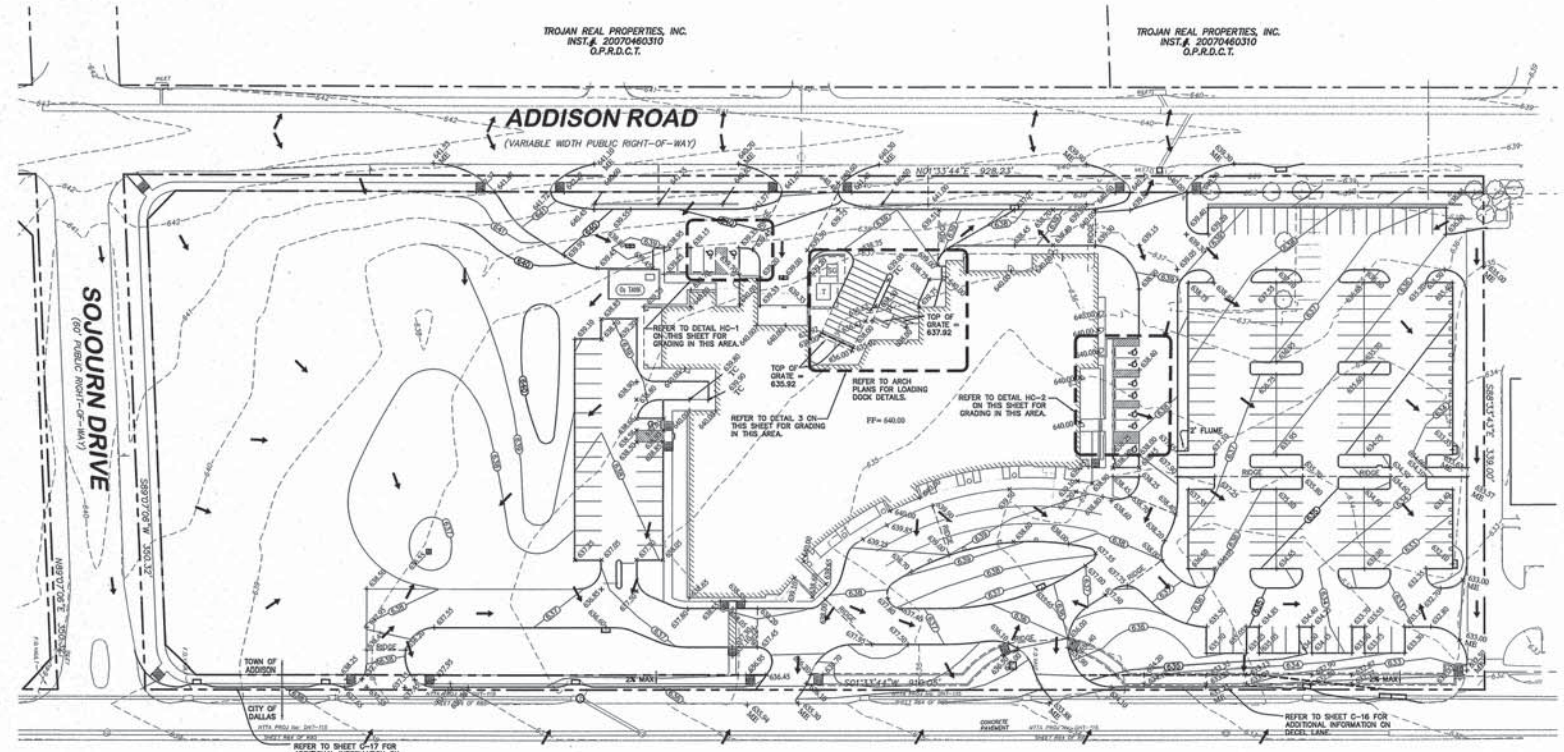


TROJAN REAL PROPERTIES, INC.
INST. # 20070460310
O.P.R.A.C.T.

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LEGEND

---	PROPERTY LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	SWALE
---	HIGH POINT
---	PROPOSED SPOT ELEVATION (TOP OF PAVEMENT)
---	MATCH EXISTING ELEVATION
---	DIRECTION OF FLOW

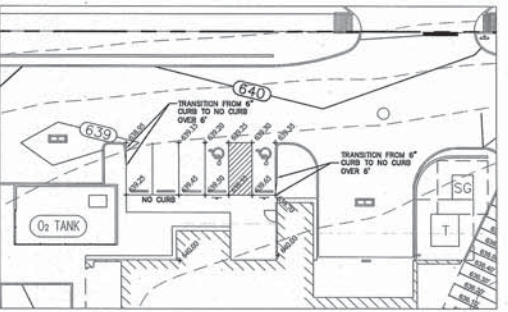
- GRADING NOTES**
1. SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATIONS, UNLESS OTHERWISE NOTED (ADD 0.5' FOR ELEVATION AT TOP OF CURBS).
 2. CONTRACTOR SHALL REFER TO STRUCTURAL PLANS FOR SUBGRADE PREPARATION SPECIFICATIONS FOR ALL PROPOSED BUILDINGS.
 3. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY; REFER TO PAVING SECTION DETAILS FOR SUBGRADE PREPARATION REQUIREMENTS UNDER ALL PAVED AREAS. (REFER TO GEOTECH REPORT)
 4. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2% IF THE CONTRACTOR ADJUSTS SLOPES GREATER, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL VERIFY COMPLIANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS) AND SHALL NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY CONFLICTS.
 6. CONTRACTOR SHALL COORDINATE GRADING AT FACE OF BUILDING WITH PLANS BY ARCHITECT AND SHALL NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY CONFLICTS.
 7. MAXIMUM SLOPES FOR CUT AND FILL ARE BOTH 4:1.
 8. ALL WELLS, METERS, MANHOLE RIMS, CLEANOUTS, FIRE HYDRANT SLABS, ETC. SHALL BE LAID FURSH WITH THE PROPOSED PLATFORM GRADING.
 9. REFERENCE MOP PLANS FOR DETAILED INFORMATION REGARDING EQUIPMENT PADS IN THE MECHANICAL YARDS.

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

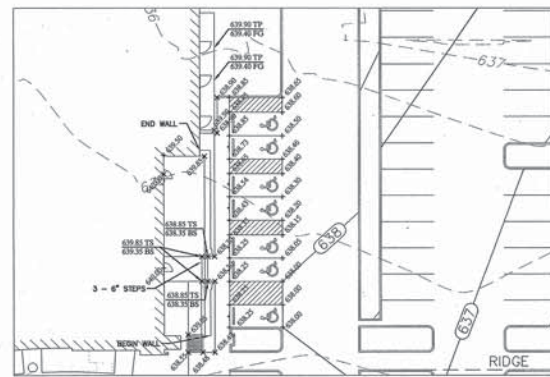
- BENCHMARK**
1. "T" FOUND ON TOP OF THE CONCRETE BASE OF A LIGHT POLE IN THE CENTER MEDIAN OF EXEL PARKWAY APPROXIMATELY 50 FEET WEST OF THE CENTERLINE OF ADDISON ROAD. (PER TOWN OF ADDISON PLAN # 98103, SHEET 2, DATED JANUARY 1998) ELEV=644.41
 2. BM #607 SET ON TOP OF A CONCRETE CURB INLET LOCATED ON THE WEST SIDE OF DALLAS PARKWAY APPROXIMATELY 606 FEET NORTH OF THE CENTERLINE OF SOJOURN DRIVE. ELEV=632.78
 3. BM #608 SET ON TOP OF A CONCRETE CURB INLET LOCATED ON THE WEST SIDE OF DALLAS PARKWAY APPROXIMATELY 150 FEET NORTH OF THE CENTERLINE OF SOJOURN DRIVE. ELEV=634.04

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (KNOWN OR NOT KNOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPAIR THEM AT HIS OWN EXPENSE. CALL 1-800-955-TESS AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.

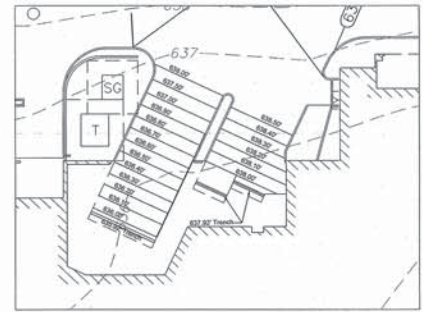
DALLAS NORTH TOLLWAY
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



DETAIL HC-1
SCALE 1/4" = 1'-0"



DETAIL HC-2
SCALE 1/4" = 1'-0"



DETAIL 3
SCALE 1/4" = 1'-0"

RECORD DRAWINGS
(SEPTEMBER 2010)
INFORMATION PROVIDED BY:
Rogers-O'Brien Construction Company

14271700 (SEE SPECIFICATIONS FOR LAYOUT AND PAVING FINISHES)
No. _____ Date _____ Revision _____ App. _____

Kimley-Horn and Associates, Inc.
1005 Ross Street, Suite 200
Frisco, Texas 75034
Phone: (972) 335-2779
Fax: (972) 335-2779
State of Texas Registration No. F-293

METHODIST HOSPITAL FOR SURGERY
ADDISON, TEXAS
FILE NUMBER: 311T-7863

GRADING PLAN

Scale: AS SHOWN
Designed by: TSS
Drawn by: TSS
Checked by: CKA
Date: 10/03/10
Project No.: 0800000

SHEET
C-05