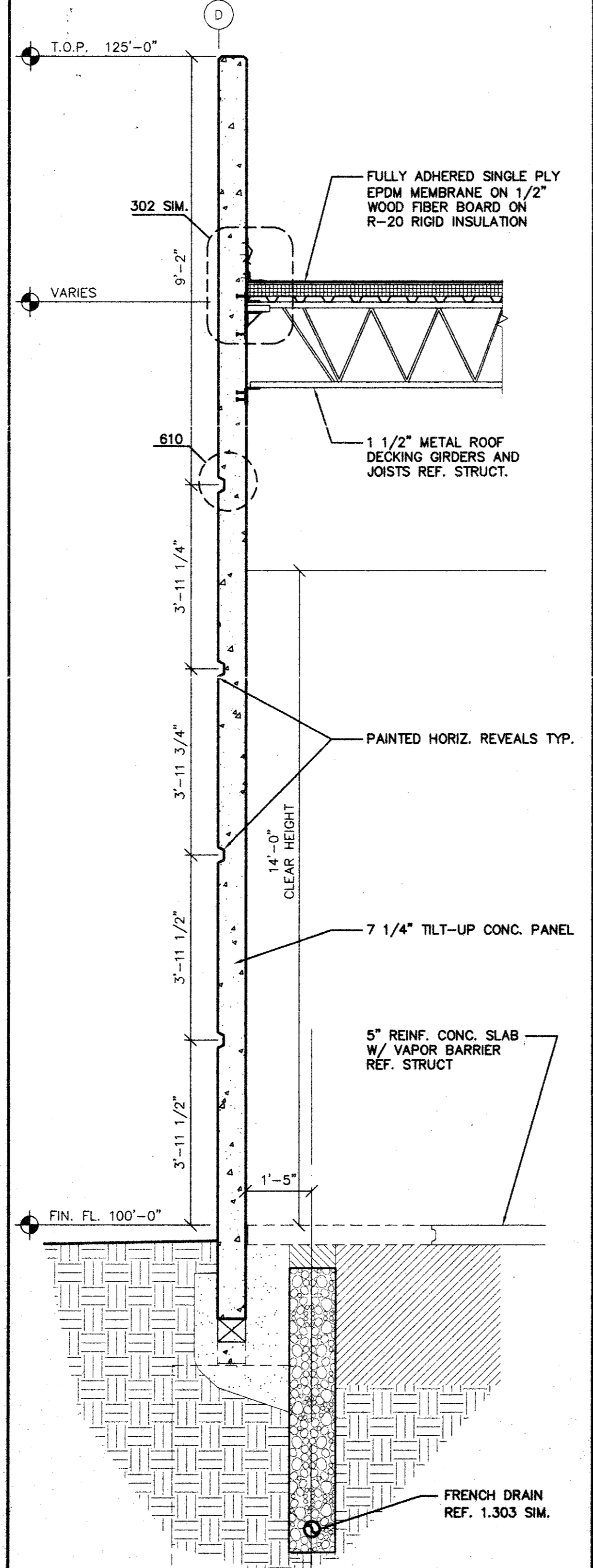
DETAIL SCALE: 1 1/2"=1'-0" 607



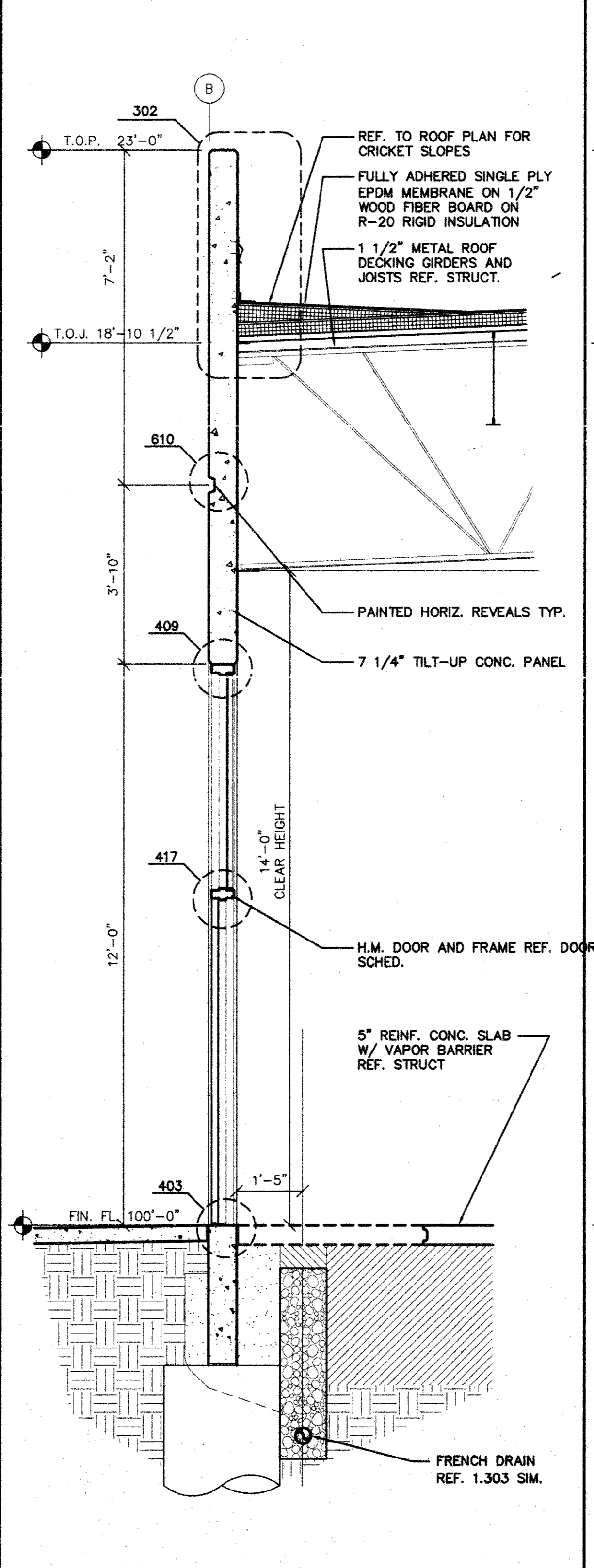
WALL SECTION SCALE: 1/2"=1'-0" 606



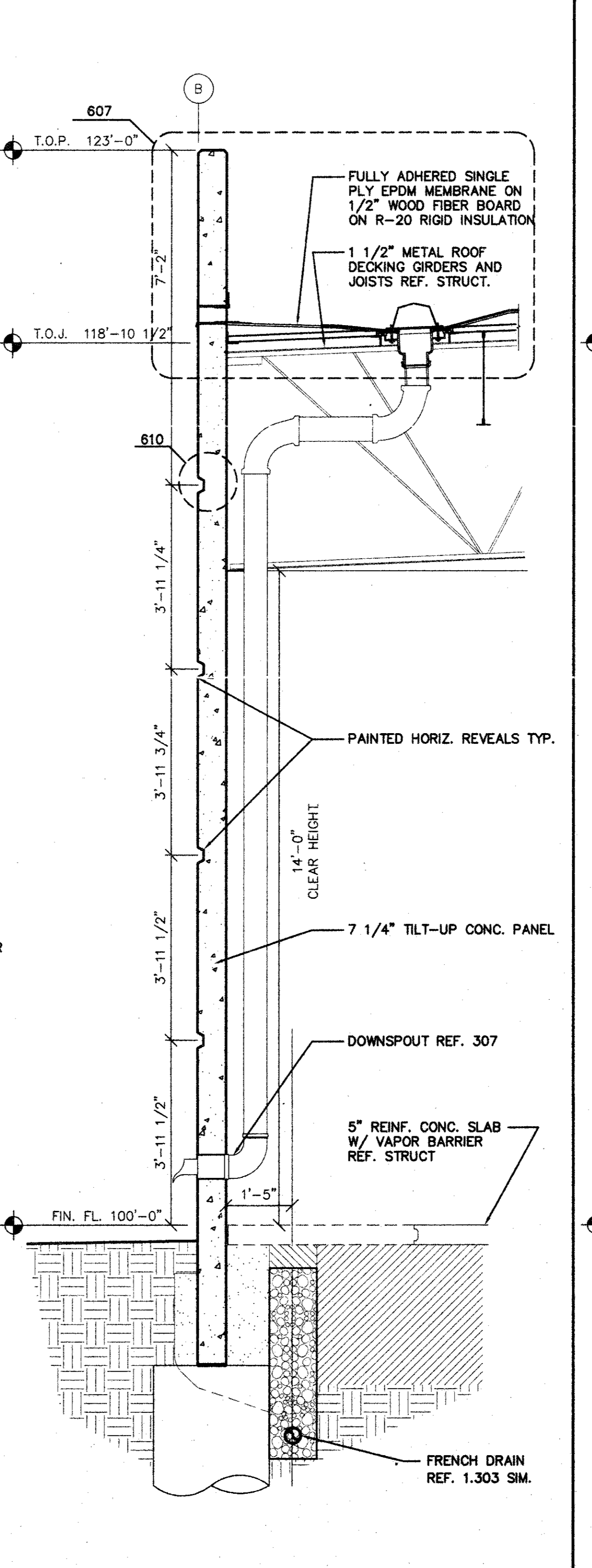
WALL SECTION SCALE: 1/2"=1'-0" 605



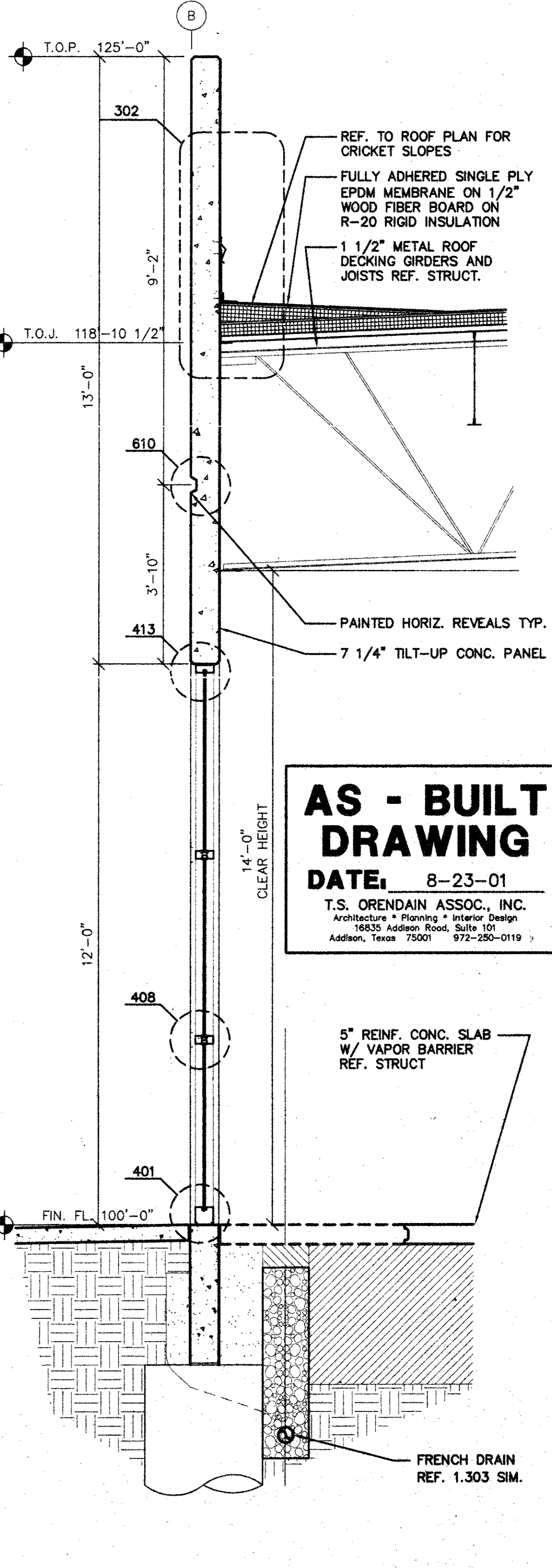
WALL SECTION SCALE: 1/2"=1'-0" 604



WALL SECTION SCALE: 1/2"=1'-0" 603



WALL SECTION SCALE: 1/2"=1'-0" 602

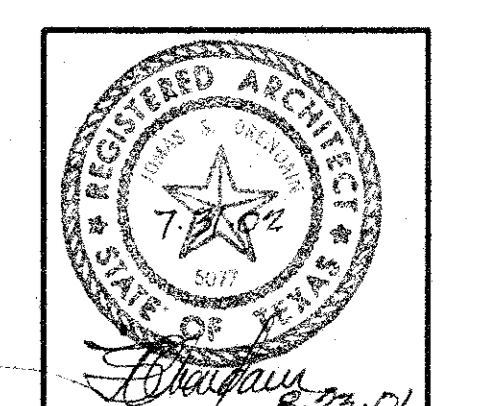


WALL SECTION SCALE: 1/2"=1'-0" 601

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 T.S. ORENDAIN ASSOC., INC.  
 ARCHITECTURE • PLANNING • INTERIOR DESIGN  
 16835 Addison Road, Suite 101  
 Addison, Texas 75001 972-250-0119

**AMO**  
 ADDISON ROAD  
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 ADDISON, TX 75001  
 TEL: 972-250-0119  
 FAX: 972-250-3157

**ADDISON PARK CENTRE  
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 PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS

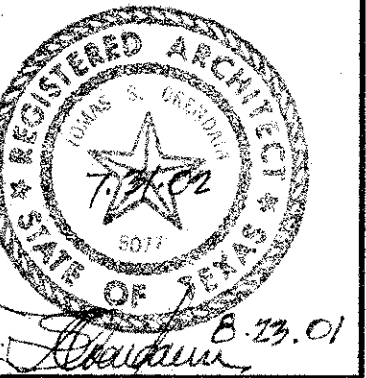


**to**  
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 Addison, Texas 75001  
 (972) 250-0119

JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description	By
9-25-97	SCHEMATIC CITY REVIEW	T.S.O.
9-30-98	T.D.L.R.	T.S.O.
11-1-99	T.D.L.R.	T.S.O.
2-25-2000	100% ISSUED FOR CONSTRUCTION	T.S.O.
6-9-2000	GENERAL REVISION	T.S.O.
9-13-2000	AS-BUILT REVISION	T.S.O.

WALL SECTIONS AND DETAILS



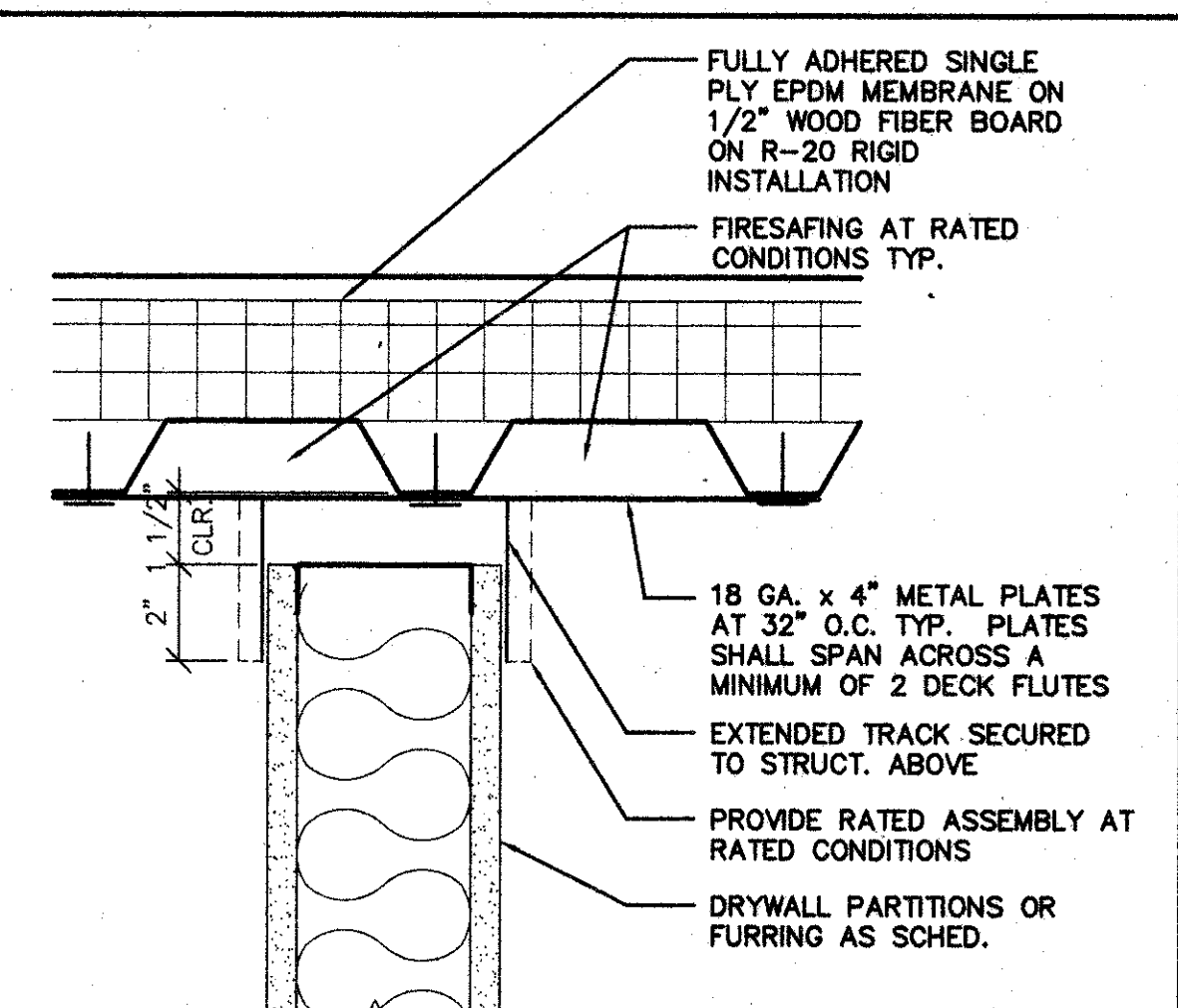
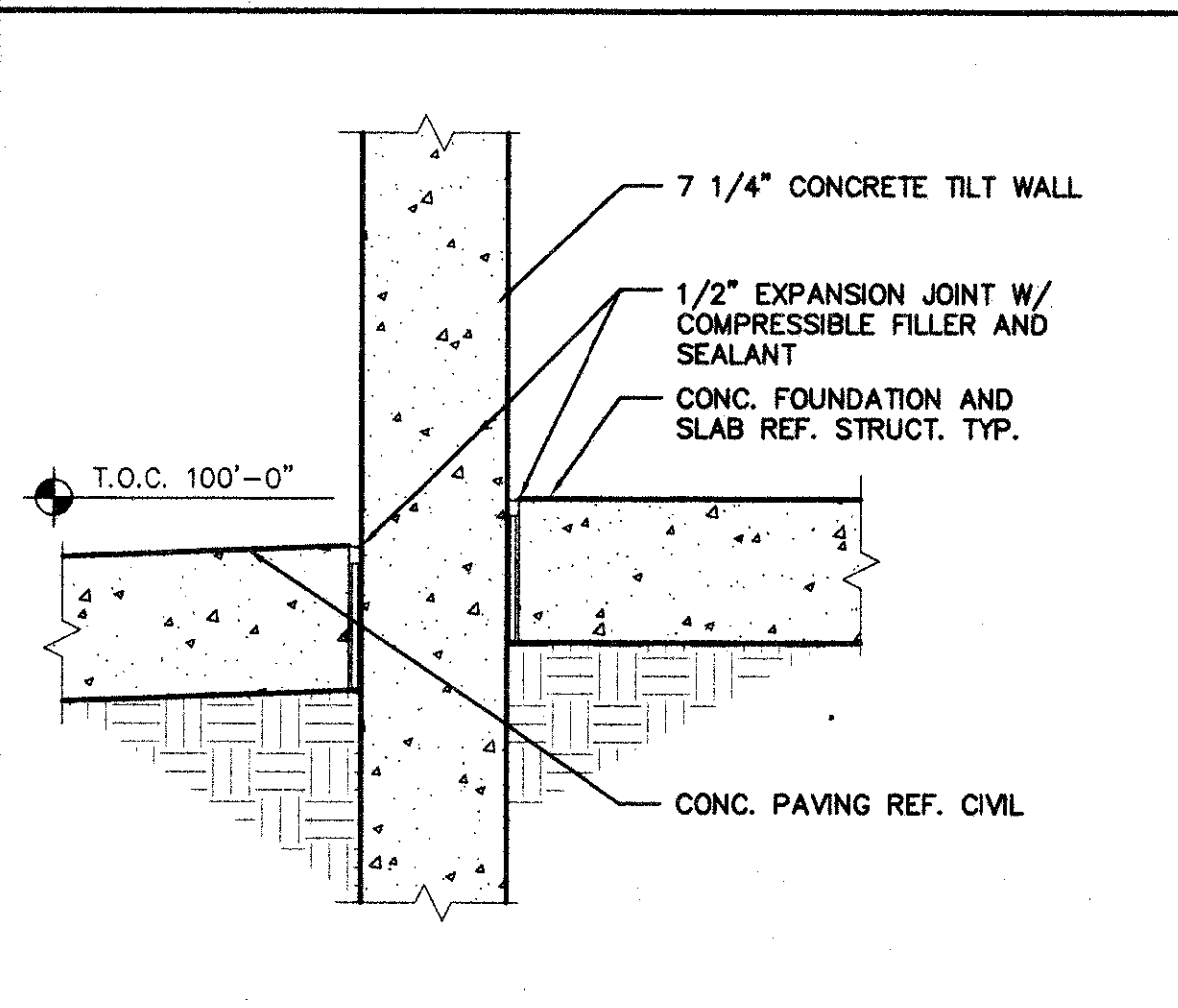
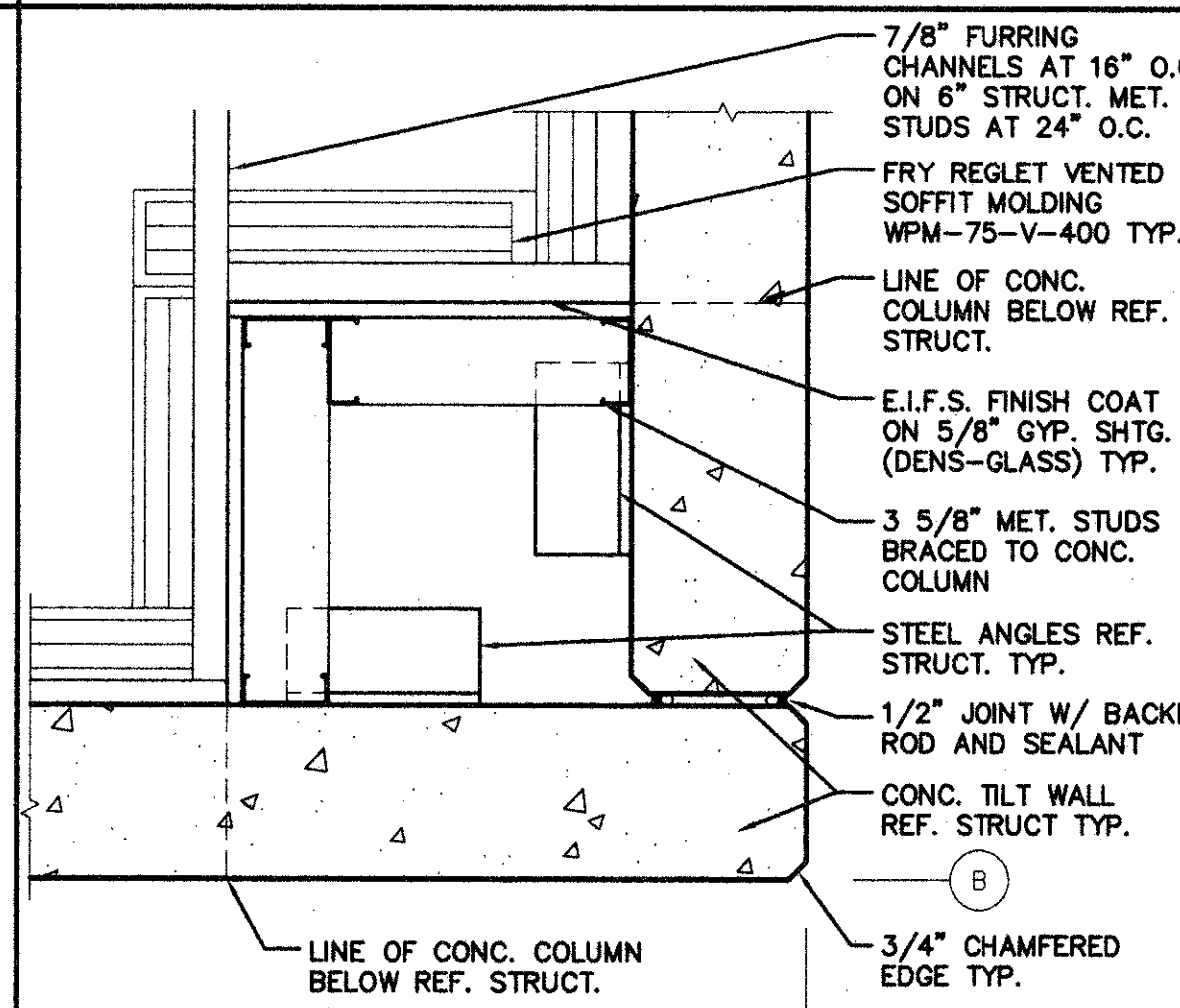
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JOB: 8396 DATE: 2/25/2000  
DRAWN: T.S.O. CHECKED: T.S.O.

Date	Issued For / Description
2-25-2000	100% ISSUED FOR CONSTRUCTION
11-3-2000	FIRE SPRINKLER ROOM REVISION

WALL SECTIONS AND DETAILS

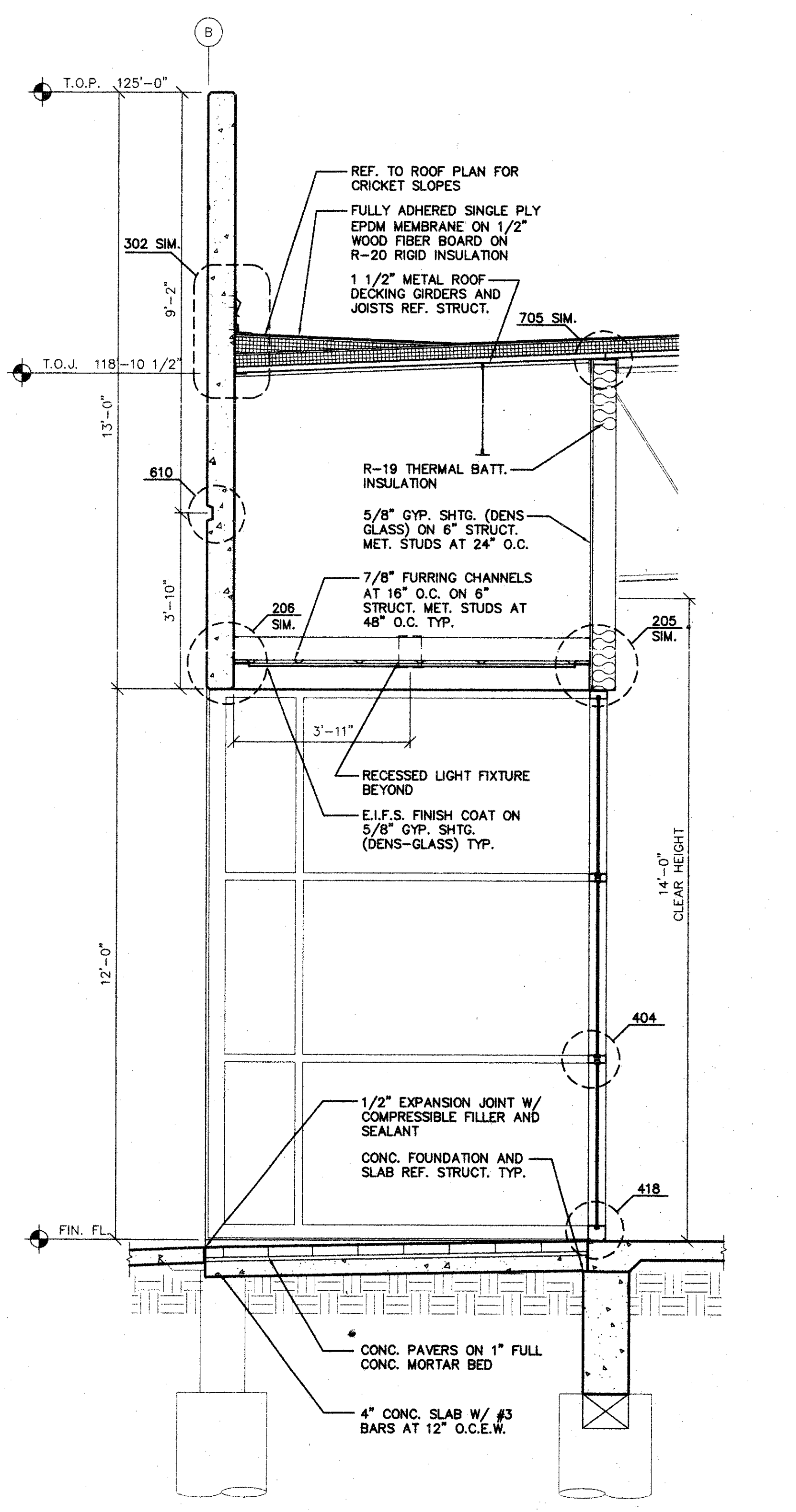


NOT USED SCALE: NONE 708

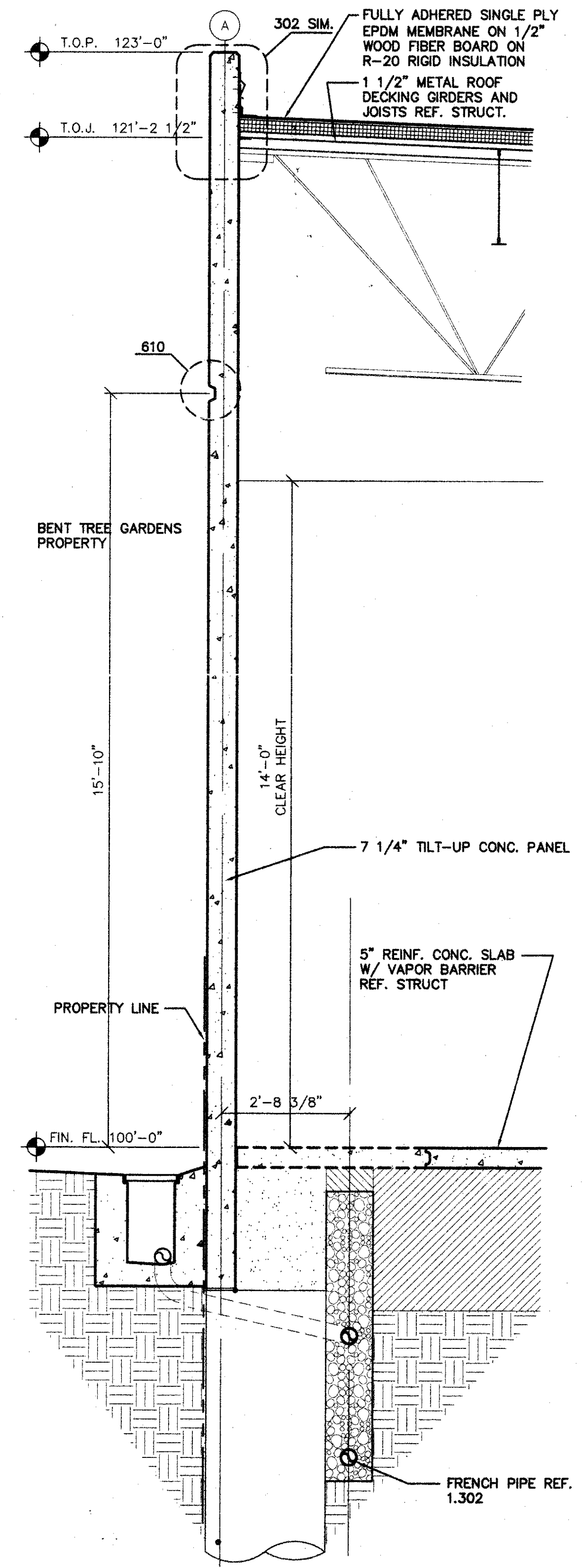
SOFFIT DETAIL SCALE: 1/2"=1'-0" 707

DETAIL SCALE: 1/2"=1'-0" 706

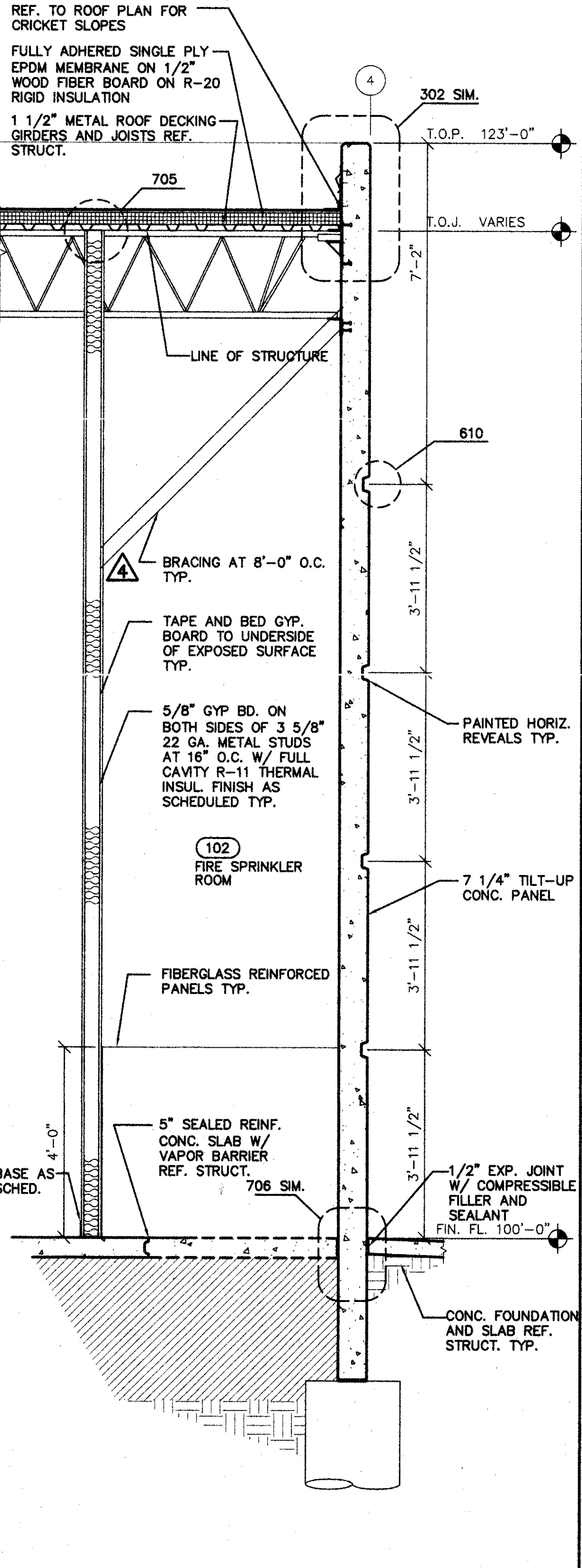
DETAIL SCALE: 3/8"=1'-0" 705



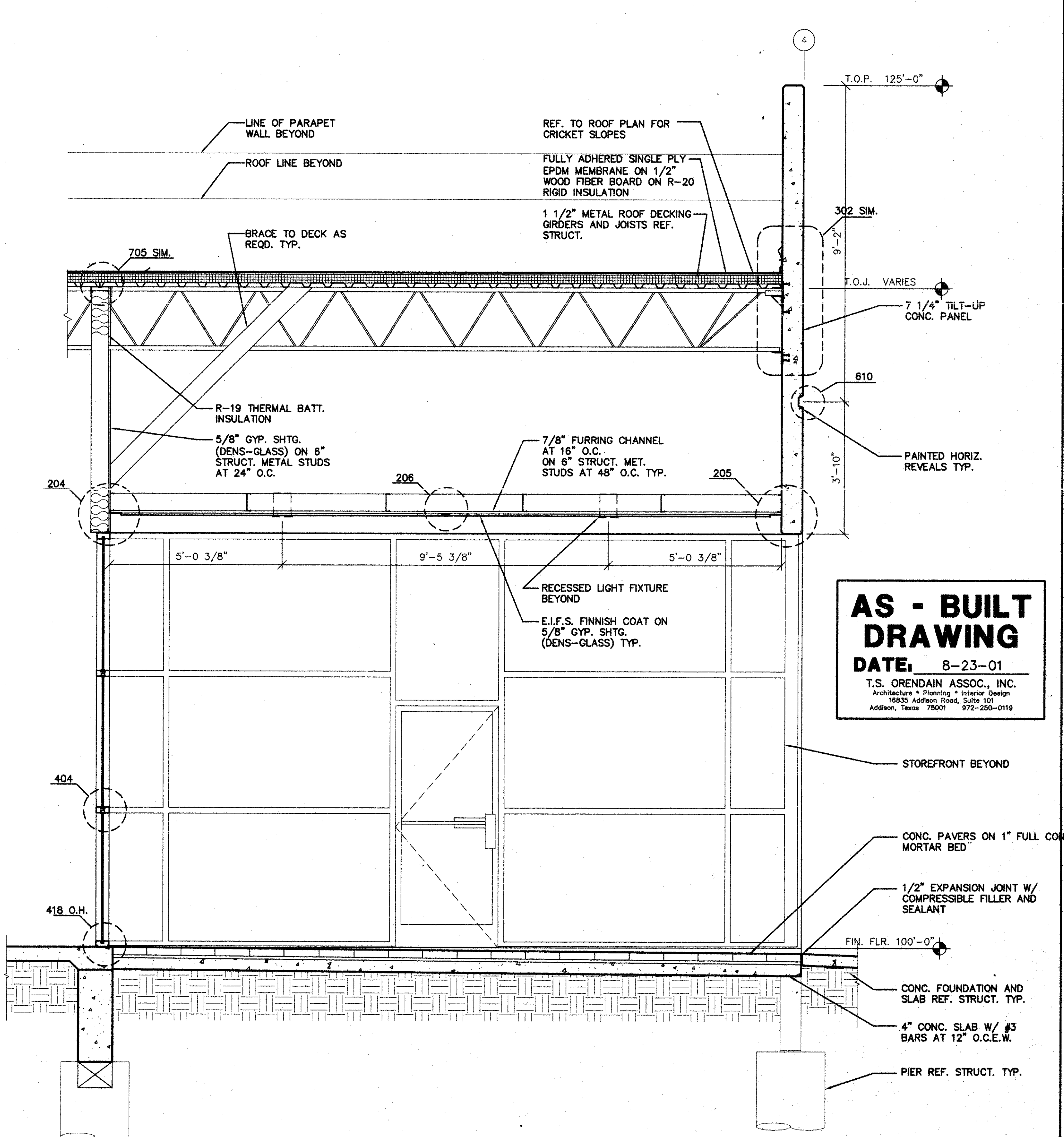
WALL SECTION SCALE: 1/2"=1'-0" 704



WALL SECTION SCALE: 1/2"=1'-0" 703

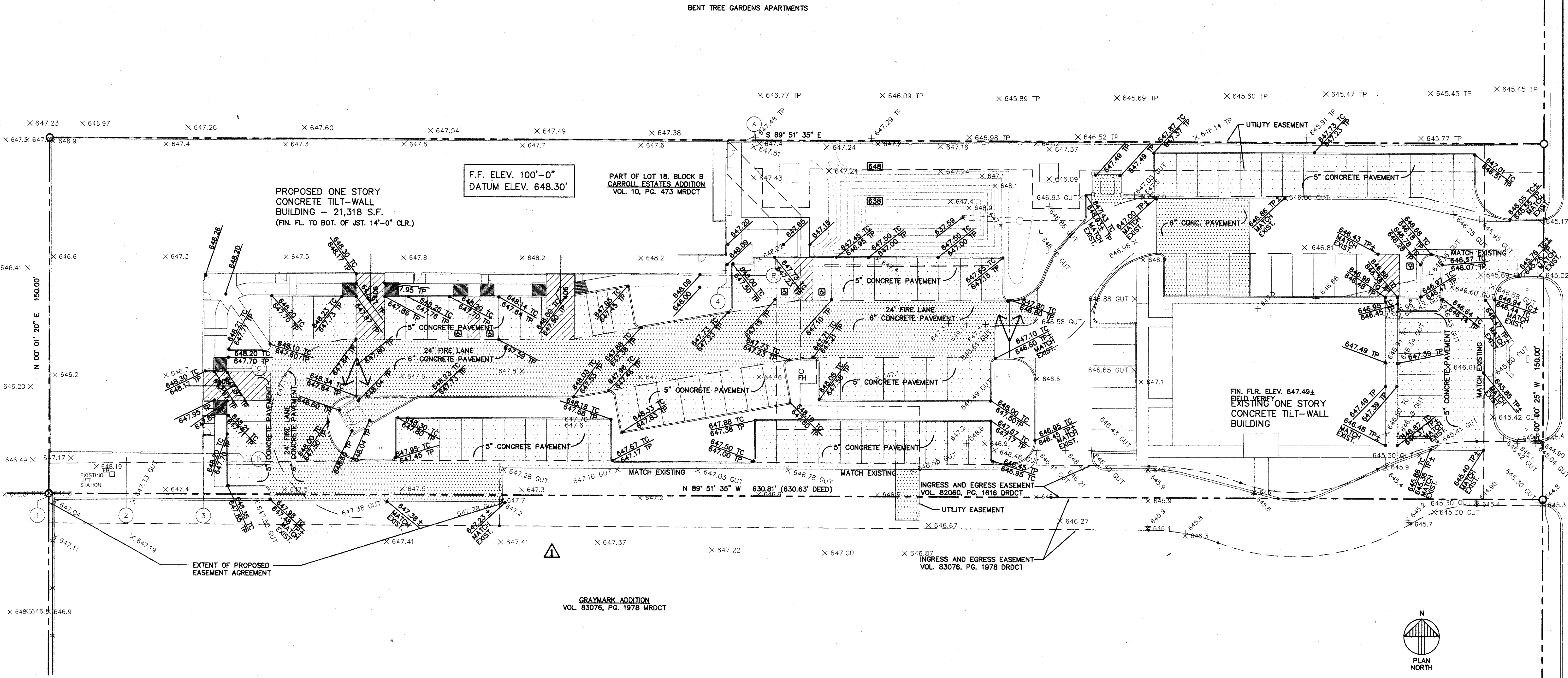


WALL SECTION SCALE: 1/2"=1'-0" 702



WALL SECTION SCALE: 1/2"=1'-0" 701

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DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
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Addison, Texas 75001 972-250-0119



ADDISON ROAD

PLAN NORTH

GRADING AND PAVEMENT PLAN SCALE: 1"=20'-0" C105

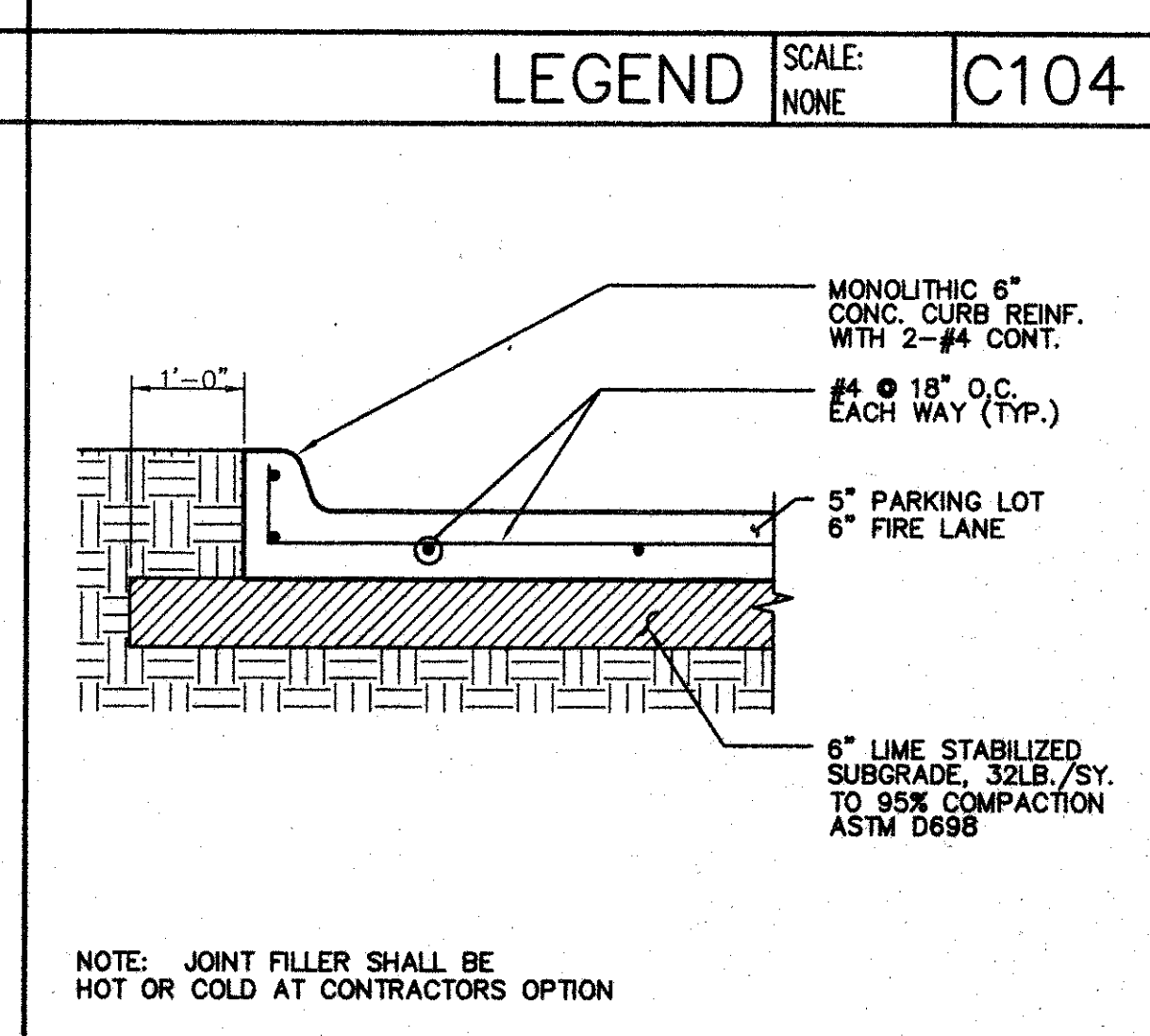
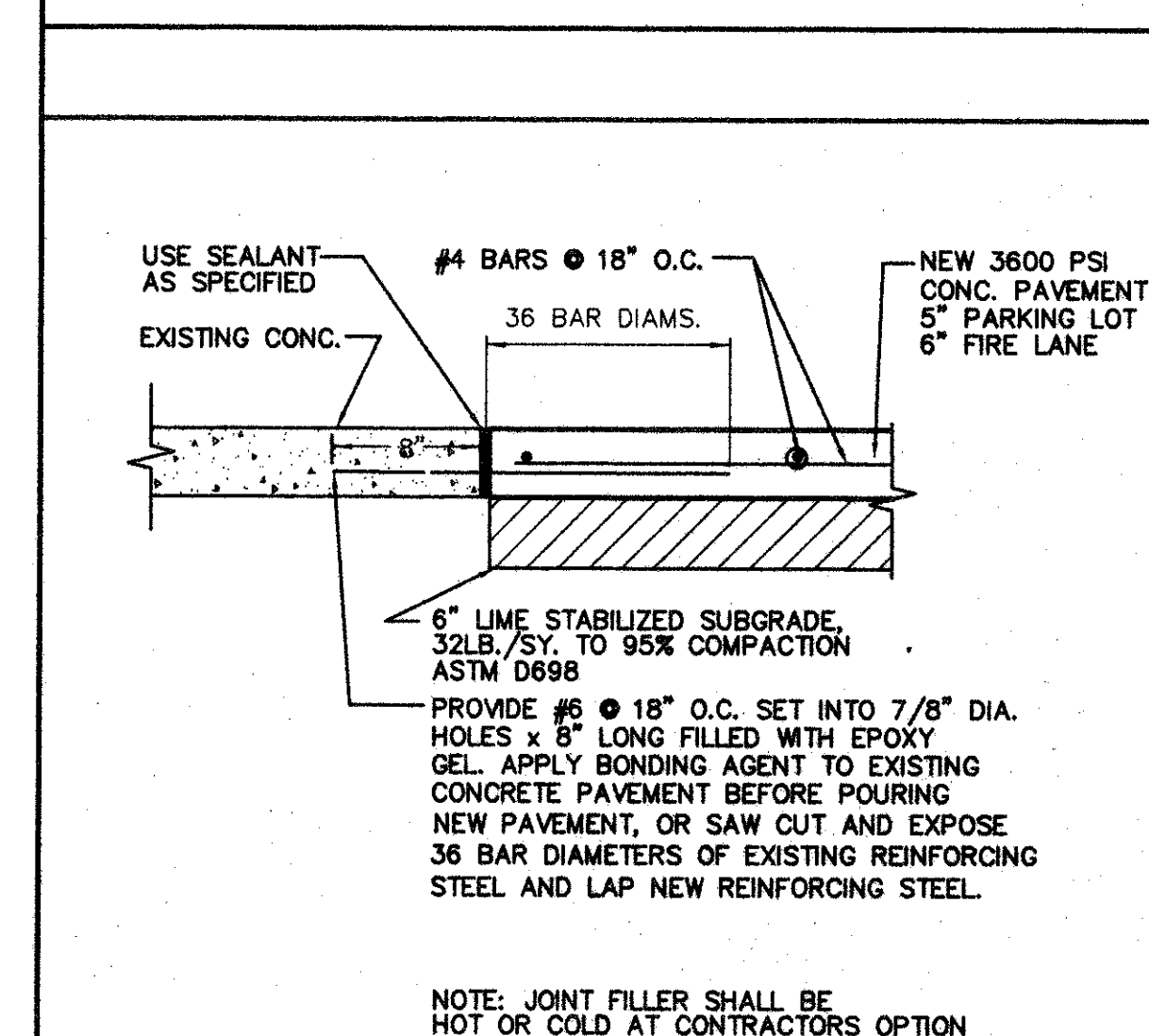
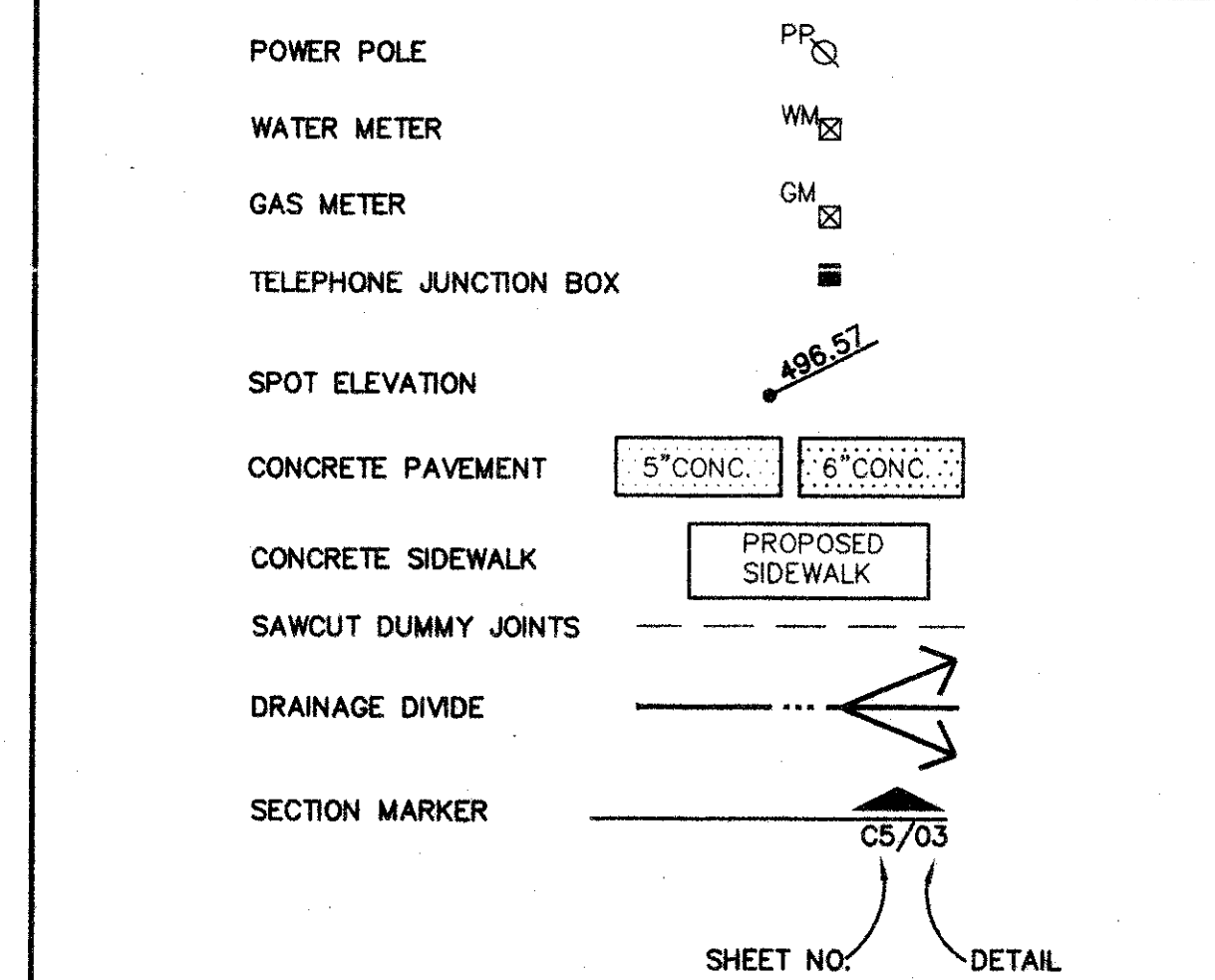
**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY AND INSTALL ALL MATERIALS SO AS TO MEET OR EXCEED PROJECT SPECIFICATIONS STATE CODES, AND CITY OF ADDISON STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY OMISSIONS, DISCREPANCIES, OR DIMENSIONAL ERRORS PRIOR TO BEGINNING OR FABRICATING ANY WORK. OTHERWISE THE CORRECTIONS (AND ASSOCIATED COST), WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DIMENSIONS, LOCATIONS SHOWN, OR NOTES MARKED "VERIFY" ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL DEMOLITION AND EXCAVATED MATERIALS SHALL BE LEGALLY DISPOSED OFF THE SITE BY THE GENERAL CONTRACTOR.
- IN THE EVENT THAT UNCHARTED UTILITIES OR OTHER UNFORESEEN FIELD CONDITIONS REQUIRE MODIFICATIONS OF THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING AND OBTAINING PERMITS FROM THE CITY, STATE OR OTHER REGULATORY AGENCIES TO PERFORM ALL WORK.
- ALL NEW CONCRETE PAVING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I., AT 28 DAYS. CONCRETE MIX DESIGN SHALL BE PROPORTIONED WITH A MINIMUM OF 5% AIR ENTRAINMENT AND A MAXIMUM SLUMP OF 4 INCHES. COPIES OF THE PROPOSED MIX DESIGN SHALL BE SUBMITTED IN ACCORDANCE WITH THE SPECIFICATIONS, FOR APPROVAL, BEFORE PROCEEDING WITH WORK.
- UNLESS NOTED OTHERWISE, FOR ALL CONCRETE SIDEWALKS, PROVIDE TOOLED SCORED JOINTS AT 5 FT. O.C. AND EXPANSION JOINTS WITH FILLERS AT 20 FT. O.C.
- UNLESS OTHERWISE NOTED PROVIDE SAWCUT DUMMY JOINTS @ 15' O.C.E.W. FOR ALL CONCRETE PAVING.
- REFER TO GEOTECHNICAL INVESTIGATION FOR PREPARATION OF SUBGRADE & BUILDING PAD.
- REFER TO ARCHITECTURAL PLANS, FOR LANDSCAPE REQUIREMENTS. AS A MINIMUM PROVIDE HYDROMULCHED BERMUDA GRASS AT ALL GRADED AREAS NOT COVERED WITH PAVEMENT.
- SIDESLOPES MAY BE PROTECTED BY ANY MEANS APPROVED BY THE OWNER TO INCLUDE BUT NOT TO BE LIMITED TO: "GRASSCORETE", "GEOROCK", "GRASSPAVE", GUNITE, OR REINFORCED CONCRETE RIP-RAP. THE CONTRACTOR SHALL ISSUE A 2 YEAR WARRANTY FOR WORKMANSHIP AND MATERIAL OF THE METHOD SELECTED.

**SUMP PUMP GENERAL NOTES**

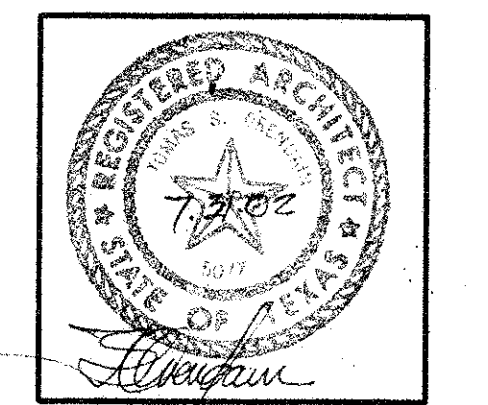
- FURNISH AND INSTALL 24" AND 36" R.C.P. FOR SEDIMENT TRAP AND SUMP PUMP PIT, POUR 6" CONCRETE BOTTOMS, PROVIDE A CONCRETE COVER, REINFORCED TO ACCOMMODATE AN AUTOMOBILE WHEEL LOAD FOR THE SUMP PUMP PIT.
- FURNISH AND INSTALL ONE SUBMERSIBLE NON-CLOG WASTEWATER PUMP. THE PUMP SHALL BE EQUIPPED WITH A 2 H.P. SUBMERSIBLE ELECTRIC MOTOR CONNECTED FOR OPERATION ON 240 VOLTS, 3 PHASE, 60 HERTZ, 4 WIRE SERVICE, WITH 20 FEET OF SUBMERSIBLE CABLE (SUBCAB) SUITABLE FOR SUBMERSIBLE PUMP APPLICATIONS. THE POWER CABLE SHALL BE SIZED ACCORDING TO NEC AND IECA STANDARDS AND ALSO MEET WITH P-MSHA APPROVAL. THE PUMP SHALL BE SUPPLIED WITH A MATING CAST IRON 3 INCH DISCHARGE CONNECTION AND BE CAPABLE OF DELIVERING 390 GPM AT 2.8 TDH. AN ADDITIONAL POINT ON THE SAME CURVE SHALL BE 320 GPM AT 8.2 FEET TOTAL HEAD. SHUT OFF HEAD SHALL 32 FEET (MINIMUM). THE PUMP SHALL BE FITTED WITH 8 FEET OF 3/16 INCH LIFTING CHAIN OR #304 STAINLESS STEEL CABLE. THE WORKING LOAD OF THE LIFTING SYSTEM SHALL BE 50% GREATER THAN THE PUMP UNIT WEIGHT. THE PUMP SHALL BE FLYGT MODEL C-3085-43B IMPELLER OR AN APPROVED EQUAL.
- FURNISH AND INSTALL A NEMA# 12 ELECTRICAL CONTROL PANEL, EQUIPPED WITH POWER MONITOR, SURGE ARRESTOR AND RUN LIGHT. SEE ELECTRICAL DRAWINGS FOR POWER TO THE PUMP.

**AS - BUILT DRAWING**  
 DATE: 8-23-01  
 T.S. ORENDAIN ASSOC., INC.  
 Architecture • Planning • Interior Design  
 16835 Addison Road, Suite 101  
 Addison, Texas 75001 972-250-0119



**AMO**  
 16835 ADDISON ROAD  
 SUITE 101  
 ADDISON, TX 75001  
 FAX: 972-250-3197

**ADDISON PARK CENTRE OFFICE/TECH./FLEX. PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS



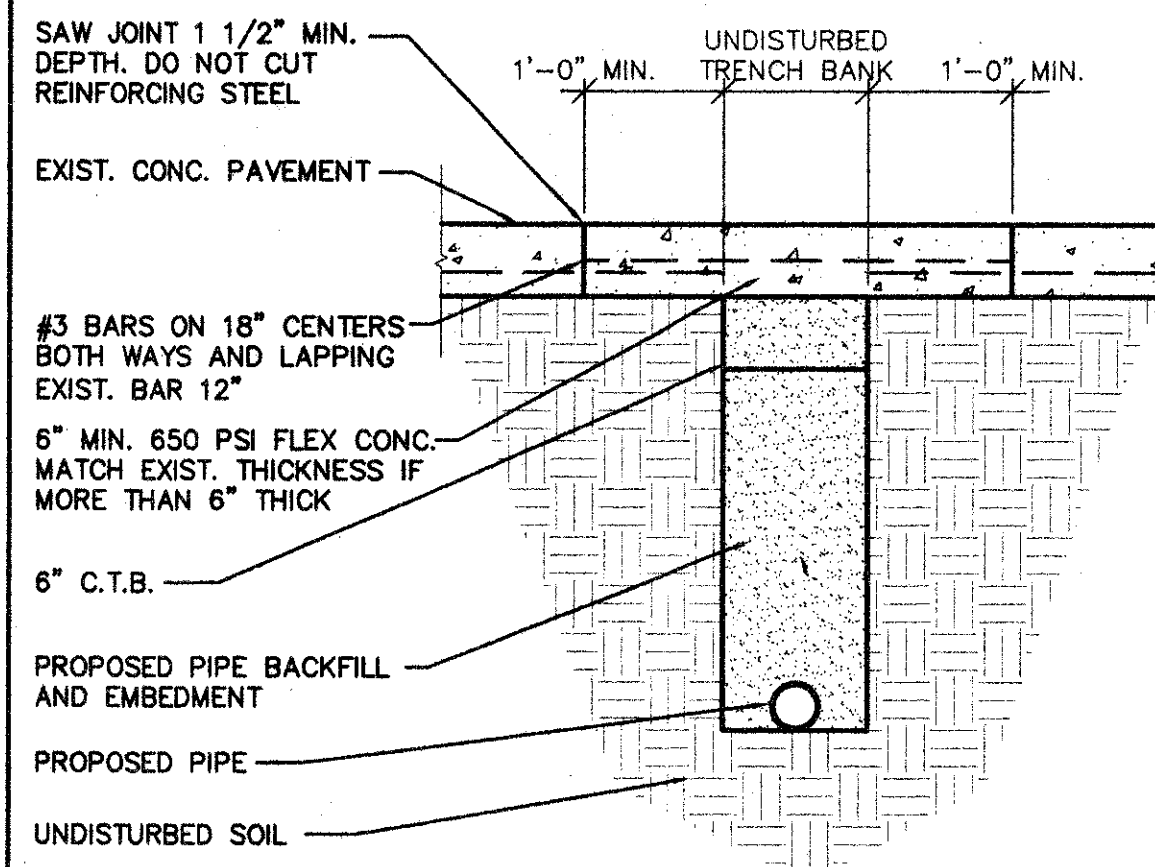
**to**  
 T.S. Orendain Associates Inc.  
 Architecture • Planning • Interior Design

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 Suite 101  
 Addison, Texas 75001  
 (972) 250-0119

JOB: 8396 DATE: 2-25-2000  
 DRAWN: CHECKED:

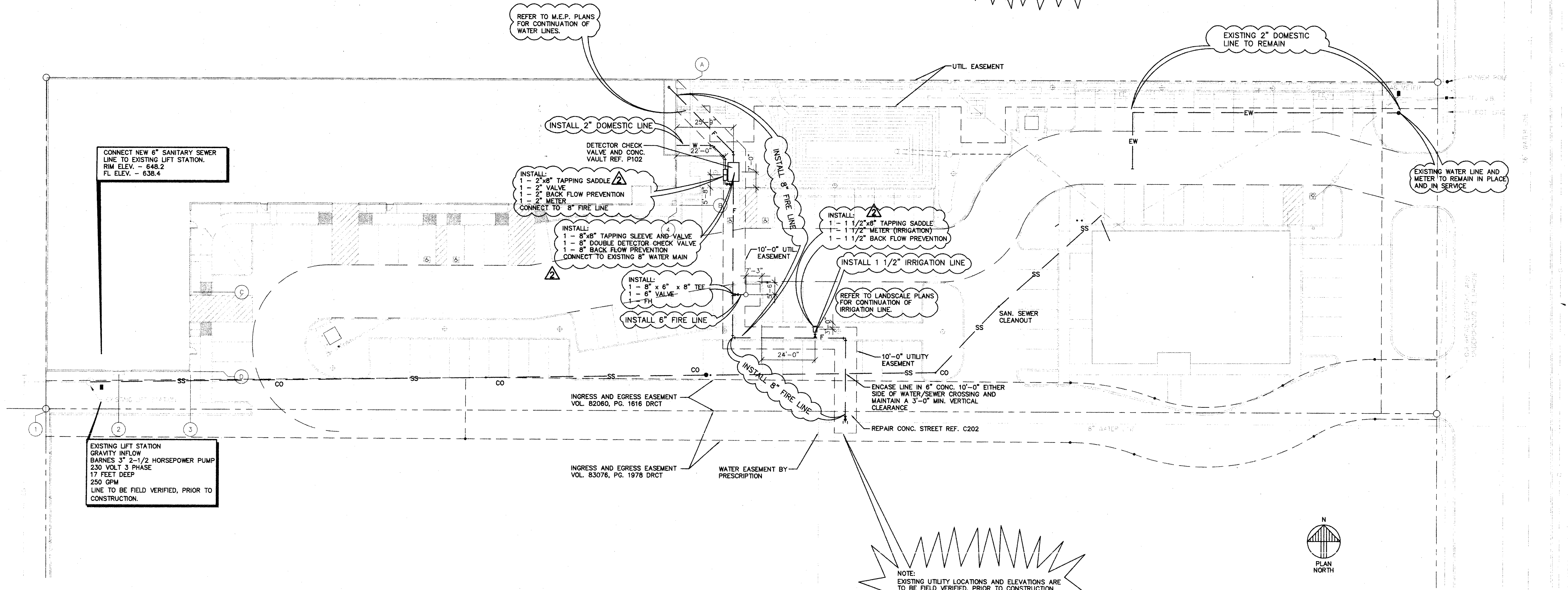
Date	Issued For / Description
11-1-99	T.D.L.R.
2-25-2000	100% ISSUED FOR CONSTRUCTION
6-9-2000	GENERAL REVISION

GRADING AND PAVEMENT PLAN  
 C-1



STREET REPAIR DTL. SCALE: 3/4"=1'-0" C202

CAUTION !! UNDERGROUND UTILITIES IN THIS AREA  
 CONTACT:  
 LONE STAR GAS 1-800-669-8344  
 SOUTHWESTERN BELL 1-800-395-0440  
 TEXAS UTILITY ELECTRIC (214) 812-7310  
 48 HOURS PRIOR TO CONSTRUCTION

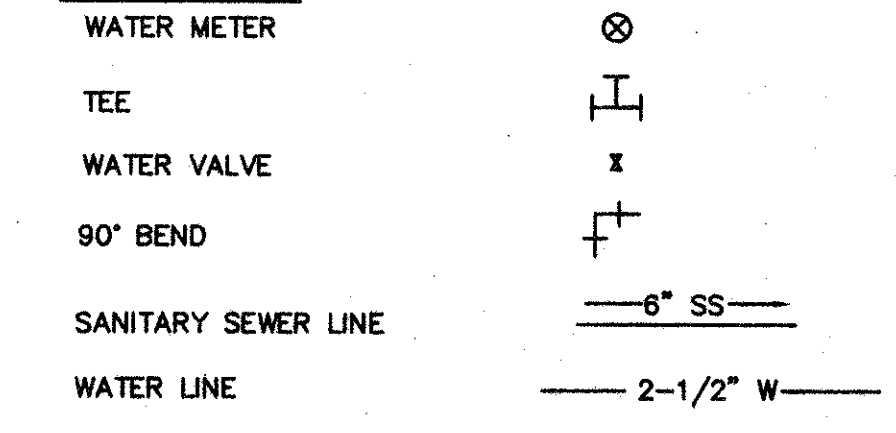


NOTE:  
 EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE FIELD VERIFIED, PRIOR TO CONSTRUCTION.

**UTILITY NOTES**

- 1) CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- 2) THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- 3) IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
- 4) ANY UTILITY INSTALLED OUTSIDE OF AN EASEMENT SHALL BE INSTALLED BY A LICENSED PLUMBER AND INSPECTED BY CODE ENFORCEMENT.
- 5) BACKFILL FOR UTILITY LINES SHALL BE 95% DENSITY STD. PROCTOR.
- 6) IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE BACKFILLED ONLY WITH QUALITY SELECT FILL.
- 7) WATER MAINS SHALL BE CLASS 50 OR 51 CEMENT LINED DUCTILE IRON; EXCEPT WHERE NOTED OTHERWISE. ALTERNATE: C900 PVC CLASS 200, DR-14, WATER PIPE.
- 8) ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48", OR SUFFICIENT COVER TO CLEAR OTHER UTILITIES AS MEASURED FROM TOP OF PIPE TO EXISTING GROUND LEVEL OR FINISHED GRADE, WHICHEVER IS GREATER.
- 9) ALL GATE VALVES SHALL BE CITY APPROVED.
- 10) CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, FIRE HYDRANTS, AND BENDS PER TOWN OF ADDISON STANDARDS.
- 11) FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
- 12) ALL WATER METERS TO BE PLACED IN A NON-TRAFFIC AREA.
- 13) SEWER PIPE SHALL BE MINIMUM SDR-35 PVC, OR ULTRA-RIB PVC. WHERE DEPTH OF COVER IS LESS THAN 3.5 FEET.
- 14) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES.

**LEGEND**

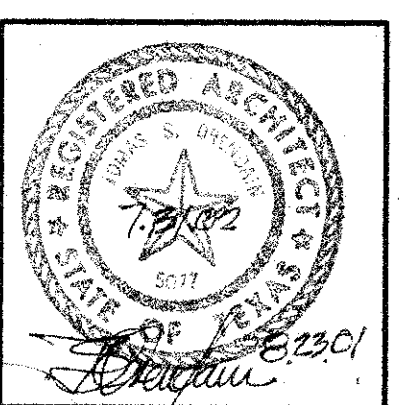


**AS - BUILT DRAWING**  
 DATE: 8-23-01  
 T.S. ORENDAIN ASSOC., INC.  
 Architecture • Planning • Interior Design  
 16835 Addison Road, Suite 101  
 Addison, Texas 75001 972-250-0119

UTILITY SITE PLAN SCALE: 1"=20'-0" C201

**AMO**  
 16835 ADDISON ROAD  
 SUITE 101  
 ADDISON, TX 75001  
 TEL: 972-250-3157  
 FAX: 972-250-3157

**ADDISON PARK CENTRE OFFICE/TECH./FLEX. PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS



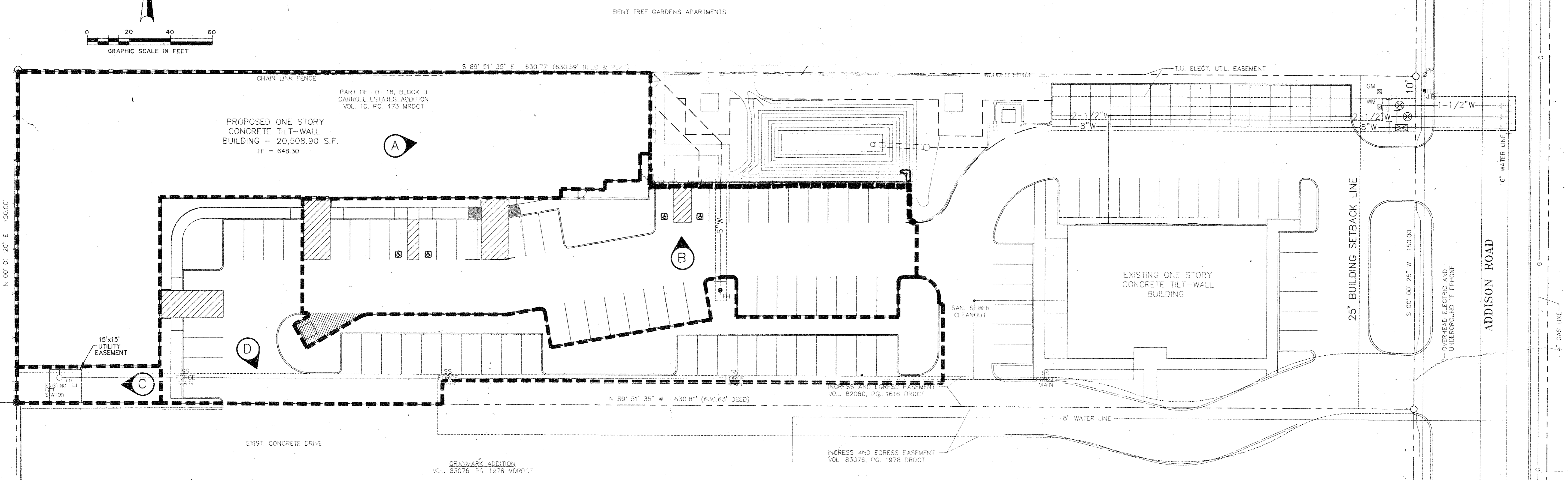
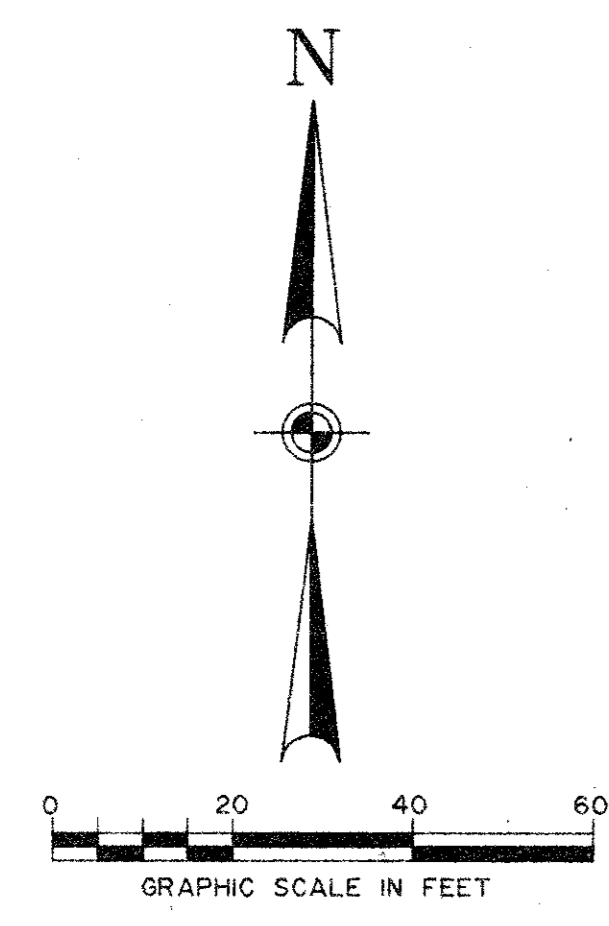
**to**  
 T.S. Orendain Associates Inc.  
 Architecture • Planning • Interior Design

16835 Addison Road  
 Suite 101  
 Dallas, Texas 75248  
 (972) 250-0119

JOB: 8398 DATE: 6-2-00  
 DRAWN: CHECKED:

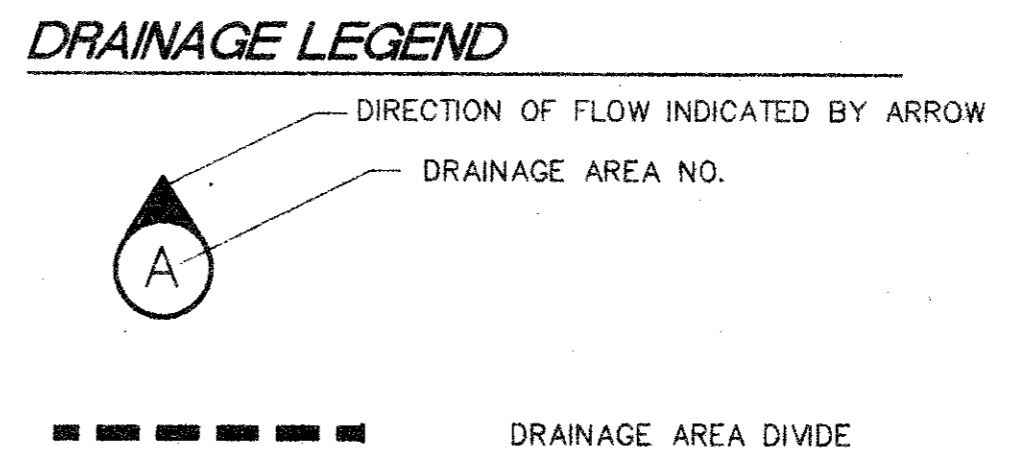
Date	Issued For / Description	T.D.L.R.
11-1-99	100% ISSUED FOR CONSTRUCTION	
2-25-2000	GENERAL REVISION	
6-9-2000	REVISION PER CITY COMMENTS	
9-11-2000		

UTILITY SITE PLAN



**DRAINAGE DATA TABLE**

DRAINAGE AREA NO.	AREA ACRES	C	$\frac{1}{100}$	$Q_{100}$ CFS	$T_c$	REMARKS
A	.48	.95	8.76	4.00	10	ROOF DRAIN TO DETENTION POND
B	.36	.90	8.76	3.00	10	TO DETENTION POND
C	.02	.50	8.76	.09	10	SHEET FLOW
D	.34	.90	8.76	2.68	10	SHEET FLOW TO PARKING LOT



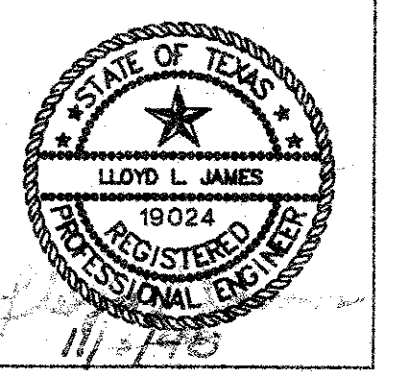
**DRAINAGE CRITERIA**

Q = CIA  
 C = 0.90  
 I<sub>avg</sub> = 8.76 in/hr  
 t<sub>c</sub> = 10 min.

**AS - BUILT DRAWING**  
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 Addison, Texas 75001 972-250-0119

**AMO**  
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 DALLAS, TEXAS 75248  
 TEL: 972-250-0119  
 FAX: 972-250-3157

**OFFICE WAREHOUSE PHASE I**  
 16835 ADDISON ROAD ADDISON, TEXAS



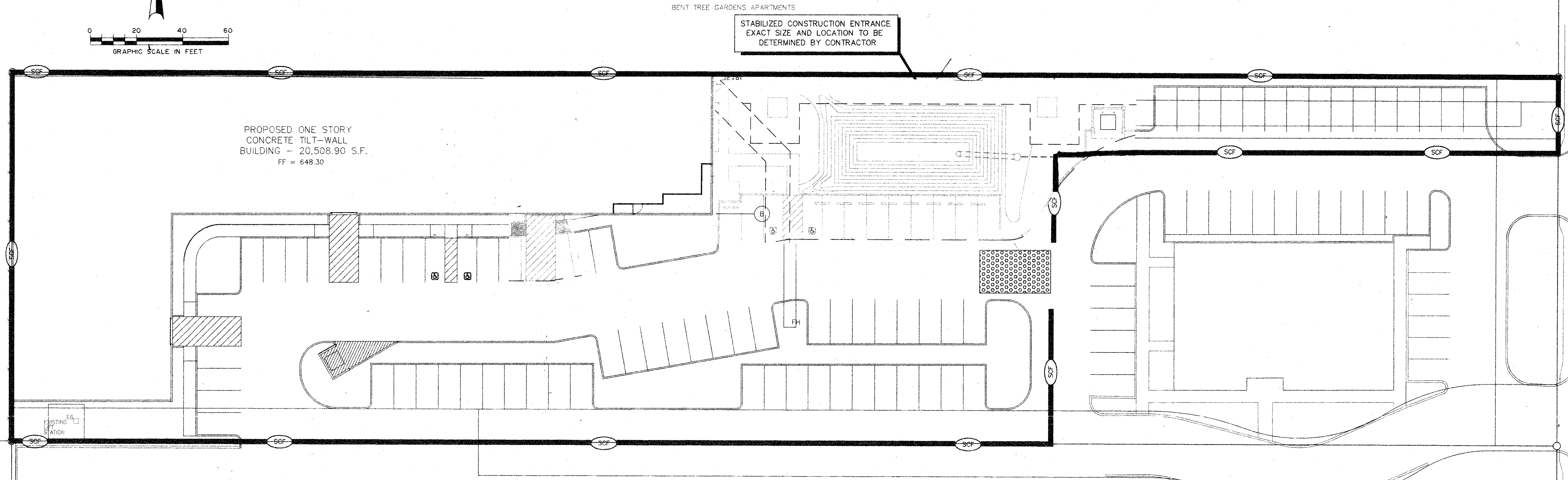
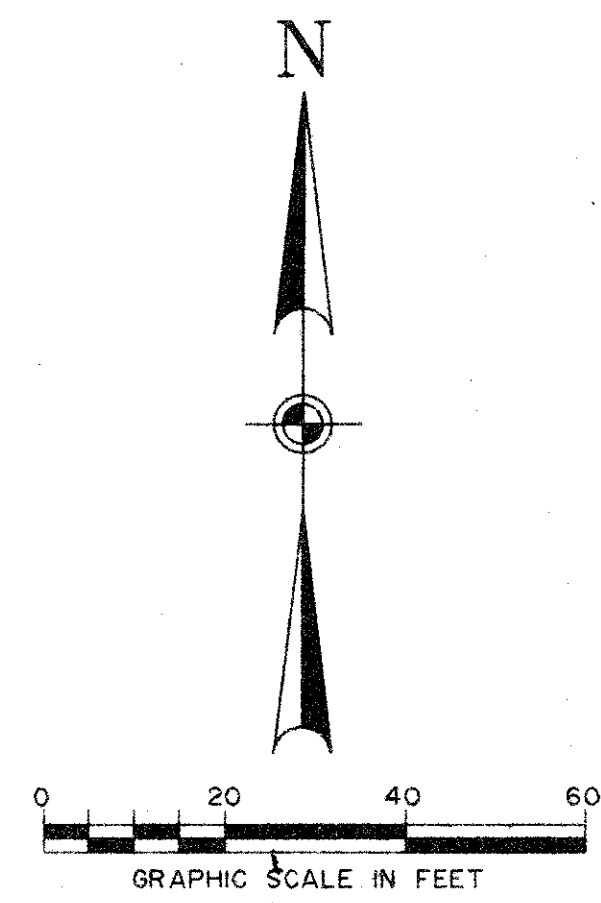
**to**  
 T.S. OREDAIN Associates Inc.  
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 Suite 101  
 Dallas, Texas 75248  
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JOB: 8396	DATE: 10-26-98
DRAWN:	CHECKED:

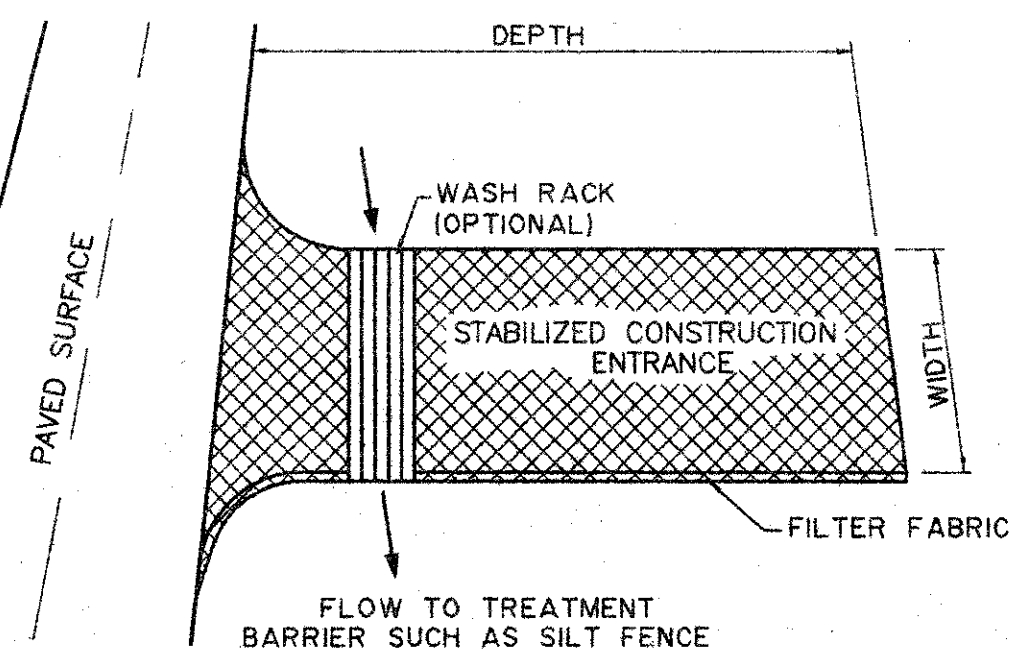
Date	Issued For / Description
11-1-99	TRDR
10-1-98	OCCT 15-1998

DRAINAGE PLAN



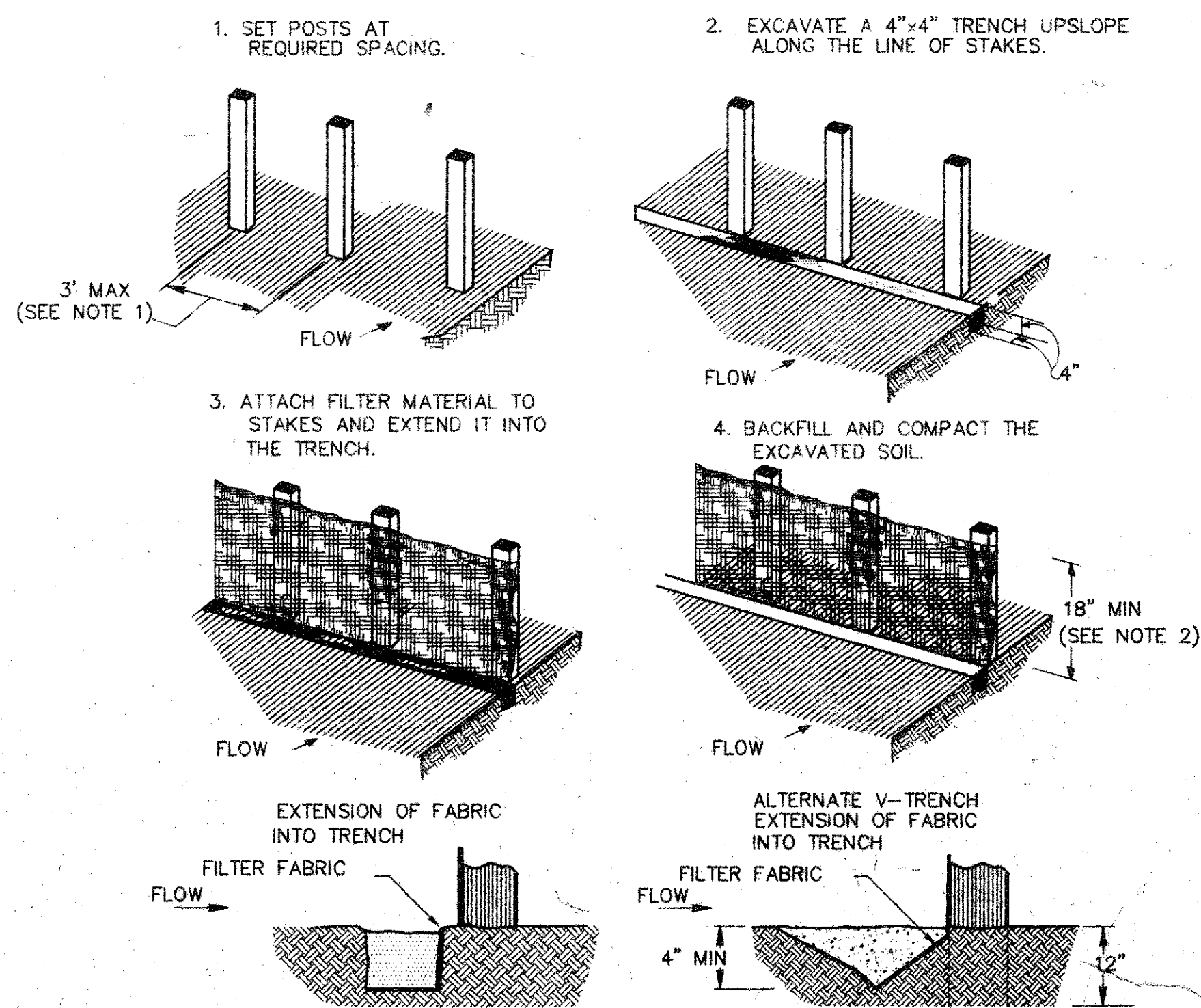
PROPOSED ONE STORY  
CONCRETE TILT-WALL  
BUILDING - 20,508.90 S.F.  
FF = 648.30

BENT TREE GARDENS APARTMENTS  
STABILIZED CONSTRUCTION ENTRANCE  
EXACT SIZE AND LOCATION TO BE  
DETERMINED BY CONTRACTOR

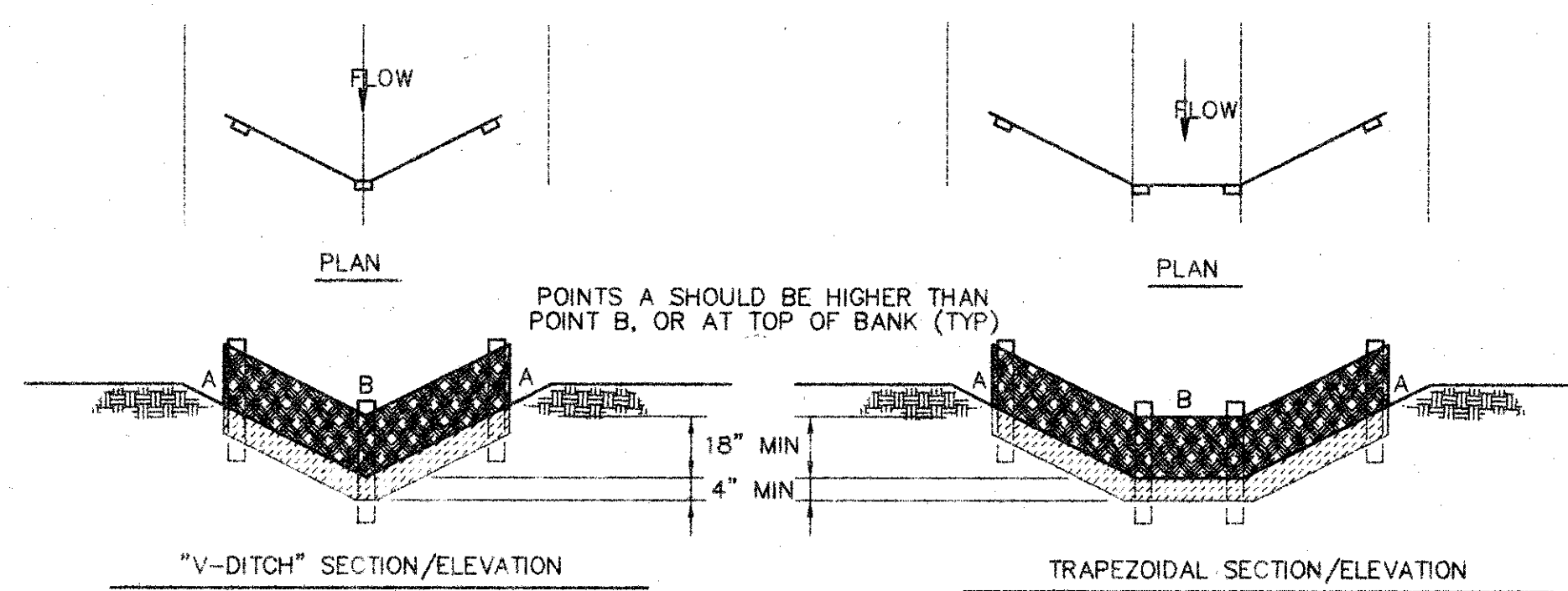


1. CONSTRUCTION ENTRANCE EXACT LOCATION TO BE DETERMINED BY THE CONTRACTOR.

**01 STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.



**02 SEDIMENT CONTROL FENCE**  
N.T.S.

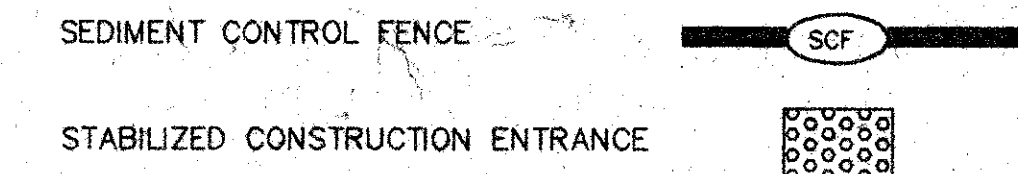


**CONSTRUCTION NOTES:**

1. 1 INCH THICK BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED A MIN OF 8 INCHES. IF PREASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MAX.
2. ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC FENCE SHALL HAVE A MIN HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 6 INCHES AT THE POSTS, AND FOLDED.

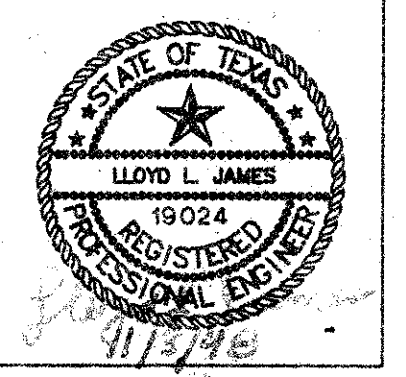
**AS - BUILT  
DRAWING**  
DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
Architects • Planning • Interior Design  
16835 Addison Road, Suite 101  
Addison, Texas 75002 972-250-0119

**EROSION CONTROL LEGEND**



**AMO**  
16835 ADDISON ROAD  
SUITE 101  
ADDISON, TEXAS 75248  
TEL: 972-250-0119  
FAX: 972-250-3157

**OFFICE WAREHOUSE  
PHASE I**  
16835 ADDISON ROAD ADDISON, TEXAS



**to**  
T.S. Orendain Associates Inc.  
Architects • Planning • Interior Design

16835 Addison Road  
Suite 101  
Addison, Texas 75248  
(972) 250-0119

JOB: 8396 DATE: 10-26-98  
DRAWN: CHECKED:

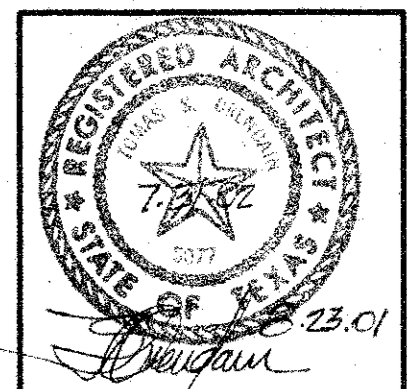
Date	By	Issued For / Description
11-11-99	TDLR	100% ISSUED FOR CONSTRUCTION
2-22-00		

EROSION CONTROL PLAN



**AMO**  
 16835 ADDISON ROAD  
 SUITE 101  
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 FAX: 972-250-3157

**ADDISON PARK CENTRE  
 OFFICE/TECH./FLEX.  
 PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS



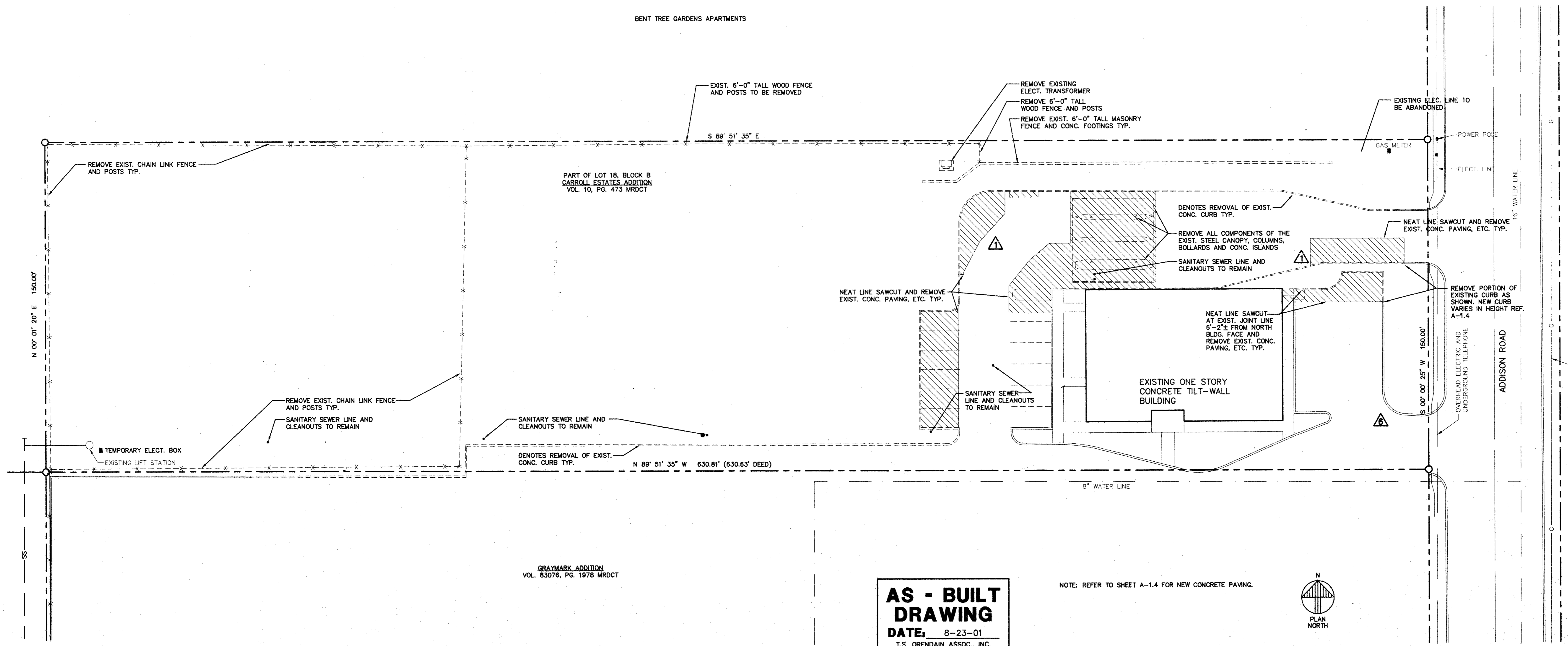
**to**  
 T.S. Orendain Associates Inc.  
 Architecture • Planning • Interior Design

16835 Addison Road  
 Suite 101  
 Addison, Texas 75001  
 (972) 250-0119

JOB: 8396 DATE: 2/25/2000  
 DRAWN: T.S.O. CHECKED: T.S.O.

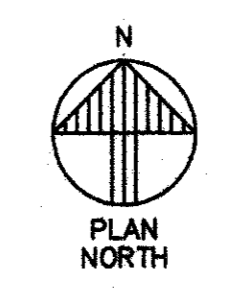
Date	Issued For / Description	By
9-30-98	PERMIT ISSUE	
11-1-99	T.O.L.R.	
2-25-2000	100% ISSUED FOR CONSTRUCTION	
6-9-2000	GENERAL REVISION	
12-4-2000	EAST PARKING REVISION	

SITE DEMOLITION PLAN



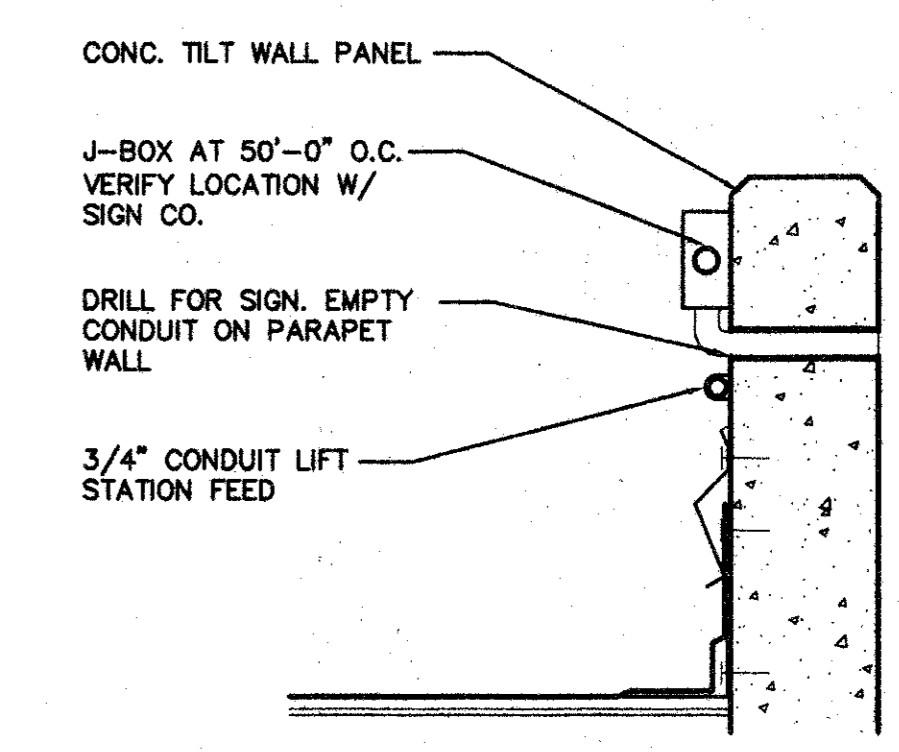
**AS - BUILT  
 DRAWING**  
 DATE: 8-23-01  
 T.S. OREDAIN ASSOC., INC.  
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 16835 Addison Road, Suite 101  
 Addison, Texas 75001 972-250-0119

NOTE: REFER TO SHEET A-1.4 FOR NEW CONCRETE PAVING.

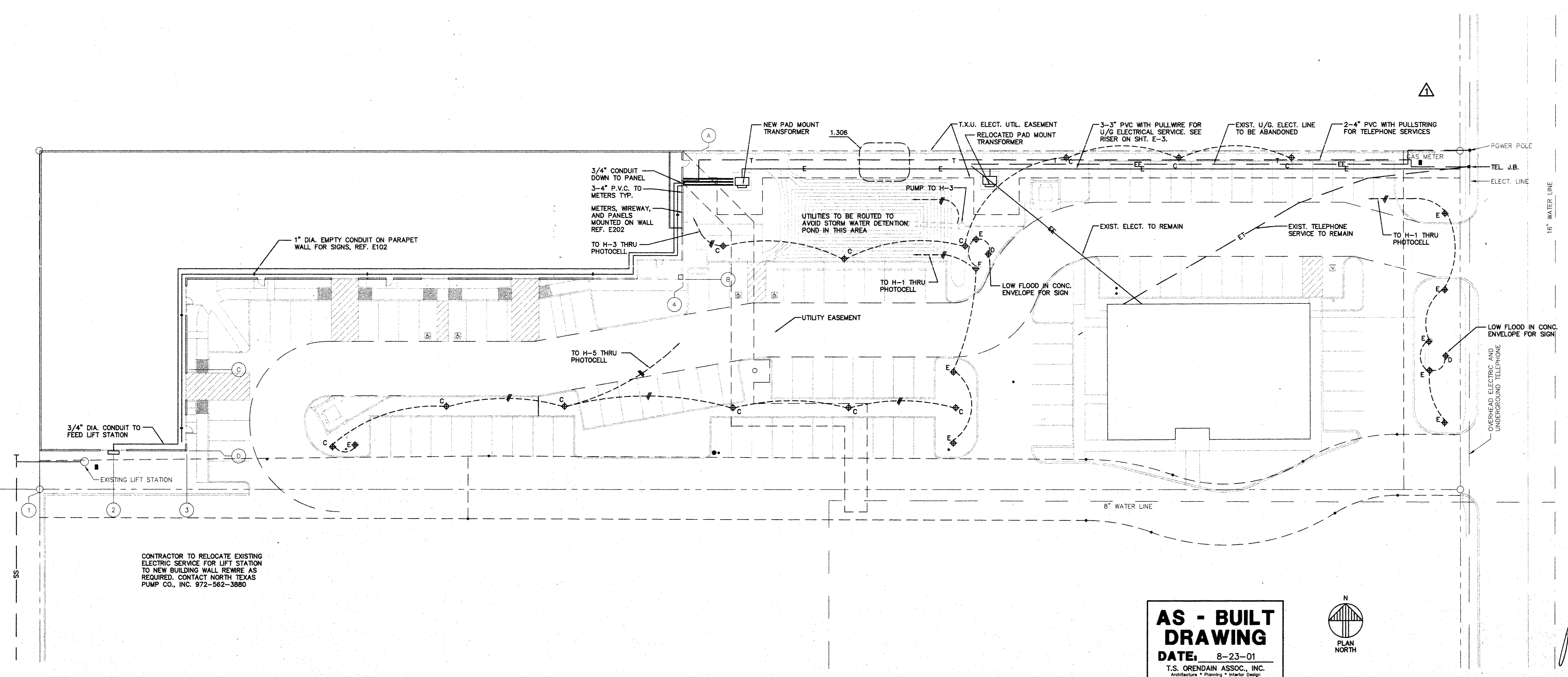


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 ADDISON, TX 75001  
 FAX: 972-250-3157

**ADDISON PARK CENTRE  
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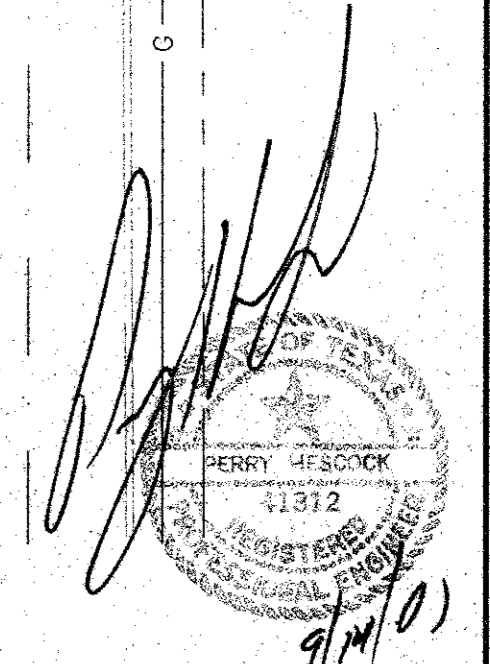
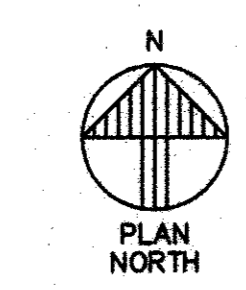


ELECT. DETAIL SCALE: 1 1/2"=1'-0" E102

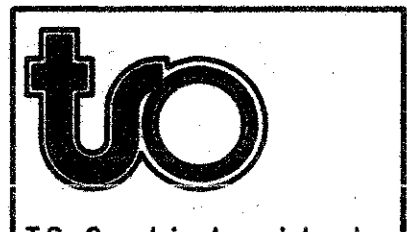


CONTRACTOR TO RELOCATE EXISTING ELECTRIC SERVICE FOR LIFT STATION TO NEW BUILDING WALL REMIRE AS REQUIRED. CONTACT NORTH TEXAS PUMP CO., INC. 972-562-3880

**AS - BUILT  
 DRAWING**  
 DATE: 8-23-01  
 T.S. OREDAIN ASSOC., INC.  
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 Addison, Texas 75001 972-250-0119



ELECTRICAL SITE PLAN SCALE: 1"=20'-0" E101



T.S. Orendain Associates Inc.  
 Architecture • Planning • Interior Design

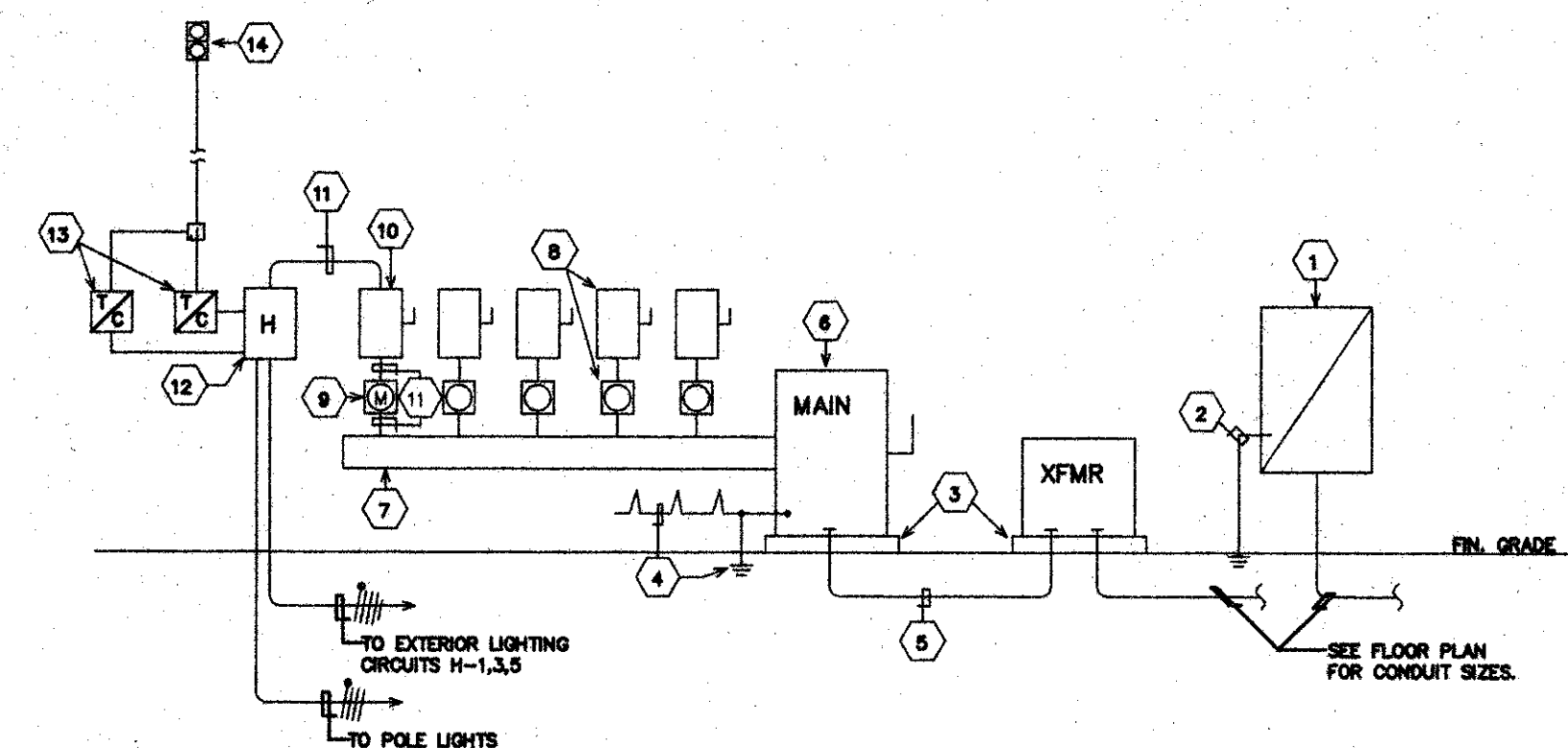
16835 Addison Road  
 Suite 101  
 Addison, Texas 75001  
 (972) 250-0119

JOB: 6396 DATE: 2/25/2000  
 DRAWN: CHECKED:

Date	By	Description
8-17-98		PERMIT ISSUE
11-1-99		T.O.L.R.
2-25-2000		100% ISSUED FOR CONSTRUCTION
6-9-2000		GENERAL REVISION

ELECTRICAL  
 SITE PLAN

PANELBOARD SCHEDULE: 'H'										SIEMENS 'S1' SERIES (NEMA BR ENCLOSURE)										
LOCATION: SIDE EXT WALL					BUS AMPERE RATING: 225 A					MAIN DEVICE: MLD					SHORT CIRCUIT DUTY, RMS SYM, kA @ 10					
MOUNTING SURFACE																				
LOAD	V-A	C/B	P	A	R	C	P	C/B	V-A	LOAD	V-A	C/B	P	A	R	C	P	C/B	V-A	
SITE LIGHTING	1050	1P/20A	1	X			2	1P/20A	900	RECEPTACLES										
SITE LIGHTING	1650	1P/20A	3	X			4	1P/20A	100	TIMECLOCK										
SITE LIGHTING	1050	1P/20A	5	X			6	1P/20A	100	FLOW SWITCH										
SPARE	0	1P/20A	7	X			8	1P/20A	1500	HEATING										
SPARE	0	1P/20A	9	X			10	1P/20A	1000	BLDG										
SPARE	0	BLANK	11	X			12	1P/20A	875	LITG										
SPARE	0	BLANK	13	X			14	BLANK	0	SPACE										
SPARE	0	BLANK	15	X			16	BLANK	0	SPACE										
SPARE	0	BLANK	17	X			18	BLANK	0	SPACE										
SPARE	0	BLANK	19	X			20	BLANK	0	SPACE										
SPARE	0	BLANK	21	X			22	1P/20A	0	SPACE										
SPARE	0	BLANK	23	X			24	1P/20A	0	SPACE										
CALCULATIONS:										LOAD ANALYSIS										
PHASE 'A' - DDD										4740										
PHASE 'A' - EVEN										2400										
PHASE 'A' - TOTAL										3450										
PHASE 'B' - DDD										1650										
PHASE 'B' - EVEN										1100										
PHASE 'B' - TOTAL										2750										
PHASE 'C' - DDD										1050										
PHASE 'C' - EVEN										975										
PHASE 'C' - TOTAL										2025										
V-A TOTAL										8225										

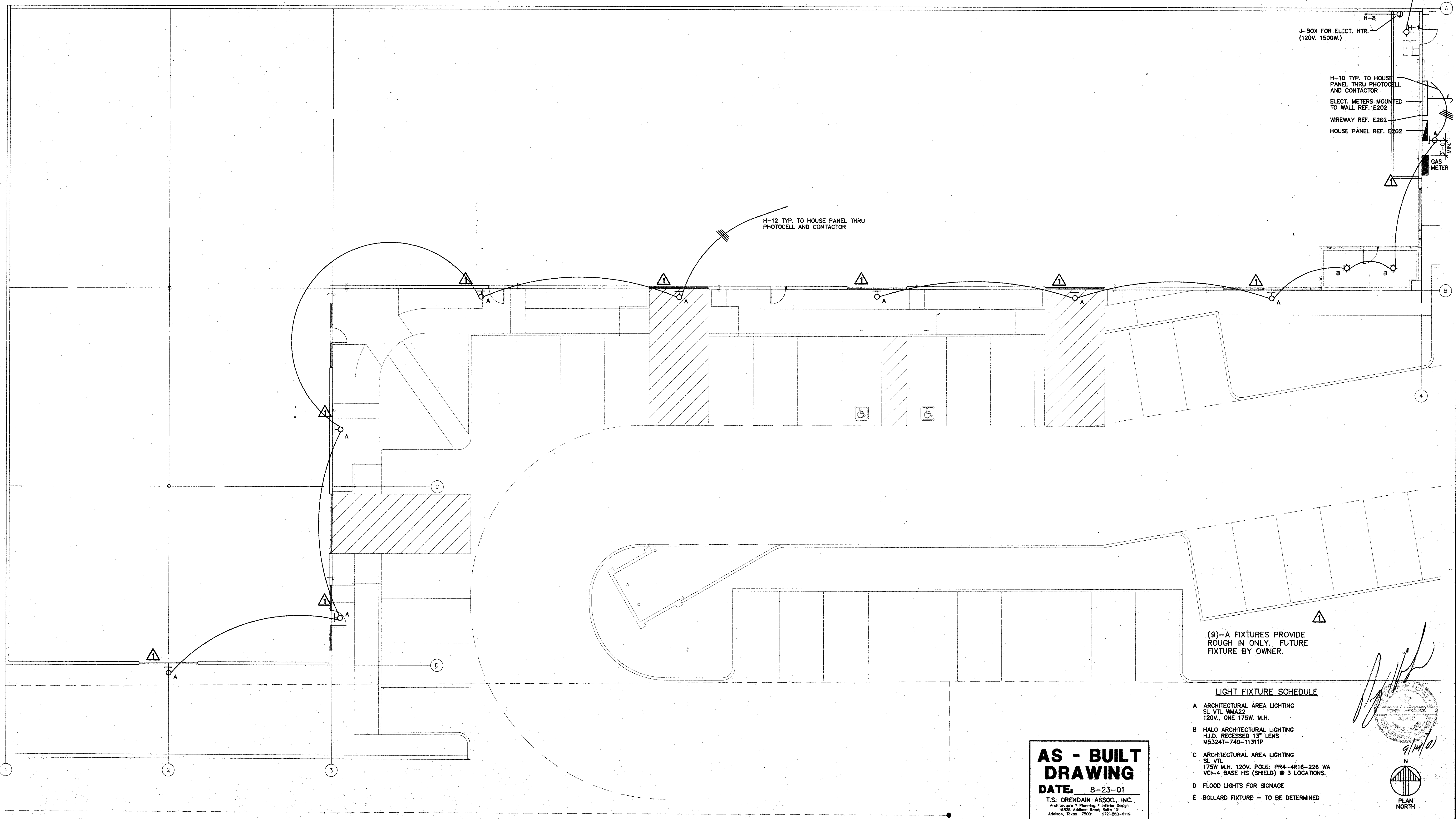


ELECTRICAL RISER DIAGRAM  
NO SCALE

- KEY NOTES TO RISER
- 24"X48"X1/2" WEATHERPROOF TELEPHONE ENCLOSURE WITH GASKETED LOCKABLE ACCESS DOOR, & 1/2" GRADE PLYWOOD BACKGROUD (OF SAME SIZE INSIDE).
  - #6 CU. TO MAIN BUILDING GROUND.
  - 4" CONCRETE HOUSEKEEPING PAD.
  - GROUNDING, BONDING, & GROUNDING ELECTRODE SYSTEM PER NEC 250. MINIMUM GROUNDING ELECTRODE CONDUCTOR #3/0 CU. 3/4" DIAMETER 10' COPPER GROUND ROD.
  - THREE #10 (PC OR R.G.C.) EACH WITH 4/8" THIN CU. (OR 4/8" HOLE THIN AL).
  - 600A/100A/3P MAIN FUSED SWITCH. S.E. LABEL WITH GROUNDING KIT.
  - 8"X18" LENGTH REQUIRED WEATHERPROOF WIREWAY WITH GASKETED ACCESS COVER.
  - TYPICAL FUTURE TENANT SERVICE DISCONNECT SWITCH & METER.
  - METER BASE BY ELECTRICAL CONTRACTOR TO POWER COMPANY SPECIFICATIONS. METER BY POWER COMPANY.
  - 100A/100A/3P FUSED WEATHERPROOF S.E. LABEL MAIN DISCONNECT SWITCH FOR OWNER'S PANEL 'Y'.
  - 4/8" THIN CU. & 1/8" CU. GROUND, 1 1/4" R.G.C.
  - OWNER'S PANEL 'Y'. SEE PANEL SCHEDULE.
  - TIMELOCK FOR EXTERIOR LIGHTING. SEVEN-DAY, SUNDAY TYPE.
  - PHOTOCELL MOUNTED ON ROOF FACING NORTH.

ELECTRICAL LOAD CALCULATION - SHELL BUILDING			
JOB NAME:	AMO OFFICE/WAREHOUSE	PHA JOB #	7869-97
SQUARE FOOT AREA:	21318		
	LIGHTING @ 3W./S.F.		78942.5
	RECEPTACLES @ 1W./S.F.		20159
	MISCELLANEOUS LOAD @ 2W./S.F.		42636
	HVAC @ 8W./S.F.		34108.8
	WINDOW LINEAR FOOT		
	SHOW WINDOW: 200W./L.F.		0
		TOTAL CALC. LOAD	178846.3
		178846.3 / (208V X SQ. ROOT OF 3) =	491.2397222 AMPS
		SERVICE SIZE:	600A.
			120/208V., 3PH., 4W.

ELECTRICAL RISER DIAGRAMS AND SCHEDULES SCALE: NONE E202



- LIGHT FIXTURE SCHEDULE
- A ARCHITECTURAL AREA LIGHTING SL. VTL. WMA22 120V., ONE 175W. M.H.
  - B HALO ARCHITECTURAL LIGHTING H.I.D. RECESSED 13" LENS M5324T-740-11311P
  - C ARCHITECTURAL AREA LIGHTING SL. VTL. 175W. M.H. 120V. POLE: PR4-4R16-226 WA VOI-4 BASE HS (SHIELD) @ 3 LOCATIONS.
  - D FLOOD LIGHTS FOR SIGNAGE
  - E BOLLARD FIXTURE - TO BE DETERMINED

**AS - BUILT DRAWING**  
DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
Architecture • Planning • Interior Design  
16835 Addison Road, Suite 101  
Addison, Texas 75001 972-250-0119

ELECTRICAL FLOOR PLAN SCALE: 1/8"=1'-0" E201

**AMO**  
16835 ADDISON ROAD  
SUITE 101  
ADDISON, TX 75001  
TEL: 972-250-0119  
FAX: 972-250-3197

**ADDISON PARK CENTRE  
OFFICE/TECH./FLEX.  
PHASE 1**  
16835 ADDISON ROAD ADDISON, TEXAS

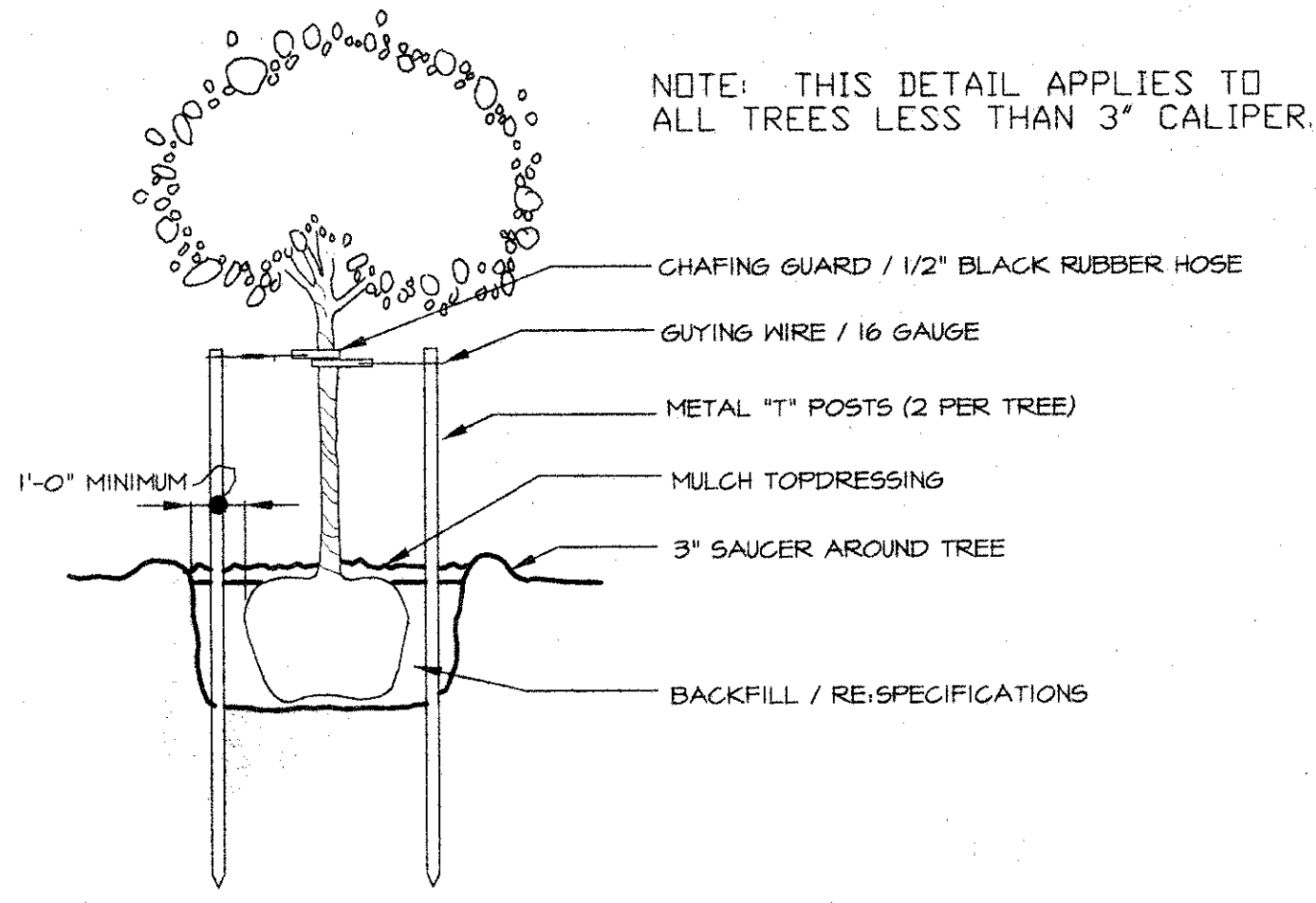
**to**  
T.S. Orendain Associates Inc.  
Architecture • Planning • Interior Design

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Addison, Texas 75001  
(972) 250-0119

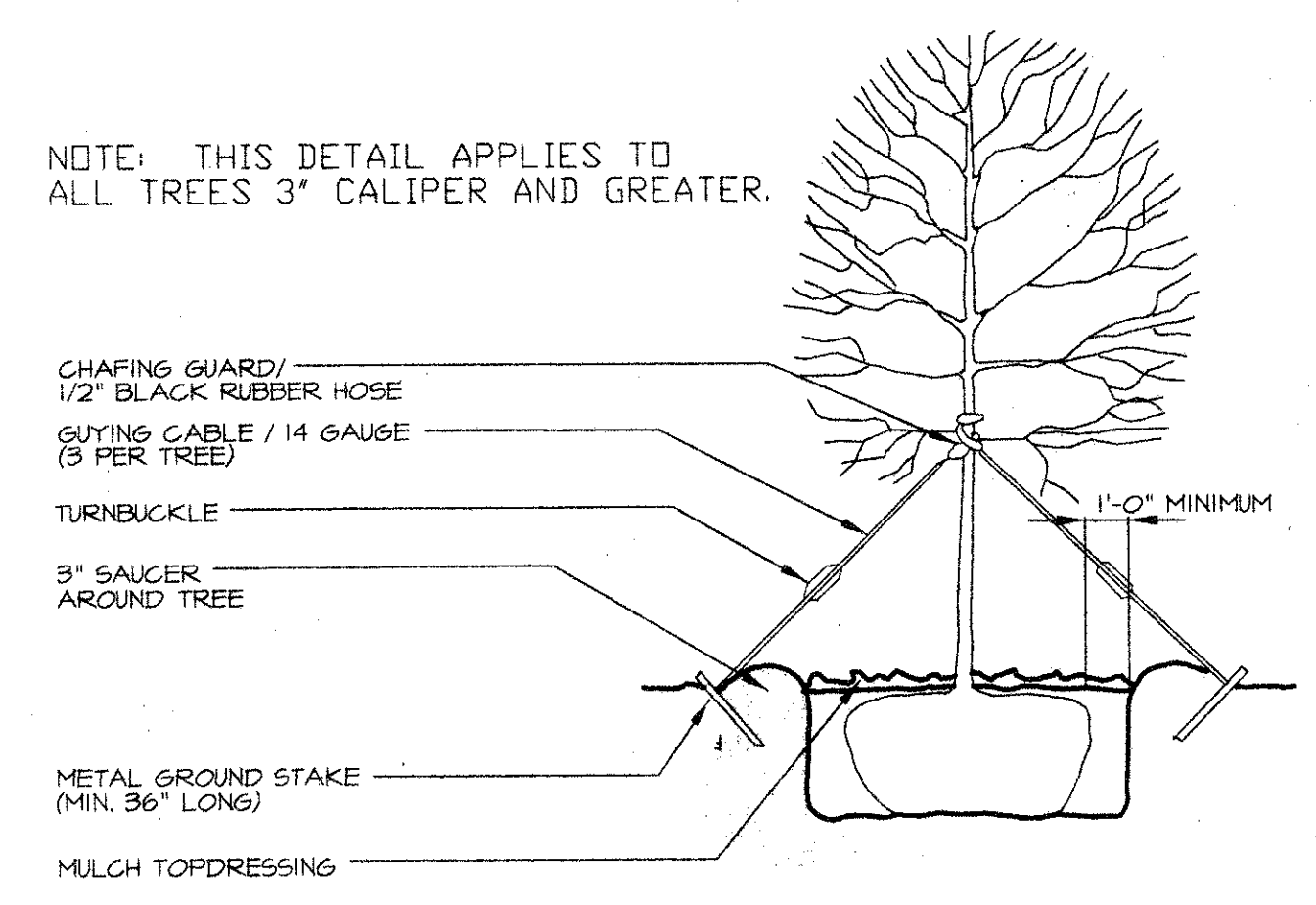
JOB: 8396 DATE: 2/25/2000  
DRAWN: CHECKED:

Date	Issued For / Description	Permit Issue	T.D.L.R.
8-17-98			
11-1-99			
2-25-2000	100% ISSUED FOR CONSTRUCTION		
8-9-2000	GENERAL REVISION		

ELECTRICAL RISER DIAGRAM AND SCHEDULES, ELECTRICAL FLOOR PLAN



**B TREE STAKING DETAIL**  
SCALE: N.T.S.



**C TREE GUYING DETAIL**  
SCALE: N.T.S.

**PLANT LIST**

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LO	9	LIVE OAK	Quercus virginiana	Minimum 4" caliper, minimum 15' Ht. and 8" spread.	Nursery-grown B4B, containerized or container-grown, full heads, matched.
BC	6	BALD CYPRESS	Taxodium distichum	Minimum 4" caliper, minimum 14' Ht. and 7" spread.	Nursery-grown B4B, containerized or container-grown, full heads, matched.
CP	16	CHINESE PISTACHE	Platanus chinensis	Minimum 4" caliper, minimum 14' Ht. and 7" spread.	Nursery-grown B4B, containerized or container-grown, full heads, matched.
P	13	RED TIP PACHINA	Pachira fraseri	5 gallon minimum, 30" Ht. and 15" spread	Full-to-ground plant 30" o.c.
DBH	22	DWARF BURFORD HOLLY	Ilex cornuta Burfordiana	5 gal. min. 20" Ht. and 14" spread	Full-to-ground, plant 24" o.c.

- GENERAL NOTES:**
- Quantities shown on Plant List are Landscape Architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on plans regardless of quantities designated on Plant List.
  - Contractor shall notify Landscape Architect of any discrepancies, ambiguity, or unlabeled plants on plans prior to bid submittal. If discrepancy, ambiguity or unlabeled plant is not clarified by Landscape Architect prior to bid submittal date, Contractor shall note such item on bid.
  - Contractor shall provide representative samples (minimum 3 each variety) of shrub and groundcover stock for Landscape Architect's and/or Owner's approval prior to major shipment of materials to site.
  - After tilage and clearing, all areas to be graded shall be leveled, and fine graded. The required result shall be the elimination of ruts, depressions, humps, and objectionable soil clods. During the soil preparation process, a "Rock Pick" or "Rock Rake" shall be used to gather surface stones as small as one inch (1") in diameter.
  - Grass areas to be either hydromulch Bermuda or perennial Ryegrass, depending on date of planting. Hydromulch grass shall not be applied prior to May 15 nor after August 15 nor at any time the soil temperature is less than 70° F. If grassing is to occur after August 15 or before May 15, Contractor shall include perennial Ryegrass seed with an alternate price to return the following Spring (after May 15) to scalp Ryegrass and re-hydromulch with Bermuda, guaranteeing a full stand of grass.
  - Contractor shall guarantee a full stand of grass, regardless of whether a permanent landscape irrigation system is installed. Contractor shall provide temporary irrigation or hand water as required for turf establishment.
  - Soil amendment to be "Compost" as produced by Living Earth Technology (Phone: 214-889-4332), or approved equal.
  - Tree holes to be excavated 2' greater than ball diameter and 6" deeper. Backfill with 2/3 existing soil and 1/3 Compost (or approved equal) as noted under note 7 above, thoroughly blended by mechanical means prior to backfill.
  - Shrub pits shall be excavated 12" greater than container diameter and 6" deeper. Backfill with 1/2 existing soil and 1/2 Compost (or approved equal) as noted under note 7 above, thoroughly blended by mechanical means prior to backfill.
  - Mulch topdressing to be minimum 2" layer shredded hardwood, spread uniformly on all shrub and groundcover beds and on all tree saucers.
  - Bed edging (if applicable) to be 1/8"x4" Ryerson "Estate" edging as manufactured by Joseph Ryerson Co., Inc. Houston, Texas (phone: 713.673.6111), or approved equal.
  - All holes for trees and large shrubs shall be tested for water retention prior to tree or shrub installation. After hole is excavated, it is to be filled with water to the top of the excavation. If, after 24 hours, the hole still holds water, the Contractor shall excavate an additional 6" from the bottom of the hole. The Landscape Contractor shall then install 5" of native washed gravel covered on the top (top up to a minimum of 12" on the sides of the hole) with filter fabric. The Contractor shall also install a capped 3" diameter PVC sump which will extend from near the bottom of the rock layer to 3" above the proposed finish grade so the hole can be evacuated through mechanical means.
  - All planting (trees, shrubs, groundcover, and/or grass as applicable, to be guaranteed for a period of one year after Final Acceptance.

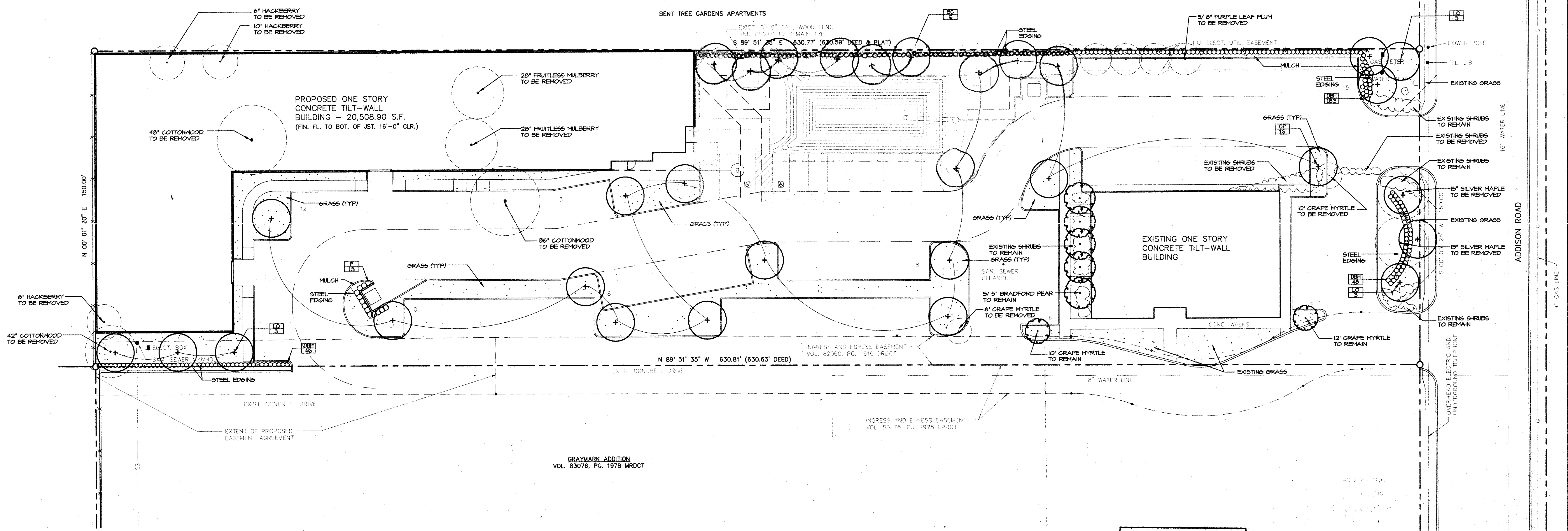
**D SHRUB PLANTING DETAIL**  
SCALE: N.T.S.

**E STEEL EDGING**  
SCALE: N.T.S.

**LANDSCAPE REQUIREMENTS**

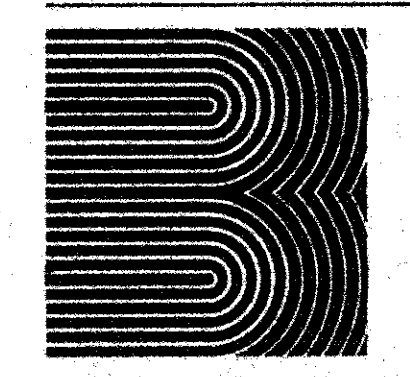
TOTAL LOT SIZE = 94,618.3 S.F. TOTAL LANDSCAPE AREA = 19,029.65 S.F.		
CATEGORY	REQUIRED	PROVIDED
OVERALL LANDSCAPE AREA	20% OF TOTAL LOT	20.11% OF TOTAL LOT 19,029.65 S.F.
20' LANDSCAPE BUFFER=102 L.F. (Not including Drive Cuts)	1 LARGE TREE AND 8 SHRUBS FOR EACH 20' L.F. OF FRONTAGE = 5 LARGE TREES (OR 2 FOR 1 ORNAMENTAL TREES) AND 40 SHRUBS	5 LARGE TREES, 48 NEW SHRUBS AND 16 EXISTING SHRUBS
PARKING LOT PERIMETER LANDSCAPING NORTH=343 L.F. SOUTH= VARIANCE	1 LARGE TREE AND 8 SHRUBS FOR EACH 35 L.F. OF PERIMETER NORTH=10 TREES & 80 SHRUBS SOUTH= VARIANCE	NORTH=10 TREES AND 159 SHRUBS SOUTH= VARIANCE
PARKING LOT SCREENING	DOUBLE ROW OF SHRUBS	DOUBLE ROW OF SHRUBS
PARKING SPACES TOTAL SPACES=108	11 LARGE TREES (1 LARGE TREE PER 10 SPACES AND NO SPACE FURTHER THAN 50' FROM A TREE)	14 LARGE TREES
INTERIOR PARKING LOT LANDSCAPING 46,904 S.F. TOTAL PARKING PAVING	5% OF TOTAL PARKING AREA (2345 S.F.)	13.5% PARKING AREA 6348 S.F.

TOTAL SITE AREA: 94,618.3 S.F.  
EXISTING BUILDING AREA: 5,400 S.F.  
PROPOSED BUILDING AREA: 21,318.08 S.F.  
TOTAL BUILDING AREA: 26,718.08 S.F.  
PARKING RATE: 1/300 S.F.  
TOTAL PARKING REQUIRED: 89  
TOTAL PARKING PROVIDED: 108  
TOTAL LANDSCAPE AREA: 19,029.65 S.F.  
LANDSCAPE RATIO: 20.11%



**A LANDSCAPE PLAN**  
SCALE: 1"=20'

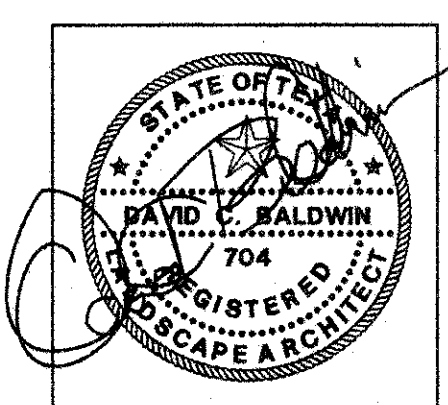
**AS - BUILT DRAWING**  
DATE: 6-23-01  
T.S. OREDAIN ASSOC., INC.  
Architecture • Planning • Interior Design  
1833 Addison Road, Suite 101  
Addison, Texas 75001 972-250-0118



David C. Baldwin, Inc. 5744 Richmond Avenue  
Dallas, Texas 75206  
Landscape Architecture and Planning Ph: 214/821-8100  
Fax: 214/824-5562

CRITERION PRODUCTIONS  
The Key Building  
3311 West Loop West, Suite 100  
Dallas, Texas 75205  
TEL: (972) 907-2344  
FAX: (972) 234-3803

**OFFICE WAREHOUSE PHASE I**  
16635 ADDISON ROAD ADDISON, TEXAS



**to**  
T.S. Orendain Associates, Inc.  
Architecture • Planning • Interior Design

16635 Addison Road  
Suite 101  
Dallas, Texas 75248  
(972) 250-0119

JOB: 8396 DATE: 6/22/98  
DRAWN: CHECKED:

Issued / Revised	
Date	11.7.99 - JDLR

SHEET DESCRIPTION  
**LANDSCAPE PLAN**



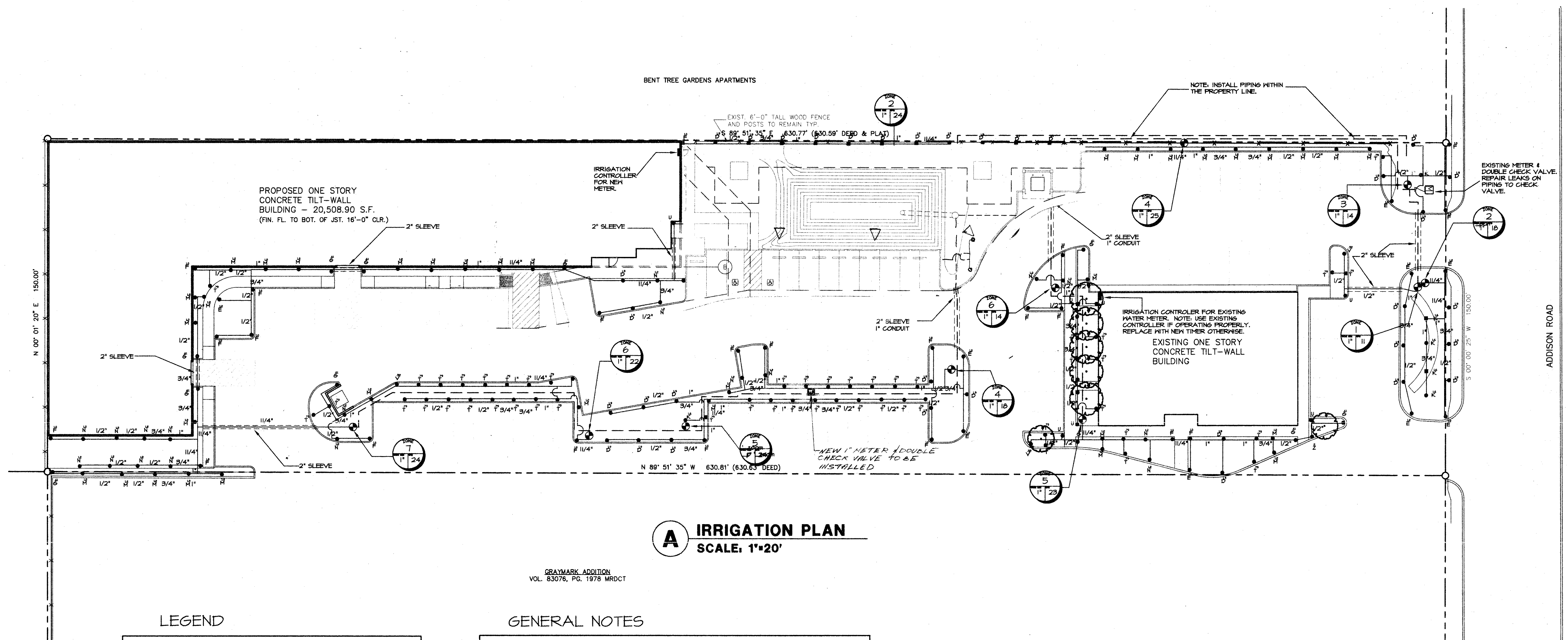
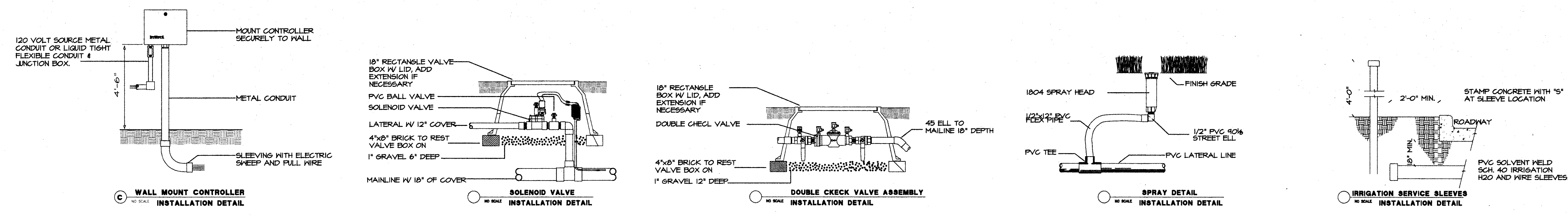
**to**  
T.S. Orendain Associates Inc.  
Architects • Planning • Interior Design

16835 Addison Road  
Suite 101  
Dallas, Texas 75248  
(972) 250-0119

JOB: 6396 DATE: 6/22/98  
DRAWN: CHECKED:

Issued / Revised	
Date	11/19/99 TDR

SHEET DESCRIPTION  
IRRIGATION PLAN



**A IRRIGATION PLAN**  
SCALE: 1"=20'

GRAYMARK ADDITION  
VOL. 63076, PG. 1978 MROCT

**LEGEND**

- TORO 510Z-4P SERIES 4" POP-UP
- TORO 510Z-12P SERIES 12" POP-UP
- ▲ HUNTER PGP-ADJ-07 POP-UP PART CIRCLE ROTOR
- ⊙ IRRI-TROL 700 SERIES ELECTRIC VALVE SIZED AS SHOWN ON THE PLAN.
- CLASS 200 2 1/2" PVC MAINLINE PIPING
- CLASS 200 PVC LATERAL LINE- SIZE AS SHOWN UNTIL A SMALLER SIZE IS SHOWN.
- PVC SCH. 40 PIPE SLEEVES- SIZE AS SHOWN ON THE DRAWING.
- CONTROLLER-IRRI-TROL RD400-INT-4 STATION WALL MOUNT IRRIGATION CONTROLLER AS SHOWN INSTALL A MINI-CLIK RAIN AND FREEZE SENSOR. GROUND AS RECOMMENDED BY THE MANUFACTURE. SLEEVE TO AS REQUIRED.
- Z BACKFLOW PREVENTER-3/4" DOUBLE CHECK VALVE TYPE.
- M METER 1"-SYSTEM DEMAND IS 25 GPM AT 60 PSI.

**GENERAL NOTES**

- 1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- 2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- 3) ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- 4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG. WALLS.
- 5) THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- 6) ALL CONTROL WIRE SHALL BE UF-141 DIRECT BURIAL CABLE, ALL SPLICES SHALL BE MADE USING DBY-3M WATER-PROOF CONNECTORS.
- 7) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL IRRIGATION INSTALLATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAYBE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- 8) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- 9) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- 10) ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 12" FROM ANY SIDEWALK, PATIO OR ROAD.
- 11) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 12) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- 13) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- 14) ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION BY OTHERS.

**NOZZLE CHART**

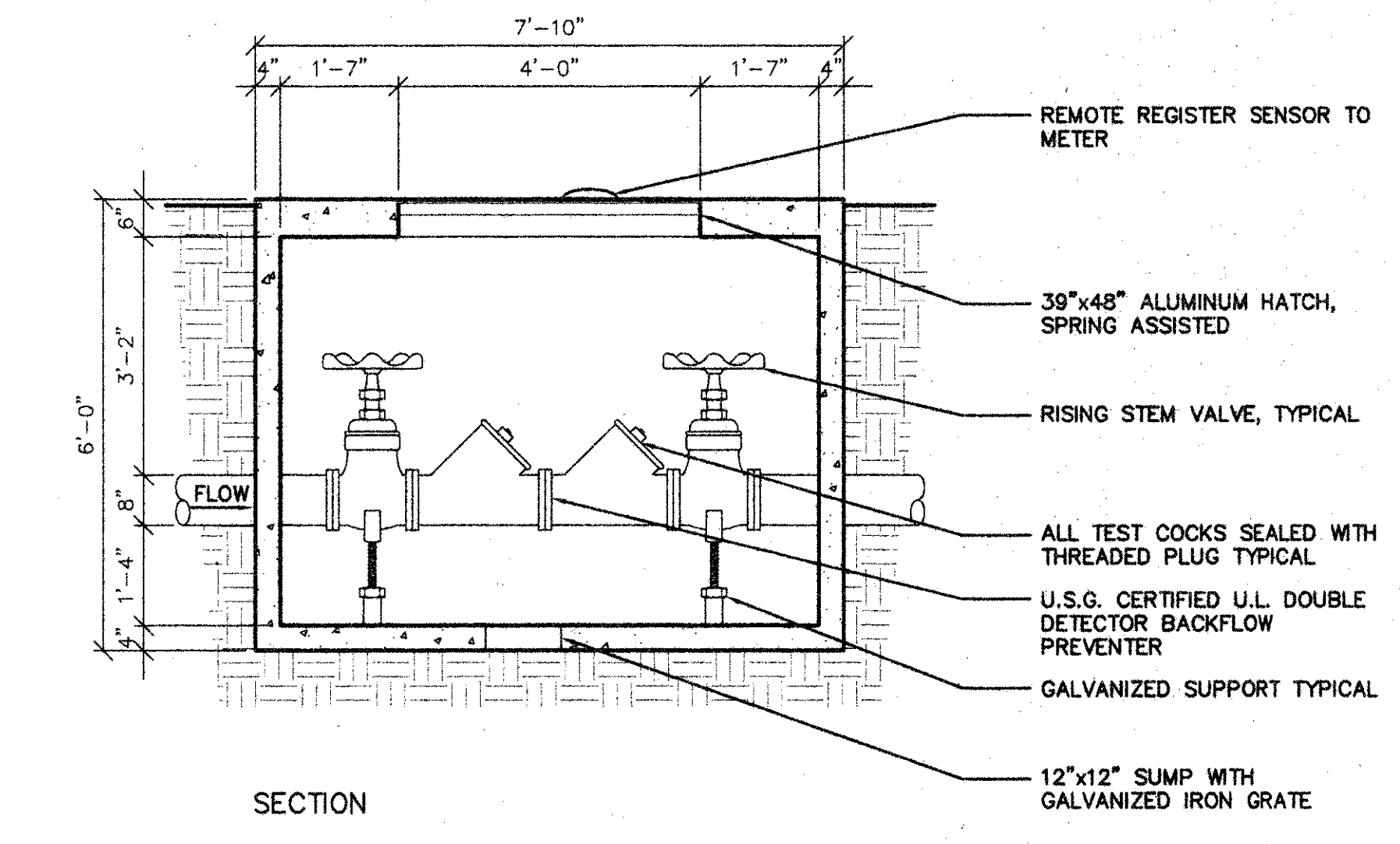
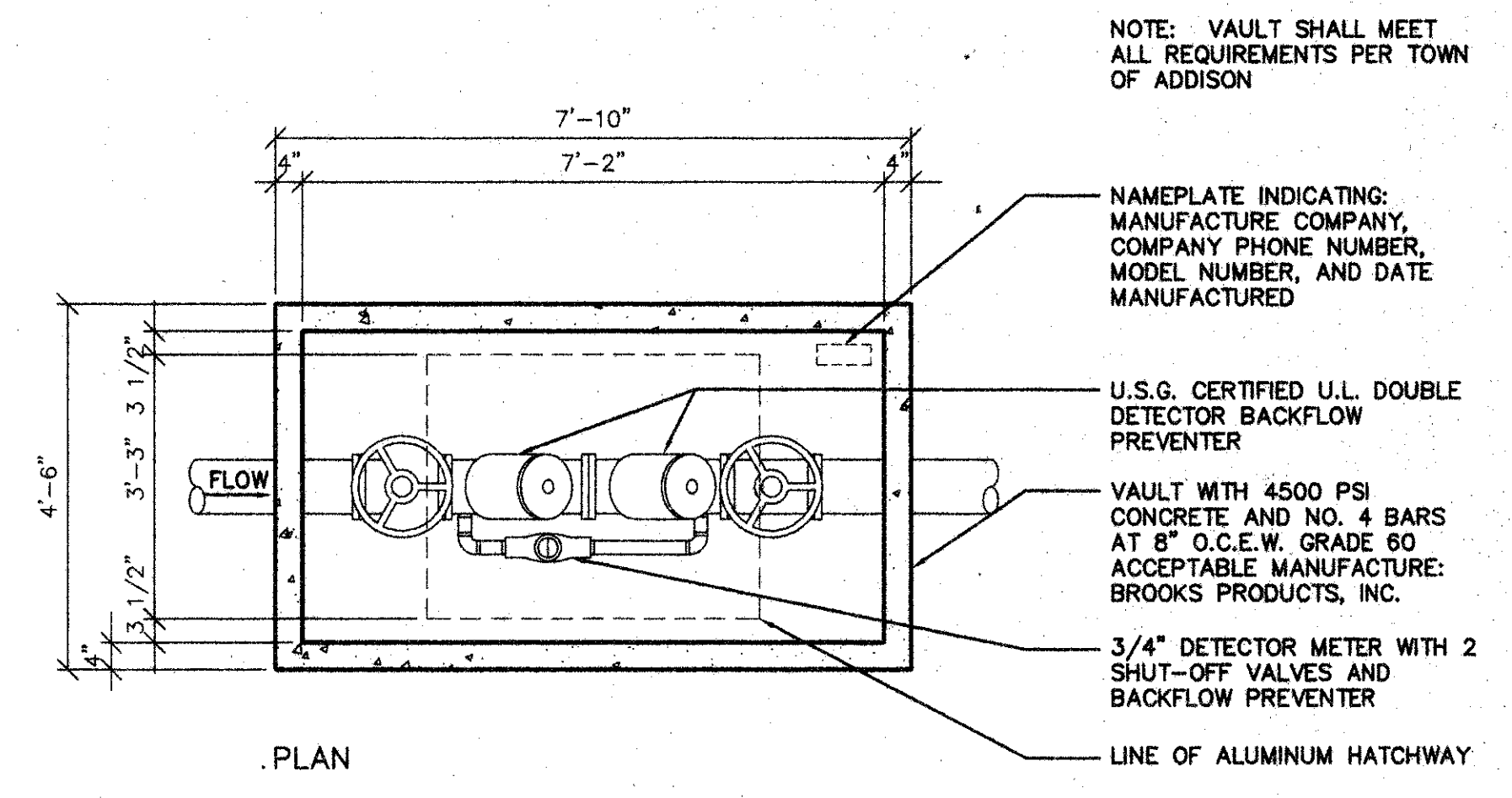
LETTER	MODEL	GMP AT 30 PSI	RADIUS	PATTERN
A	15-F	3.6	15'	FULL
B	15-TG	2.6	15'	THREE QTR.
C	15-TT	2.2	15'	TWO THIRD
D	15-H	1.65	15'	HALF
E	15-T	1.1	15'	ONE THIRD
F	15-Q	.85	15'	QUARTER
G	4-EST	.45	4' X 15'	END STRIP
H	4-CST	.40	4' X 30'	CENTER STRIP
J	5B-2-100	.90	5'	STRIP BUBBLER
K	12-F	2.14	12'	FULL
L	4-5ST	1.2	4' X 15'	SIDE STRIP
M	4-5ST	.40	4' X 30'	SIDE STRIP
N	12-H	1.04	12'	LOW GALLONAGE
P	12-T	.72	12'	LOW ONE THIRD
R	12-Q	.50	12'	LOW QUARTER
S	10-F	1.44	10'	FULL
T	10-H	.71	10'	HALF
U	10-Q	.30	10'	QUARTER
V	10-T	.52	10'	ONE THIRD
W	8-F	.30	8'	FULL
X	8-H	.50	8'	HALF
Y	8-T	.30	8'	ONE THIRD
Z	V-15	VARIES	15'	ADJUSTABLE

**AS - BUILT DRAWING**  
DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
Architects • Planning • Interior Design  
16835 Addison Road, Suite 101  
Addison, Texas 75001 972-250-0119

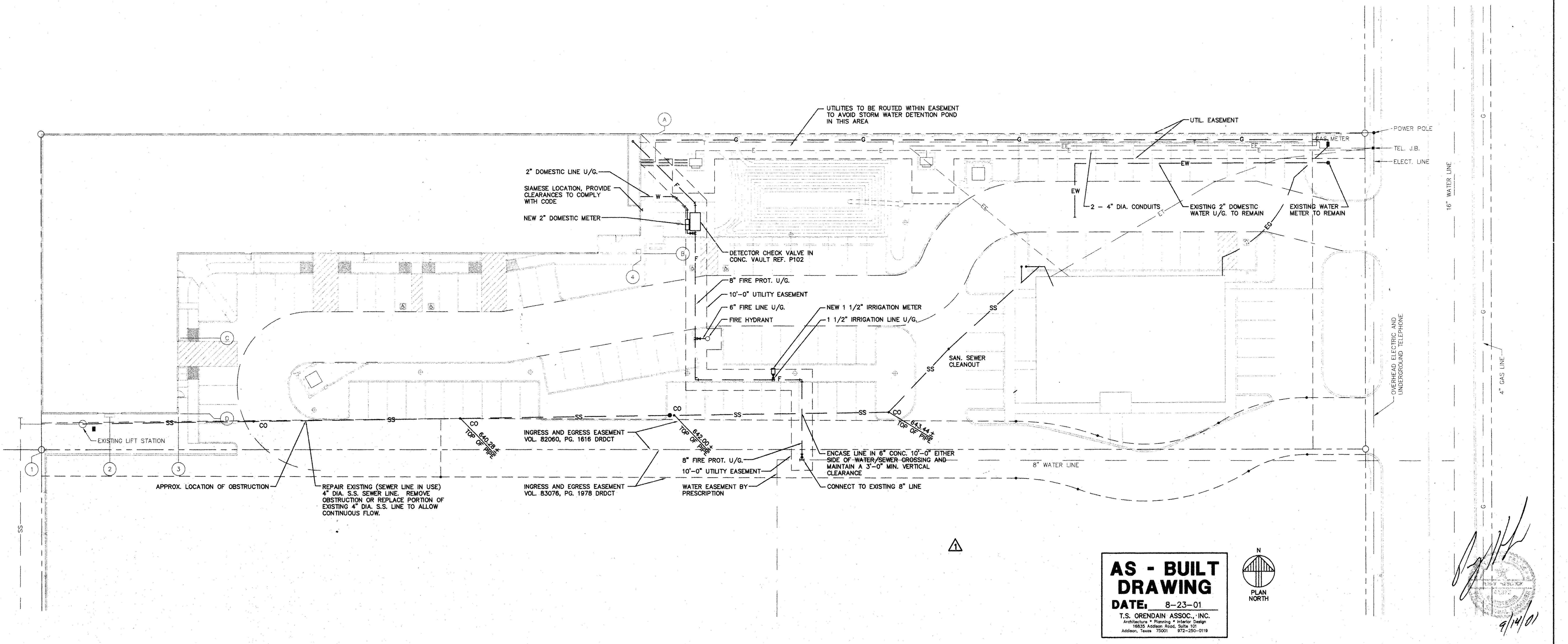
David C. Baldwin, Inc. 5744 Richmond Avenue  
Dallas, Texas 75206  
Landscape Architecture and Planning Ph: 214/821-8100  
Fax: 214/824-5562

**AMO**  
 16835 ADDISON ROAD  
 ADDISON, TX 75001  
 TEL: 972-250-0119  
 FAX: 972-250-3157

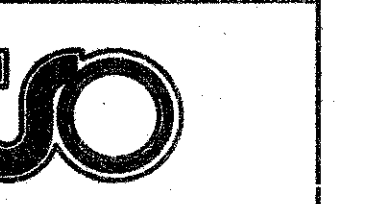
**ADDISON PARK CENTRE  
 OFFICE/TECH./FLEX.  
 PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS



CHECK VALVE VAULT SCALE: 1/2"=1'-0" P102



SITE PLUMBING PLAN SCALE: 1"=20'-0" P101



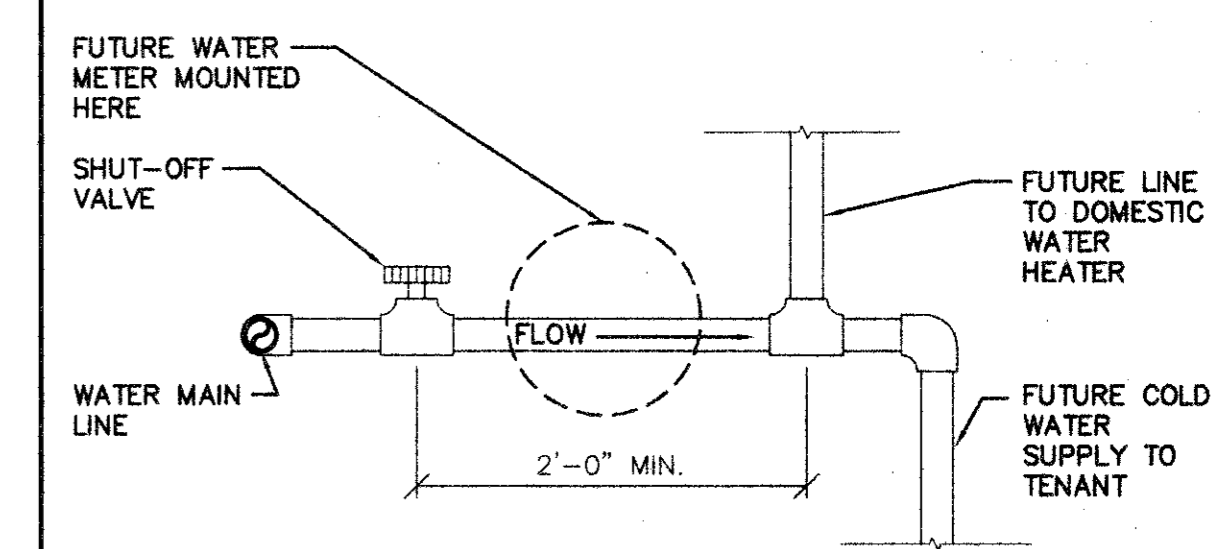
**T.S. Orendain Associates Inc.**  
 Architecture \* Planning \* Interior Design

16835 Addison Road  
 Suite 101  
 Addison, Texas 75001  
 (972) 250-0119

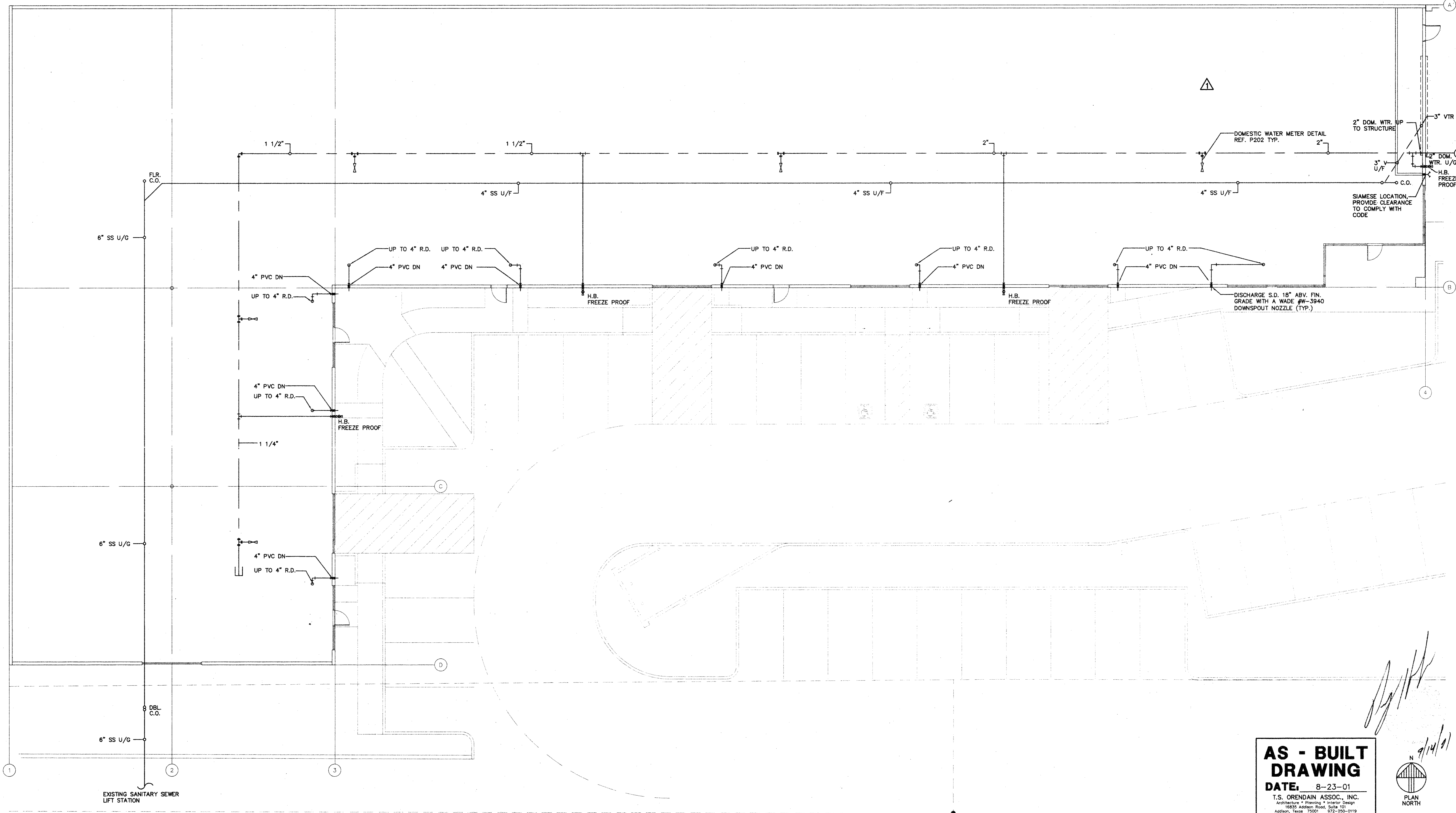
JOB: 8396 DATE: 2/25/2000  
 DRAWN: ONE CHECKED:

Date	Issued For / Description	By
8-30-88	PERMIT ISSUE	
1-1-89	T.D.L.R.	
2-25-00	100% ISSUED FOR CONSTRUCTION	
XX-XX-2000	GENERAL REVISION	

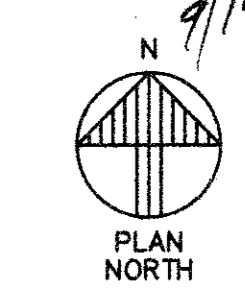
SITE PLUMBING PLAN



WTR. METER DETAIL SCALE: 1"=1'-0" P202



**AS - BUILT DRAWING**  
 DATE: 8-23-01  
 T.S. ORENDAIN ASSOC., INC.  
 Architecture • Planning • Interior Design  
 16835 Addison Road, Suite 101  
 Addison, Texas 75001  
 972-250-0119



PLUMBING PLAN SCALE: 1/8"=1'-0" P201

**AMO**  
 16835 ADDISON ROAD  
 ADDISON, TX 75001  
 TEL: 972-250-0119  
 FAX: 972-250-3157

**ADDISON PARK CENTRE  
 OFFICE/TECH./FLEX.  
 PHASE 1**  
 16835 ADDISON ROAD ADDISON, TEXAS

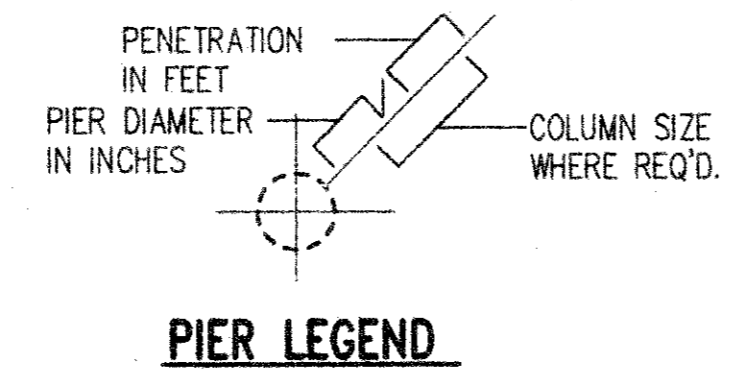
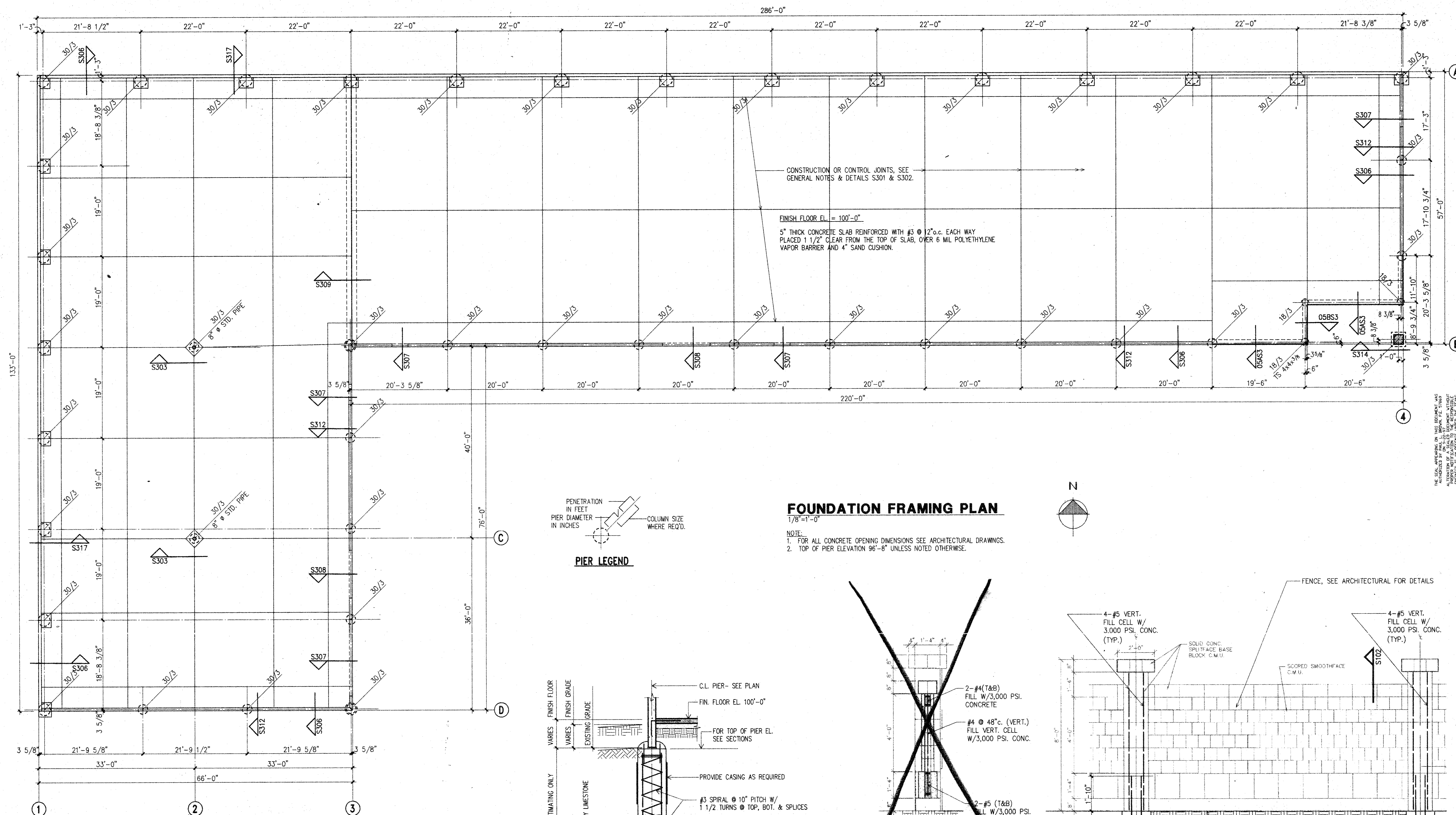
**to**  
 T.S. Orendain Associates Inc.  
 Architecture • Planning • Interior Design

16835 Addison Road  
 Suite 101  
 Addison, Texas 75001  
 (972) 250-0119

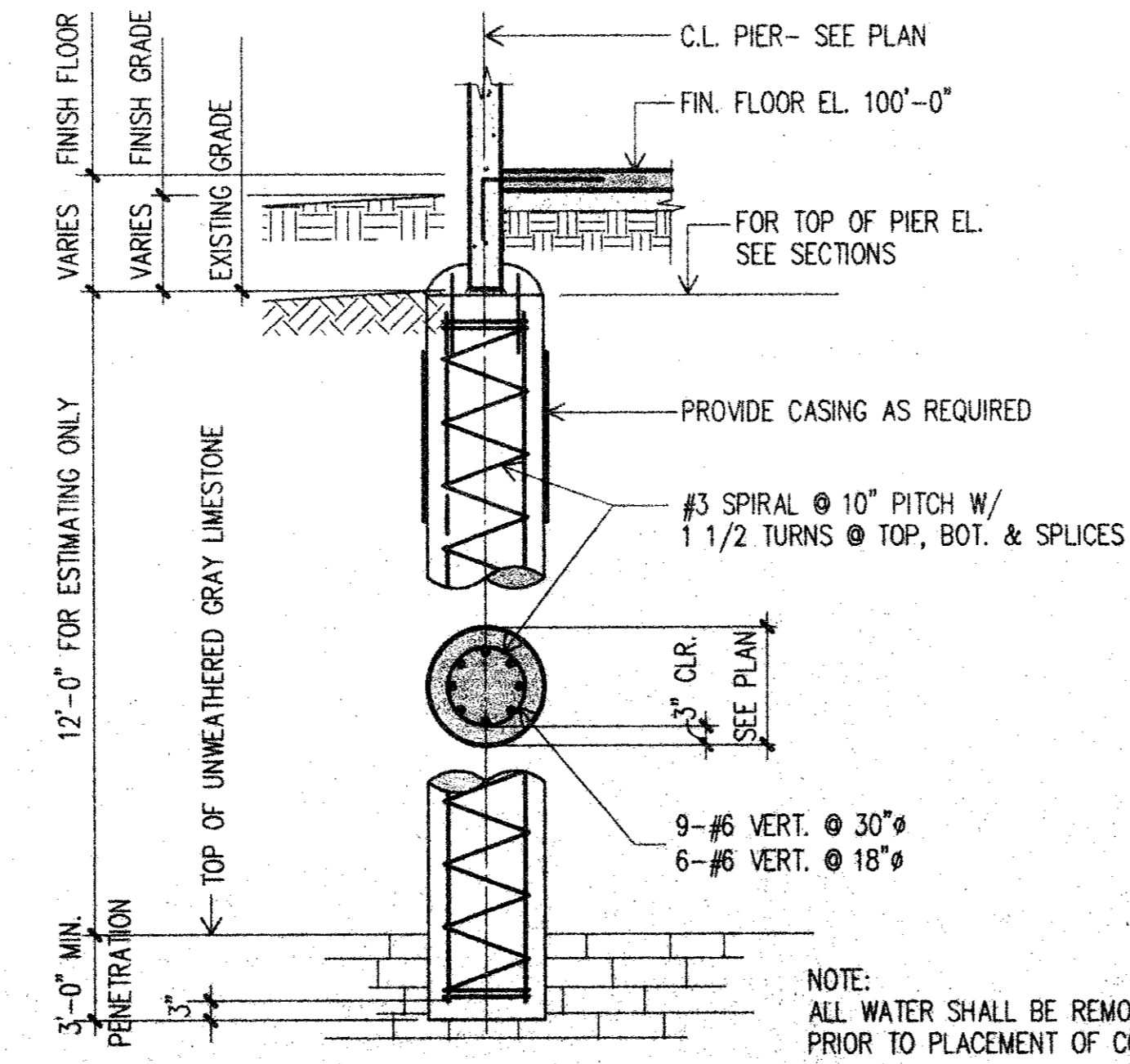
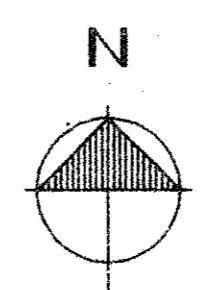
JOB: 8396 DATE: 2/25/2000  
 DRAWN: CHECKED:

Date	Issued For / Description	PERMIT / ISSUE	T.D.L.R.	GENERAL REVISION
8-17-98				
11-1-99				
2-25-00	100% ISSUED FOR CONSTRUCTION			
8-9-2000				

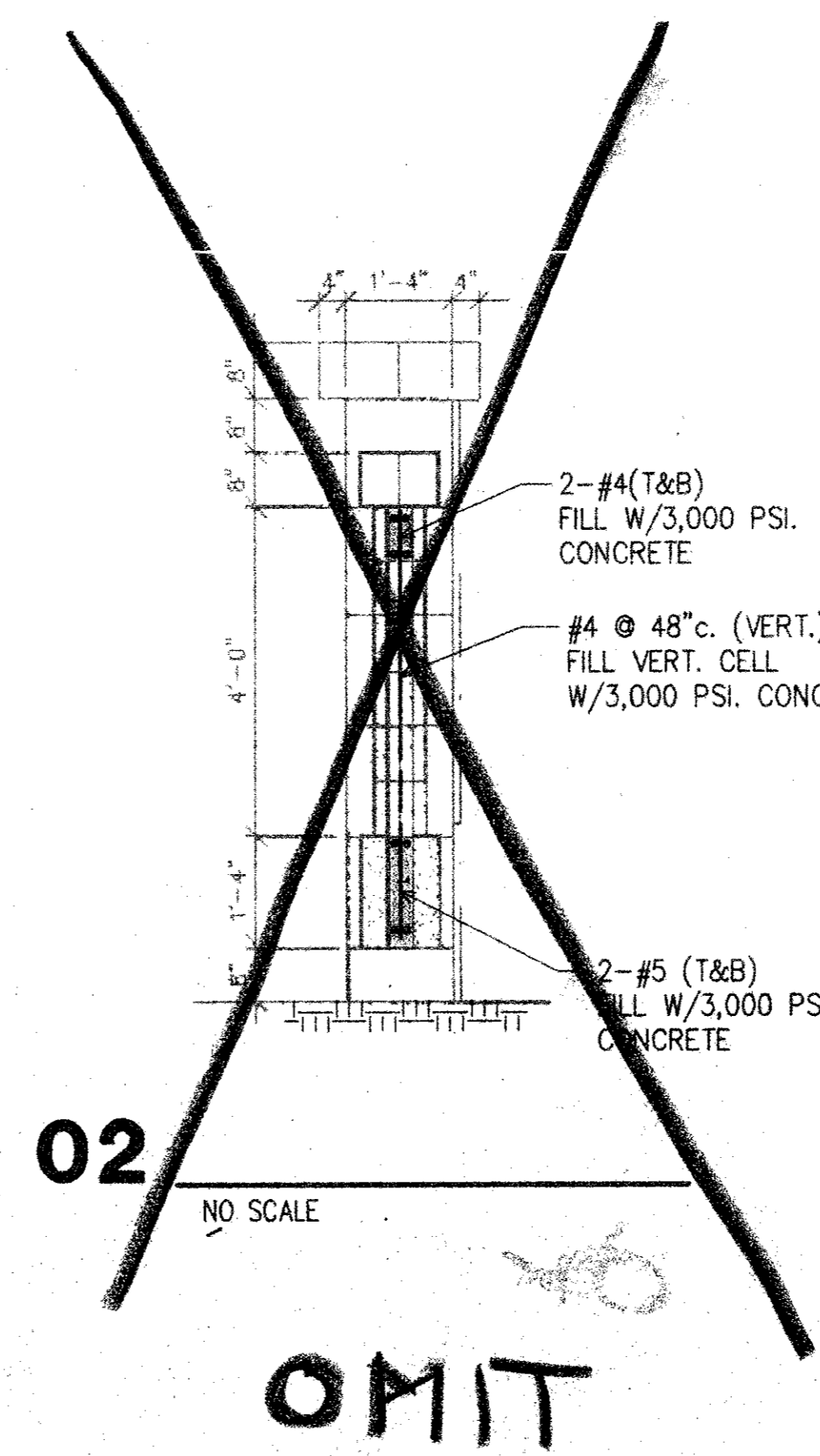
PLUMBING PLAN



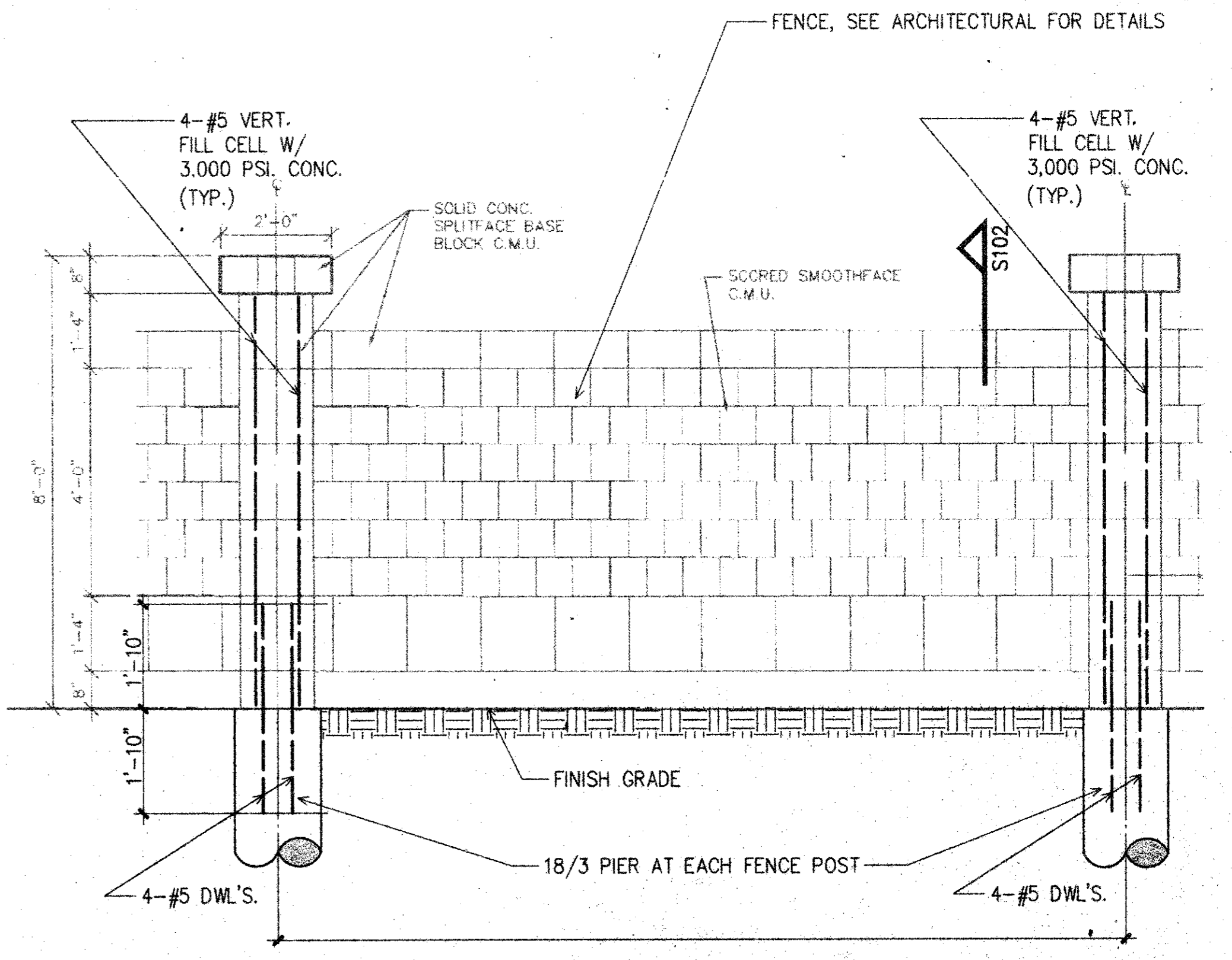
**FOUNDATION FRAMING PLAN**  
 1/8"=1'-0"  
 NOTE:  
 1. FOR ALL CONCRETE OPENING DIMENSIONS SEE ARCHITECTURAL DRAWINGS.  
 2. TOP OF PIER ELEVATION 96'-8" UNLESS NOTED OTHERWISE.



**01**  
 TYPICAL PIER DETAIL  
 NO SCALE

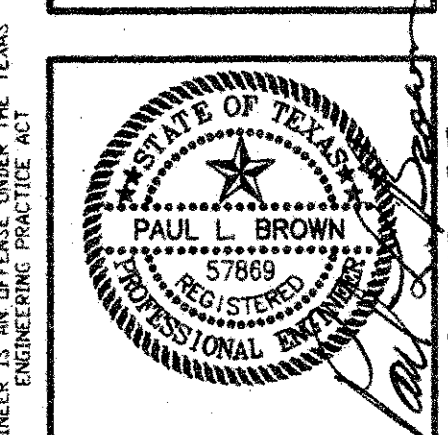


**02**  
 TYPICAL PIER DETAIL  
 NO SCALE  
 OMIT



TYPICAL FENCE FOUNDATION DETAIL

**AS - BUILT  
 DRAWING**  
 DATE: 8-23-01  
 T.S. OREDAIN ASSOC., INC.  
 ARCHITECTURE + PLANNING + ENGINEERING  
 16835 Addison Road, Suite 101  
 Dallas, Texas 75248  
 972-250-0119



**to**  
 T.S. Oredain Associates Inc.  
 Architecture + Planning  
 16835 Addison Rd.  
 Suite 101  
 Dallas, Texas 75248  
 972/250-0119

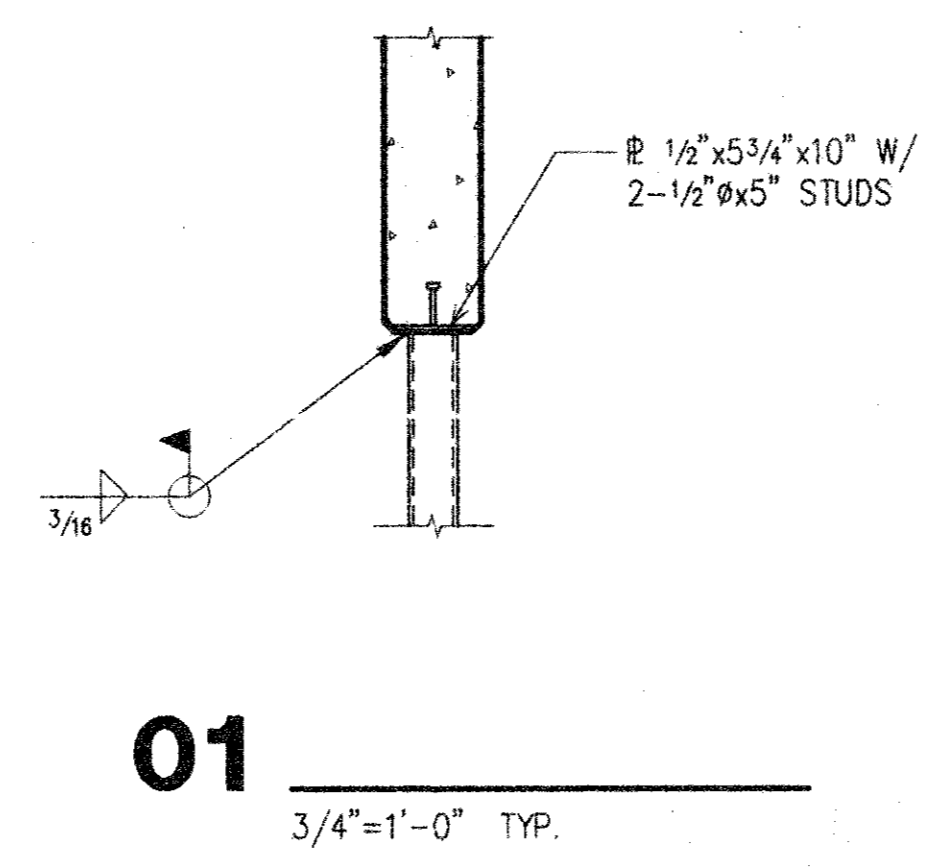
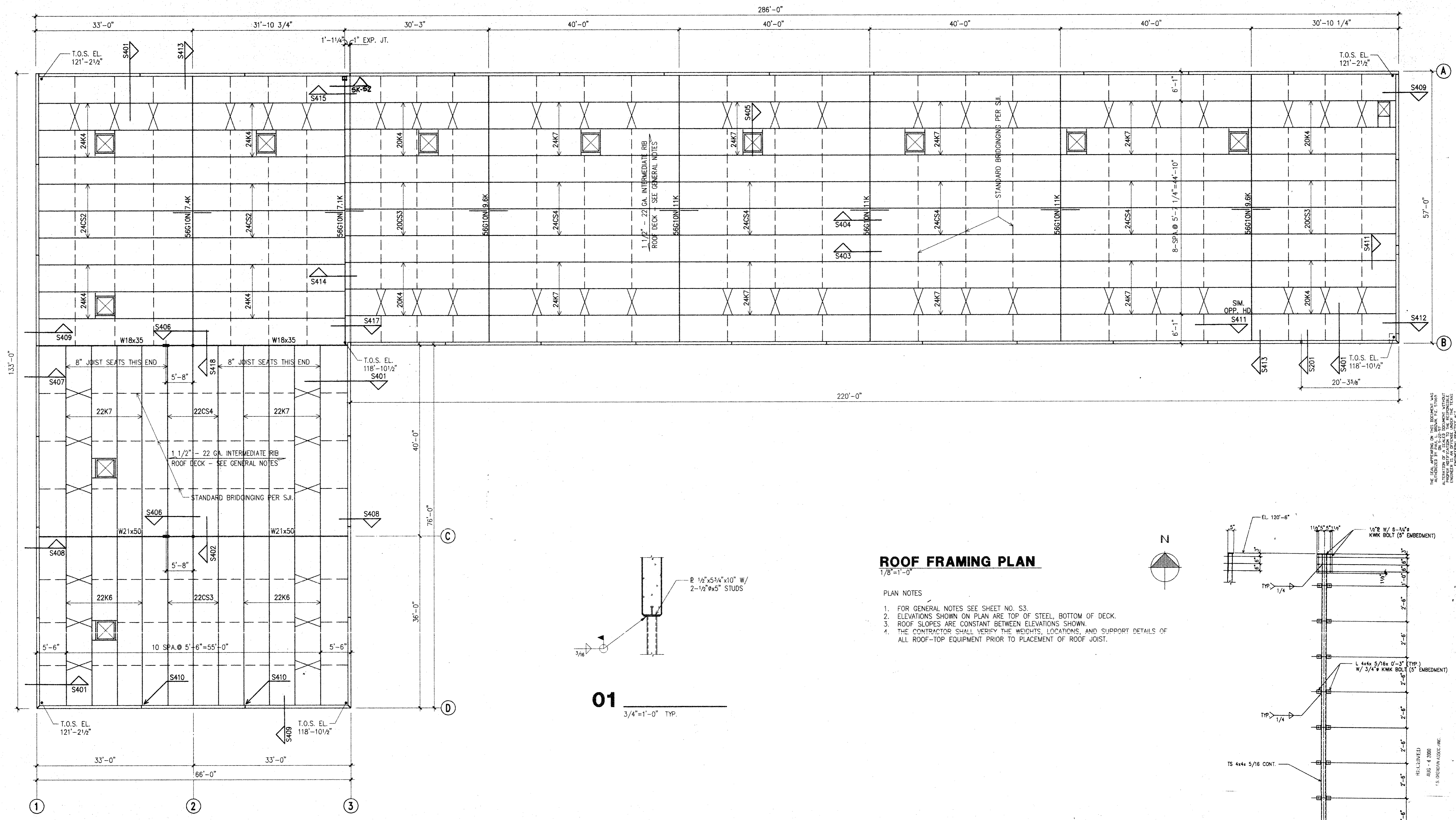
**PAUL L. BROWN, P.E.**  
 STRUCTURAL ENGINEER  
 1219 ABRAMS, SUITE 126  
 RICHARDSON, TEXAS 75081  
 (972) 437-5551  
 JOB: 8396 DATE: 9-29-97  
 DRAWN: JPB CHECKED: PB

Date	Issued For / Description
9-29-97	FOR BUILDING PERMIT
2-3-00	ISSUED FOR CONSTRUCTION

**FOUNDATION  
 FRAMING  
 PLAN**

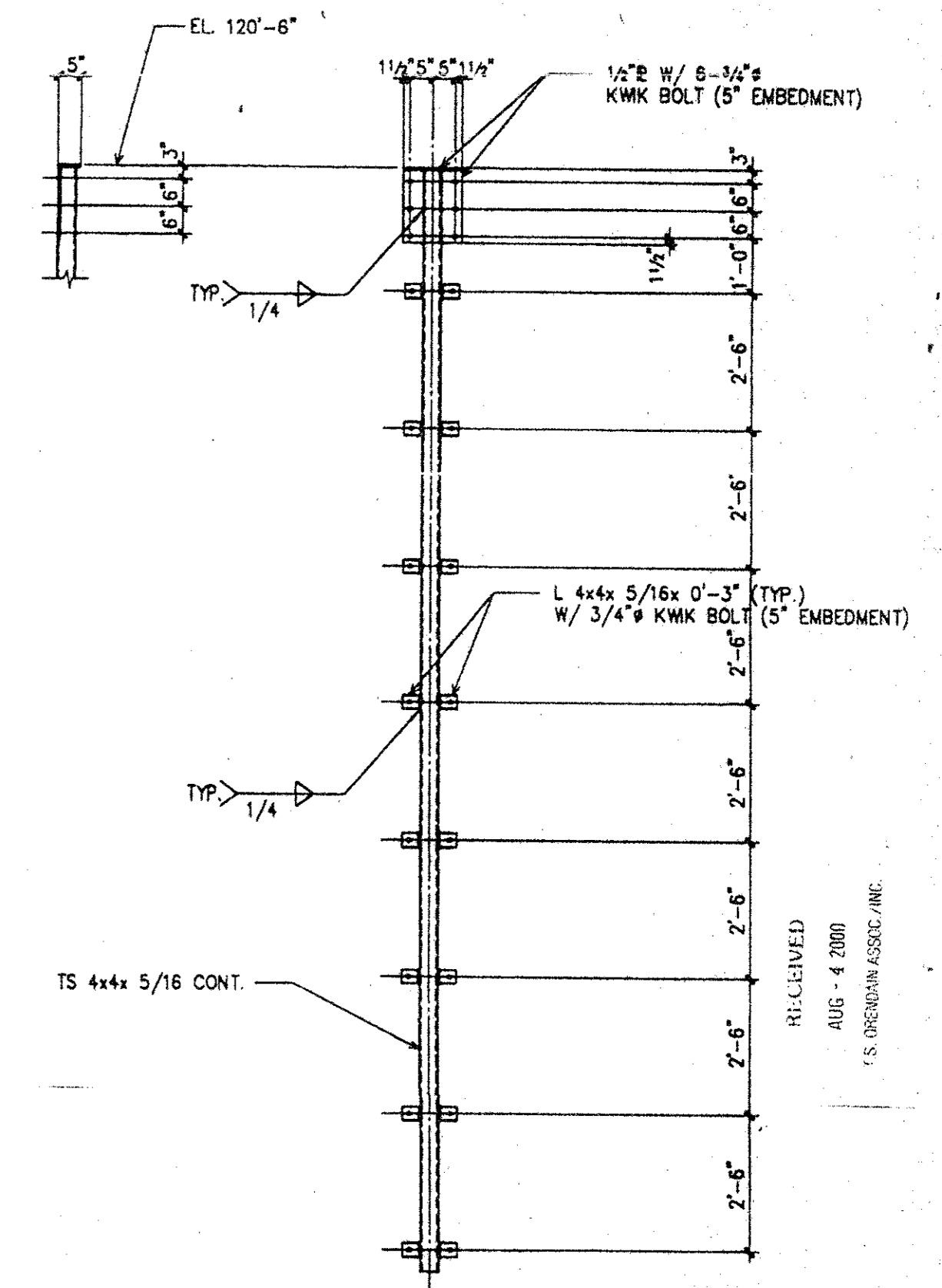
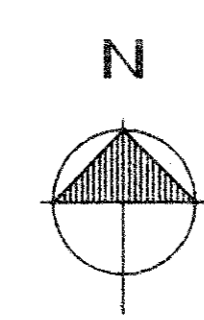
**S1**



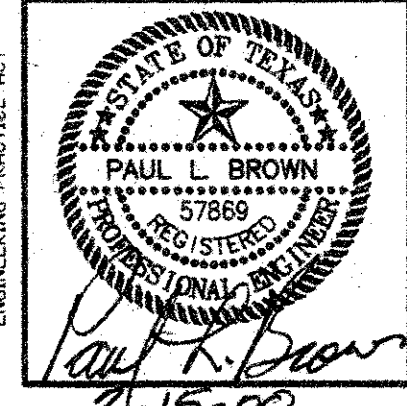


**ROOF FRAMING PLAN**  
 1/8"=1'-0"

- PLAN NOTES
1. FOR GENERAL NOTES SEE SHEET NO. S3.
  2. ELEVATIONS SHOWN ON PLAN ARE TOP OF STEEL, BOTTOM OF DECK.
  3. ROOF SLOPES ARE CONSTANT BETWEEN ELEVATIONS SHOWN.
  4. THE CONTRACTOR SHALL VERIFY THE WEIGHTS, LOCATIONS, AND SUPPORT DETAILS OF ALL ROOF-TOP EQUIPMENT PRIOR TO PLACEMENT OF ROOF JOIST.



THIS SET APPROVED BY THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF TEXAS. PAUL L. BROWN, P.E. REGISTERED PROFESSIONAL ENGINEER, NO. 57869. 2-15-00



T.S. Orendain Associates Inc.  
 Architecture + Planning  
 16835 Addison Rd.  
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**PAUL L. BROWN, P.E.**  
 STRUCTURAL ENGINEER  
 1219 ABRAMS, SUITE 126  
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 (972) 437-5551

JOB: B396 DATE: 9-29-97  
 DRAWN: JFB CHECKED: PB

Date	Issued For / Description
9-29-97	FOR BUILDING PERMIT
2-3-00	ISSUED FOR CONSTRUCTION

**OFFICE WAREHOUSE  
 PHASE I**  
 16835 ADDISON ROAD ADDISON, TEXAS **SK-S2**

**AS - BUILT  
 DRAWING**  
 DATE: 8-23-01  
 T.S. ORENDAIN ASSOC., INC.  
 ARCHITECTURE + PLANNING + INTERIOR DESIGN  
 16835 Addison Road, Suite 101  
 Dallas, Texas 75248 972-250-0119

**FOUNDATION  
 FRAMING  
 PLAN**

**S2**

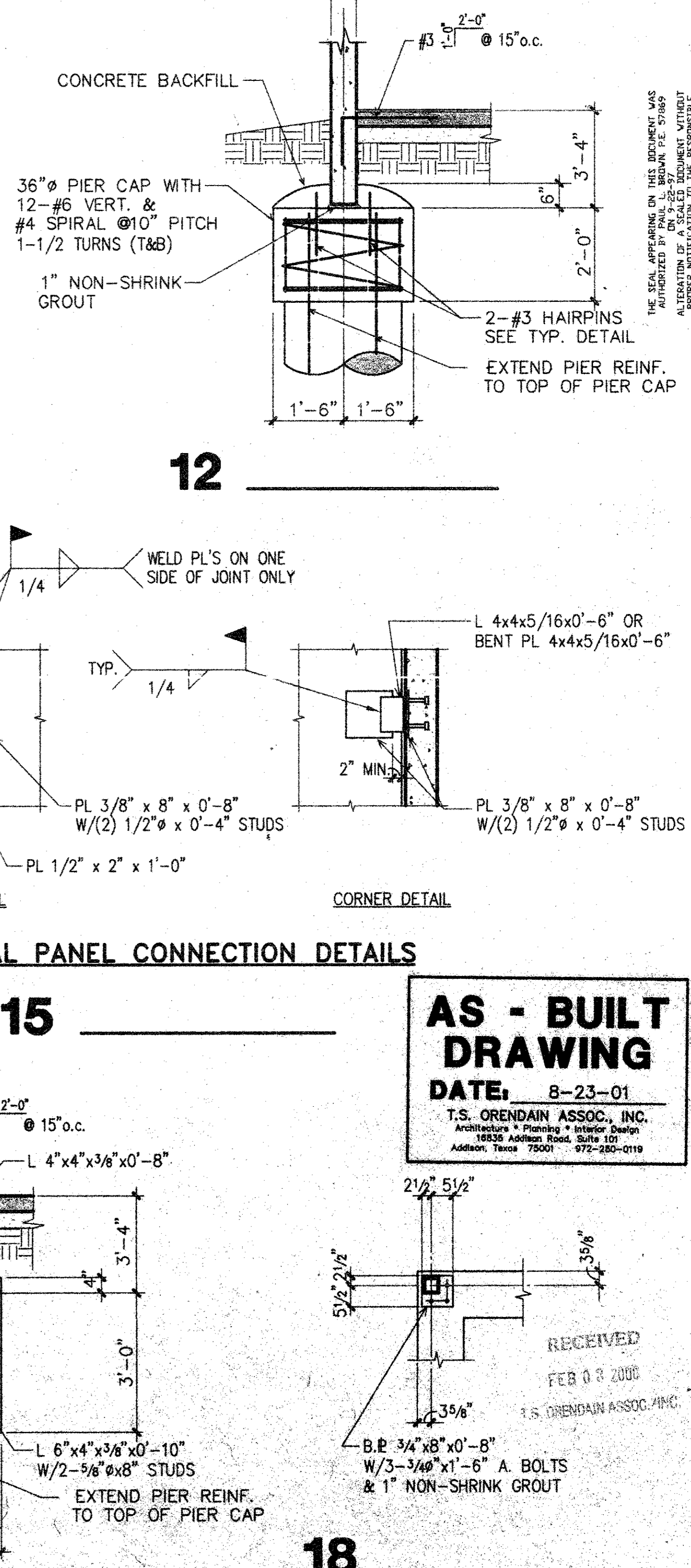
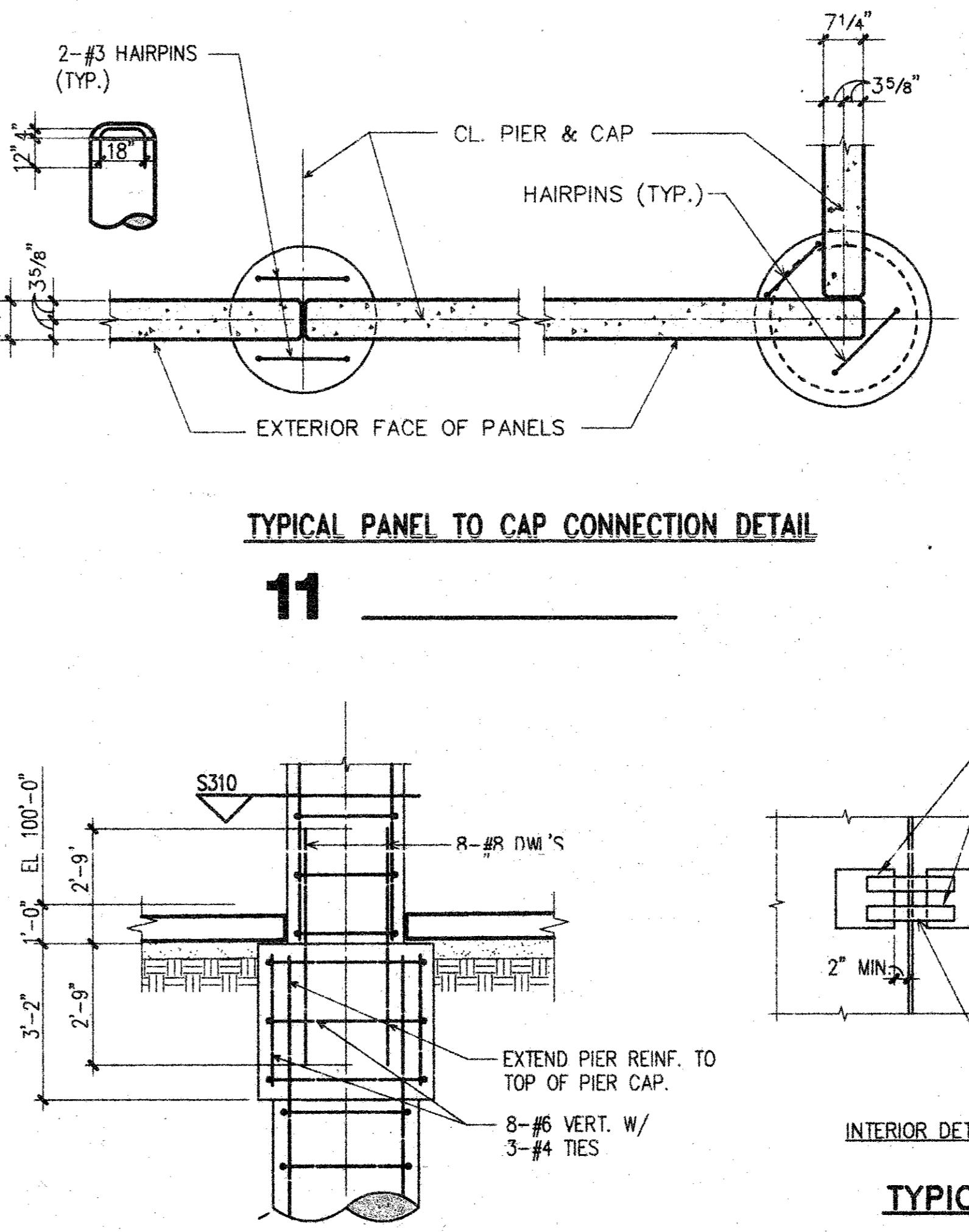
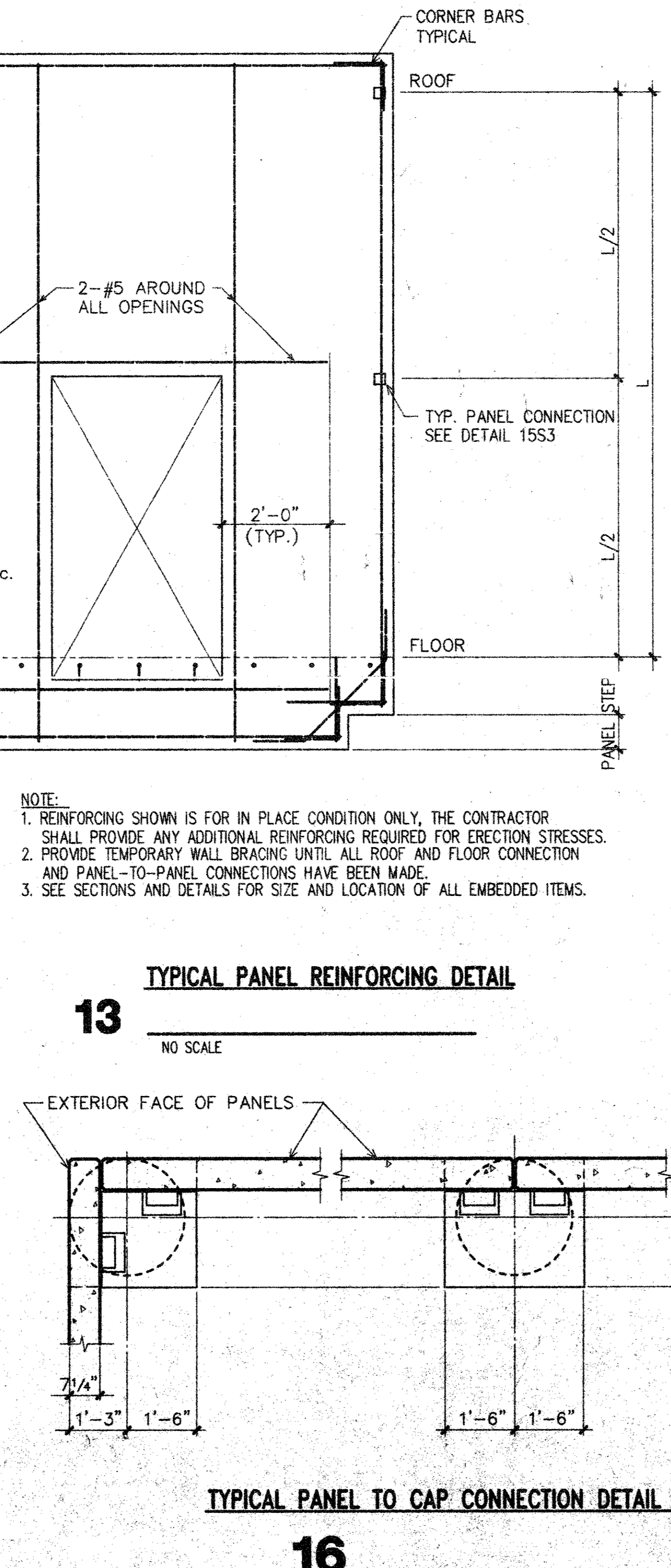
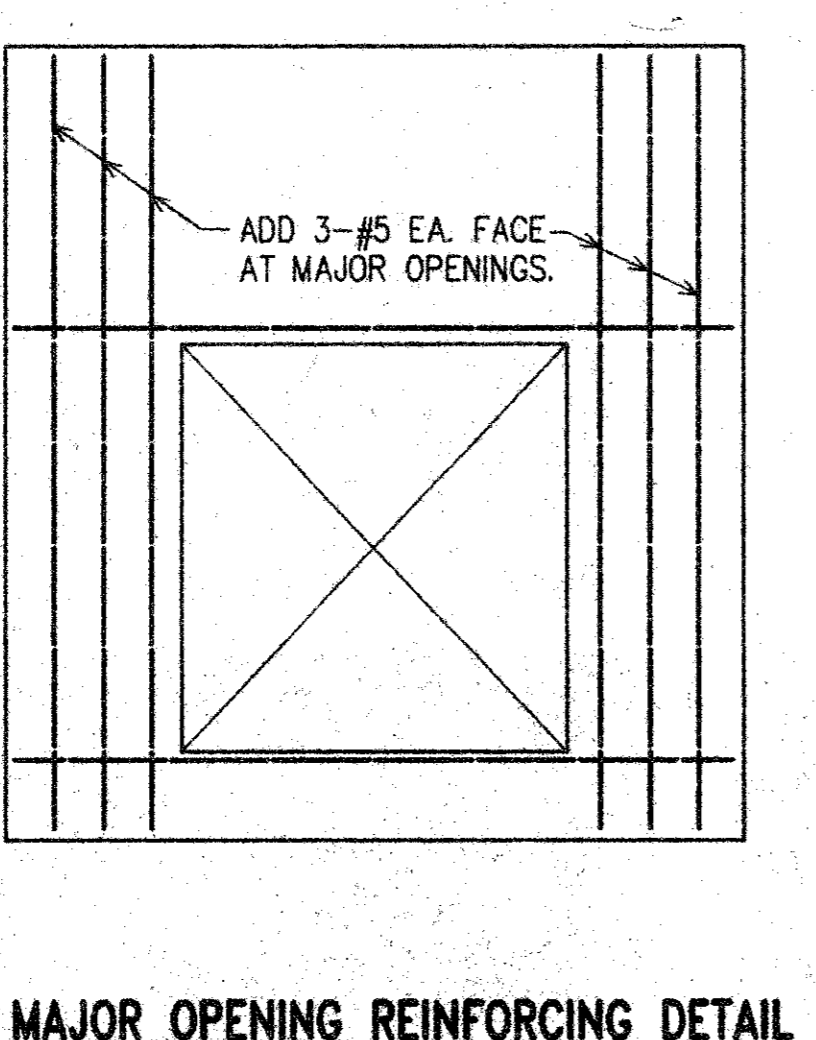
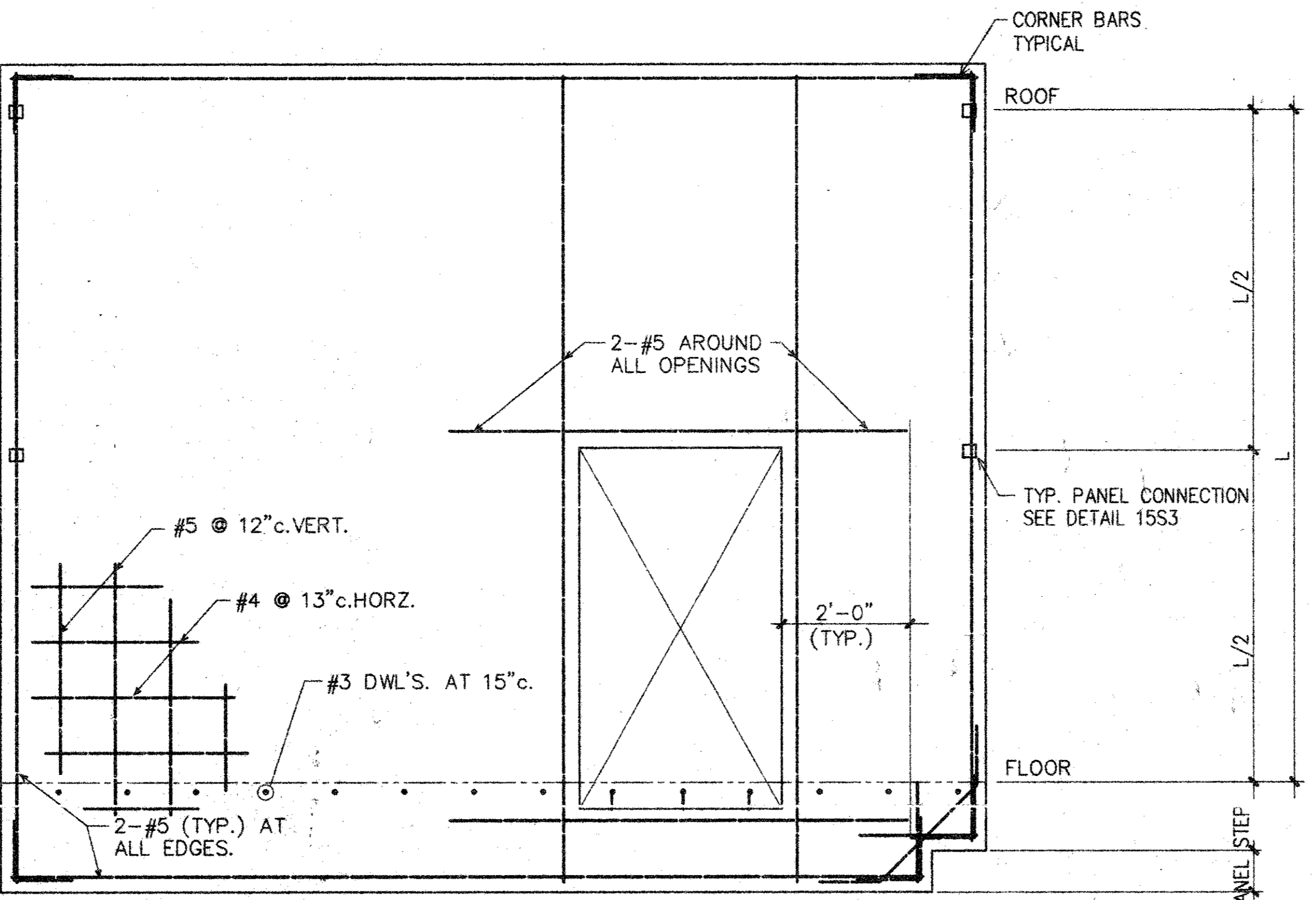
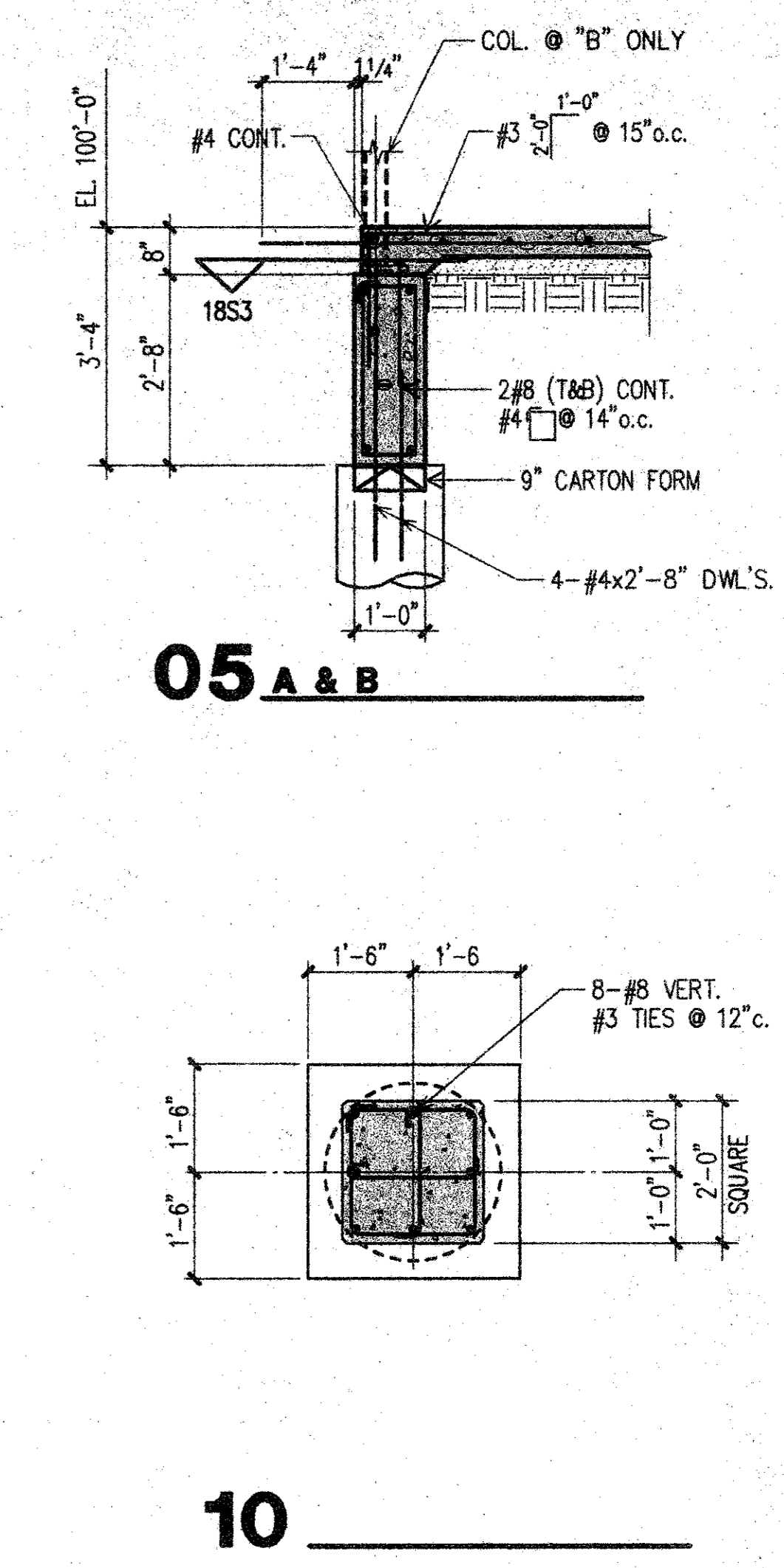
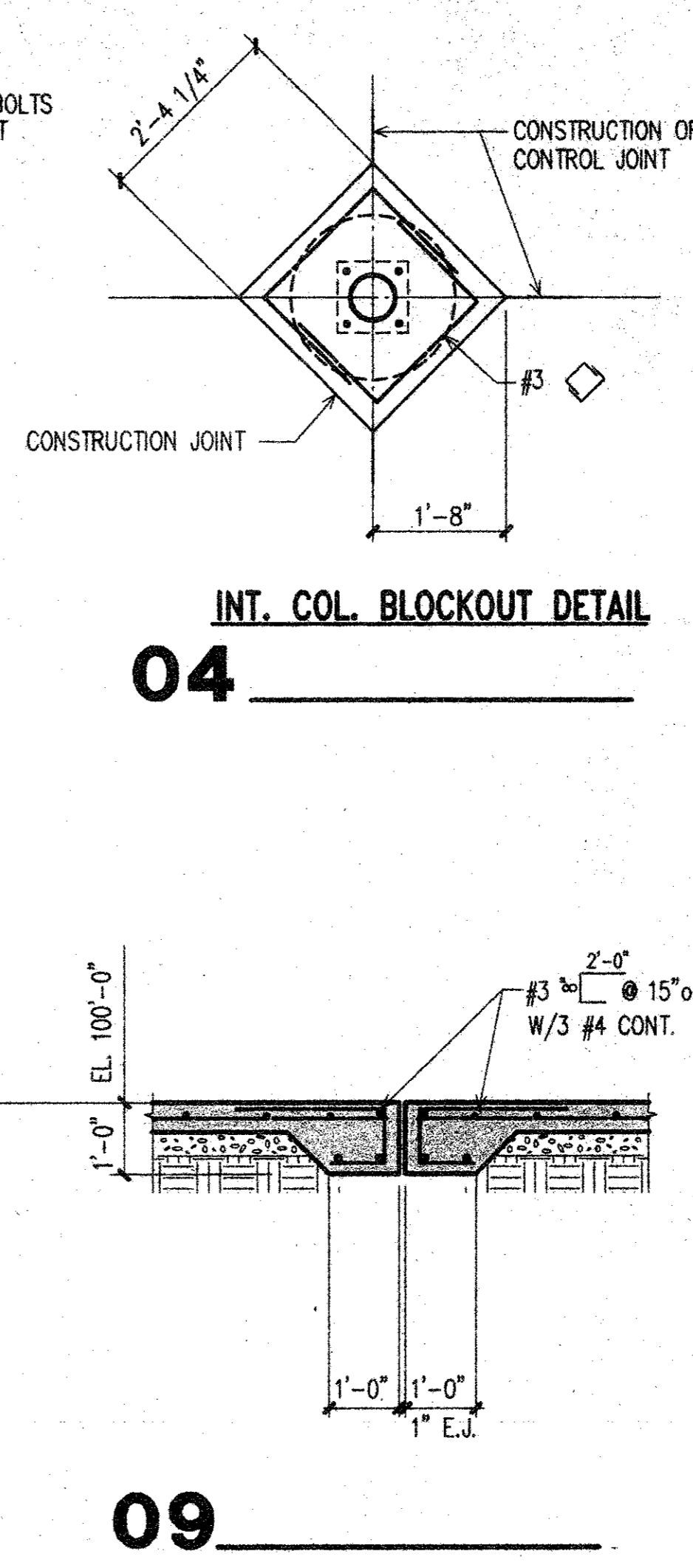
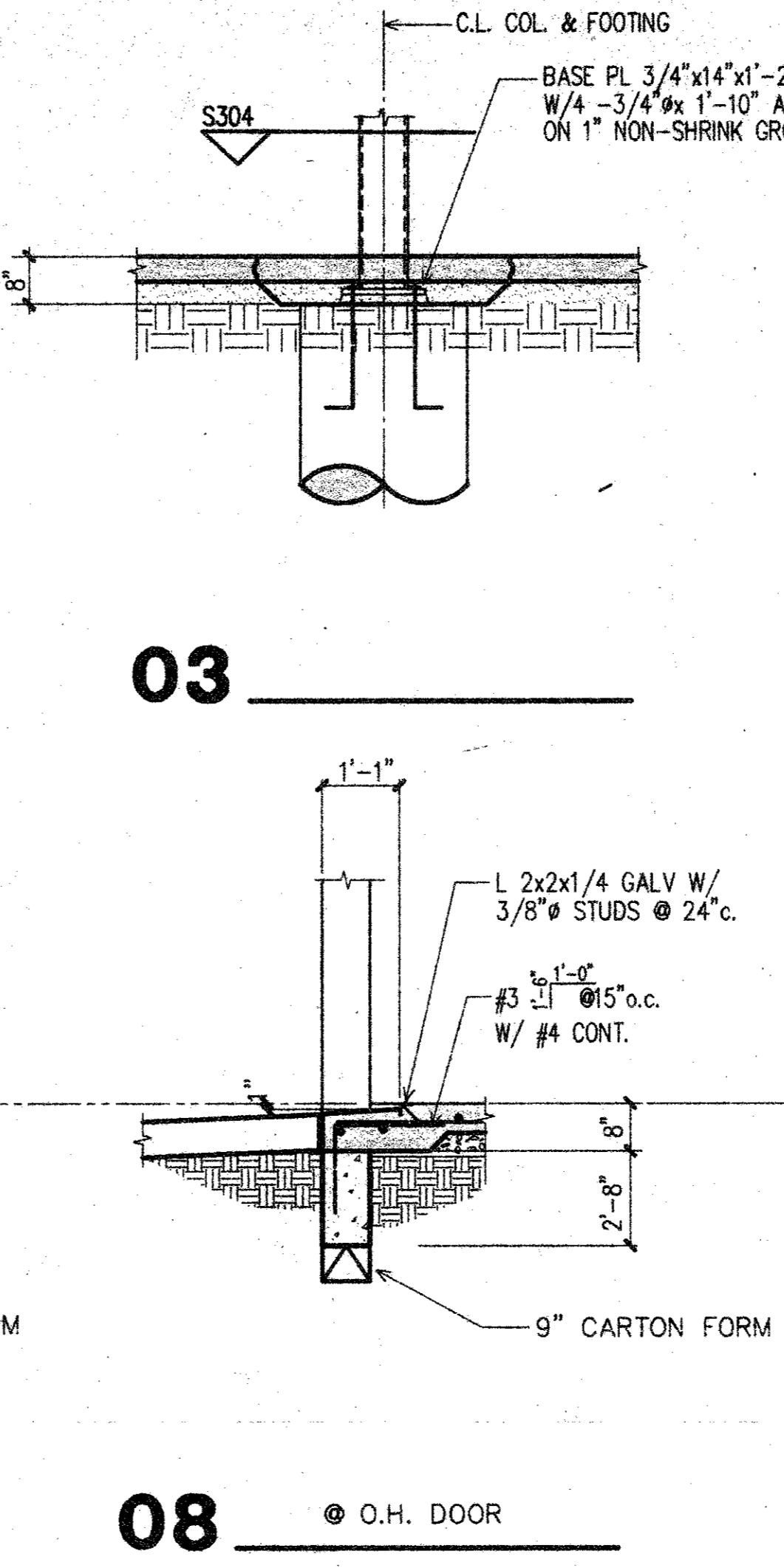
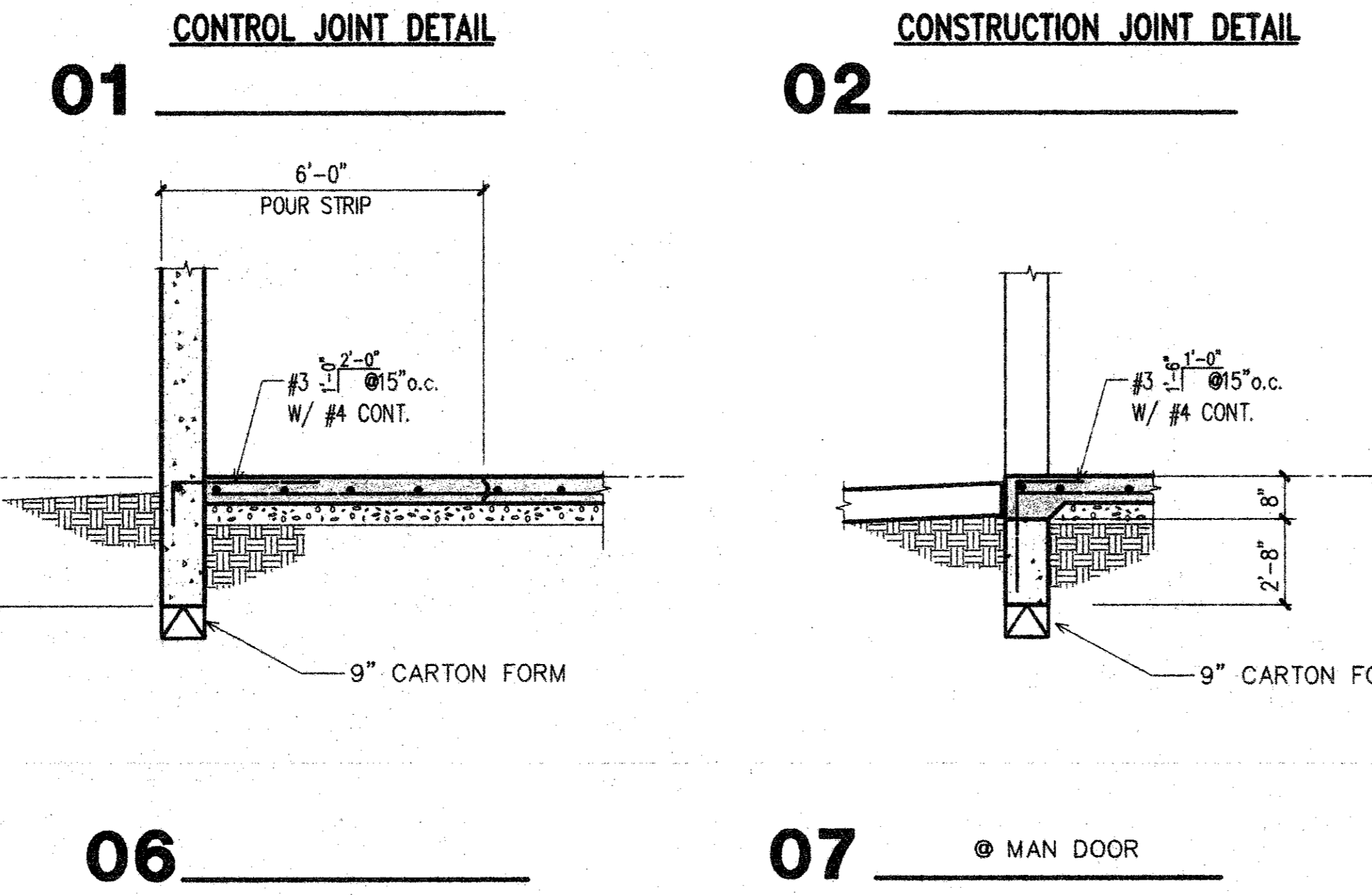
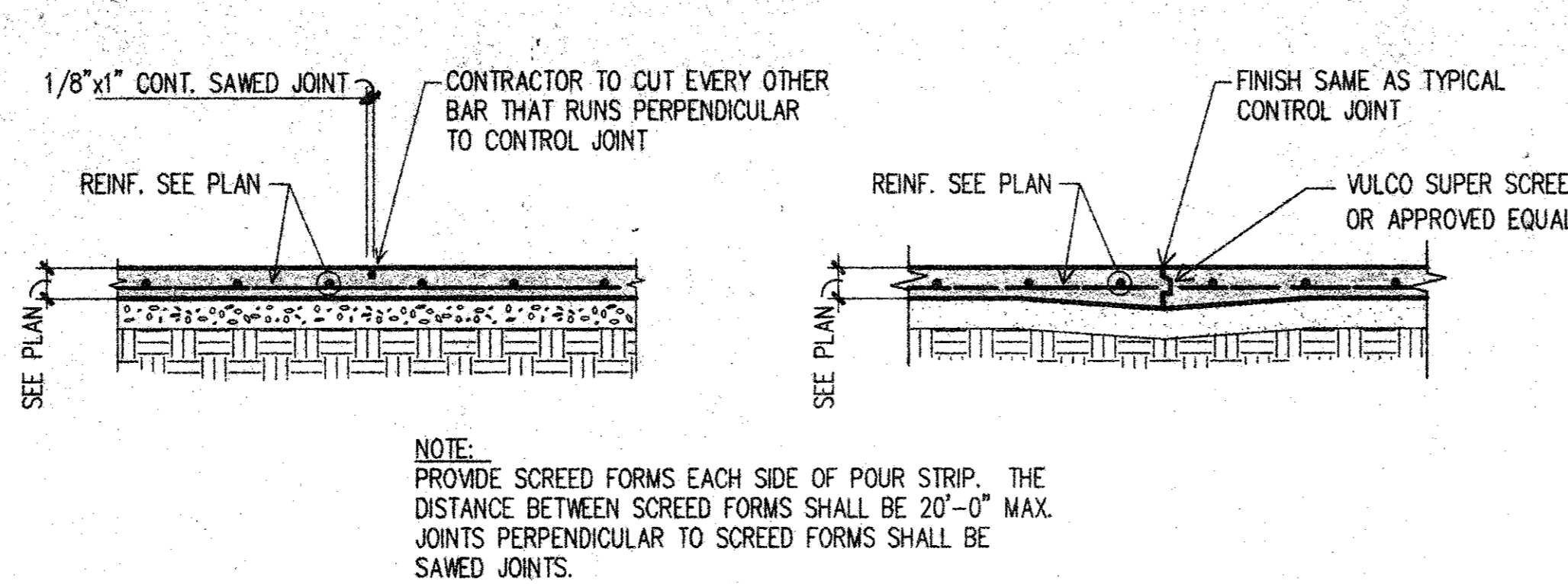
GENERAL NOTES

- GENERAL REQUIREMENTS**
- THIS PROJECT SHALL MEET ALL REQUIREMENTS OF UNIFORM BUILDING CODE AND THE CITY OF ADDISON, TEXAS.
  - LIVE LOADS:** ROOF LOAD = 20 PSF. WIND SPEED = 70 MPH. SEISMIC ZONE = 0. EXPOSURE = B.
  - THE FOUNDATION IS DESIGNED AND THE BUILDING PAD SHALL BE PREPARED TO MEET THE RECOMMENDATIONS CONTAINED IN THE SOIL REPORT PREPARED FOR THIS PROJECT BY BRYANT CONSULTANTS, INC., DATED AUGUST 12, 1997.
  - THE SOIL REPORT INSTRUCTIONS ON HOW TO PREPARE THE BUILDING PAD SO AS TO LIMIT THE VERTICAL MOVEMENT OF THE FLOOR SLABS TO ONE INCH OR LESS SHALL BE FOLLOWED.
  - FOUNDATION DESIGN IS BASED ON AN ALLOWABLE END BEARING VALUE OF 40,000 PSF. PIERS SHALL BE PLACED INTO THE UN-WEATHERED GRAY LIMESTONE FOUND AT A DEPTH OF BETWEEN 12 AND 4 FEET BELOW EXISTING GRADE.
  - ALL PIERS SHALL BE CENTERED UNDER WALL PANELS UNLESS OTHERWISE SHOWN. IF CASED PIERS ARE REQUIRED, THE PIERS ARE TO BE INSPECTED BY A QUALIFIED TESTING LABORATORY ENGINEER DURING THE DRILLING OPERATION, PLACEMENT OF CONCRETE, AND REMOVAL OF CASING. SPECIAL CARE SHALL BE TAKEN TO MAINTAIN A SUFFICIENT HEAD OF PLASTIC CONCRETE WITHIN THE CASING DURING EXTRACTION. THE CONTRACTOR SHALL VERIFY DEPTHS OF PIERS BEFORE PIER STEEL IS CUT. PIER STEEL SHALL BE DELIVERED TO THE JOB SITE IN STANDARD 60' LENGTHS AND CUT AS REQUIRED. 30 BAR DIAMETER LAPS WILL BE ALLOWED IN THE PIER STEEL IF NO MORE THAN 50% OF THE BARS ARE LAPPED IN ANY 5' - 0" LENGTH OF PIER.
  - ALL FILL MATERIAL SHALL BE A VERY SANDY CLAY TO CLAYEY SAND, AND SHOULD HAVE A MAXIMUM PLASTICITY INDEX OF 12. THIS FILL MATERIAL SHOULD BE SPREAD IN LOOSE LIFTS SIX TO EIGHT INCHES THICK, AND UNIFORMLY COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OR ABOVE ITS OPTIMUM MOISTURE CONTENT. SHORE ALL WALLS AND GRADE BEAMS AS REQUIRED DURING THE COMPACTION OPERATION. BACKFILL AGAINST THE EXTERIOR FACE OF WALL PANELS SHOULD BE PROPERLY COMPACTED ON SITE.
  - ALL WALLS SHALL BE SUPPORTED ON 9" CARTON FORMS COATED WITH PARAFFIN CONTAINING 10% POLYETHYLENE AND DESIGNED TO CARRY THE WET CONCRETE. SHOP DRAWINGS: TWO PRINTS AND ONE SEPIA TRACING OF EACH DRAWING IS TO BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW. DISTRIBUTION OF PRINTS IS TO BE MADE ONLY FROM RETURNED THE SEPIA DRAWINGS BEARING A SIGNED REVIEW STAMP. NO WORK ON ITEMS SHOWN THEREIN IS TO PROCEED UNLESS THE STAMP CLEARLY INDICATES "NO EXCEPTIONS TAKEN" OR "MAKE CORRECTIONS NOTED". GENERAL CONTRACTOR SHALL PRE-CHECK ALL SHOP DRAWINGS BEFORE SUBMISSION TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW THE ENGINEER TWO WEEKS FOR REVIEWING SHOP DRAWINGS.
  - STRUCTURAL DRAWINGS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS WITHOUT PRIOR PERMISSION OF THE STRUCTURAL ENGINEER.
  - SLABS-ON-GRADE SHALL BE SEPARATED INTO SECTIONS NOT TO EXCEED 400 SQUARE FEET BY KEYS OR SAWED CONSTRUCTIONS, OR CONTROL JOINTS. REFER TO TYPICAL DETAILS FOR THE CONSTRUCTION OF THESE JOINTS. THESE JOINTS SHALL BE INDICATED, DISTINGUISHED BETWEEN, AND LOCATED WITH DIMENSIONS ON THE SHOP DRAWINGS SUBMITTED TO THE ENGINEER FOR REVIEW.
  - THE GENERAL CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL MECHANICAL AND ELECTRICAL OPENINGS.
  - PROVIDE ALL CONCRETE PADS, TRAPS, BASINS, ETC., SHOWN ON MECHANICAL DRAWINGS WHERE INDICATED TO BE SUPPLIED BY GENERAL CONTRACTOR.
  - ALL WALLS AND SLABS SHALL BE WATERPROOFED AS SHOWN AND NOTED ON THE ARCHITECTURAL DRAWINGS.
  - THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED FOR ALL WALLS UNTIL THE ROOF FRAMING AND DECK IS IN PLACE, AND CAPABLE OF PROVIDING SUPPORT FOR THE TOP OF THESE WALLS.
  - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS.

- CONCRETE**
- ALL CONCRETE AND METAL REINFORCEMENT FOR CONCRETE SHALL BE FABRICATED AND PLACED IN CONFORMITY WITH THE "ACI STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318).
  - POURED IN PLACE CONCRETE SHALL STRICTLY ADHERE TO THE PROPORTIONS ESTABLISHED IN DESIGN MIXES, PREPARED AND TESTED BY A PRE-QUALIFIED LABORATORY. THESE TESTS SHALL CONSIST OF THE ACTUAL MATERIALS TO BE USED DURING CONSTRUCTION, FOR THE SEVERAL STRENGTHS AND USES INTENDED. THE DESIGN MIXES AND TEST RESULTS ARE TO BE REVIEWED BY THE ENGINEER PRIOR TO USE.
  - POURED IN PLACE CONCRETE IS TO BE NORMAL HEIGHT AND IS TO DEVELOP A COMPRESSIVE STRENGTH  $f'_c$  OF 3,000 PSI. AT 28 DAYS. SLUMP SHALL EQUAL 4" ± 1".
  - STRUCTURAL LIGHTWEIGHT AGGREGATE CONCRETE SHALL HAVE A MAXIMUM WEIGHT OF 116 PCF. AND IS TO DEVELOP A COMPRESSIVE STRENGTH  $f'_c$  OF 3,000 PSI. AT 28 DAYS.
  - STRENGTH TESTS OF CONCRETE ARE TO MEET THE REQUIREMENTS FOR ULTIMATE STRENGTH DESIGN.
  - UNLESS NOTED OTHERWISE, METAL REINFORCEMENT FOR POURED IN PLACE CONCRETE IS TO BE ASTM 615; GRADE 60 FOR PRINCIPAL REINFORCING; GRADE 40 FOR STIRRUPS AND TIES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
  - BARS SCHEDULED AS CONTINUOUS SHALL BE LAP SPICED 30 DIAMETERS AS FOLLOWS: TOP BARS AT CENTERLINE OF ANY SPAN. BOTTOM BARS OVER ANY SUPPORT.
  - THE CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION, SIZES AND CORRECTNESS OF ALL OPENINGS, SLAB DEPRESSIONS AND EMBEDDED ITEMS REQUIRED PRIOR TO CONCRETING.
  - PROVIDE CORNER BARS IN ALL BEAMS AND WALLS OF SAME SIZE AND SPACING AS ADJACENT BARS, UNLESS NOTED OTHERWISE.
  - PROPER ACCESSORIES AND SUPPORTS ARE TO BE USED AS NOTED AND REVIEWED ON THE SHOP DRAWINGS. ALL REINFORCING TO BE SECURELY AND ACCURATELY HELD IN LOCATIONS SHOWN ON PLANS.
  - UNLESS OTHERWISE SHOWN, ALL SLABS AND STEPS ON FILL SHALL BE REINFORCED WITH #3 BARS AT 15" O.C. EACH WAY, SUPPORTED ONE AND ONE HALF INCHES FROM TOP OF SLAB. LAP 12" AT SPICES.
  - REFER TO THE ARCHITECTURAL DRAWINGS FOR LAYOUT, REINFORCING, AND JOINTS FOR PAVING SIDEWALKS, SITE RETAINING WALLS, AND OTHER PLATWORK.

- STRUCTURAL STEEL**
- STRUCTURAL STEEL SHALL BE FABRICATED AND ERRECTED IN CONFORMITY WITH THE REQUIREMENTS OF THE 6TH EDITION, AISC "MANUAL OF STEEL CONSTRUCTION".
  - ALL BOLTS SHALL BE 3/4" DIA. ASTM A325-5.8 USING TYPICAL CONNECTION WITH WASHERS, UNLESS OTHERWISE NOTED. ANCHOR BOLTS SHALL BE ASTM A307.
  - UNLESS OTHERWISE SHOWN OR NOTED, CONNECTIONS AT NONCONTINUOUS JOINTS SHALL BE DETAILED AS REQUIRED BY PART 4, "FRAMED BEAM CONNECTIONS", FOR ONE-HALF THE ALLOWABLE LOADS FOR BEAMS TABULATED IN PART 2 OF THE AISC MANUAL. FIELD CONNECTIONS AT NONCONTINUOUS JOINTS ARE TO BE BOLDED.
  - EXCEPT AS SHOWN OR NOTED, ALL STRUCTURAL SHAPES AND PLATES ARE TO BE ASTM A36 MATERIAL.
  - ALL WELDS SHALL BE MADE ONLY BY PRE-QUALIFIED WELDERS AND SHALL CONFORM TO THE LATEST REVISED CODE OF THE AMERICAN WELDING SOCIETY.
  - ERECTOR TO TOLERANCE CODE OF STANDARD PRACTICE EXCEPT THAT THE MAXIMUM TOTAL DISPLACEMENT AT THE CENTERLINE OF ANY COLUMN FROM THE ESTABLISHED COLUMN CENTERLINE SHALL NOT EXCEED 1/2" AT ANY LEVEL.
  - A RECOGNIZED TESTING LABORATORY, REVIEWED BY THE STRUCTURAL ENGINEERS, SHALL BE ENGAGED FOR THE PURPOSE OF SHOP AND FIELD INSPECTION AND TO VERIFY THAT THE STRUCTURE IS PLUMB. THE LABORATORY SHALL ASSURE THAT APPROVED WELDING MATERIALS AND SEQUENCES ARE USED, AND SHALL CERTIFY IN WRITING THAT THE QUALITY AND STRENGTH REQUIREMENTS OF ALL CONNECTIONS HAVE BEEN ATTAINED AND THAT ALL TOLERANCES ARE WITHIN SPECIFIED LIMITS.
  - FOR SHOP PAINTING SEE SPECIFICATIONS. HOWEVER, NO MATERIAL WHICH IS NOT REASONABLY CLEAN OR FREE OF RUST AND MILL SCALE WILL BE ACCEPTED ON DELIVERY.
  - PROVIDE BOLTS AND PUNCH HOLES IN STRUCTURAL AND MISC. METAL FOR ATTACHMENTS/WOOD NAILERS AS REQUIRED ON THE ARCHITECTURAL, MECHANICAL OR STRUCTURAL DRAWINGS.
  - PROVIDE BRIDGING, BRACING, HEADERS AND HANGERS AS REQUIRED FOR TRUSSED STEEL JOISTS, PER REQUIREMENTS OF AISC.
  - THE STEEL JOIST SUPPLIER SHALL CERTIFY THAT THEIR JOISTS ARE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS OF THE STEEL JOIST INSTITUTE AND THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS.
  - ALL CONCENTRATED LOADS SHALL BE SUPPORTED AT THE JOIST PANEL POINTS ONLY, OR ADDITIONAL WEB MEMBERS SHALL BE PROVIDED TO TRANSFER LOADS TO A PANEL POINT. NO VERTICAL LOADS SHALL BE IMPOSED ON THE BRIDGING.
  - ALL PIPING LARGER THAN 4" DIA. PARALLEL TO THE JOISTS, SHALL BE HUNG FROM A MINIMUM OF TWO JOISTS AND SUPPORTS SHALL BE ATTACHED AT THE JOIST PANEL POINTS ONLY.
  - WING PLATES AT PIPE OR TUBE COLUMNS TO RECEIVE BEAMS SHALL BE CONTINUOUS THROUGH THE COLUMN. ALL ECCENTRICITIES SHALL BE INCLUDED IN THE BEAM CONNECTION DESIGN.
  - ALL OPENINGS IN STEEL ROOF DECK TEN INCHES OR GREATER ARE TO BE SUPPORTED BY AN ANGLE FRAMES FABRICATED WITH 4" X 4" X 5/16 ANGLES. THESE ANGLE FRAMES ARE TO BE INSTALLED PRIOR TO THE STEEL DECK BEING PLACED.

- STEEL ROOF DECK**
- ROOF DECK SHALL BE 1 1/2" 22-GAGE, INTERMEDIATE RIB DECK MEETING THE REQUIREMENTS OF THE STEEL DECK INSTITUTE. DECK SHALL BE CONTINUOUS OVER THREE OR MORE SPANS AND SHALL BE WELDED TO THE SUPPORTING STEEL WITH 5/8" DIAMETER PUDDLE WELDS. WELDS TO BE 6" O.C. AT ENDS AND SIDES, AND 12" O.C. AT INTERMEDIATE SUPPORTS. WELDING WASHERS ARE REQUIRED FOR WELDING DECK TO SUPPORTING STEEL. SIDE-LAP FASTENERS SHALL BE #6 SELF TAPPING SCREWS OR BUTTON PUNCH, 2 PER SPAN.
  - QUALIFY THE WELDING PROCESSES AND ALL WELDERS FOR ROOF DECK IN ACCORDANCE WITH THE REQUIREMENTS OF AWS D1.3.



NOTE:  
 1. REINFORCING SHOWN IS FOR IN PLACE CONDITION ONLY. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL REINFORCING REQUIRED FOR ERECTION STRESSES.  
 2. PROVIDE TEMPORARY WALL BRACING UNTIL ALL ROOF AND FLOOR CONNECTION AND PANEL-TO-PANEL CONNECTIONS HAVE BEEN MADE.  
 3. SEE SECTIONS AND DETAILS FOR SIZE AND LOCATION OF ALL EMBEDDED ITEMS.

**AS - BUILT DRAWING**  
 DATE: 8-23-01  
 T.S. ORENDAIN ASSOC., INC.  
 Architecture + Planning + Interior Design  
 1835 Addison Road  
 Addison, Texas 75001 972-250-0119

RECEIVED  
 FEB 08 2006  
 T.S. ORENDAIN ASSOC., INC.

**AMO**  
 1835 ADDISON ROAD  
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 ADDISON, TEXAS 75001  
 TEL: 972-250-0119  
 FAX: 972-250-0157

**OFFICE WAREHOUSE PHASE I**  
 1835 ADDISON ROAD  
 ADDISON, TEXAS

**to**  
 T.S. Orendain Associates Inc.  
 Architecture + Planning

1835 Addison Rd.  
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 Addison, Texas 75248  
 972-250-0119

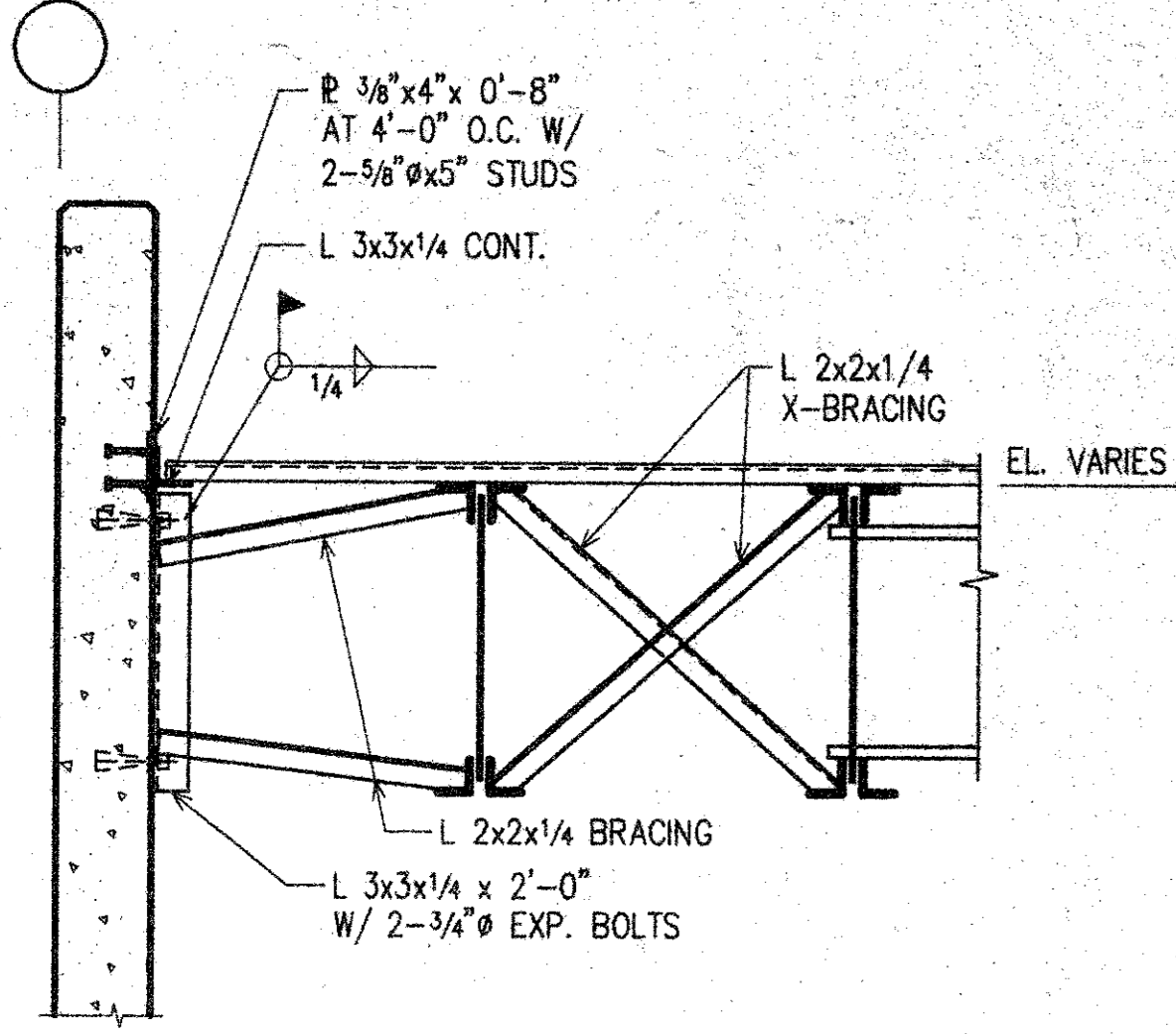
**PAUL L. BROWN, P.E.**  
 STRUCTURAL ENGINEER  
 1219 ABRAMS, SUITE 126  
 RICHARDSON, TEXAS 75081  
 (972) 437-2551

PROJ. NO. 8396 DATE: 9-29-97  
 DRAWN: JPB CHECKED: JPB

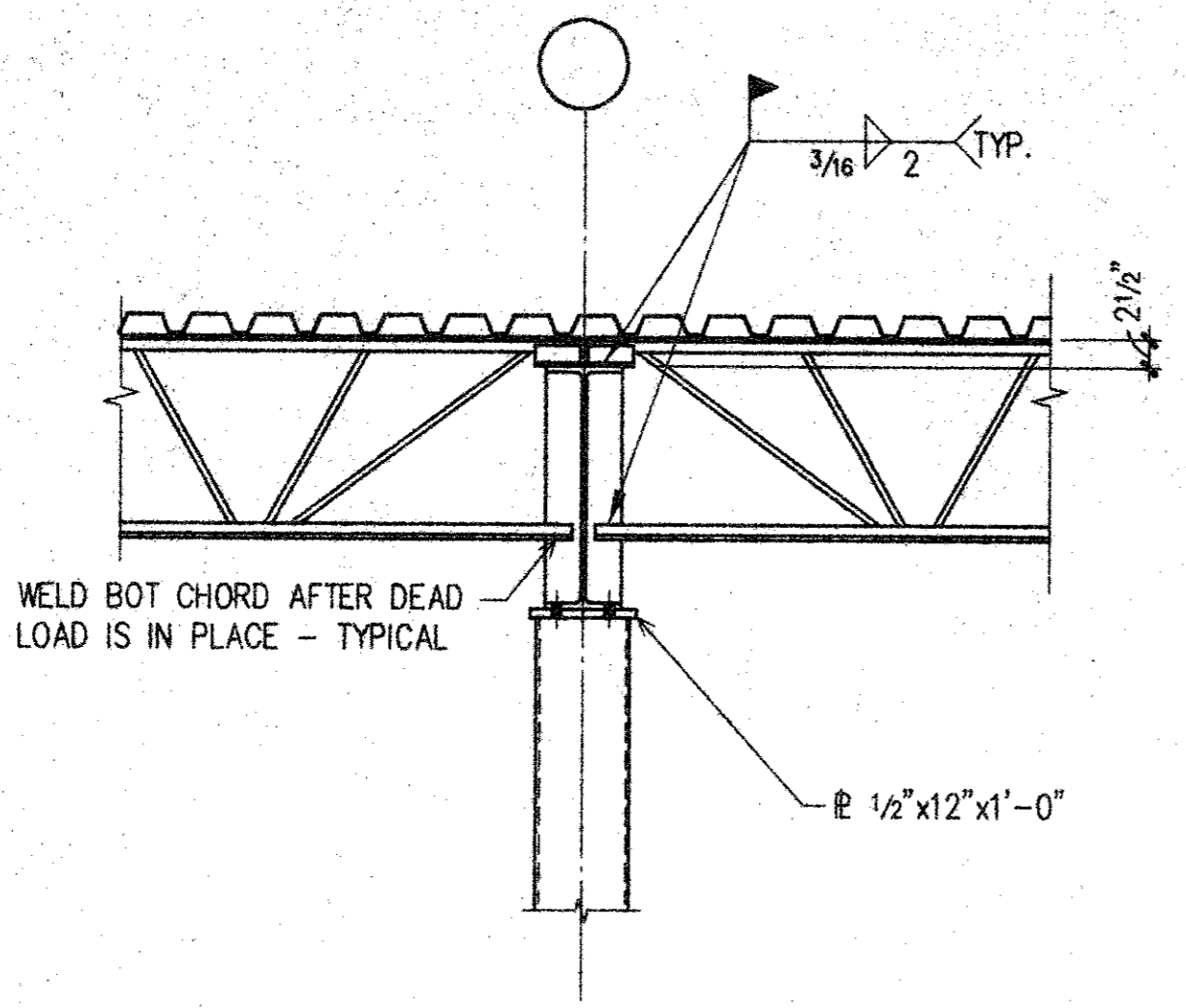
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 Date: \_\_\_\_\_  
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 FOR BUILDING PERMIT  
 ISSUED FOR CONSTRUCTION

**FOUNDATION & TILT WALL PANEL DETAILS**

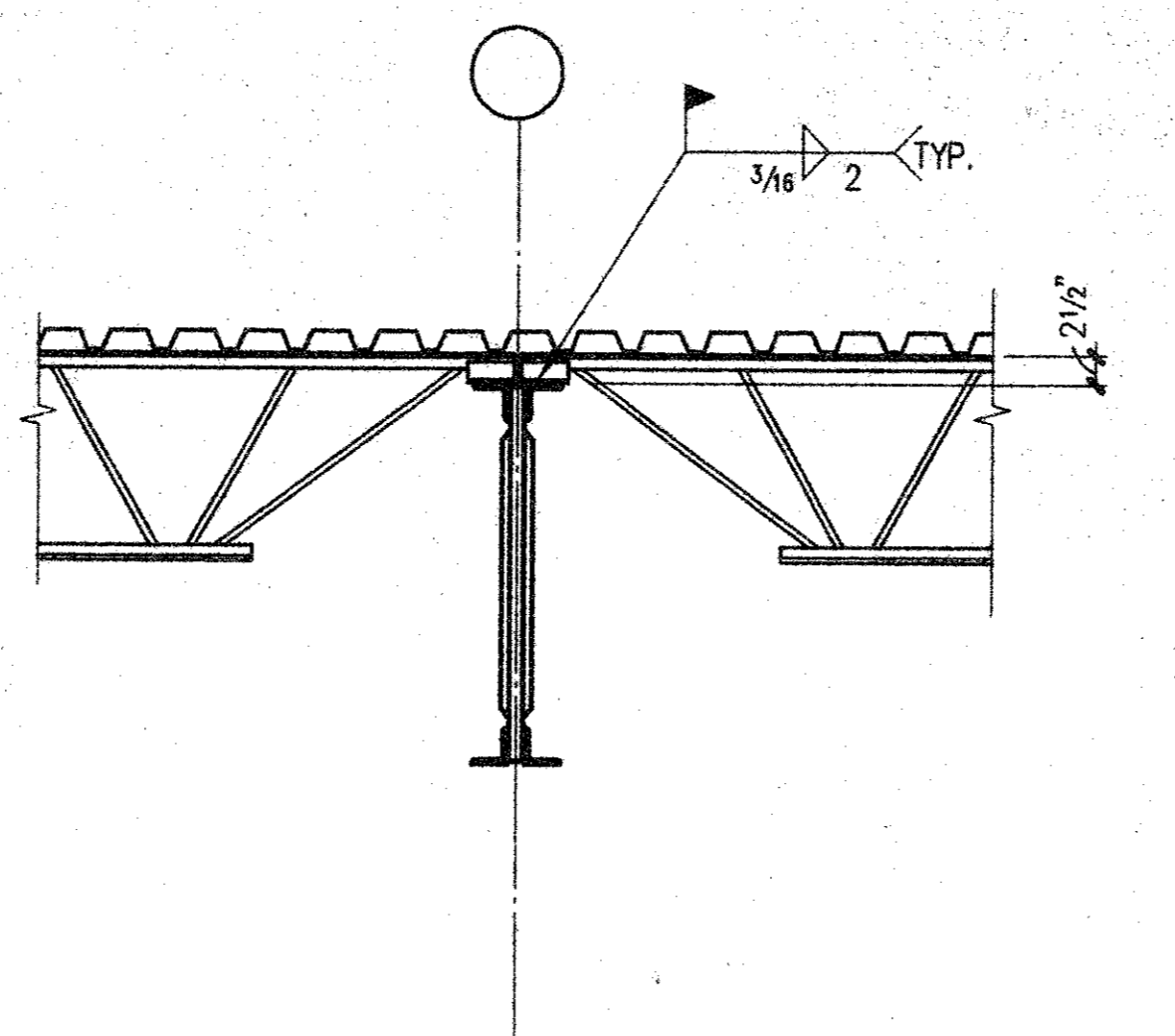
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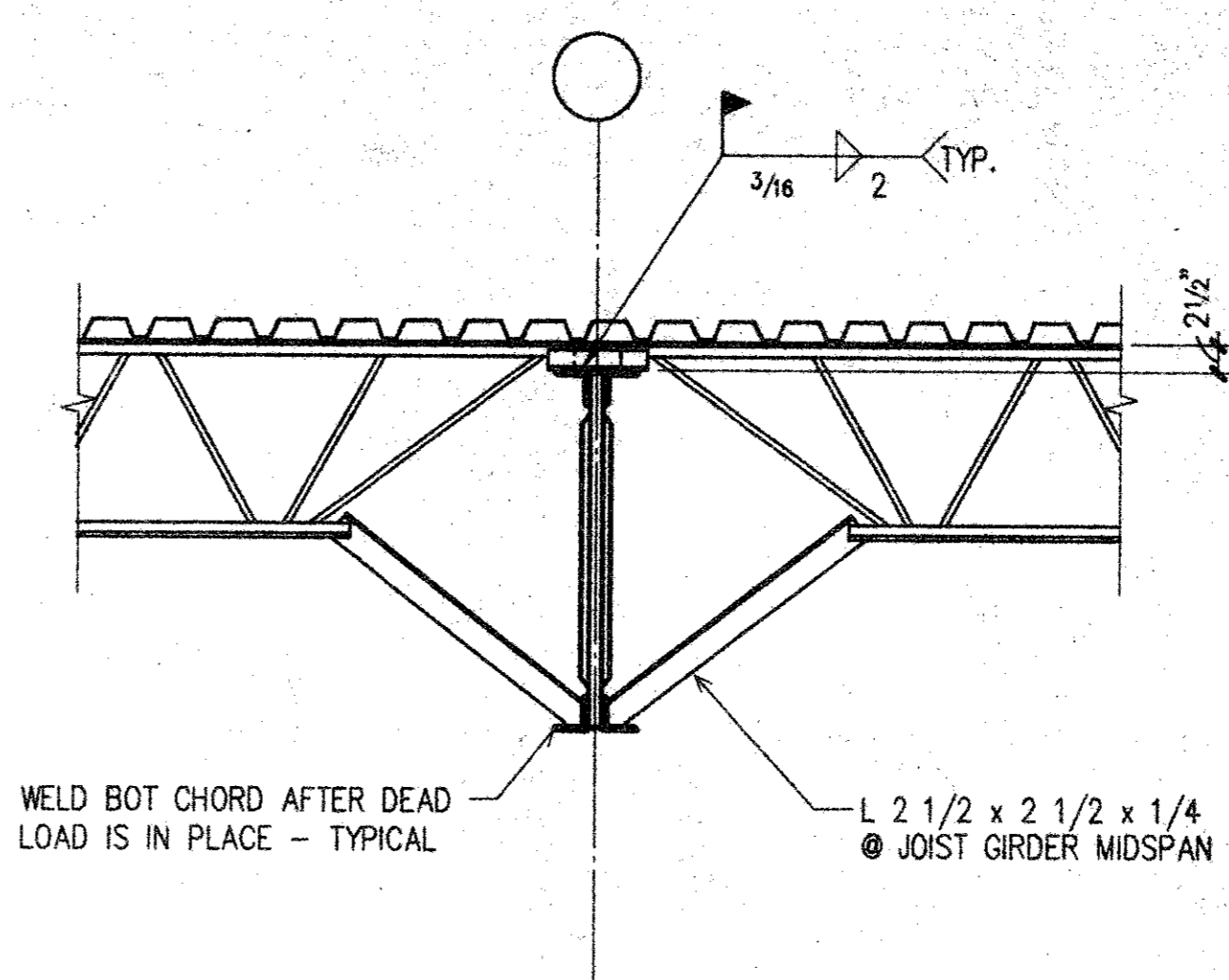
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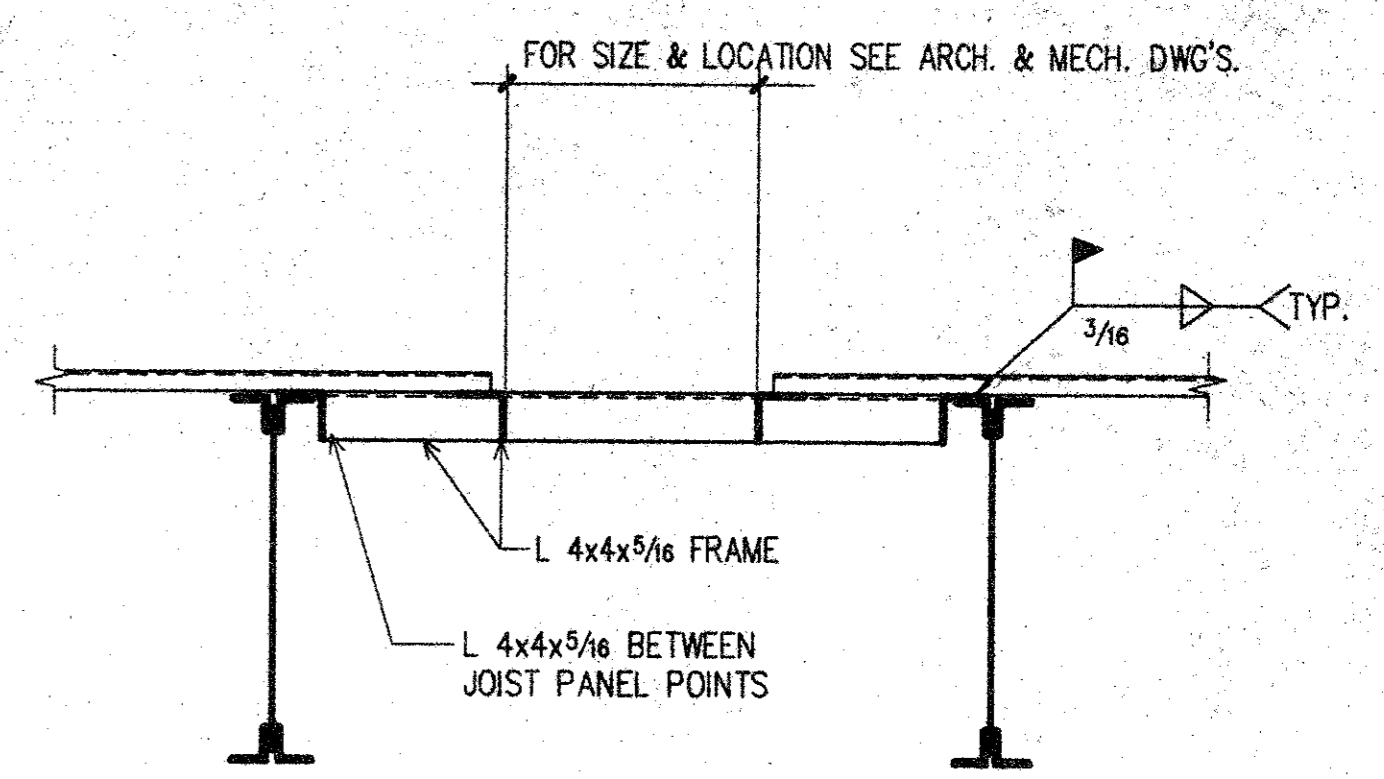
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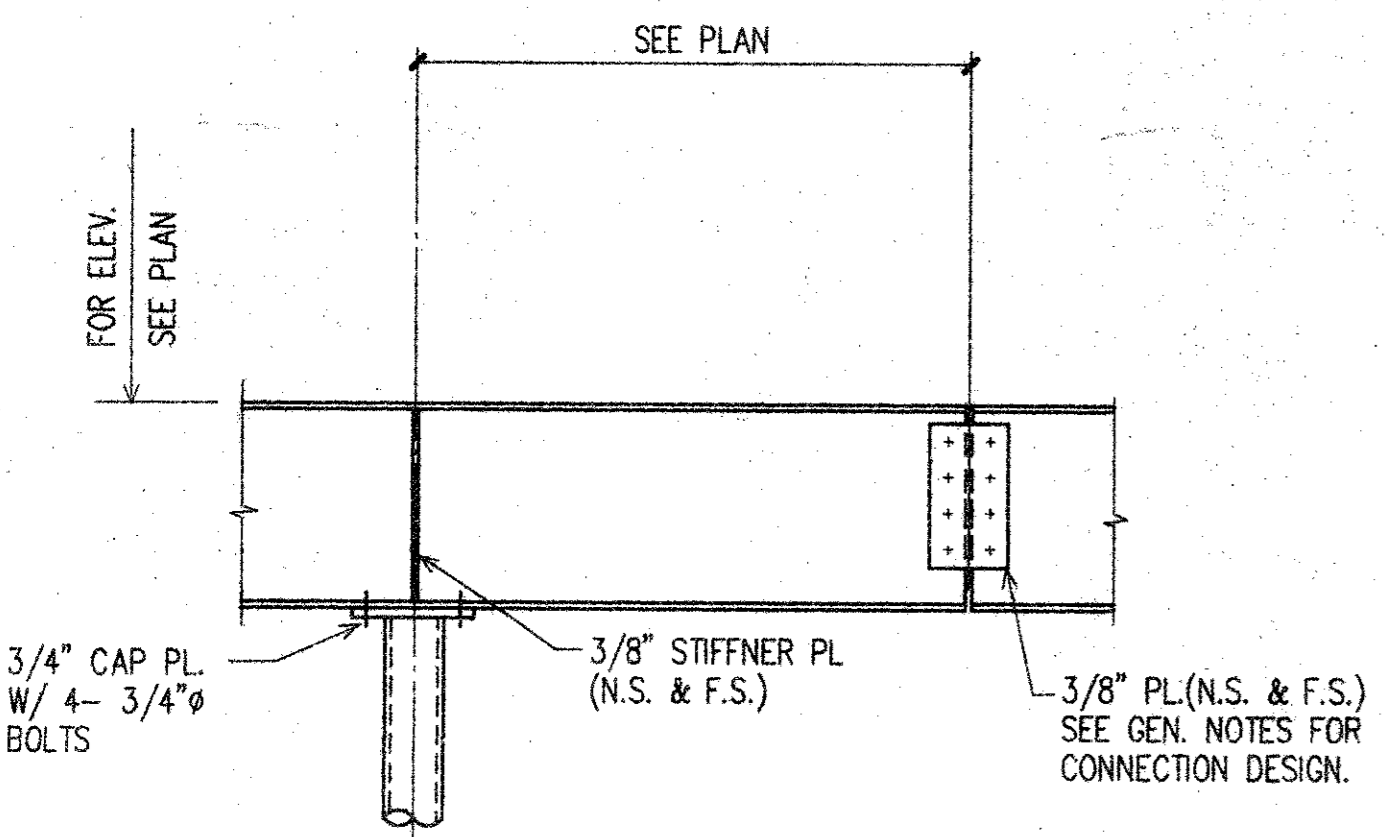


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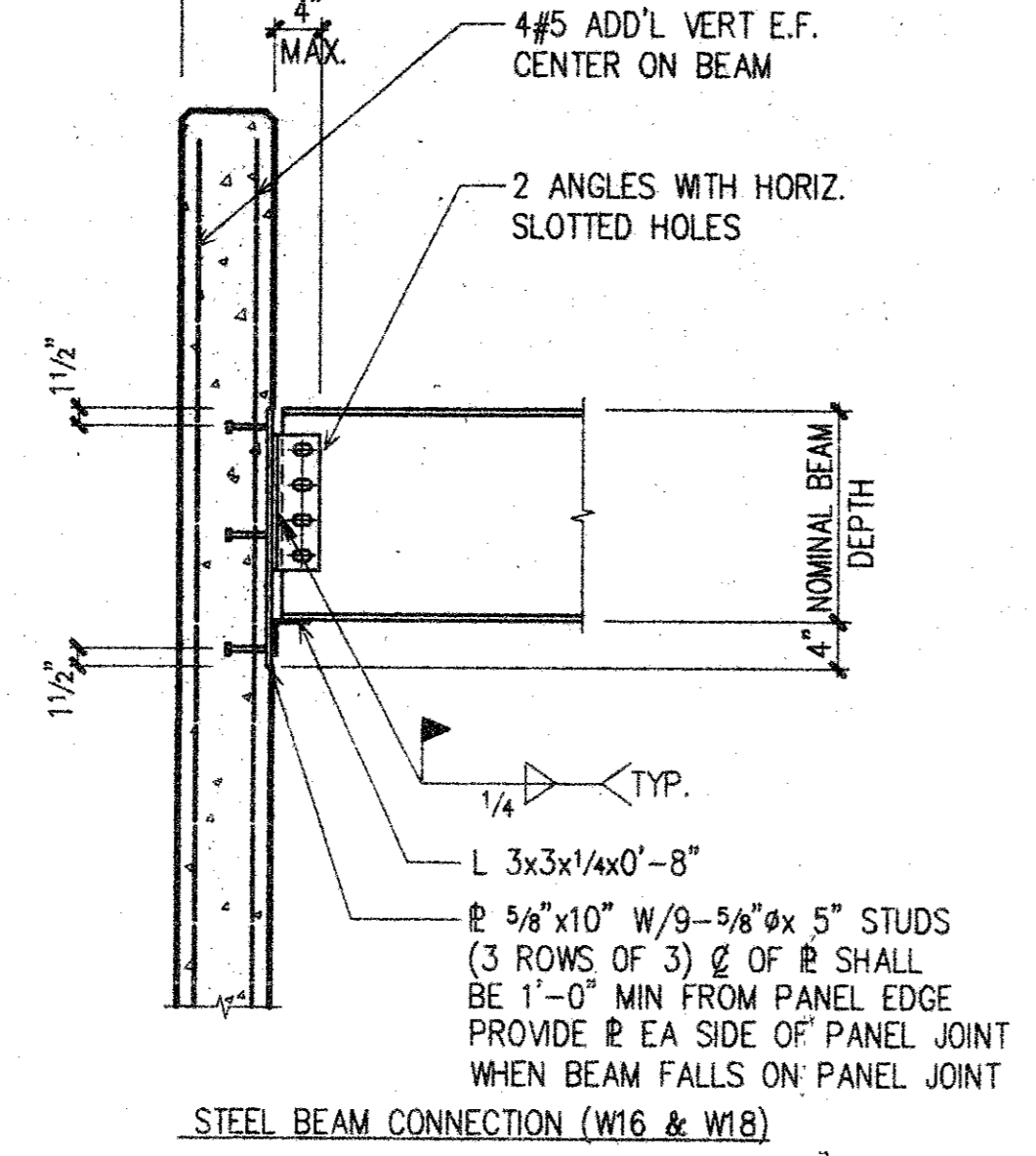


TYPICAL ROOF OPENING DETAIL

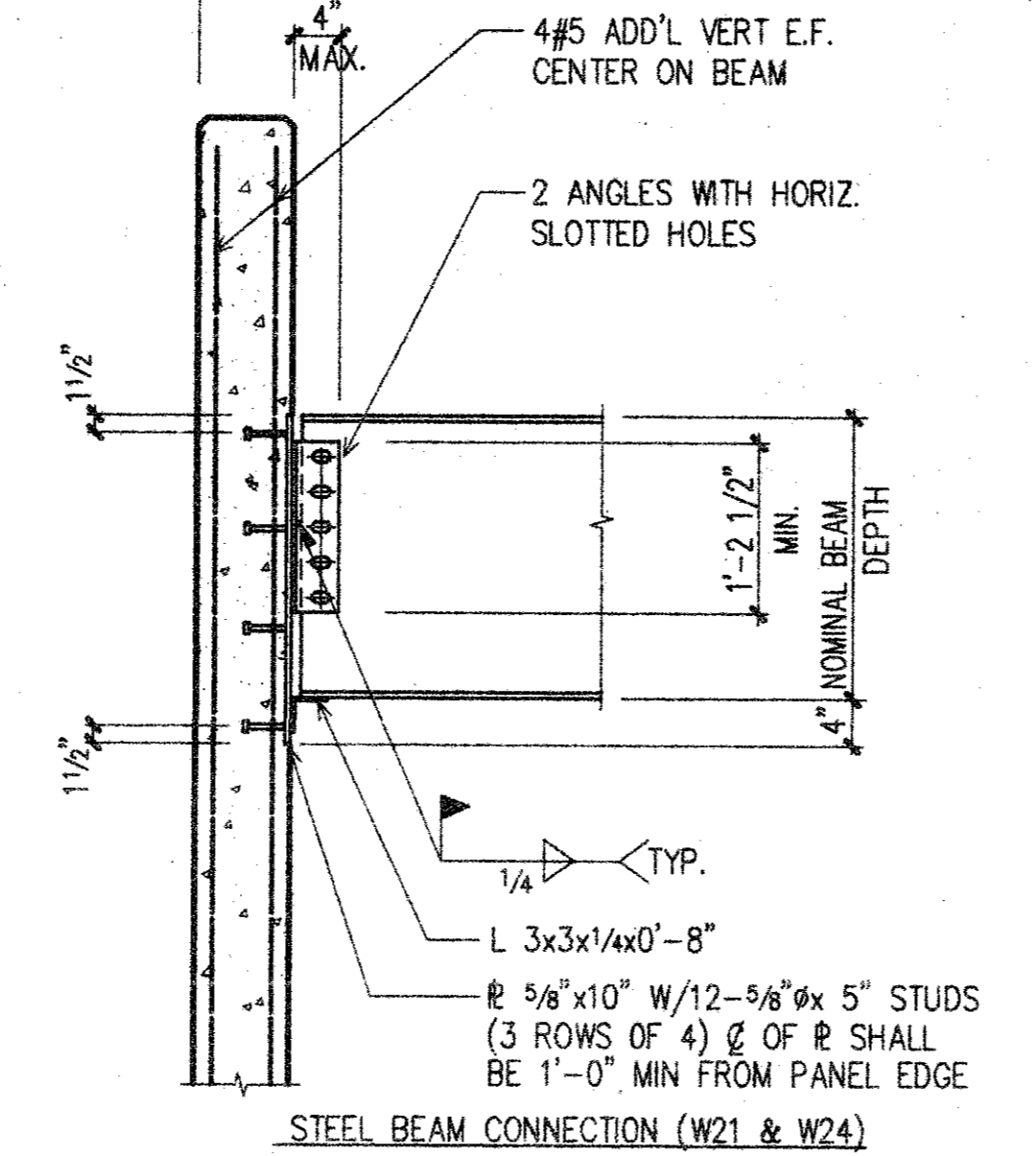
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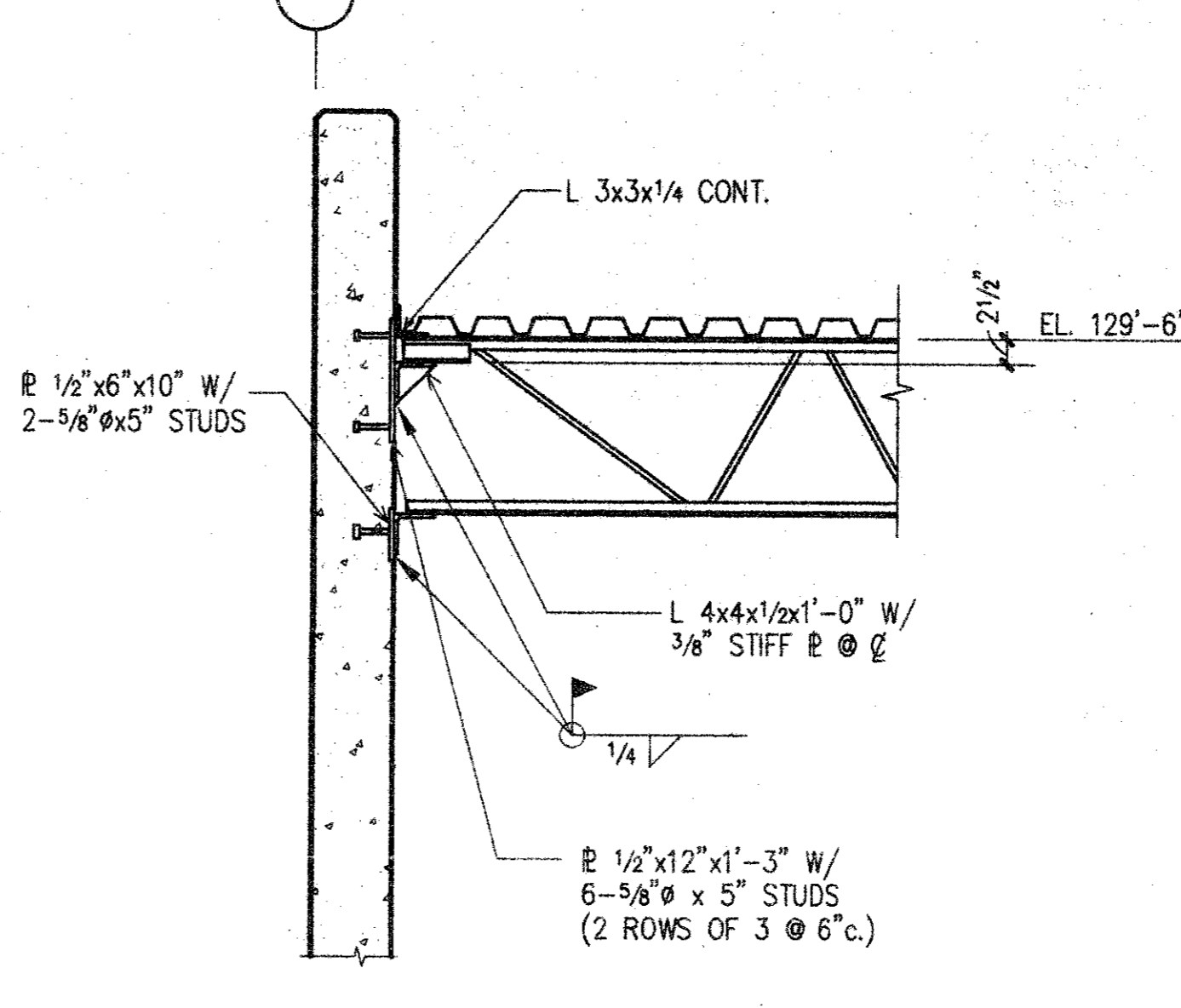
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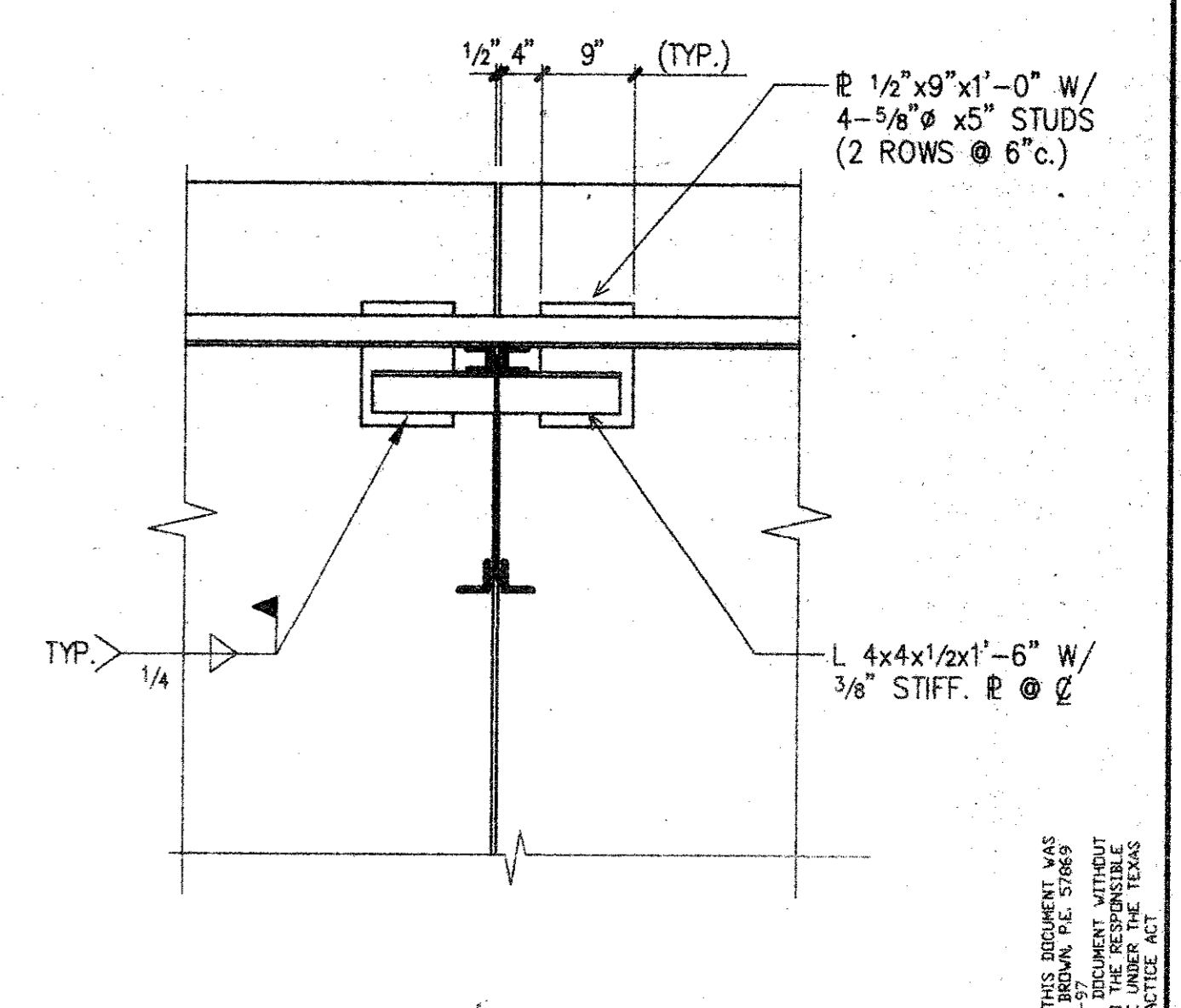
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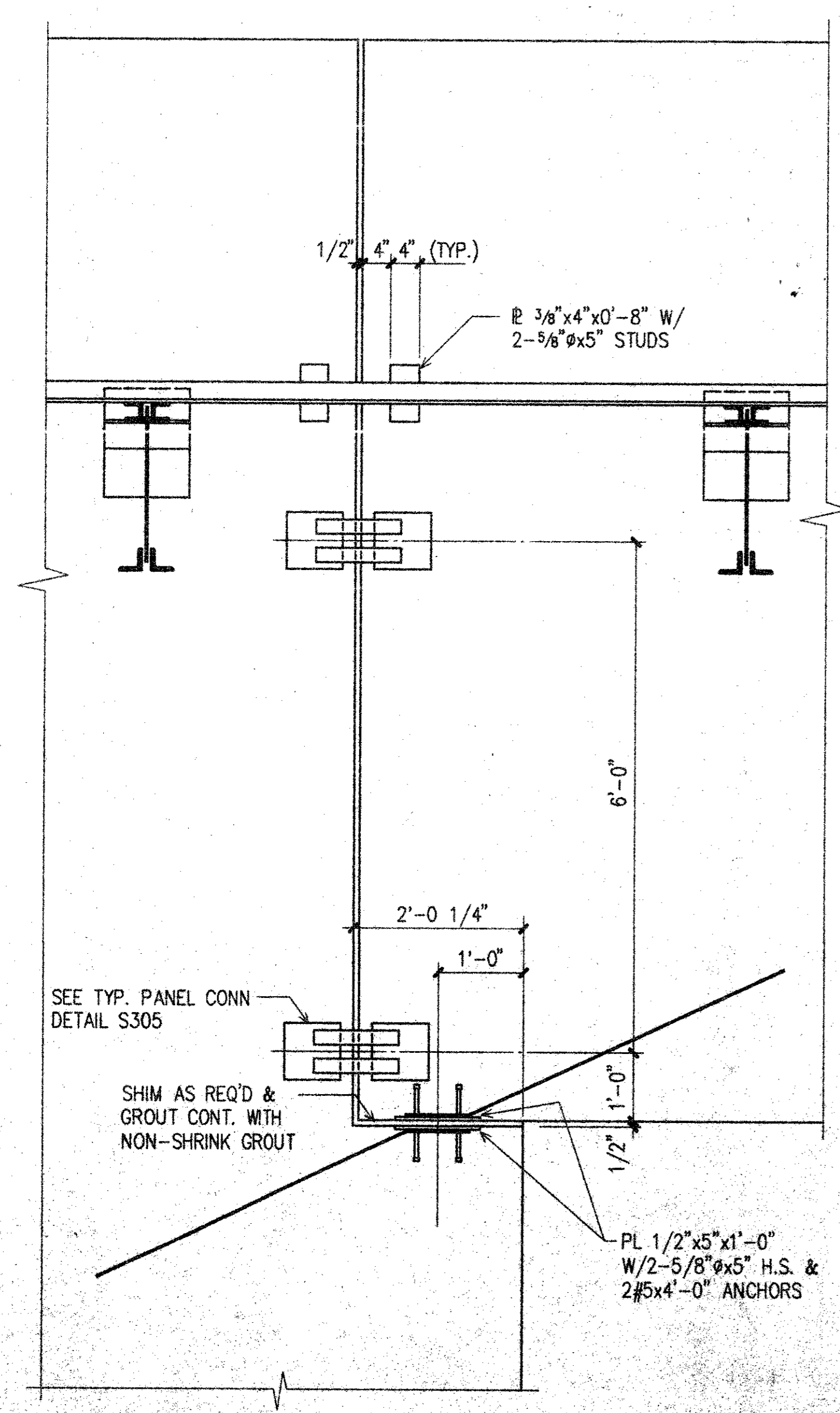
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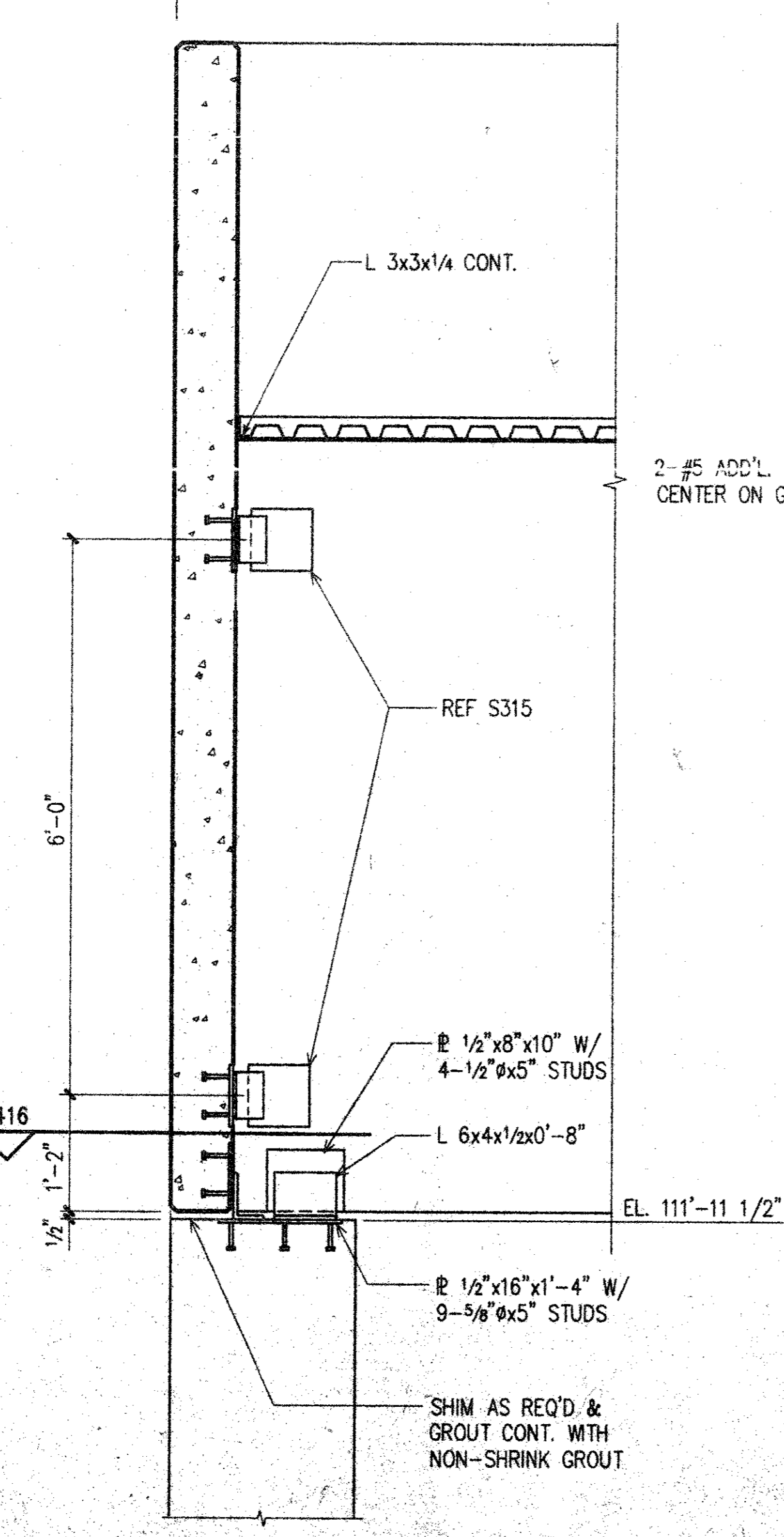
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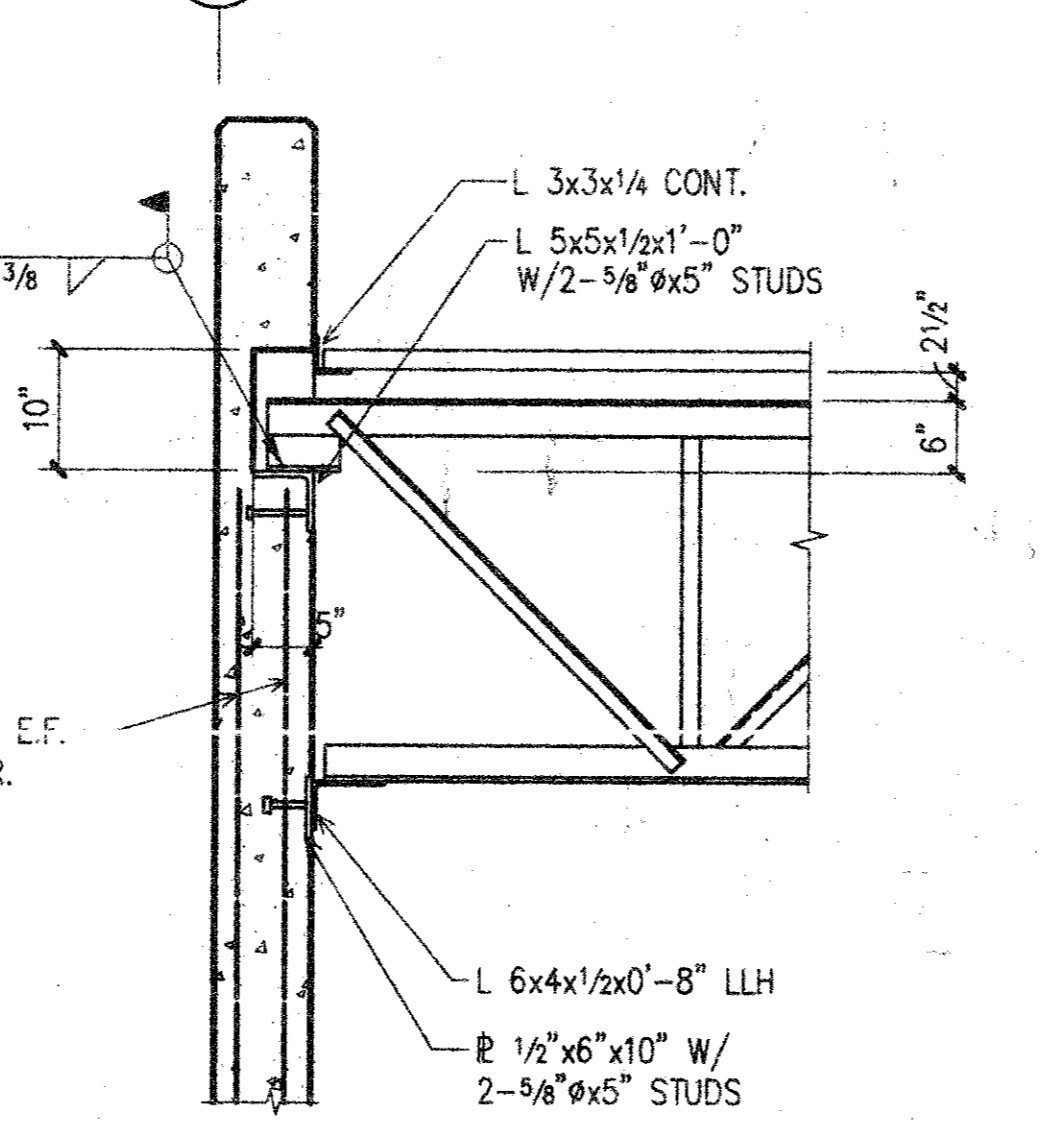
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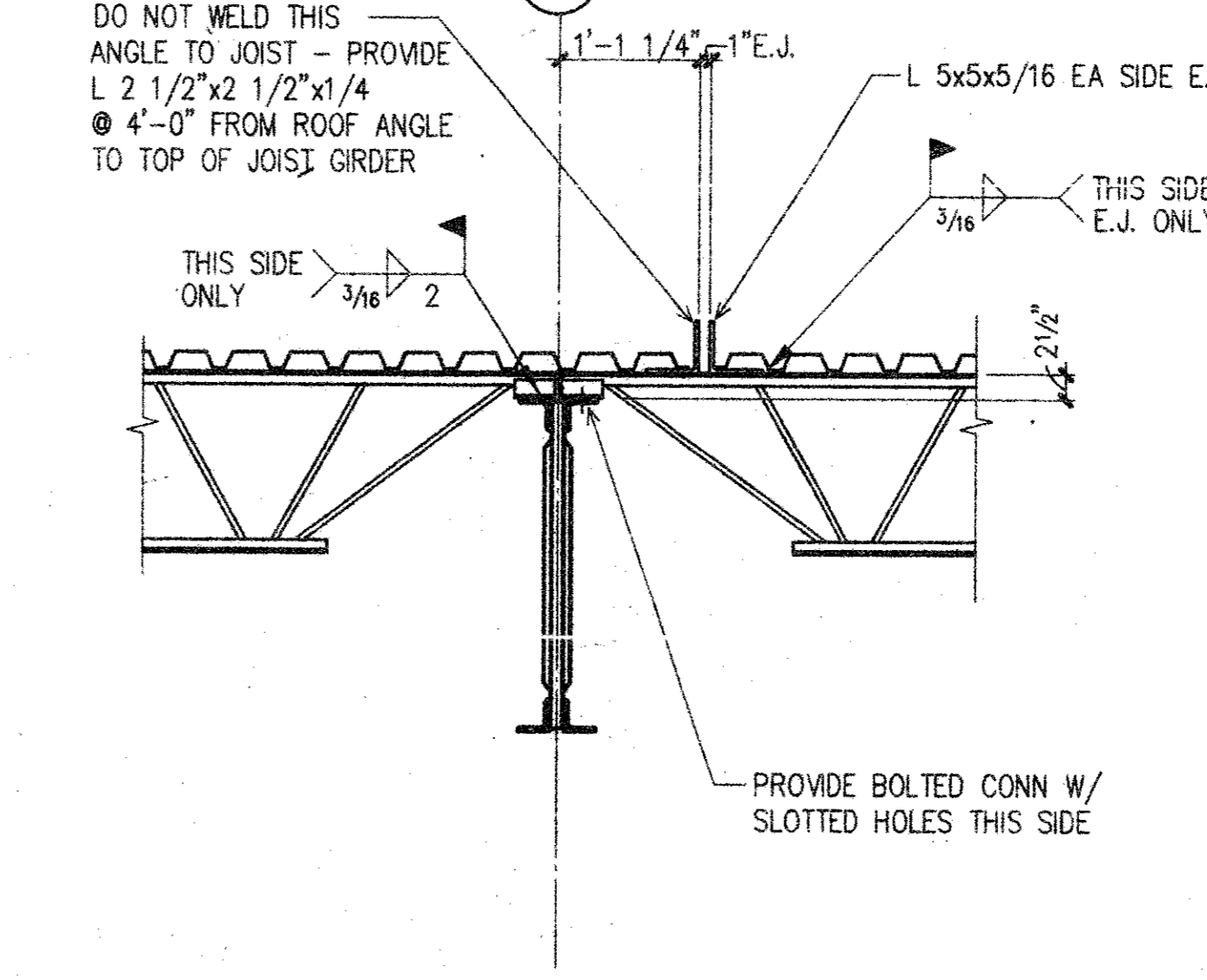
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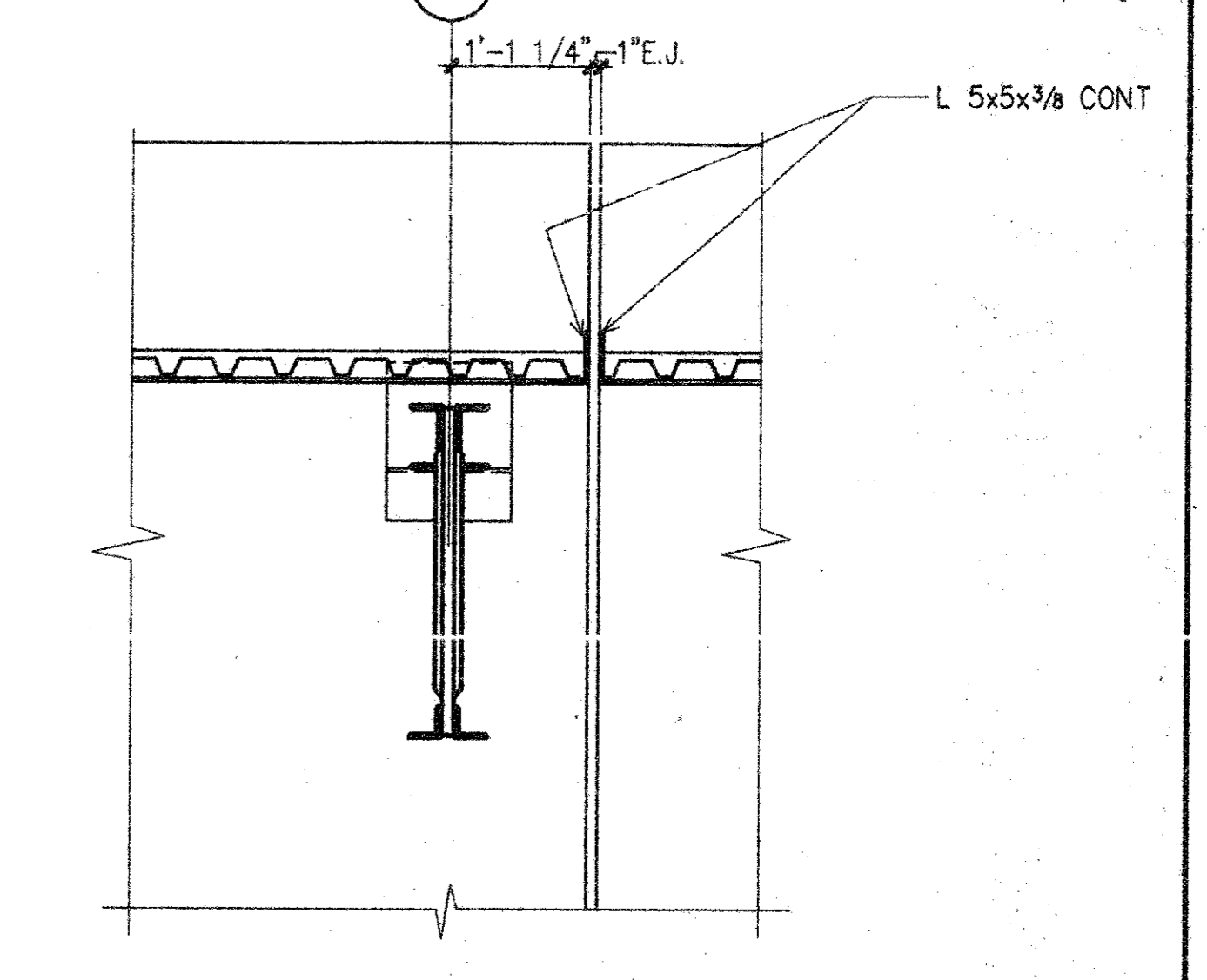
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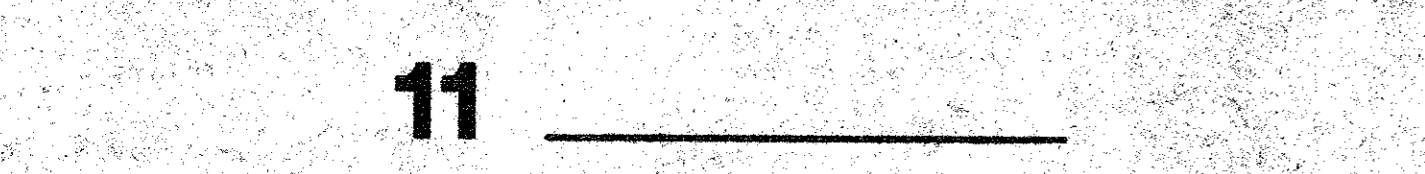
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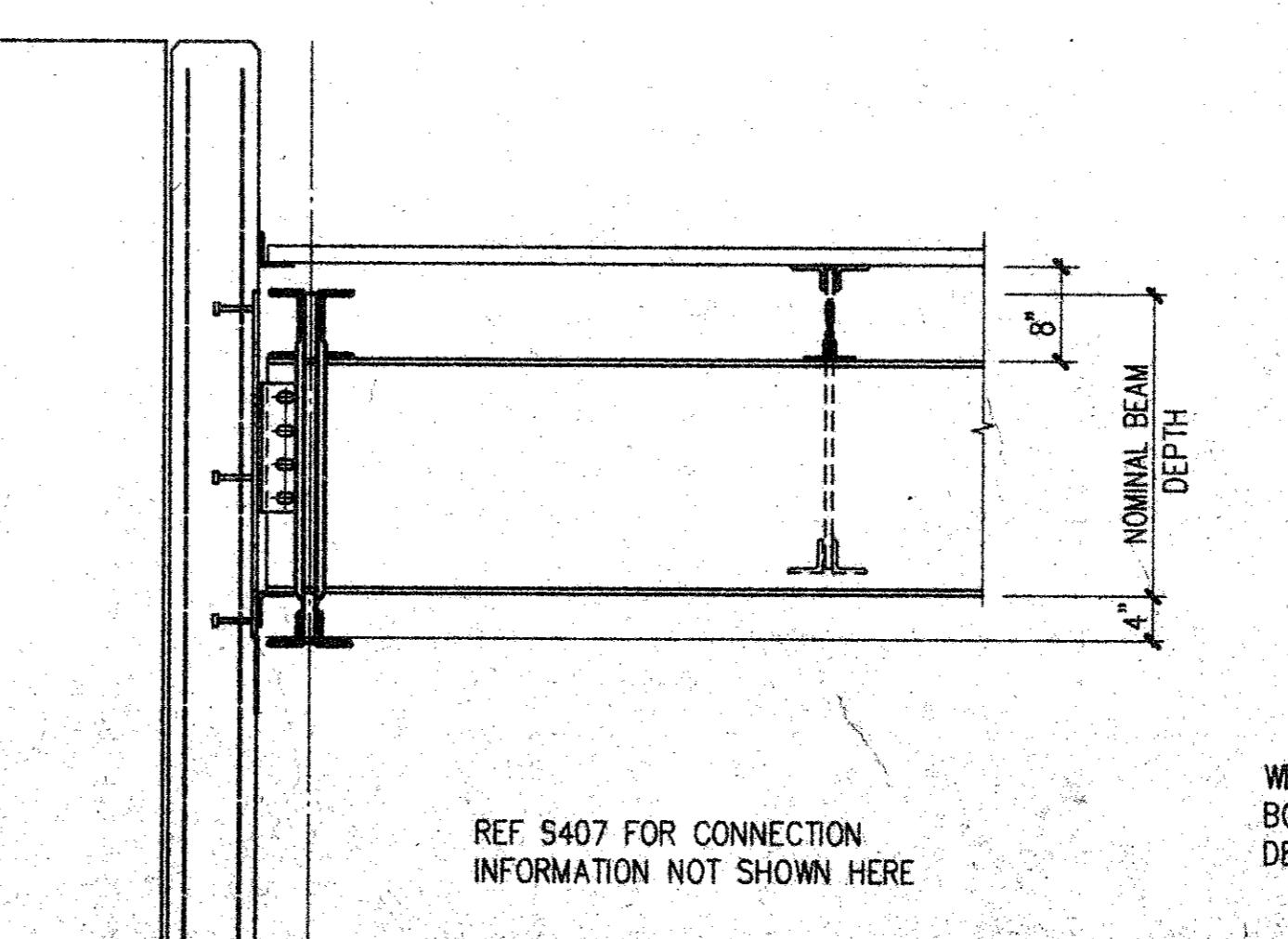
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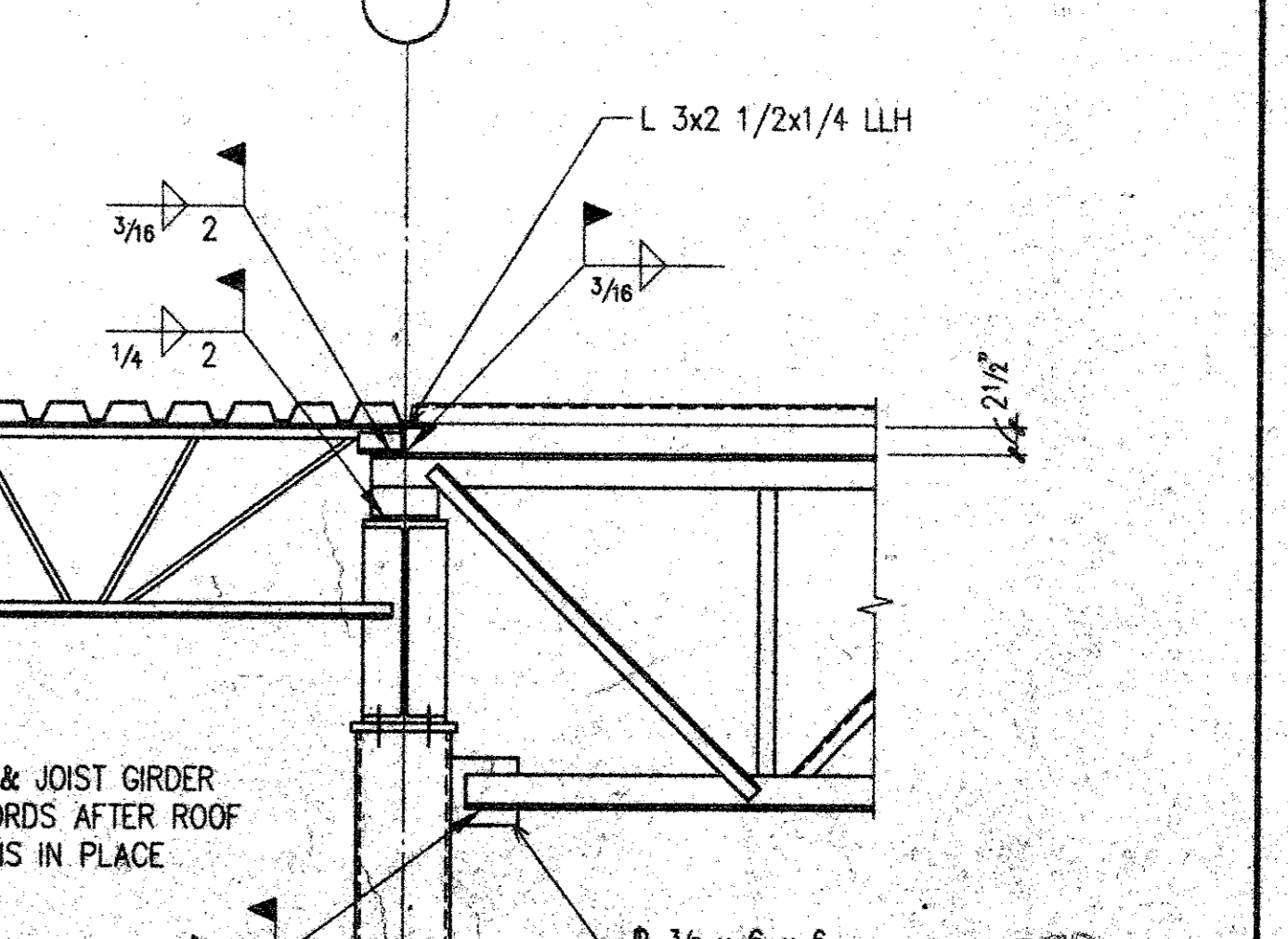
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**16**



**17**

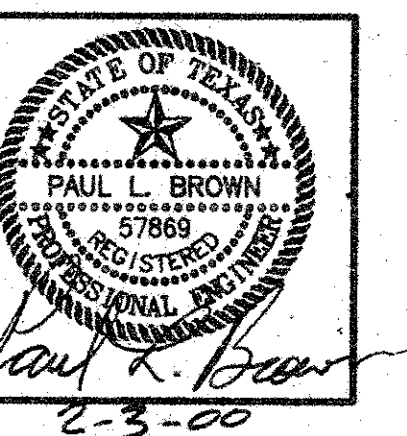


**18**

**AS - BUILT DRAWING**  
DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
Architecture • Planning • Structural Design  
16835 Addison Road, Suite 101  
Addison, Texas 75001 972-250-0119

**AMO**  
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ADDISON, TEXAS 75001  
TEL: 972-250-0119  
FAX: 972-250-3157

**OFFICE WAREHOUSE PHASE I**  
16835 ADDISON ROAD  
ADDISON, TEXAS



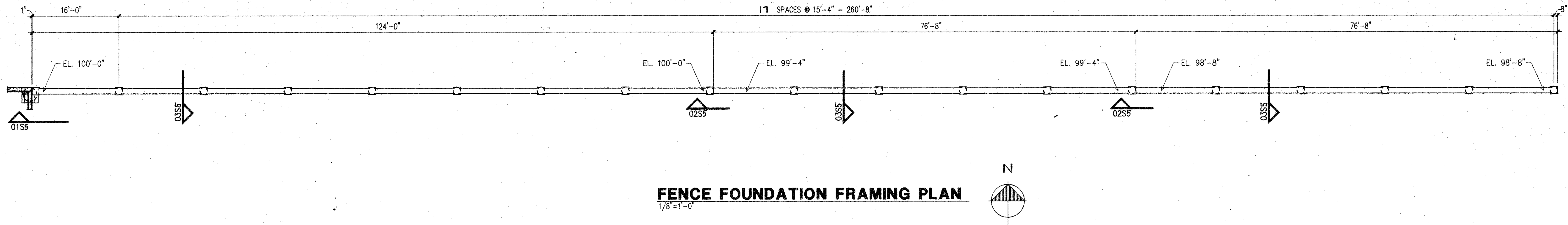
**to**  
T.S. Orendain Associates Inc.  
Architecture • Planning  
16835 Addison Rd.  
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**PAUL L. BROWN, P.E.**  
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1219 ABRAMS, SUITE 128  
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(972) 437-5551  
JOB: 8396 DATE: 9-29-97  
DRAWN: JPB CHECKED: PB

Date	Issued For / Description
9-29-97	FOR BUILDING PERMIT
2-3-00	ISSUED FOR CONSTRUCTION

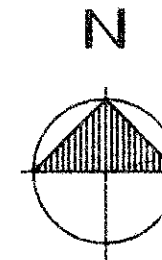
**ROOF SECTIONS & DETAILS**

**S4**

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**FENCE FOUNDATION FRAMING PLAN**  
1/8" = 1'-0"

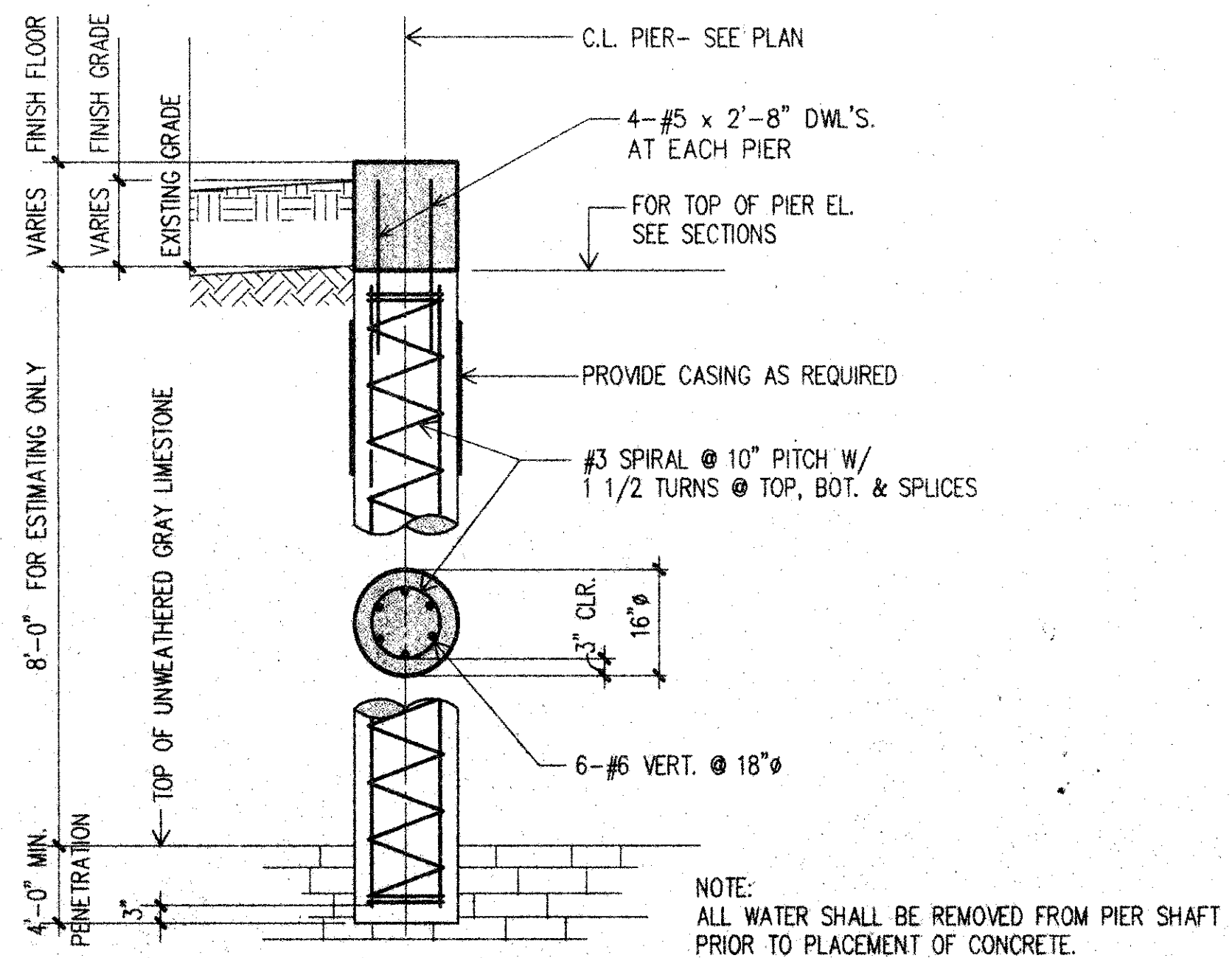
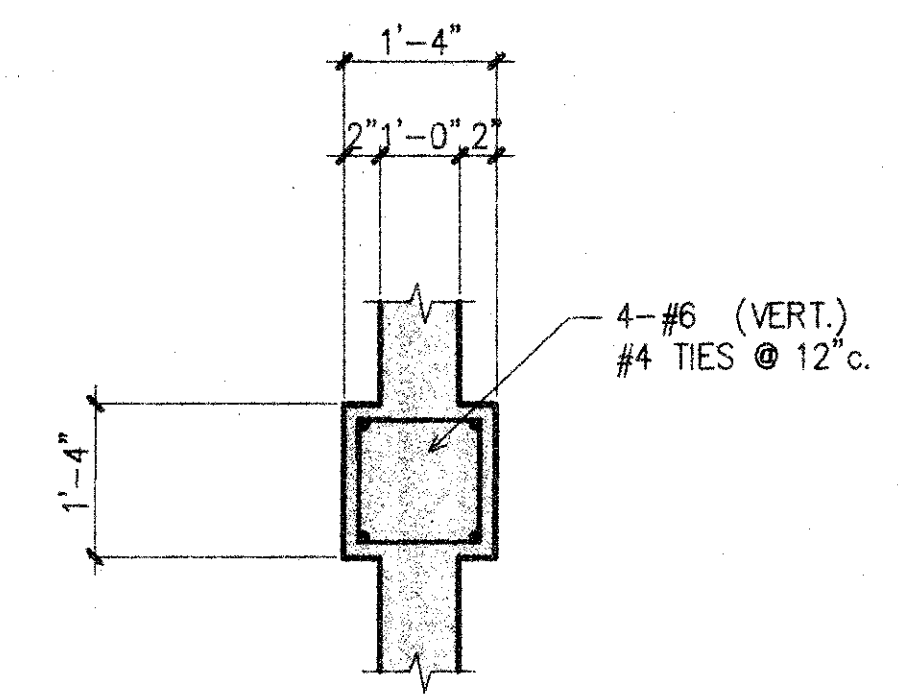
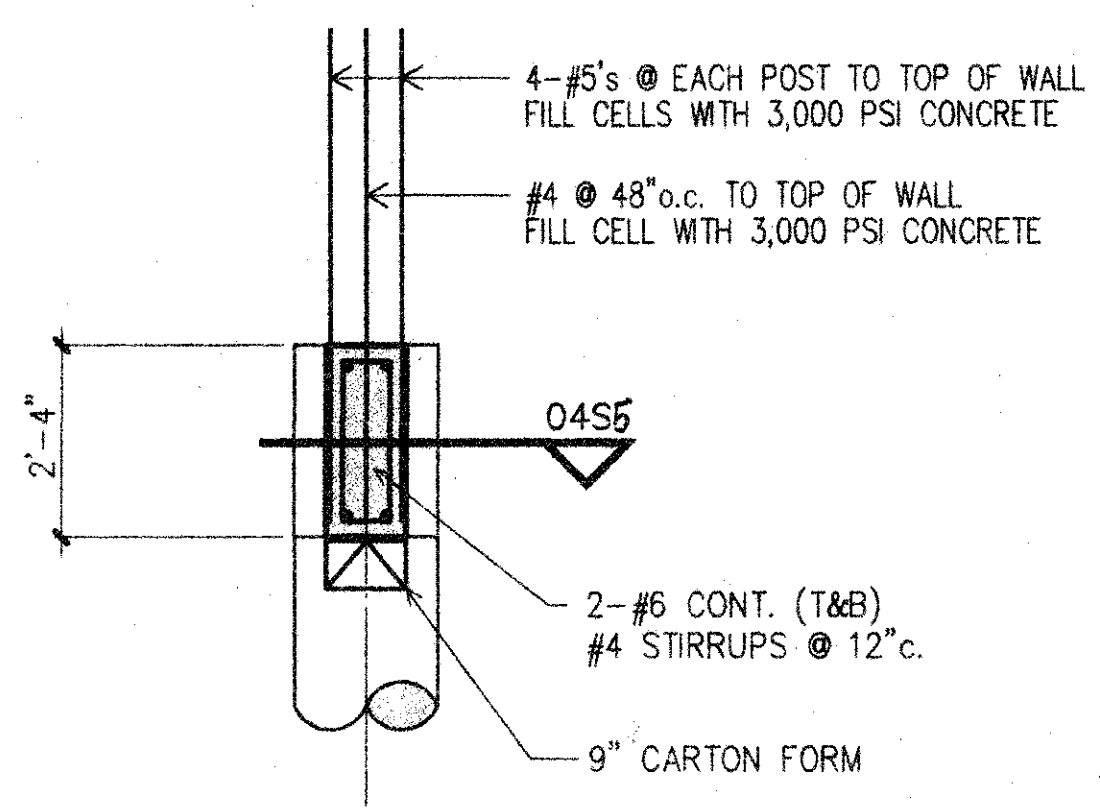
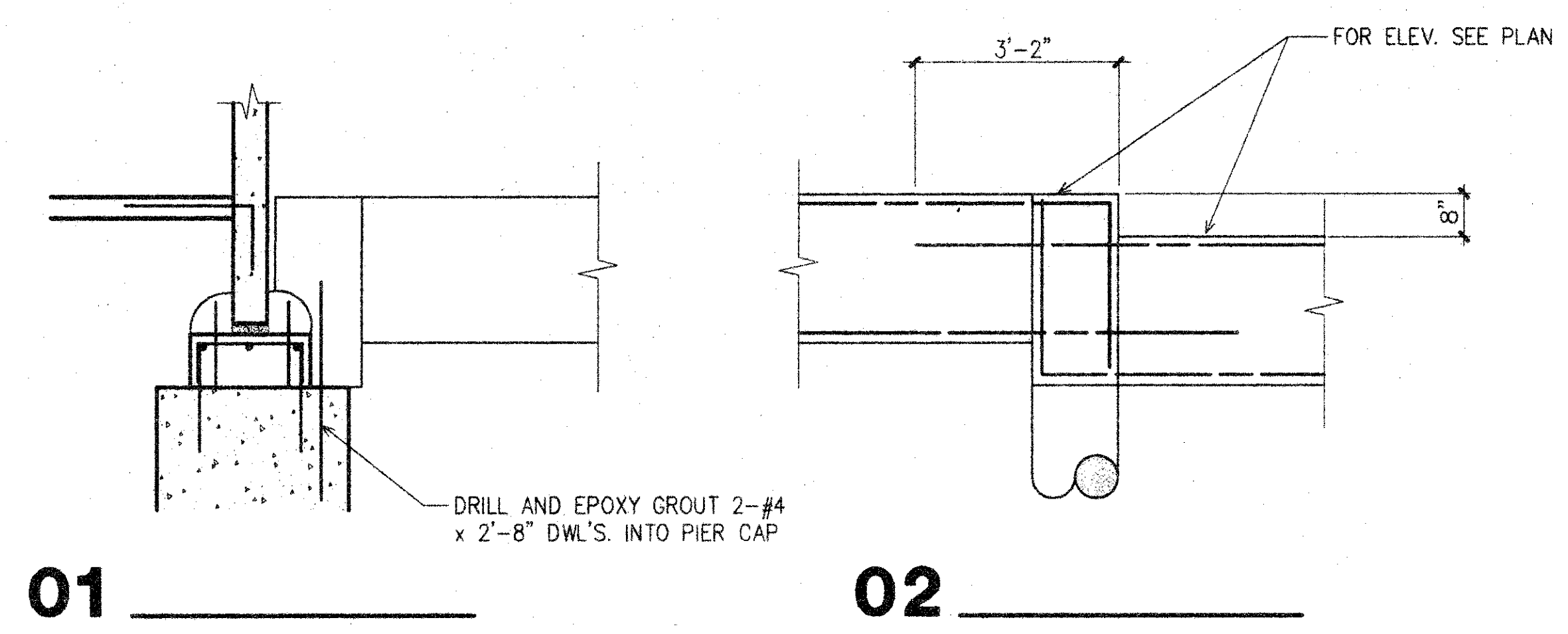


GENERAL NOTES

- GENERAL REQUIREMENTS
- THIS PROJECT SHALL MEET ALL REQUIREMENTS OF UNIFORM BUILDING CODE AND THE CITY OF ADDISON, TEXAS.
  - LIVE LOADS:  
ROOF LOAD ----- 20 PSF. WIND SPEED = 70 MPH.  
EXPOSURE = B SEISMIC ZONE = 0
  - THE FOUNDATION IS DESIGNED TO MEET THE RECOMMENDATIONS CONTAINED IN THE SOIL REPORT PREPARED FOR THIS PROJECT BY BRYANT CONSULTANTS, INC., DATED AUGUST 12, 1997.
  - FOUNDATION DESIGN IS BASED ON AN ALLOWABLE END BEARING VALUE OF 40,000 PSF. PIERS SHALL BE PLACED INTO THE UN-WEATHERED GRAY LIMESTONE FOUND AT A DEPTH OF BETWEEN 12 AND 4 FEET BELOW EXISTING GRADE.
  - ALL PIERS SHALL BE CENTERED UNDER THE WALLS UNLESS OTHERWISE SHOWN.
  - IF CASED PIERS ARE REQUIRED, THE PIERS ARE TO BE INSPECTED BY A QUALIFIED TESTING LABORATORY ENGINEER DURING THE DRILLING OPERATION, PLACEMENT OF CONCRETE, AND REMOVAL OF CASING. SPECIAL CARE SHALL BE TAKEN TO MAINTAIN A SUFFICIENT HEAD OF PLASTIC CONCRETE WITHIN THE CASING DURING EXTRACTION.
  - THE CONTRACTOR SHALL VERIFY DEPTHS OF PIERS BEFORE PIER STEEL IS CUT. PIER STEEL SHALL BE DELIVERED TO THE JOB SITE IN STANDARD 60' LENGTHS AND CUT AS REQUIRED. 30 BAR DIAMETER LAPS WILL BE ALLOWED IN THE PIER STEEL IF NO MORE THAN 50% OF THE BARS ARE LAPPED IN ANY 5'-0" LENGTH OF PIER.
  - ALL GRADE BEAMS SHALL BE SUPPORTED ON 9" CARTON FORMS COATED WITH PARAFFIN CONTAINING 10% POLYETHYLENE AND DESIGNED TO CARRY THE WET CONCRETE.
  - SHOP DRAWINGS: TWO PRINTS AND ONE SEPIA TRACING OF EACH DRAWING IS TO BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW. DISTRIBUTION OF PRINTS IS TO BE MADE ONLY FROM RETURNED THE SEPIA DRAWINGS BEARING A SIGNED REVIEW STAMP. NO WORK ON ITEMS SHOWN THEREON IS TO PROCEED UNLESS THE STAMP CLEARLY INDICATES "NO EXCEPTIONS TAKEN" OR "MAKE CORRECTIONS NOTED". GENERAL CONTRACTOR SHALL PRE-CHECK ALL SHOP DRAWINGS BEFORE SUBMISSION TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW THE ENGINEER TWO WEEKS FOR REVIEWING SHOP DRAWINGS.
  - STRUCTURAL DRAWINGS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS WITHOUT PRIOR PERMISSION OF THE STRUCTURAL ENGINEER.
  - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS.

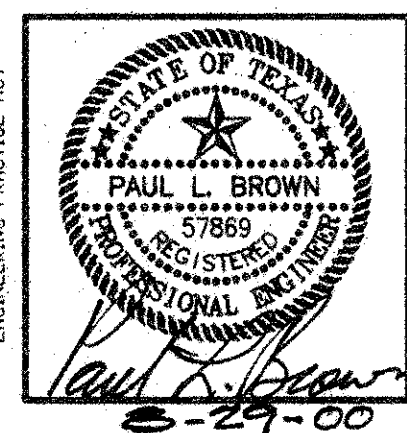
CONCRETE

- ALL CONCRETE AND METAL REINFORCEMENT FOR CONCRETE SHALL BE FABRICATED AND PLACED IN CONFORMITY WITH THE "ACI STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318).
- POURED IN PLACE CONCRETE SHALL STRICTLY ADHERE TO THE PROPORTIONS ESTABLISHED IN DESIGN MIXES, PREPARED AND TESTED BY A PRE-QUALIFIED LABORATORY. THESE TESTS SHALL CONSIST OF THE ACTUAL MATERIALS TO BE USED DURING CONSTRUCTION, FOR THE SEVERAL STRENGTHS AND USES INTENDED. THE DESIGN MIXES AND TEST RESULTS ARE TO BE REVIEWED BY THE ENGINEER PRIOR TO USE.
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- STRENGTH TESTS OF CONCRETE ARE TO MEET THE REQUIREMENTS FOR ULTIMATE STRENGTH DESIGN.
- UNLESS NOTED, METAL REINFORCEMENT FOR POURED IN PLACE CONCRETE IS TO BE ASTM 615; GRADE 60 FOR PRINCIPAL REINFORCING; GRADE 40 FOR STIRRUPS AND TIES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
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- PROPER ACCESSORIES AND SUPPORTS ARE TO BE USED AS NOTED AND REVIEWED ON THE SHOP DRAWINGS. ALL REINFORCING TO BE SECURELY AND ACCURATELY HELD IN LOCATIONS SHOWN ON PLANS.



TYPICAL PIER DETAIL

THE SEAL APPEARING ON THIS DRAWING WAS AUTHORIZED BY PAUL L. BROWN, P.E. ENGINEER IN CHARGE OF THIS PROJECT. THE SEAL IS VALID FOR THE STATE OF TEXAS.



**to**  
T.S. Orendain Associates, Inc.  
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**PAUL L. BROWN, P.E.**  
STRUCTURAL ENGINEER  
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(972) 437-5551

DATE: 8-23-00  
DRAWN: JPB  
CHECKED: PB

Date	Issued For / Description
9-13-2000	REVISION

**AS - BUILT  
DRAWING**  
DATE: 8-23-01  
T.S. ORENDAIN ASSOC., INC.  
Architecture • Planning • Interior Design  
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Addison, Texas 75001 972-250-0119

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AUG 30 2005  
T.S. ORENDAIN ASSOC./INC.

FENCE FOUNDATION FRAMING PLAN