C-1 COMMERCIAL

LOT 18 BLOCK B CARROLL ESTATES ADDITION

16835 ADDISON ROAD TOWN OF ADDISON, DALLAS COUNTY, TEXAS

1997 UNIFORM BUILDING CODE (UBC)

TYPE OF CONSTRUCTION: BUILDING HEIGHT:

TYPE B - FULLY SPRINKLERED ONE STORY

BUILDING AREA (S.F.):

EXISTING BUILDING PROPOSED BLDG. TOTAL BLDG. AREA

= 26,718.08 S.F.TOTAL SITE AREA = 94.618.3 S.F.= 1/300 S.F.

PARKING RATIO:

TOTAL PARKING REQUIRED TOTAL PARKING PROVIDED

LANDSCAPE RATIO:

PLAN SCALE 0 201

LANDSCAPE RATIO REQUIRED = 20% LANDSCAPE AREA REQUIRED = 18,923.66 S.F. LANDSCAPE AREA PROVIDED = 19,135.89 S.F.

PARTITION TYPES

DOOR NUMBER

WINDOW NUMBER

FINISH MATERIAL

PAINT
PAIR
PANEL
PARTITION
PAVEMENT

PAVEMENT
PERPENDICULAR
PLASTER
PLASTIC
PLATE
PLYWOOD
POLISHED
PREFABRICATED
PROPERTY
PROPERTY LINE

QUARRY TILE

RECEPTION REFER(ANCE)

REINFORCE(INC RELOCATE(ED) REQUIRED RETURN AIR

RIGHT HAND REVERSE

REVISION

RUBBER

SECRETARY
SECTION
SERVICE SINK
SHEATHING
SHEET
SIMILAR
SLIDING
SOLID CORE
SOUTH
SPECIFIED
SQUARE
SQUARE
SQUARE
STANDARD
STEFF

STEEL STORAGE STRUCTURE(AL)

SUSPENDED ACOUSTICAL

TELEPHONE TEXTURE AND PAINT

THRÈSHOLÓ TOILET

TOP OF STEE TOP OF WALL TREAD

TRANSFORMER TYPICAL

VERTICAL VESTIBULE

WAREHOUSE

MOOD WITHOUT

WATER CLOSE"

WATERPROOF(ING

WELDED WIRE MESH WEST WINDOW WITH

UNLESS NOTED OTHERWISE URINAL

VENT THROUGH ROOF

VINYL COMPOSITE TILI VINYL WALL COVERING

SANITARY SEWER SCHEDULE SECRETAR

RADIUS

= 5,400 S.F.

= 21,318.08 S.F.

* FIRE PROTECTION IN ACCORDANCE WITH THE STATE OF TEXAS FIRE

* FACTORY MUTUAL 1-7 AND 1-28 - DESIGN C.

REFERENCE SYMBOLS

* REFER TO SHEET S-1 FOR PIER LOCATIONS

COLUMN LINES

WALL, DETAIL SECTION

BUILDING SECTION

EXTERIOR ELEVATION

INTERIOR ELEVATION

MISC. DETAIL

ABBREVIATIONS

FIRE HYDRANT

FLOOR DRAIN

FLUORESCEN

GAUGE GENERAL/GENERATOR GENERAL CONTRACTOR

FURRING

GLASS GRADE GUTTER GYPSUM

HANDICAP(PED

HOLLOW METAL HORIZONTAL

INCANDESCENT INSIDE DIAMETER

HOSE BIB

INTERIOR

KITCHEN

LAMINATE

LIGHT LIGHTING LOUVER LUMBER

MACHINE

MAXIMUM

METAL MEZZANINE

MISCELLANEOUS:

NOT TO SCALE

ON CENTER ON CENTER EACH WAY

OPENING
OPPOSITE
ORIGINAL
OUTSIDE DIAMETER
OVERALL
OVERHEAD

MINIMUM

MOUNTING

NOMINAL NORTH

NUMBER

LAVATORY

LEFT HAND REVERSE

HARDBOARD

HARDWARE

ABOVE FINISH FLOOR

AREA DRAIN

ASSISTANT

AVERAGE

BRITISH THERMAL UNITS

CEILING CEMENT CENTER CENTER LINI

CERAMIC T CHANNEL CLAY TILE

COMPRESSOR

CONSTRUCTIO CONTINUOUS

CONTROL JOINT

DEMOLISH(TION DEPARTMENT

EVATION - VIEW

EQUIPMENT EXECUTIVE EXHAUST EXISTING EXPANSION(IVE

DETAIL DIAMETER

CONCRETE MASONRY UNITS

NOTES

FIRE DEPARTMENT

REFER TO SHEET C-1 FOR LOCATION OF FIRE HYDRANT.

BUILDING SHALL BE FULLY SPRINKLERED IN ACCORDANCE WITH N.F.P.A.-13

16835 ADDISON ROAD

BUILDING INSPECTION

ADDISON PARK CENTRE

OFFICE/TECH./FLEX.

PHASE 1

- 1. UPON COMPLETION OF THE PROJECT THE ARCHITECT SHALL SUBMIT A LETTER STATING THE BUILDING
- UPON COMPLETION OF THE PROJECT THE ENGINEER SHALL SUBMIT A LETTER STATING THE BUILDING WAS

ADDISON, TEXAS

MECHANICAL EQUIPMENT SHALL BE SCREENED FROM ADJACENT PROPERTY AND R.O.W. WITH MATERIALS

APPROVED BY THE BUILDING OFFICIAL.

GENERAL NOTES

- ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION TIME SCHEDULES PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CONTRACTOR SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, AND SITE AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION, BEFORE BEGINNING CONSTRUCTION.
- ALL PHASES OF THE WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE BUILDING CODE CURRENTLY IN USE BY THE TOWN OF ADDISON, STATE. COUNTY, AND LOCAL ORDINANCES THAT MAY APPLY. HOWEVER, WHERE THE DRAWINGS AND/OR SPECIFICATIONS ARE MORE STRINGENT THEY SHALL GOVERN. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY CODE DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK SHALL COMPLY WITH OSHA STANDARDS.
- ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FACE OF WALLS, UNLESS OTHERWISE NOTED.
- THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCY BETWEEN THE ARCHITECT'S AND CONSULTING ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.
- FLOOR AND WALL OPENINGS, SLEEVES, VARIATION IN THE ARCHITECTURAL, MECHANICAL AND/OR ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT
- ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM EXISTING CONCRETE SLAB FLOOR TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF THE EXISTING CONCRETE. CONTRACTOR TO ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.
- PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK. ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS
- 14. $^{\circ}$ ALL RUBBISH AND DEBRIS RESULTING FROM DEMOLITION AND/OR NEW WORK IS THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE. MAINTAIN BUILDING AREAS CLEAN AND FREE OF ACCUMULATED DIRT AND DEBRIS.
- ANY DECORATION USED SHALL BE NON-COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER.
- 16. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE WORK WITH EQUIPMENT INSTALLATIONS AND OWNER'S REQUIREMENTS.
- INTERIOR AND/OR EXTERIOR THRESHOLDS SHALL BE A MAXIMUM 1/2" ABOVE THE ADJACENT FLOOR. 18. PROVIDE GALVANIC SEPARATION BETWEEN ALL DISSSIMILAR METALS.
- 19. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE. 20. CONSTRUCTION SHALL COMPLY WITH PROVISIONS OF THE CITY FIRE DEPARMENT
- SPRINKLER SYSTEM SHALL BE APPROVED BY THE STATE AND FIRE DEPARTMENT PRIOR TO INSTALLATION. ENTIRE PROJECT SHALL BE PROTECTED WITH SPRINKLER SYSTEM. 22. WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING
- AND/OR BLOCKING IN STUD PARTITION OR TO BRACE PARTITION ABOVE CEILING. 23. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT ANY SPECIAL EFFORT OR KNOWLEDGE. DOORS SHALL EITHER BE OPENABLE BY USE OF AN APPROVED PANIC DEVICE OR SHALL HAVE INDICATING LOCKS AND SIGNS READING "DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".

SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.

- 24. PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK, AND SPECIAL ITEMS ANCHORING POINTS. WOOD BLOCKING SHALL BE MOISTURE TREATED IF LOCATED IN DAMP LOCATIONS OR ADJACENT TO CONCRETE OR MASONRY CONSTRUCTION. ALL WOOD BLOCKING SHALL BE FIRE RETARDANT.
- 25. ALL CONSTRUCTION AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AND CONFORM TO ACCEPTED INDUSTRY/TRADE STANDARDS FOR GOOD DESIGN AND CONSTRUCTION.

- 26. LOCATE ALL CONVENIENCE OUTLETS A MINIMUM OF 15" FROM THE FINISHED FLOOR.
- 27. CONTRACTS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHERS INVOLVED IN THE WORK SHALL INSPECT THE SITE BEFORE BIDDING THE WORK IN ORDER TO DETERMINE THE EXTENT OF WORK, CLEARANCES, ACCESSIBILITY AND ANY OTHER ITEMS THAT MIGHT AFFECT THEIR BID AND WORK REFER TO GENERAL CONDITIONS.
- 28. ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHERS INVOLVED IN THE WORK OR ANY PORTION THEREOF SHALL REVIEW THE COMPLETE CONTRACT DOCUMENTS AND HAVE KNOWLEDGE OF ALL THE WORK TO BE PERFORMED BY ALL TRADES, ETC. AND SHALL COORDINATE THEIR WORK FULLY WITH SAID TRADES, ETC.
- 29. INSTALL HINGES WITH NON-REMOVABLE PINS ON ALL EXTERIOR DOORS.
- 30. ALL HANDICAPPED ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- 31. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH OTHER TRADES AND THE USER/OWNER OF THE BUILDING.
- 32. THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.
- 33. ALL EXITWAYS SHALL BE ILLUMINATED BY A SUITABLY APPROVED EMERGENCY LIGHTING SYSTEM DESIGNED TO OPERATE WHEN THE BUILDING POWER SOURCE IS INTERRUPTED.
- 34. EXIT SIGNS AND LIGHTING: MINUMUM 6" LETTERS ON CONTRASTING BACKGROUND.
- 35. GLASS DOORS AND ALL GLAZED OPENINGS SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
- 36. TOILET ROOMS SHALL BE VENTILATED AS REQUIRED BY THE BUILDING CODE
- 37. THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL AND PLUMBING HOOK-UPS AND/OR CONNECTIONS FOR ALL OWNER FURNISHED EQUIPMENT.
- 38. PROVIDE AND LOCATE ACCESS DOORS OR PANELS IN CEILINGS AND WALL CONSTRUCTION AS REQUIRED BY INSTALLATION OF MECHANICAL AND PLUMBING WORK AND AS APPROVED BY ARCHITECT. PROVIDE RATED PANELS AS REQUIRED BY WALL OR CEILING CONSTRUCTION.
- 39. CONTRACTORS SHALL RECORD ALL ACTUAL ALTERATIONS FROM DRAWINGS.
- 40. ALL HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE SHALL BE LEVER TYPE HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE
- 41. ALL SIGN RELATED WORK SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. THE FOLLOWING ITEMS SHALL BE THE RESPONSIBILITY OF THE SIGN CONTRACTOR: COORDINATE WITH LOCAL GOVERNMENT AGENCIES REGARDING CODE REQUIREMENTS OBTAIN APPROVAL FROM THE OWNER FOR FINAL DESIGN LAYOUT. SUBMIT FINAL DESIGN LAYOUT TO ARCHITECT FOR REVIEW.
- D) OBTAIN SIGN PERMITS. 42. GENERAL CONTRACTOR TO MAKE ALL REQUIRED UTILITY CONNECTIONS.
- 43. GENERAL CONTRACTOR TO PROVIDE OWNER WITH CERTIFICATION THAT THE LOCATION OF THE INSTALLED FOOTINGS COMPLY WITH THE APPROVED SITE DRAWINGS.
- 44. BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- 45. NO FLOORS SHALL BE POURED UNTIL ALL ELECTRICAL AND MECHANICAL INSTALLATIONS HAVE BEEN APPROVED
- BY THE OWNER IN WRITING.
- 46. EXIT DOORS SERVING 50 OR MORE OCCUPANTS OR ANY HAZARDOUS AREAS SHALL OPEN IN THE DIRECTION
- 47. ALL SIGNAGE IS ON A SEPERATE PERMIT.
- 48. OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITIES THROUGH THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- 49. ALL MANUALLY OPERATED SWITCHES AND CONTROLS ARE TO BE MOUNTED BETWEEN 36" AND 48" A.F.F..
- ALL PARTITION RETURNS SHALL HAVE METAL CORNER BEADS FLOOR TO CEILING. ALL EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL "L" BEADS FLOOR TO CEILING. CORNER BEADS SHALL BE OMITTED AT LOCATIONS TO BE CONCEALED BY MILLWORK UNLESS REQUIRED BY RATED WALLS. PROVIDE CONTROL JOINTS IN GYPSUM BOARD WALLS AT 32'-0" O.C.
- 2. WALL AND COLUMN-GYPSUM BOARD FACING SHALL EXTEND 3" ABOVE CEILING HEIGHT UNLESS REQUIRED TO EXTEND TO STRUCTURE ABOVE BY BUILDING CODE, OR AS SHOWN ON THE WALL TYPE OR DETAILS.

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- PAVING AND JOINTING PLAN FLOOR PLAN
- ROOF PLAN
- DOOR SCHEDULE AND DETAILS EXTERIOR ELEVATIONS
- WALL SECTIONS AND DETAILS WALL SECTIONS AND DETAILS
- FOUNDATION FRAMING PLAN ROOF FRAMING PLANS FOUNDATION AND TILTWALL PANEL DETAILS
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- ELECTRICAL FLOOR PLAN PLUMBING SITE PLAN
- PLUMBING FLOOR PLAN

AS - BUILT **DRAWING**

DATE: 8-23-01 T.S. ORENDAIN ASSOC., INC. Addison, Texas 75001 972-250-0119

DIRECTORY

OWNER

(972) 250-0119

T.S. ORENDAIN TOMAS S. AND ANNETTE M. ORENDAIN 16835 ADDISON ROAD, SUITE 101 ADDISON, TEXAS 75001-5114

ARCHITECT T.S. ORENDAIN ASSOCIATES, INC. TOMAS S. ORENDAIN 16835 ADDISON ROAD, SUITE 101 ADDISON, TEXAS 75001-5114

(972) 250-0119

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CIVIL ENGINEERS

CHARLES GOJER AND ASSOCIATES, INC. CAREN WILLIAMS 11615 FOREST CENTRAL DR. #303 DALLAS, TEXAS 75243 (214) 340-1199

STRUCTURAL ENGINEER

PAUL L. BROWN, P.E. PAUL L. BROWN 1219 ABRAMS, SUITE 126 RICHARDSON, TEXAS 75081 (972) 437-5551

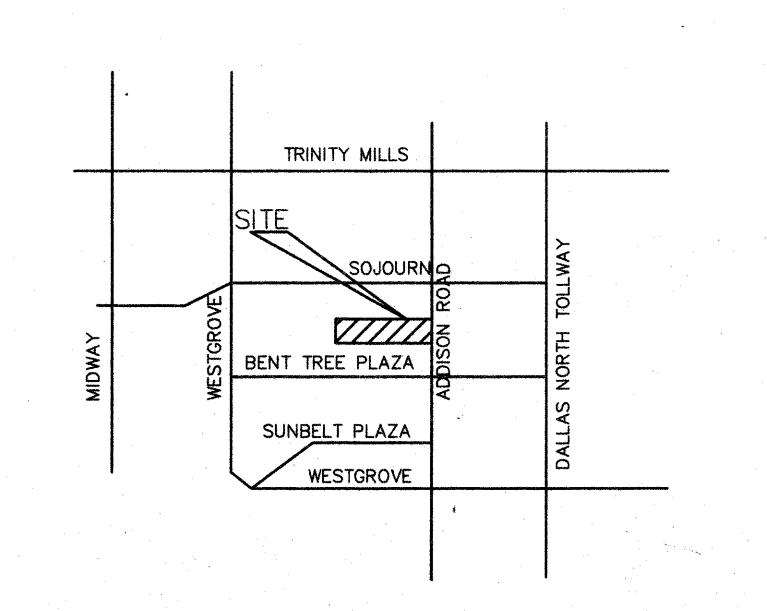
LANDSCAPE

DAVID BALDWIN DAVID BALDWIN 5744 RICHMOND AVENUE DALLAS, TEXAS 75206 (214) 821-8100

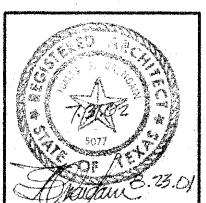
GEOTECHNICAL JOHN BRYANT

BRYANT CONSULTANTS 4393 WESTGROVE DRIVE DALLAS, TEXAS 75248 (972) 713-9109

LOCATION NOT TO SCALE



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rchitecture * Planning * Interior Design

16835 Addison Road

Addison, Texas 75001

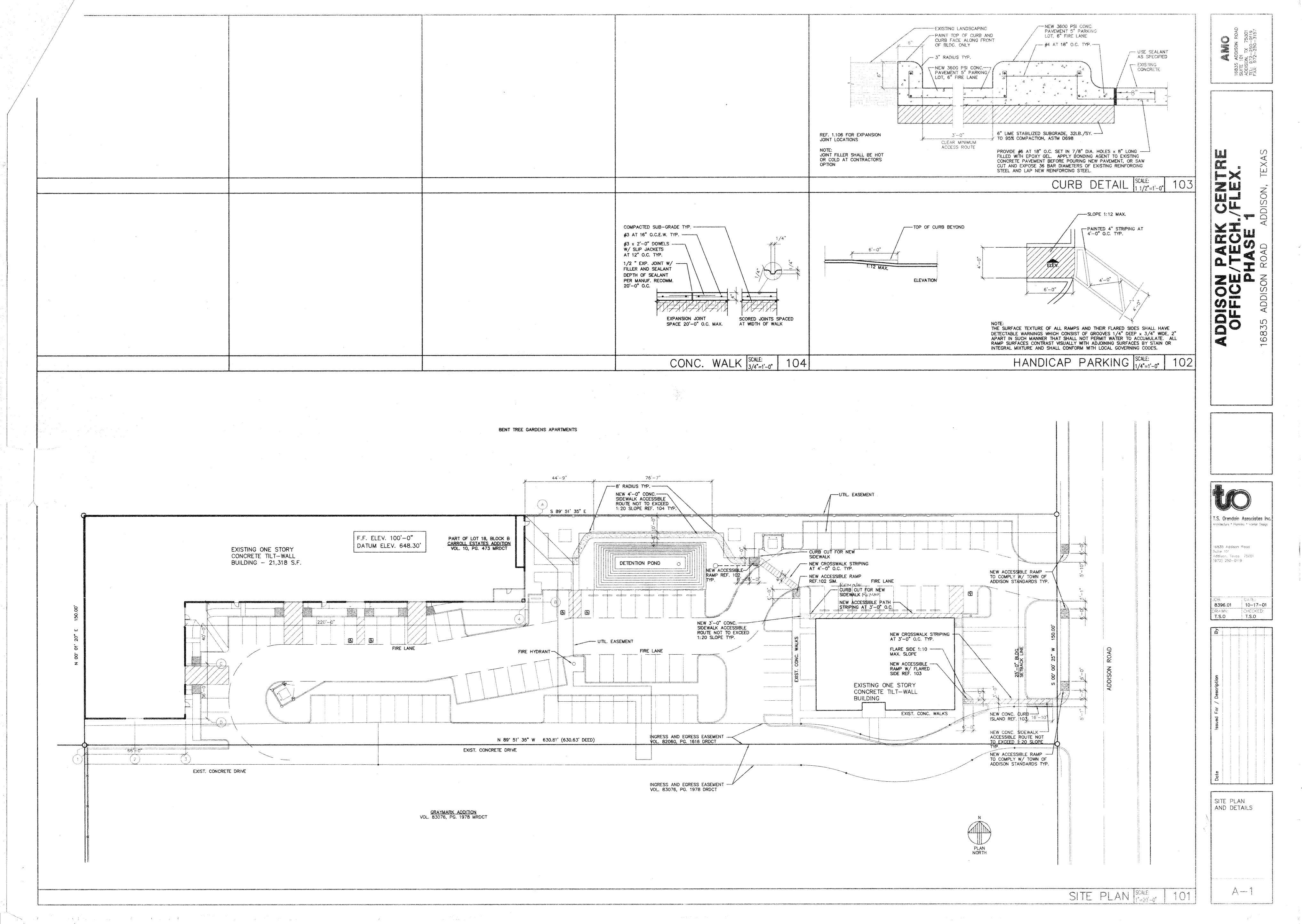
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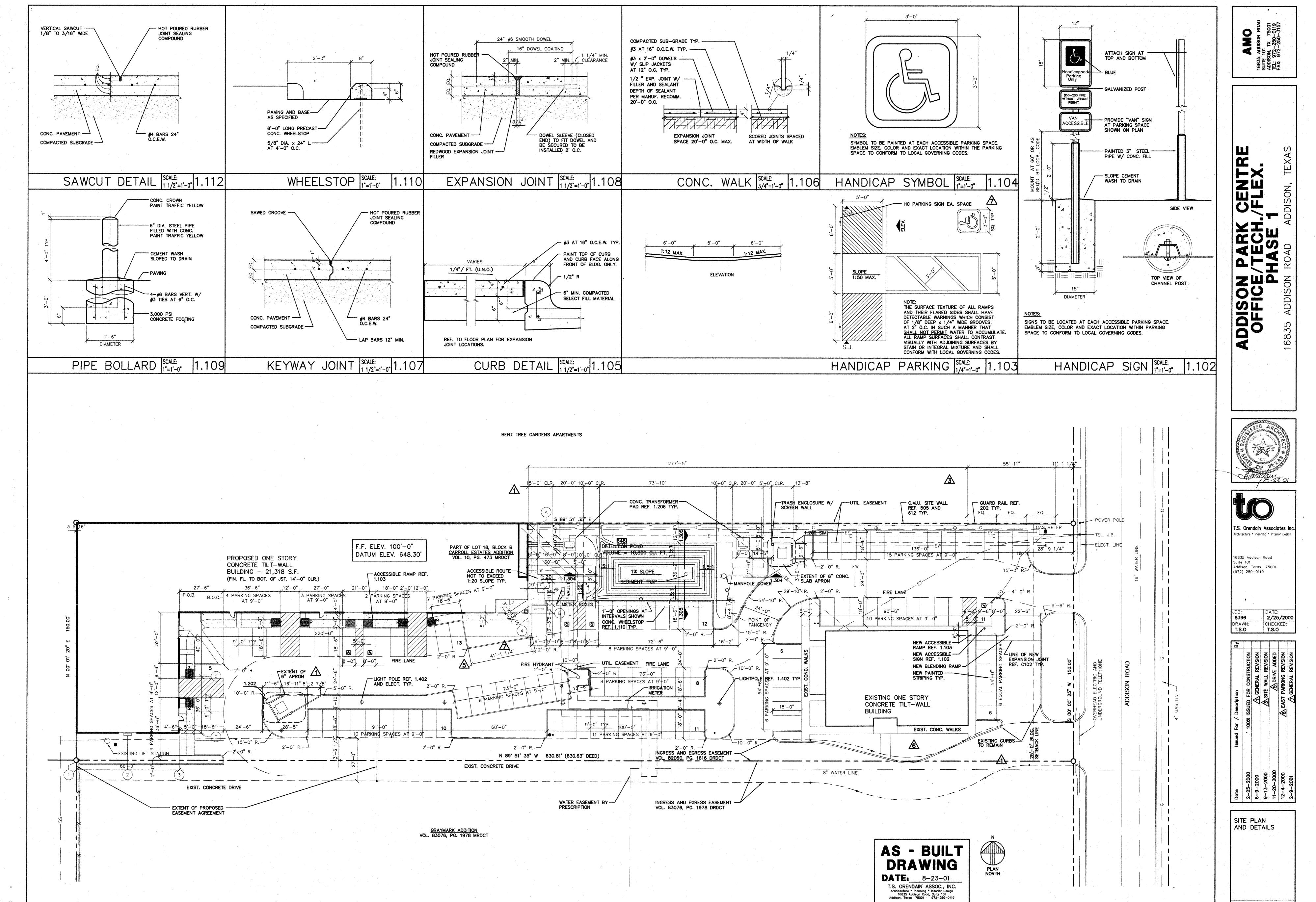
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(972) 250-0119

2/25/2000 T.S.O

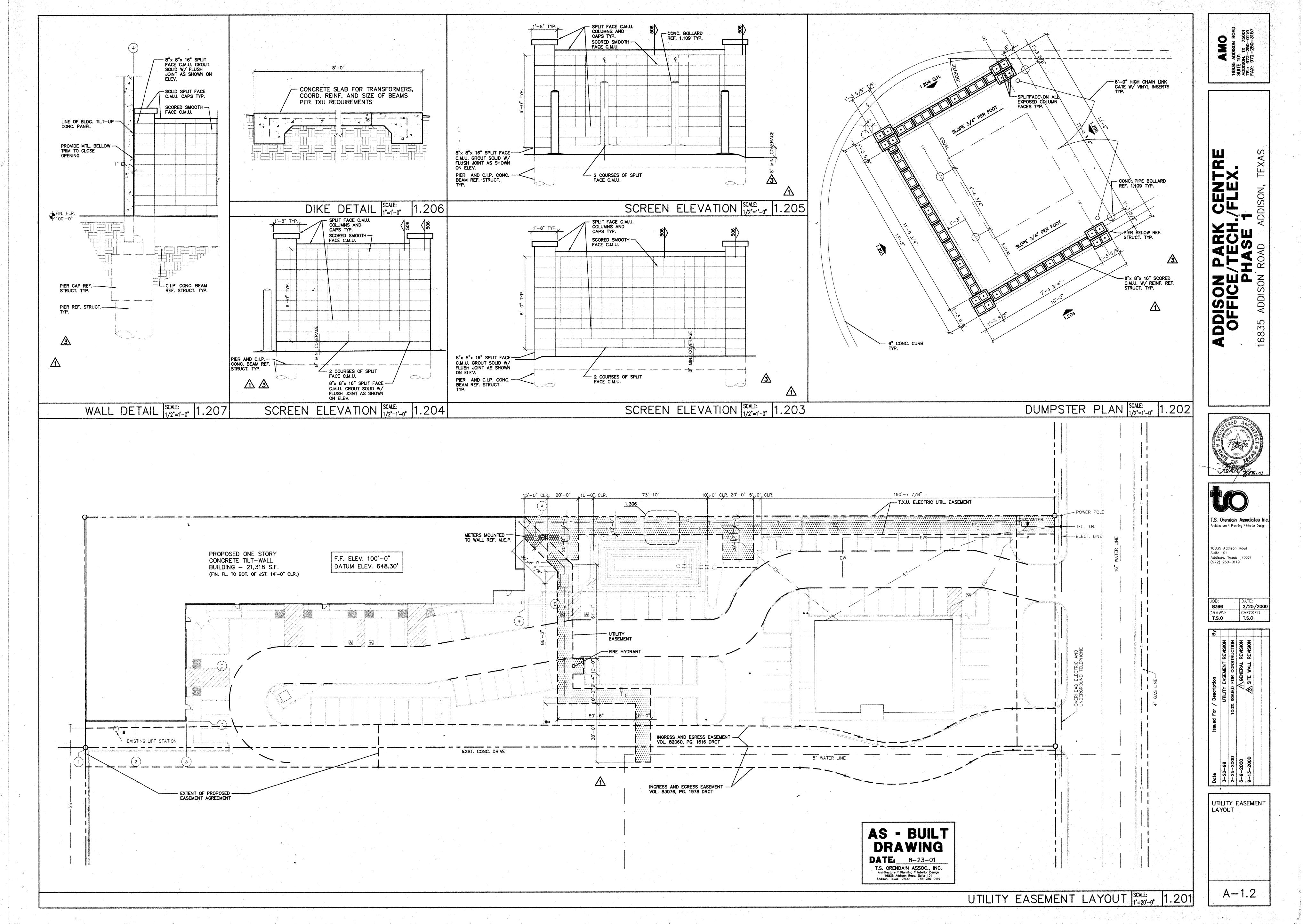
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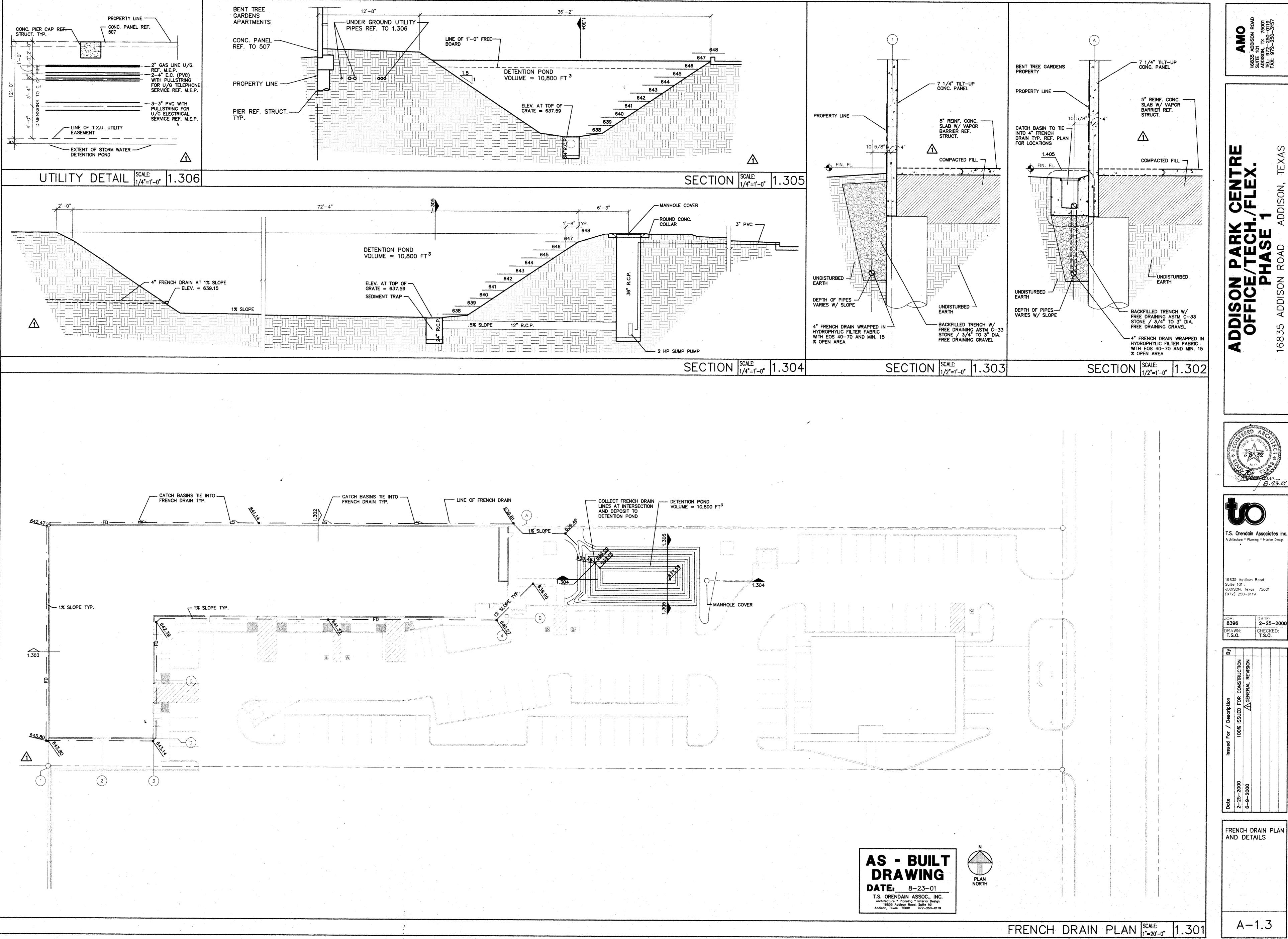


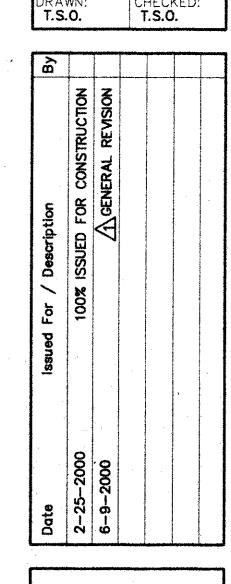


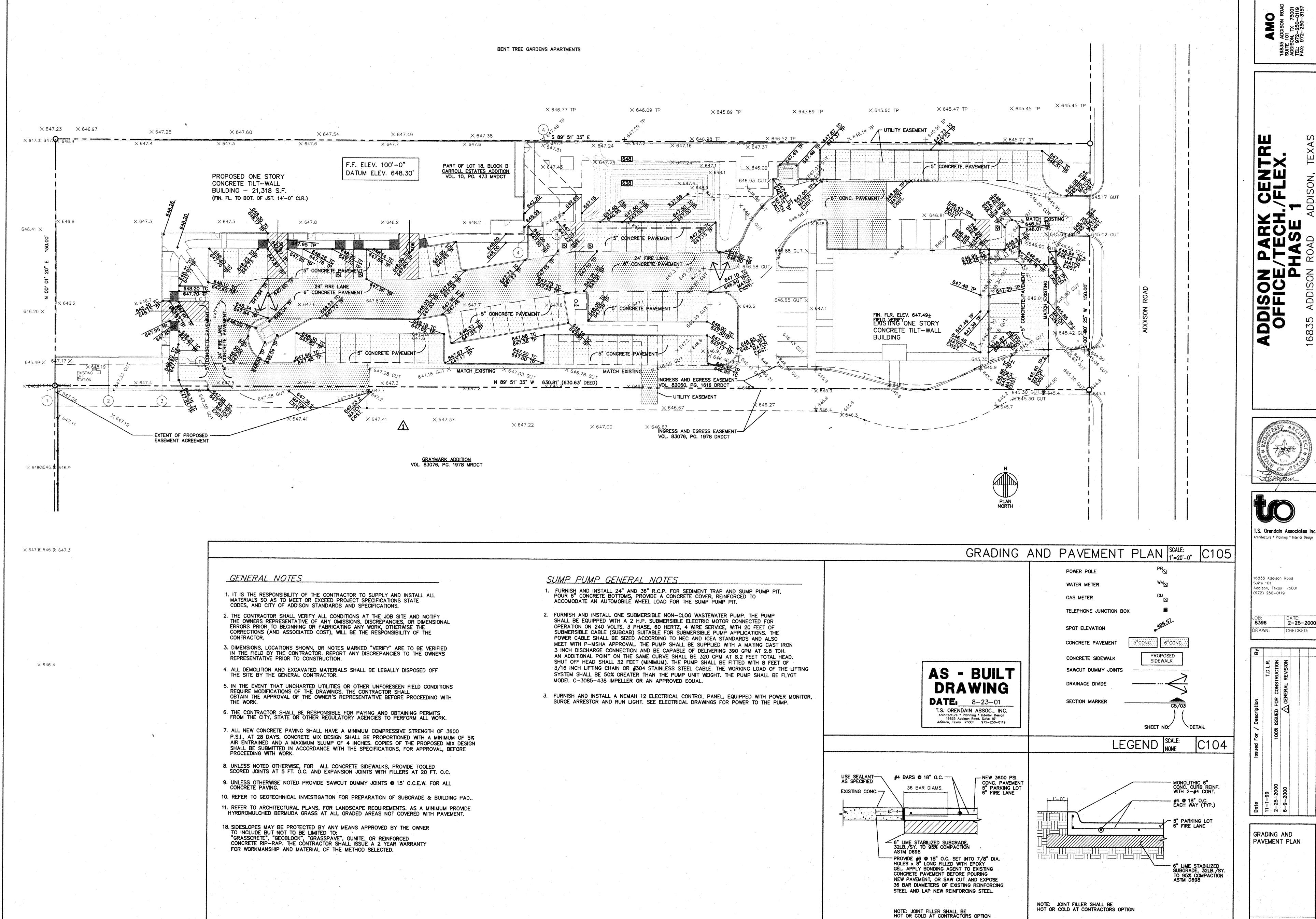
A-1.1

SITE PLAN | SCALE: | 1.101



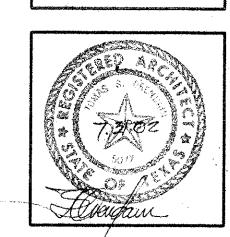


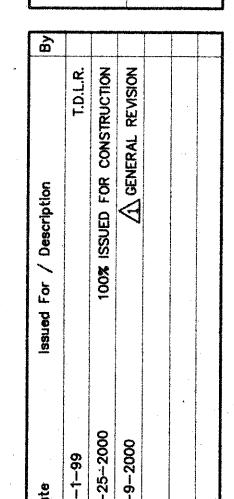




GENERAL NOTES SCALE: NONE

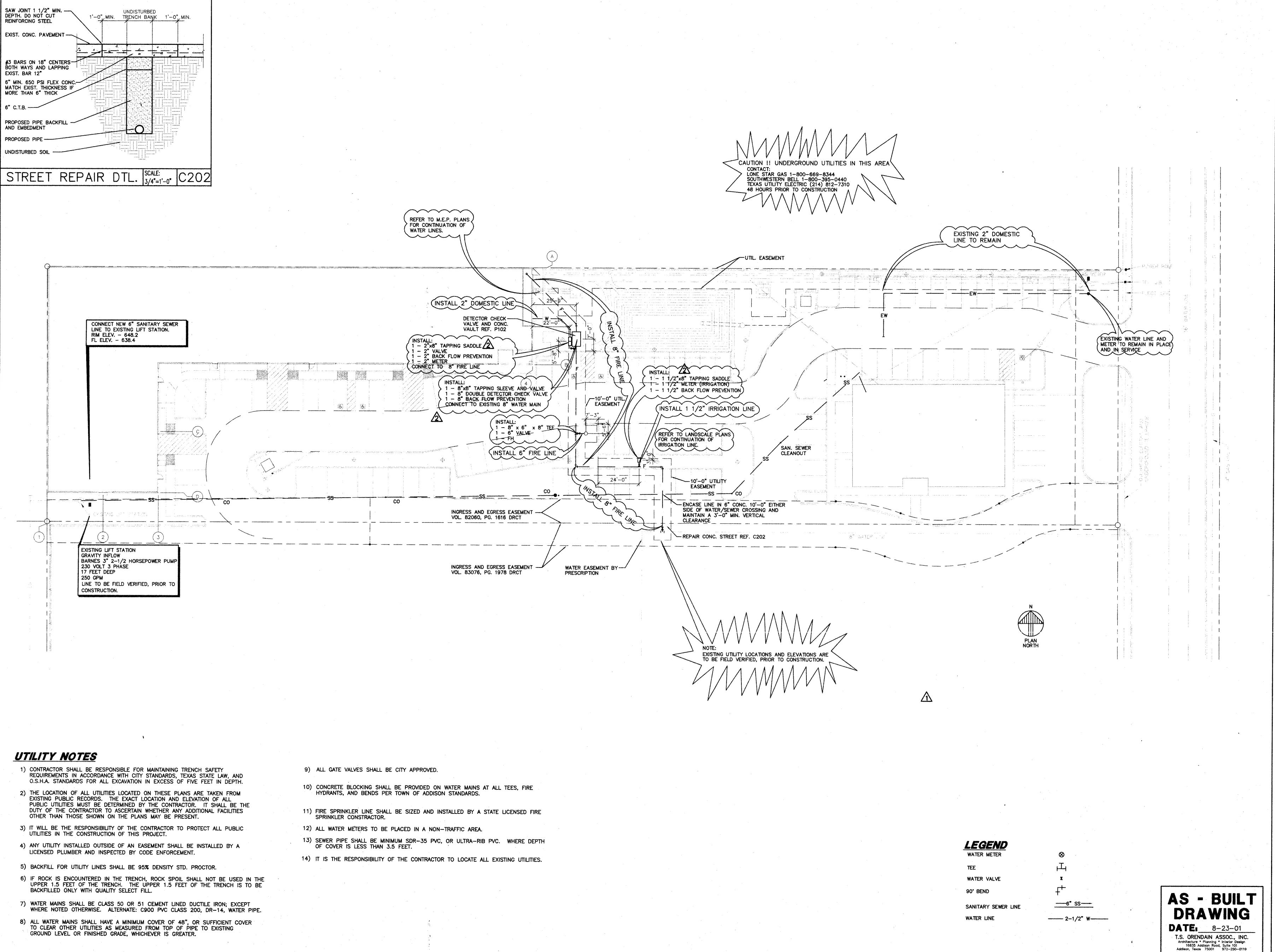
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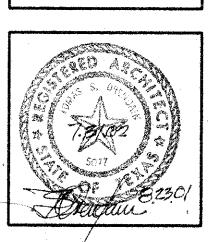
C-1

PAVEMENT DETAIL SCALE: NONE



AMO16835 ADDISON ROAD SUITE 101
ADDISON, TX 75001
TEL: 972-250-0119
FAX: 972-250-3157

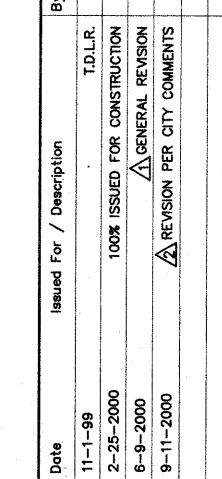
DISON PARK CENTRE FFICE/TECH./FLEX. PHASE 1





16835 Addison Road Suite 101 Dailas, Texas 75248 (972) 250-0119

JOB: DATE: 6-2-00
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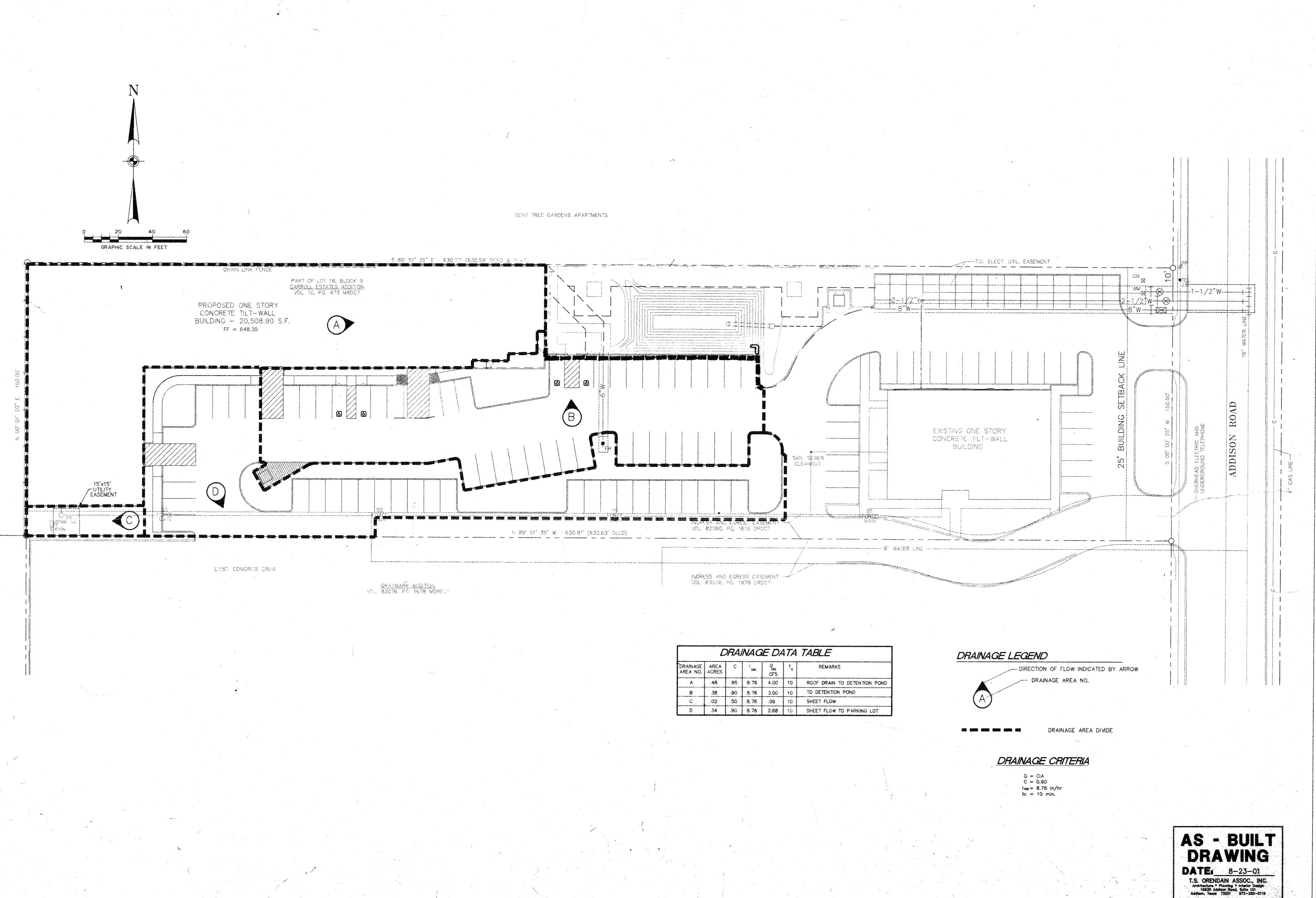


UTILITY SITE PLAN

/ING
-23-01
SSOC., INC.
Interior Design
Suite 101
972-250-0119

UTILITY SITE PLAN SCALE: C201

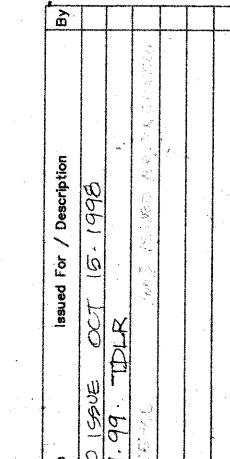
C-2





Suite 101
Dalias, Texas 75248
(972) 250-0119

DATE: 10-26-98 8396 DRAWN. CHECKED.



DRAINAGE PLAN

TO ESTERONO MOTHER PART C-3

T.S. Orendain Associates Inc. Architecture * Planning * Interior Design

16835 Addison Road Suite 101

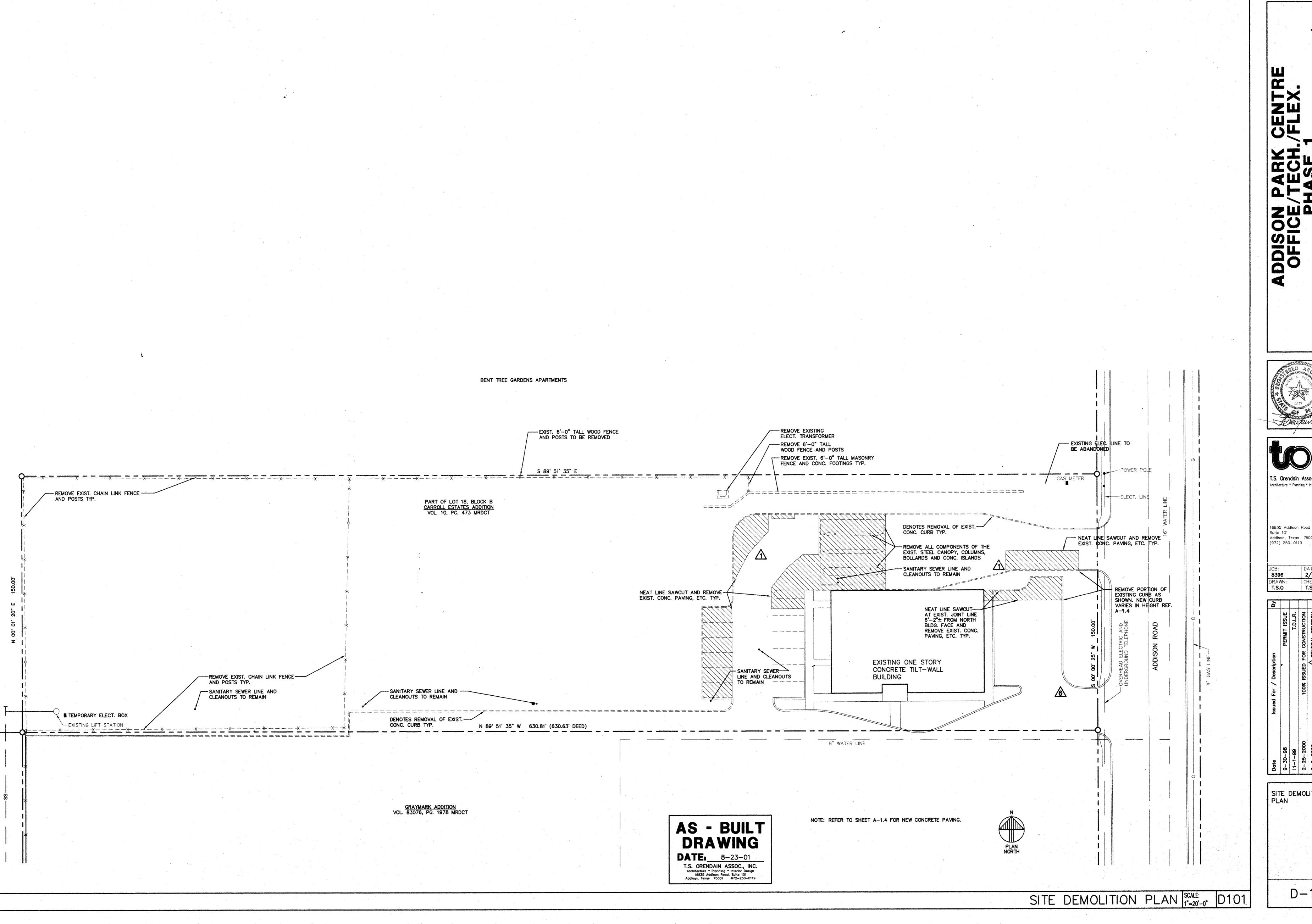
Dallas, Texas 75248 (972) 250-0119

DATE: 10-26-98 CHECKED:

EROSION CONTROL

PLAN

C-4



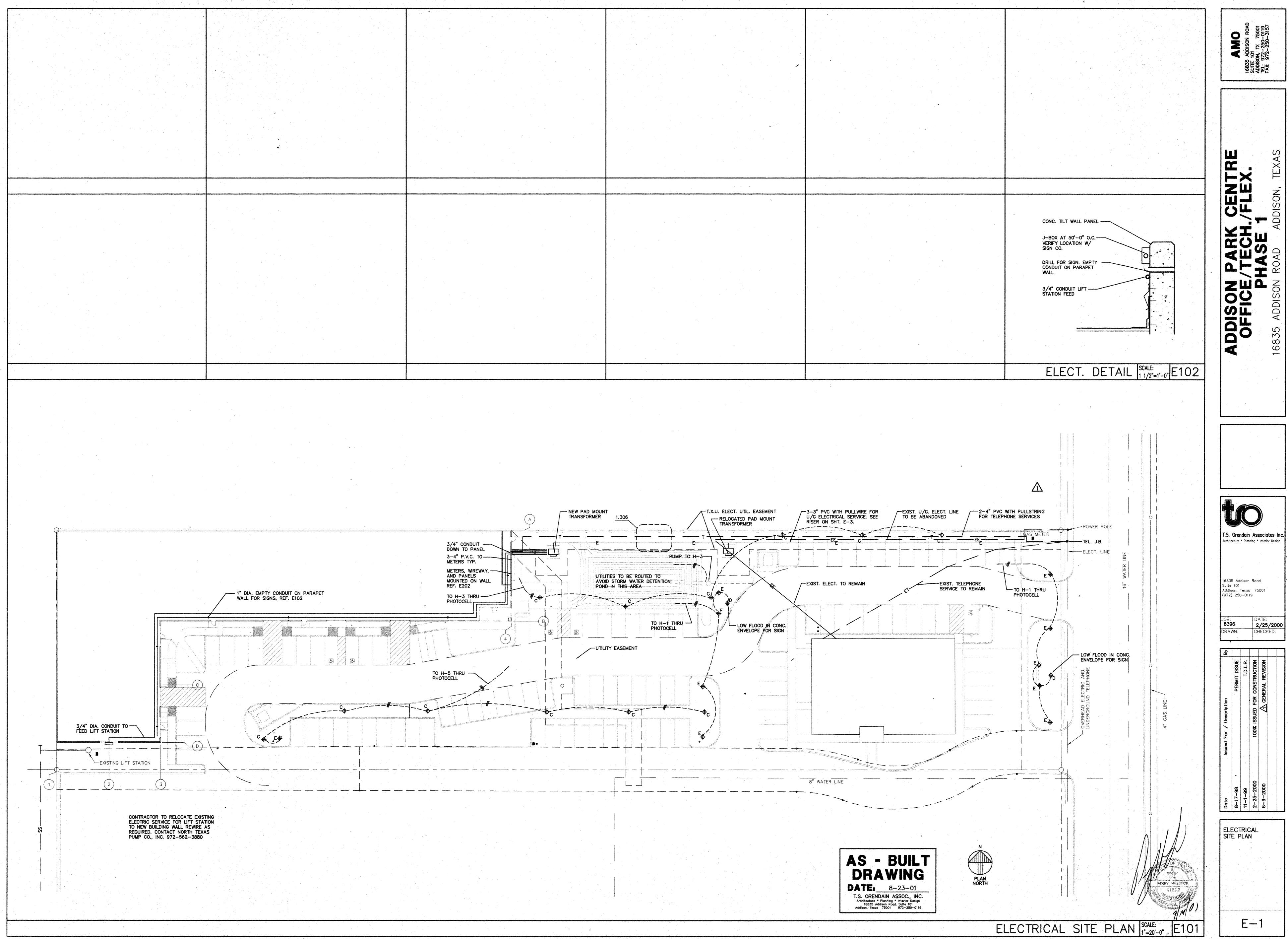


Suite 101 Addison, Texas 75001 (972) 250-0119 2/25/2000

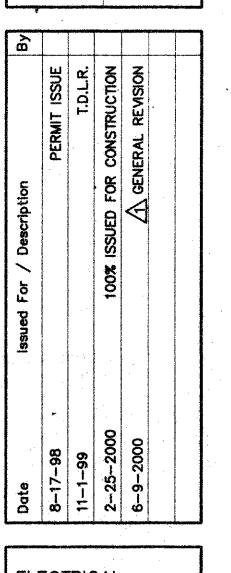
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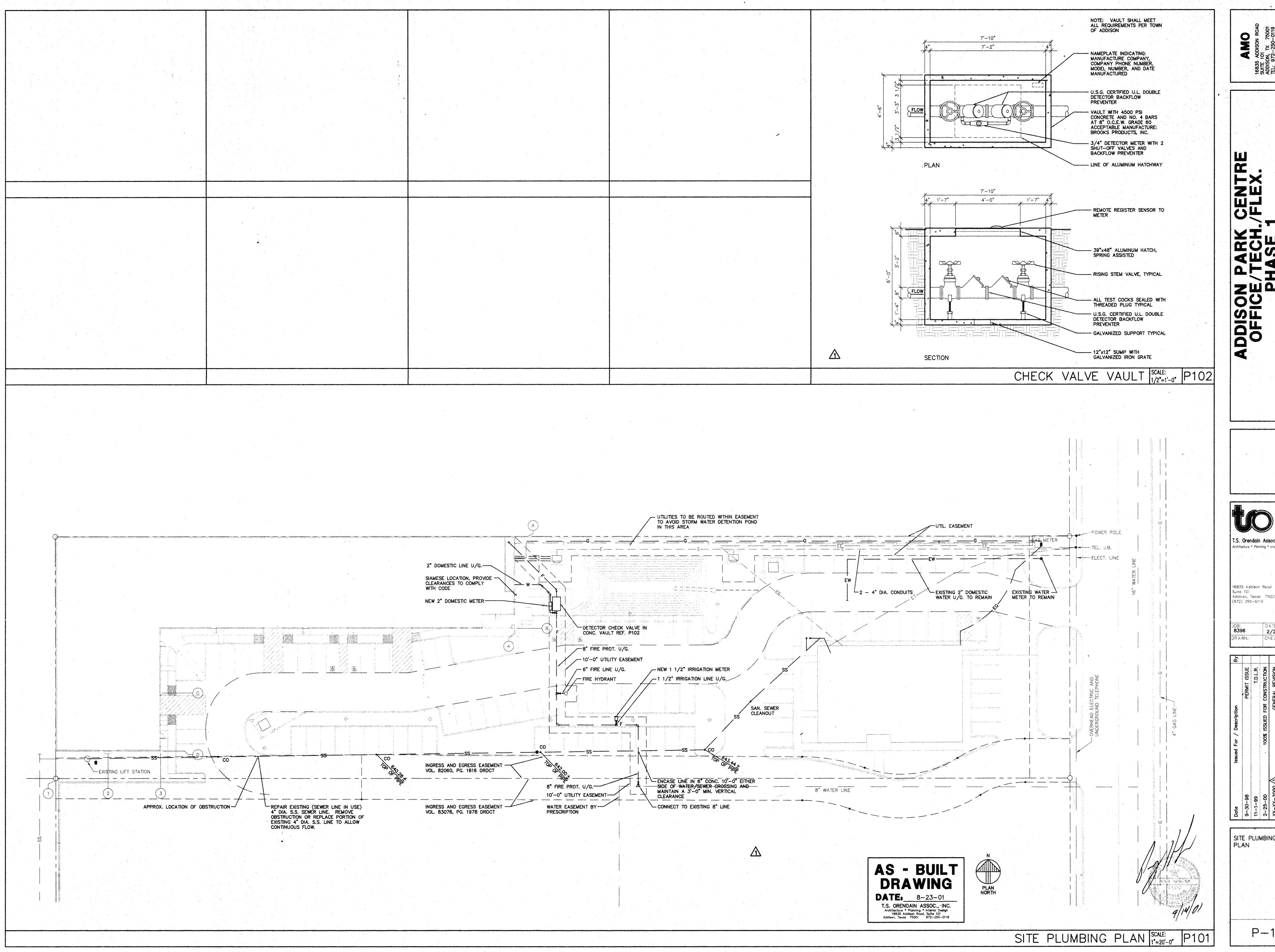
SITE DEMOLITION PLAN

D-1









ADDISON PARK OFFICE/TECH. ADDIS(

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SITE PLUMBING PLAN

P-1

