

# REPLAT WESTGROVE AND AIRBORN

BEING A REPLAT OF BLOCK A, CARROLL ESTATES  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

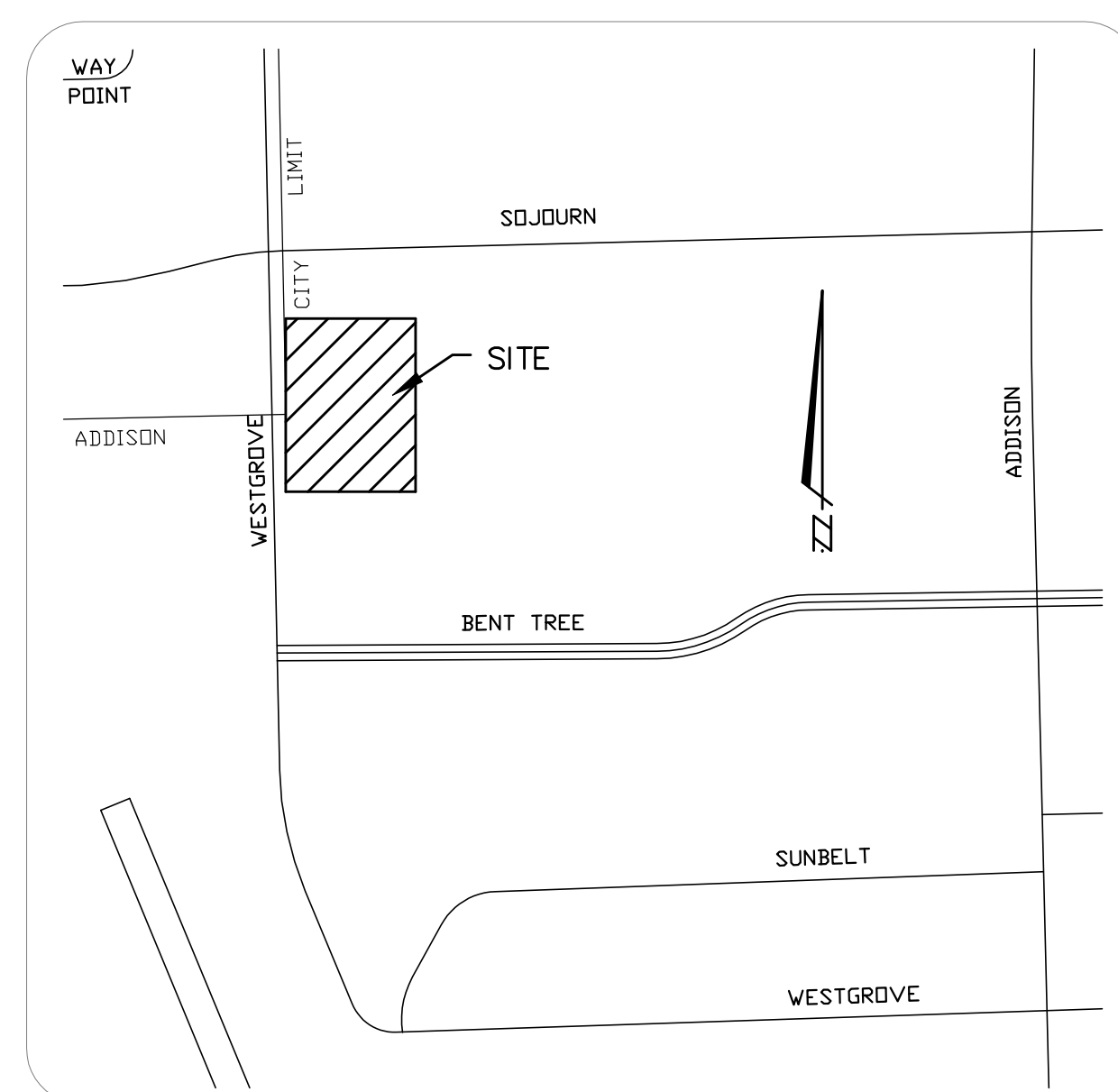
PW # 2008-06

## INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1
FINAL PLAT	2
SITE PLAN	3
DEMOLITION PLAN	4
GRADING PLAN	5
DRAINAGE PLAN	6
DETENTION POND	7
STORM WATER POLLUTION PREVENTION PLAN	8
CONCRETE PAVING PLAN & JOINT DETAILS	9
UTILITY PLAN	10
SITE DETAILS	11
LANDSCAPE PLAN	12
IRRIGATION PLAN	13-14

## VICINITY MAP

SCALE 1" = 600'



G. GLEN KISTENMACHER  
Registered Professional Engineer, Texas No. 65021.

**AS BUILT**  
APRIL 30, 2010

REVISED: SEPTEMBER 18, 2008  
REVISED: AUGUST 3, 2008

DATE JUNE 16, 2008

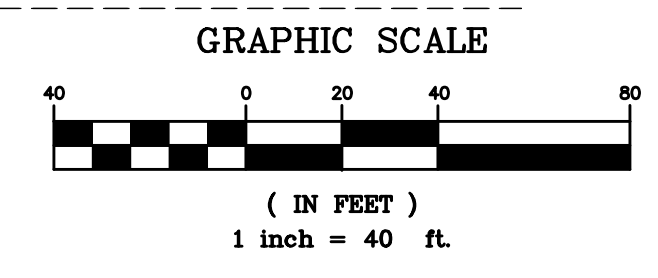
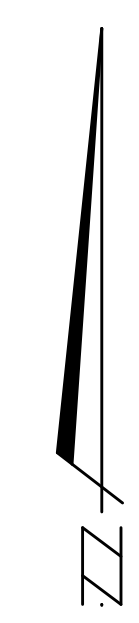
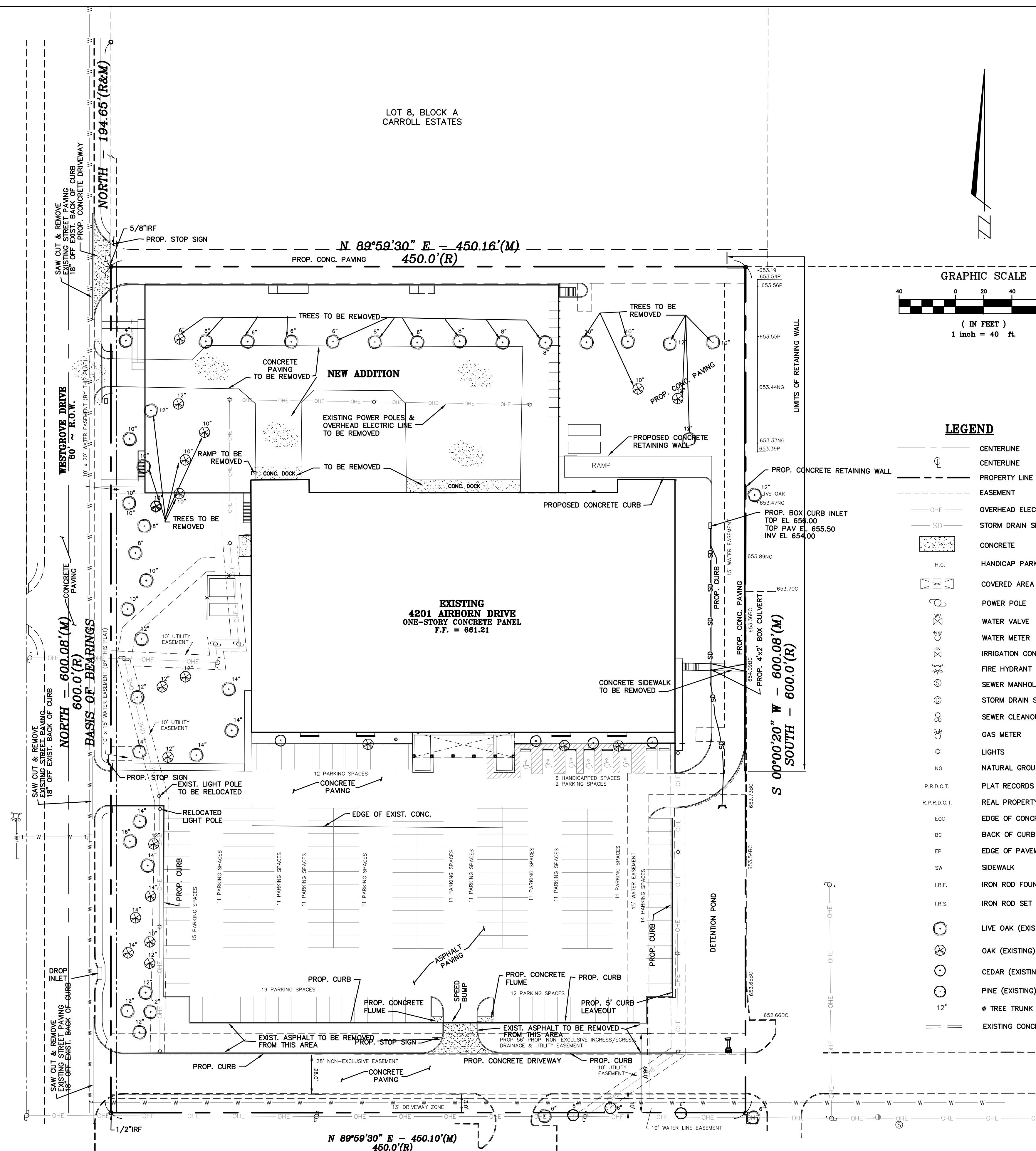
SHEET 1 OF 14



KISTENMACHER ENGINEERING COMPANY, INC.

CONSULTING ENGINEERING • LAND PLANNING • SURVEYING  
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • (915) 778-4476  
6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • (214) 234-0011

LOT 8, BLOCK A  
CARROLL ESTATES



**LEGEND**

- CENTERLINE
- - - CENTERLINE
- - - PROPERTY LINE
- - - EASEMENT
- OHE — OVERHEAD ELECTRIC LINES
- SD — STORM DRAIN SEWER
- CONCRETE
- H.C. HANDICAP PARKING
- COVERED AREA
- POWER POLE
- WATER VALVE
- WATER METER
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- STORM DRAIN SEWER MANHOLE
- SEWER CLEANOUT
- GAS METER
- LIGHTS
- NG NATURAL GROUND
- P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS
- R.P.R.D.C.T. REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS
- EOC EDGE OF CONCRETE
- BC BACK OF CURB
- EP EDGE OF PAVEMENT
- SW SIDEWALK
- I.R.F. IRON ROD FOUND
- I.R.S. IRON ROD SET
- LIVE OAK (EXISTING)
- OAK (EXISTING)
- CEDAR (EXISTING)
- PINE (EXISTING)
- TREE TRUNK
- EXISTING CONCRETE CURB

**SURVEY CONTROL**

CONTROL MONUMENT #COA-13  
630' WEST FROM INTERSECTION OF  
ADDISON ROAD & WESTGROVE DRIVE  
THEN 15.7' SOUTH FROM BACK OF CURB,  
5' FROM STREET SIGN & 8' SOUTH TO BACK  
OF CURB OF WEST GROVE ROAD  
US SURVEY FEET  
NAVD 88 ELEVATION 642.09  
MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
COA-13 GPS" STATE PLANE COORDINATES  
NORTHING: 7042028.880  
EASTING: 2479820.516  
DALLAS COUNTY SCALE FACTOR: 1.000136506  
ELEVATIONS ARE NAVD 88 BASED UPON  
TXDOT VRS NETWORK

**AS BUILT**  
APRIL 30, 2010

REV:10/4/10



DATE	REVISION DESCRIPTION
7-3-08	EASEMENTS
8-3-08	MISCELLANEOUS
9-26-08	MISCELLANEOUS
11-26-08	MISCELLANEOUS
12-23-08	MISCELLANEOUS

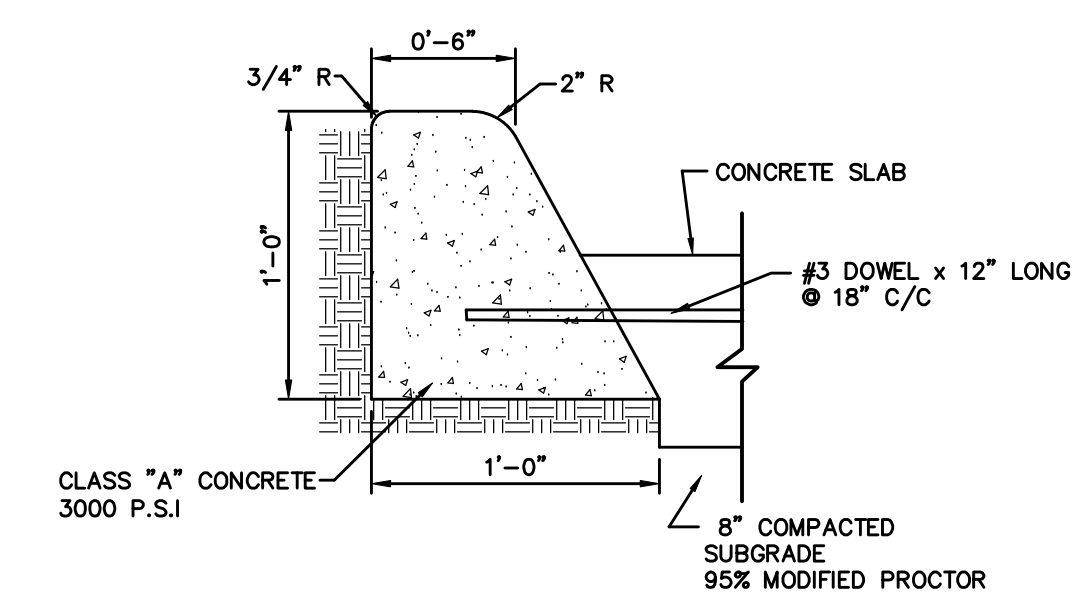
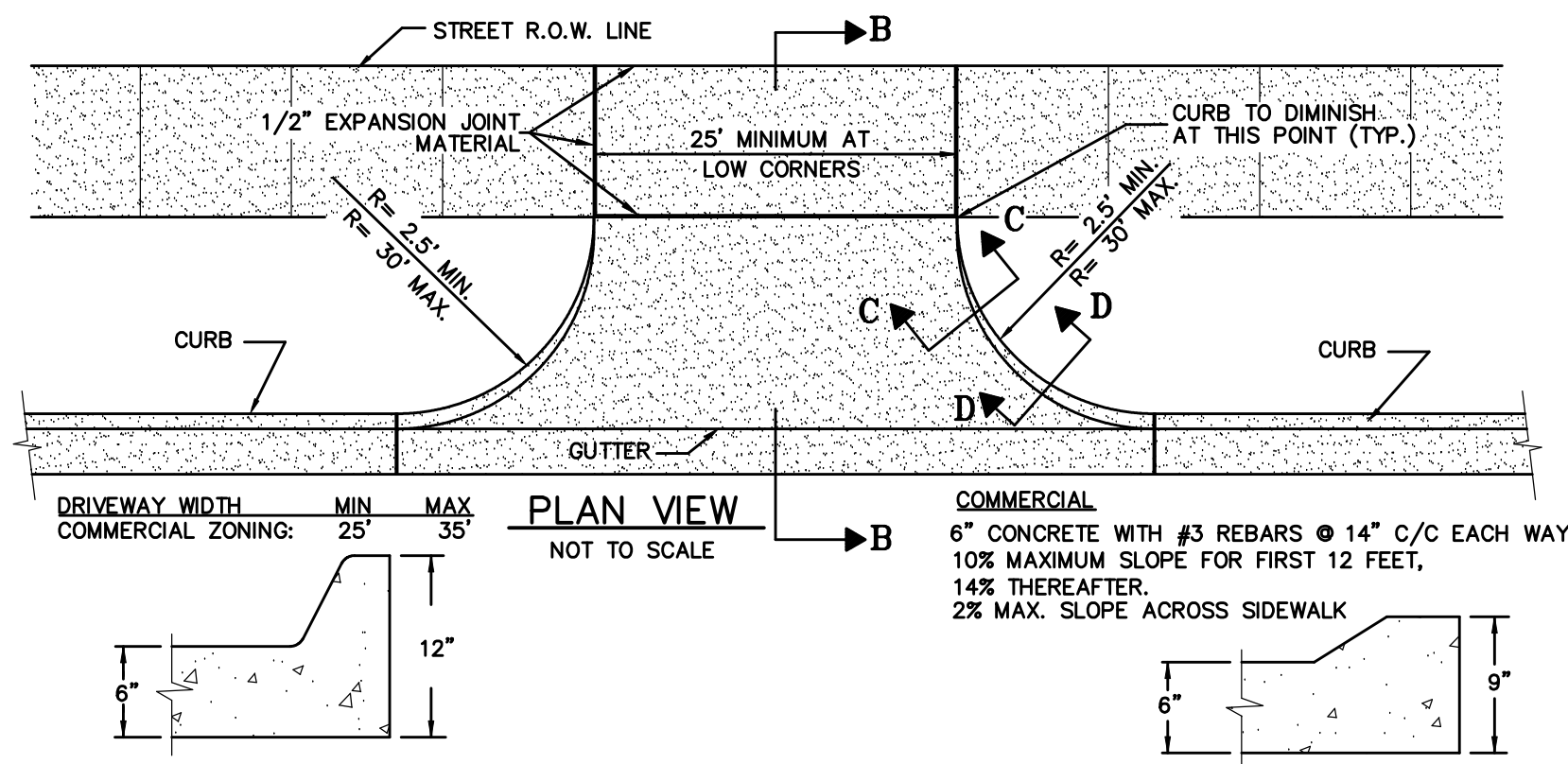
**DEMOLITION PLAN**  
**REPLAT WESTGROVE AND AIRBORN**  
**BEING A REPLAT OF BLOCK A, CARROLL ESTATES**

TOWN OF ADDISON      DALLAS COUNTY      TEXAS

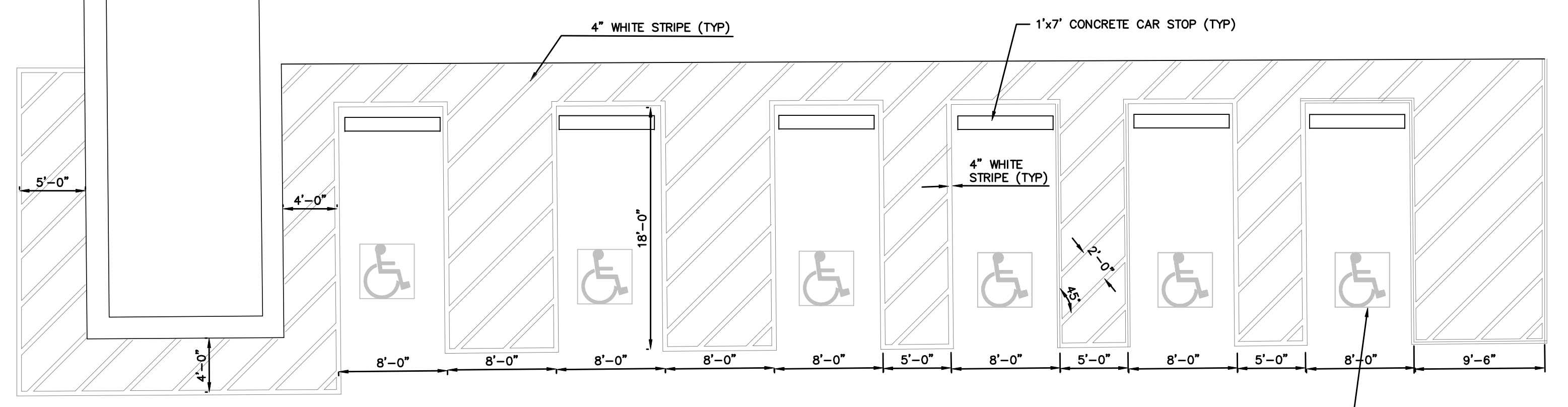
DATE: 6/16/08	SCALE: 1" = 40'	FILE NUMBER: 4221AIR	DATA FILE:
DRAWN BY: MGB	CHECKED BY: GCK	SHEET 4	OF 14

**KISTENMACHER ENGINEERING COMPANY, INC.**  
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6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • 214-234-0011

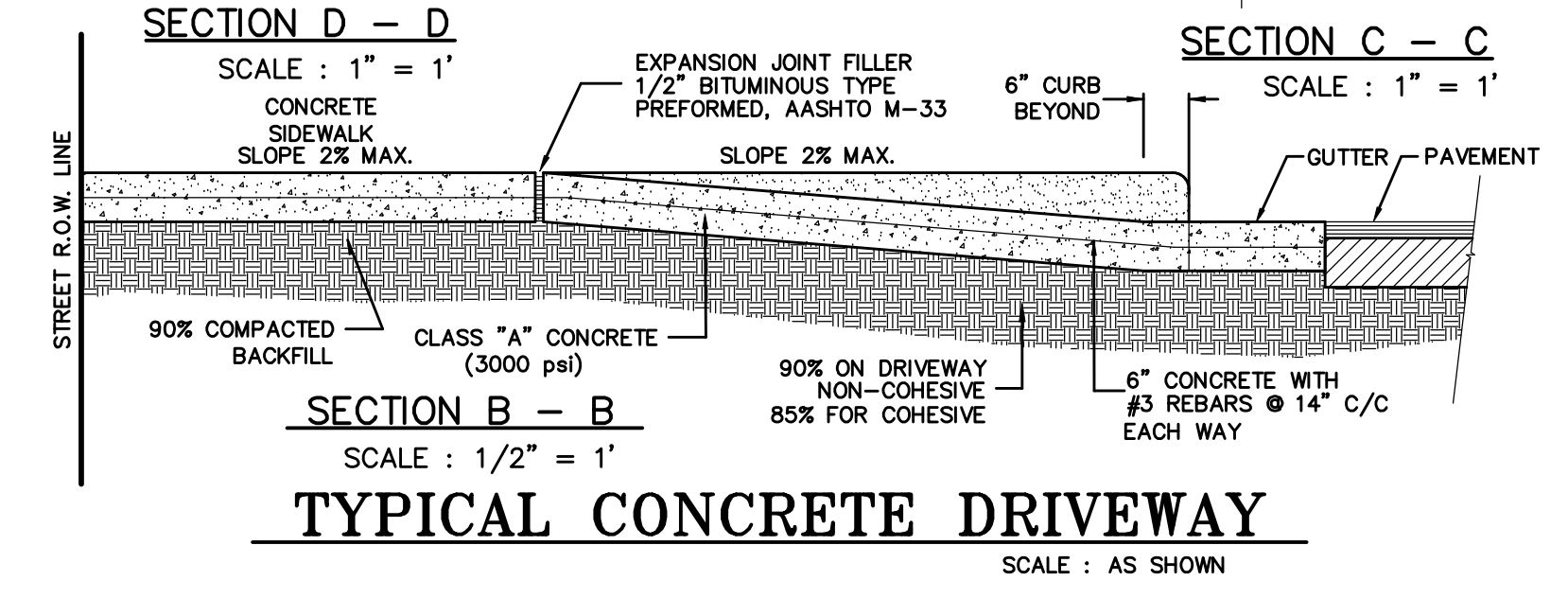
REVISED: 4/17/09 MISCELLANEOUS  
REVISED: 2/25/09 MISCELLANEOUS



**STANDARD CONCRETE CURB**  
SCALE: 1 1/2" = 1'



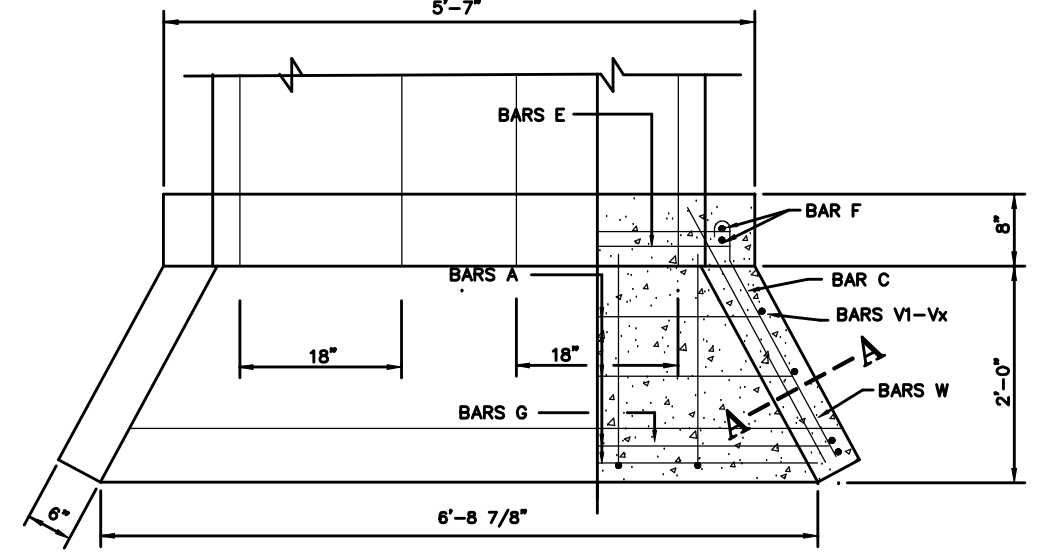
**HANDICAPPED PARKING STALL DETAIL**  
SCALE: 1/8" = 1'



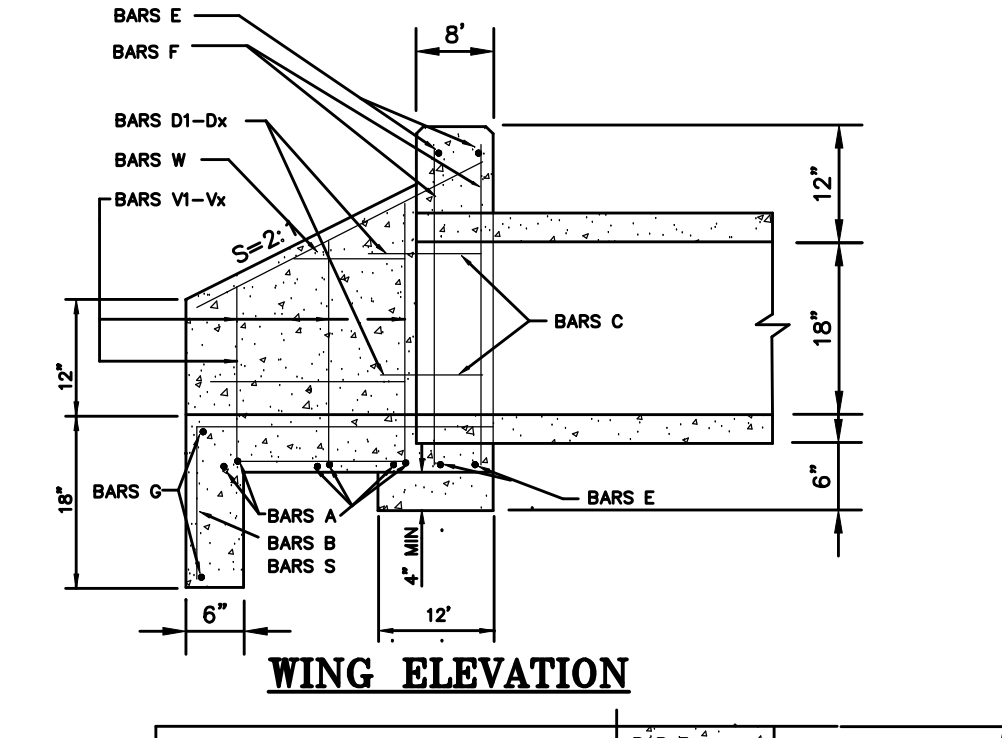
**TYPICAL CONCRETE DRIVEWAY**  
SCALE: AS SHOWN

**GENERAL NOTES:**

1. ALL CONCRETE SHALL BE CLASS A.
2. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4".
3. REINFORCING STEEL SHALL BE PLACED WITH THE CENTER OF THE OUTSIDE LAYER OF BARS 2" FROM THE SURFACE OF THE CONCRETE.

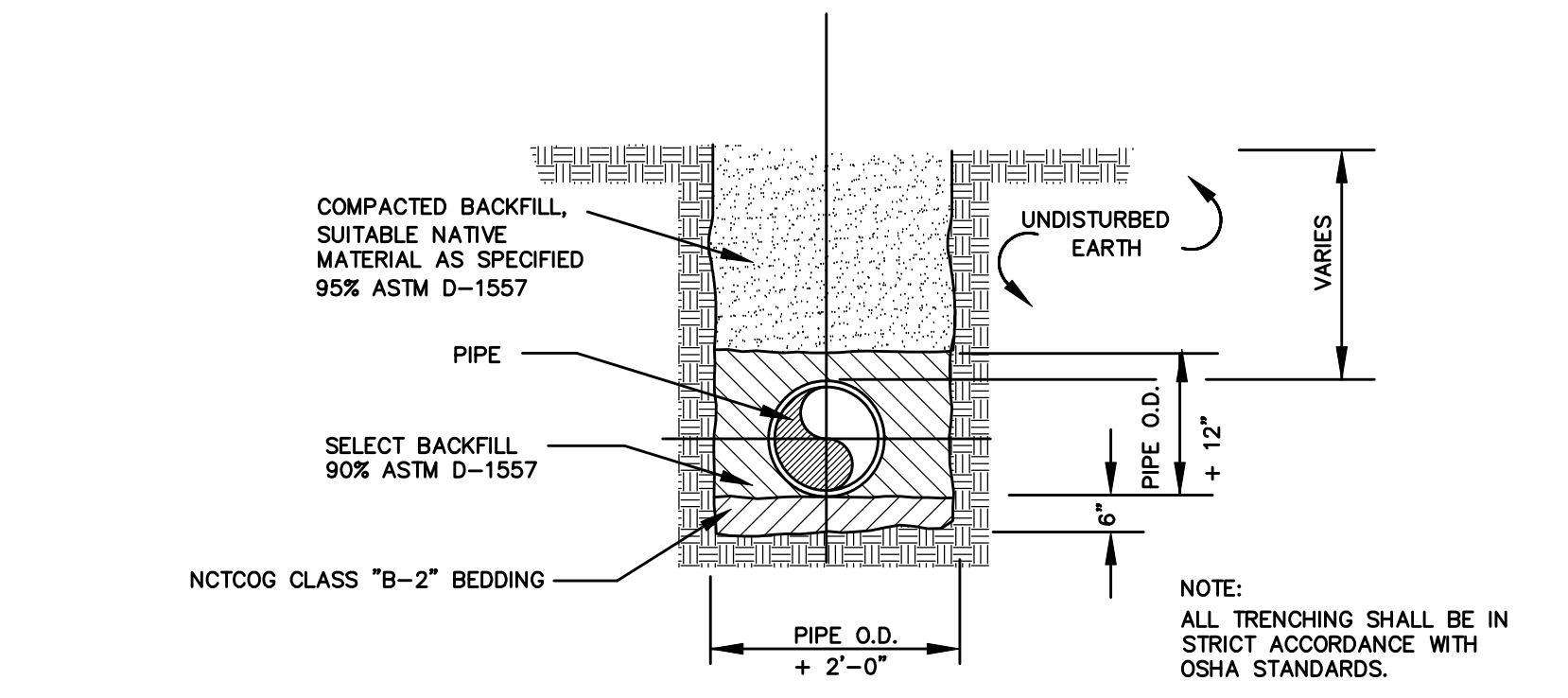


**CONCRETE HEADWALLS FOR 2- 18" DIAMETER PIPE**  
SCALE: 3/4" = 1'-0"

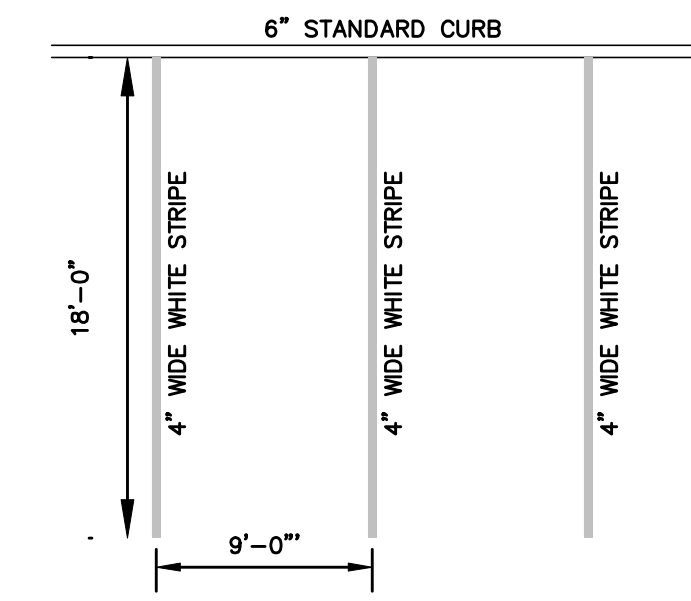


**ELEVATION**

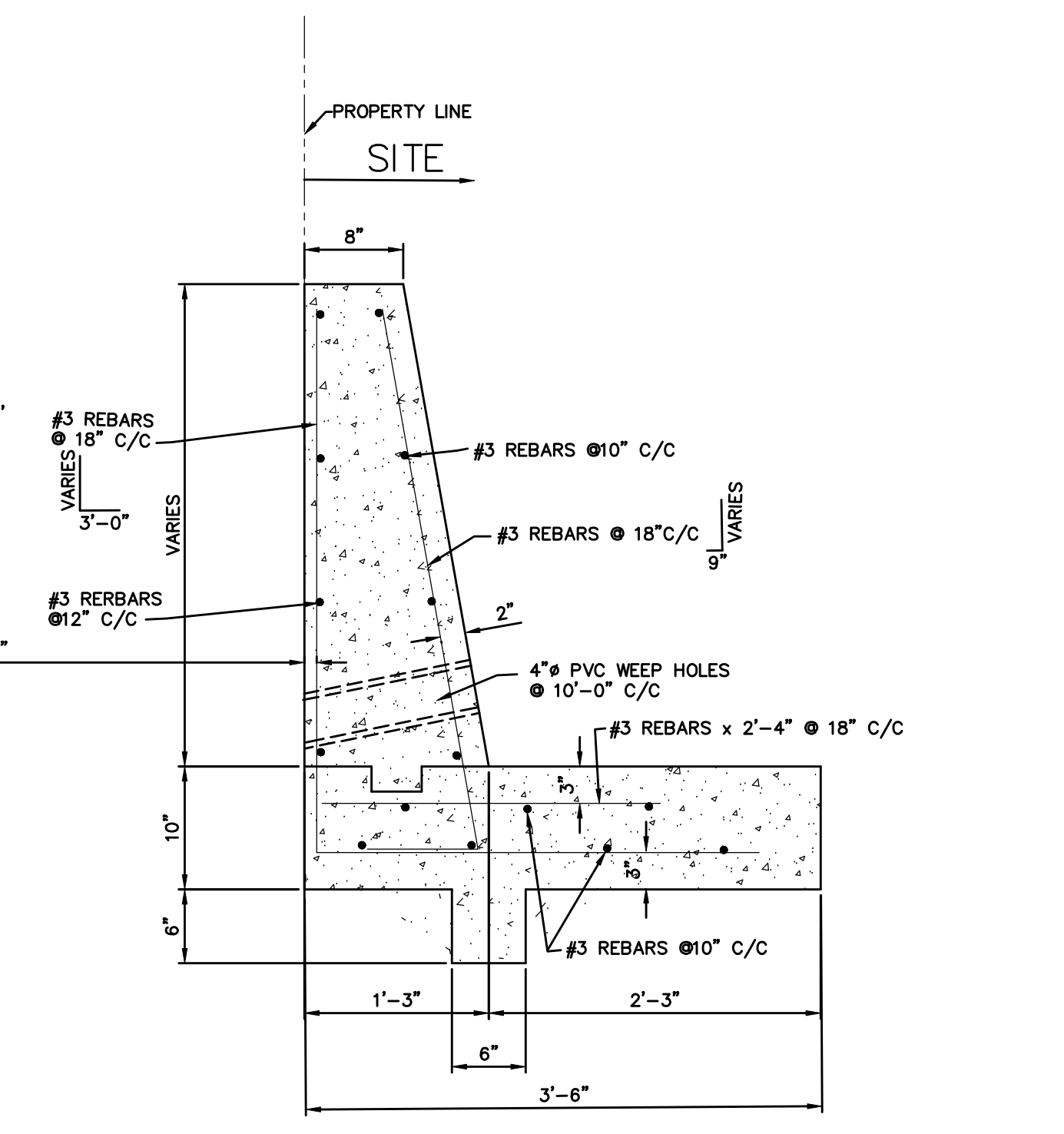
BAR	SIZE	SPACING
A1-Ax	#4	12" C/C
B	#3	18" C/C
C	#4	12" C/C
D1-Dx	#3	12" C/C
E	#5	
F	#4	12" C/C
S	#4	
VI-Vx	#4	12" C/C
W	#5	



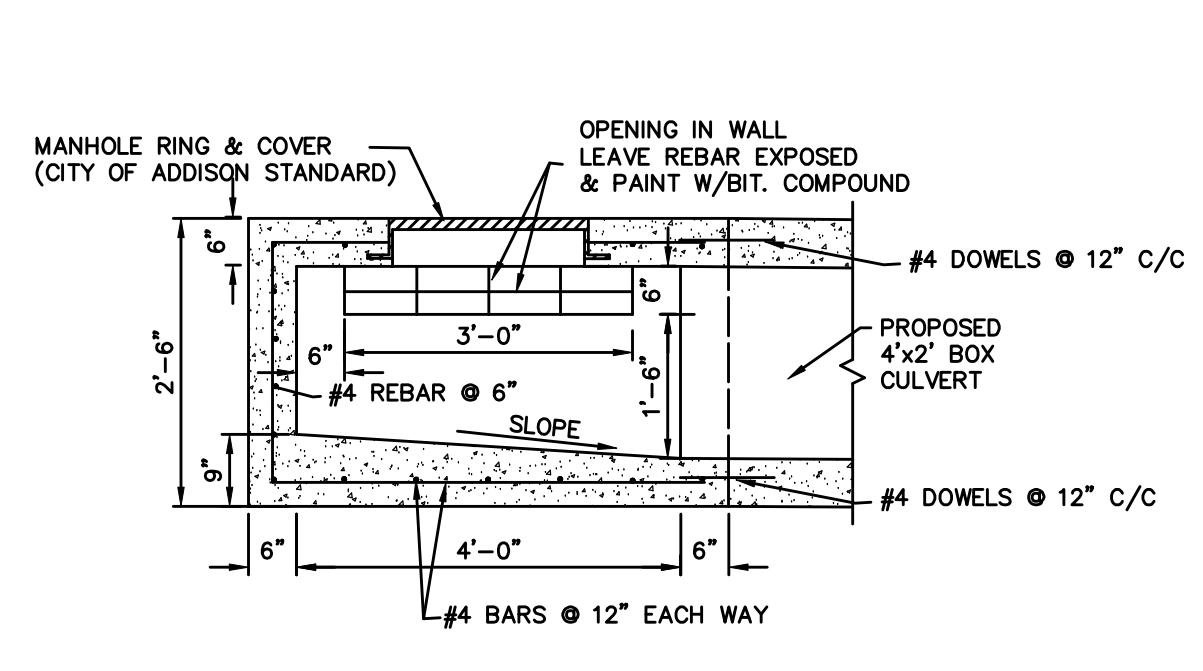
**TYPICAL TRENCH AND BACKFILL DETAIL**  
SCALE: NOT TO SCALE



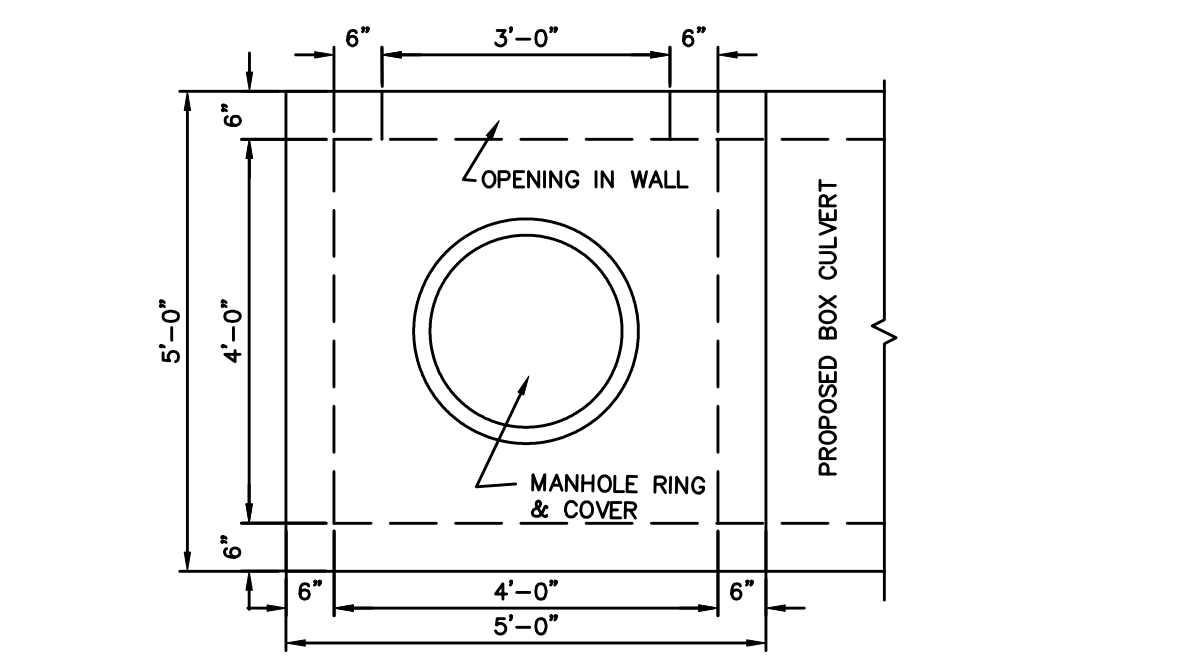
**PARKING STRIPING (TYP)**  
SCALE: 1/4" = 1'



**TYPICAL CONCRETE RETAINING WALL @ PROPERTY LINE**  
SCALE: 1" = 1'-0"

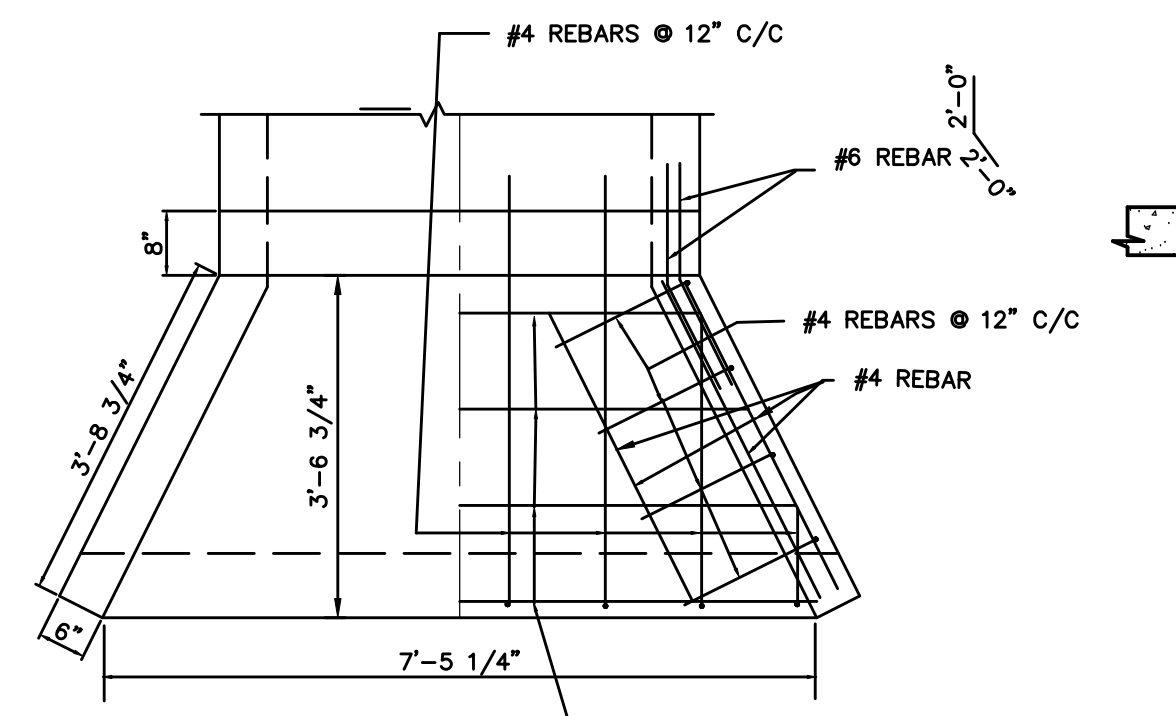


**SECTION**

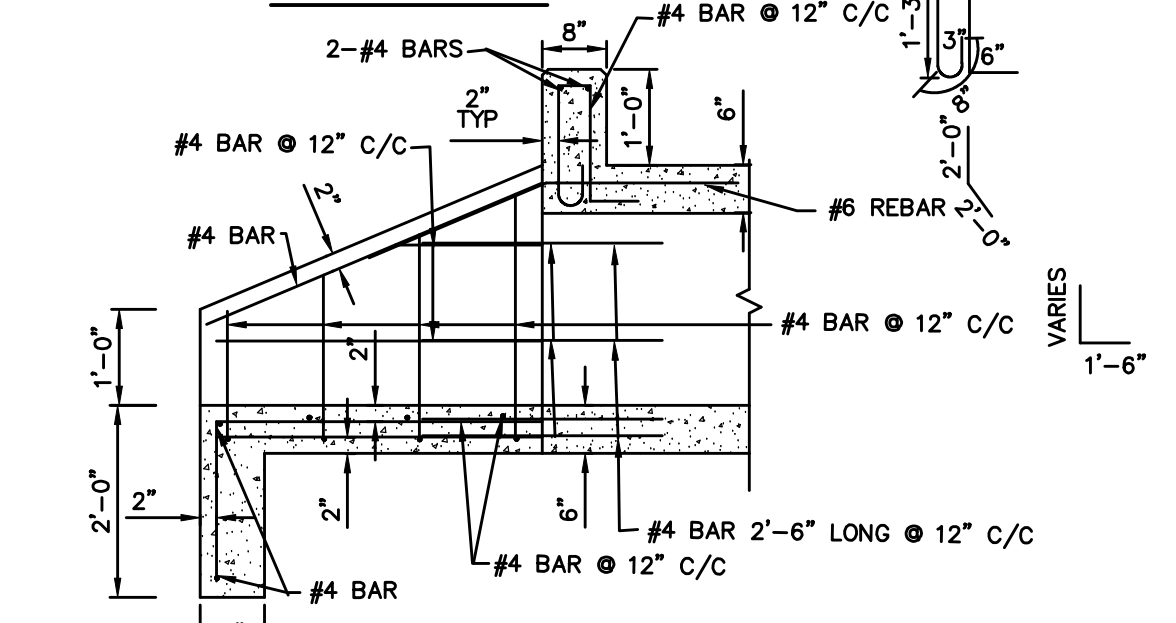


**PLAN**

**PROPOSED BOX CURB INLET**  
SCALE: 1/2" = 1'-0"

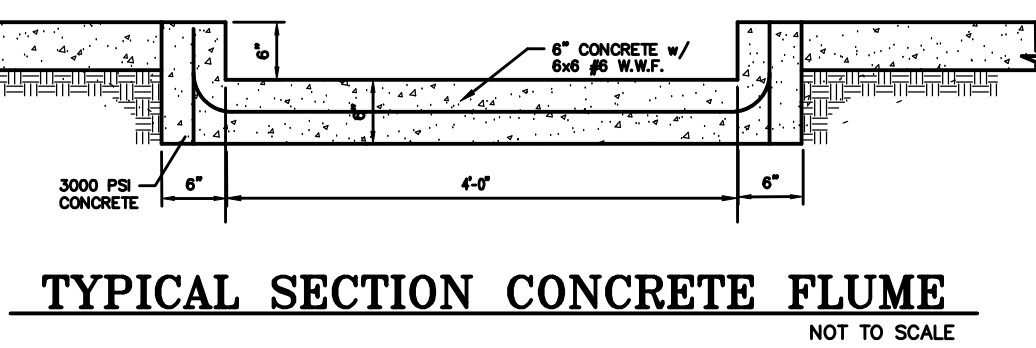


**PLAN**

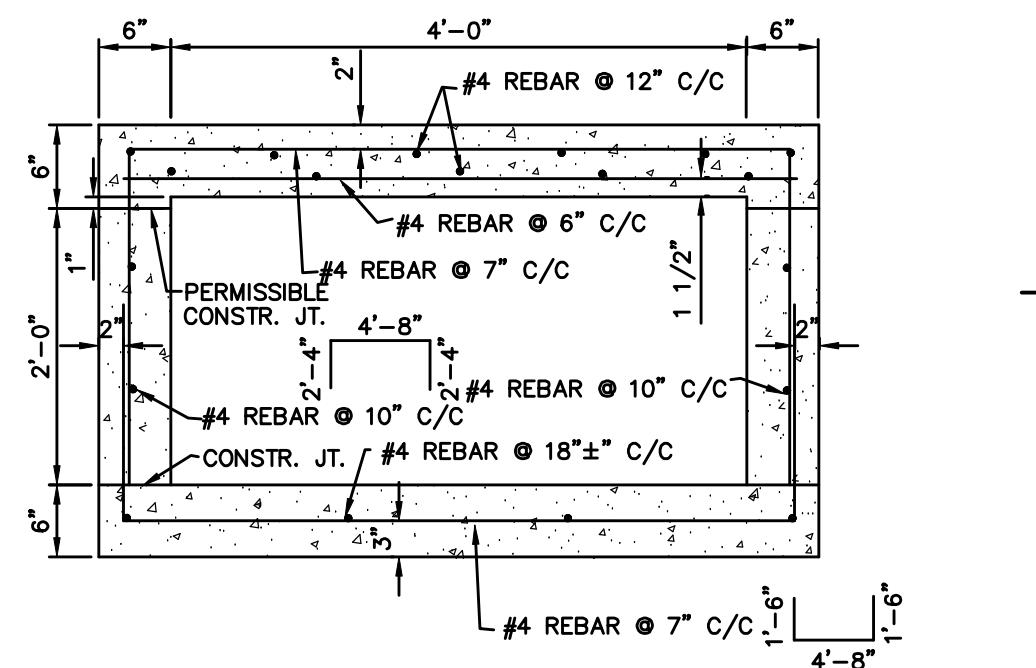


**SECTION**

**PROPOSED WING WALL**  
SCALE: 1/2" = 1'-0"

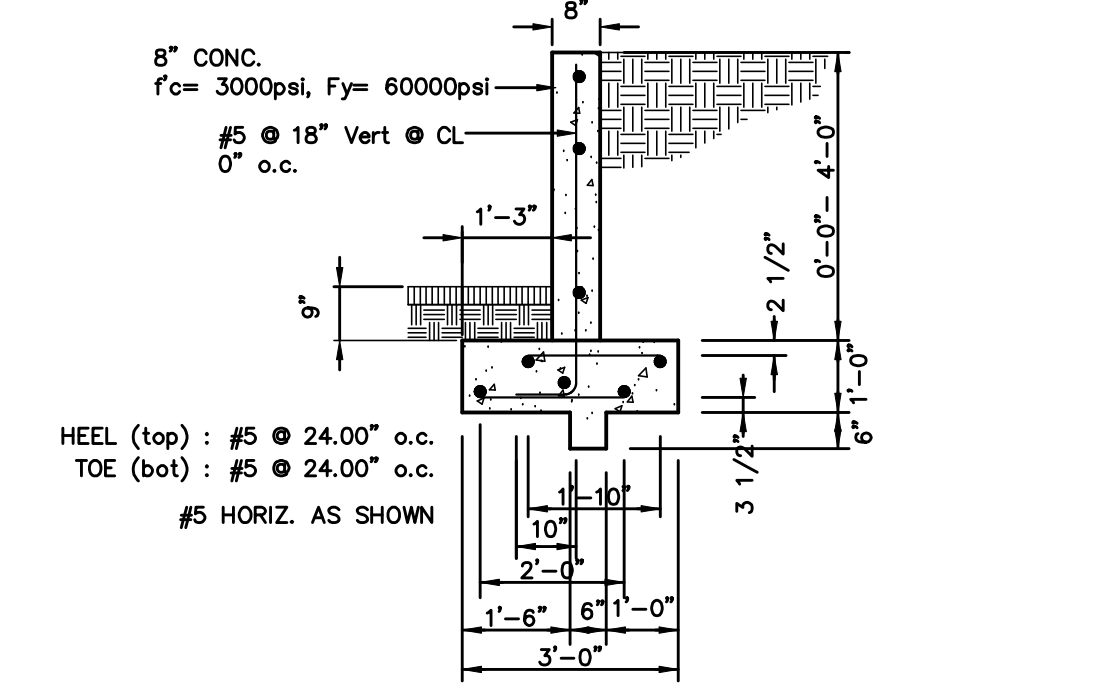


**TYPICAL SECTION CONCRETE FLUME**  
NOT TO SCALE



**SECTION**

**PROPOSED BOX CULVERT**  
SCALE: 3/4" = 1'-0"



**CONCRETE RETAINING WALL @ RAMP**  
SCALE: 3/8" = 1'-0"



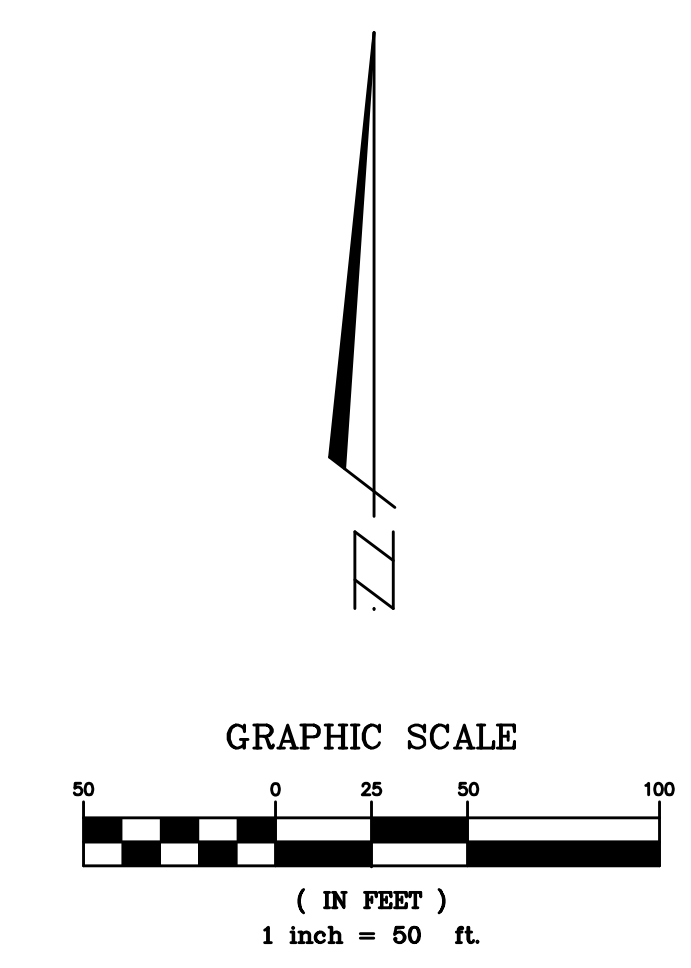
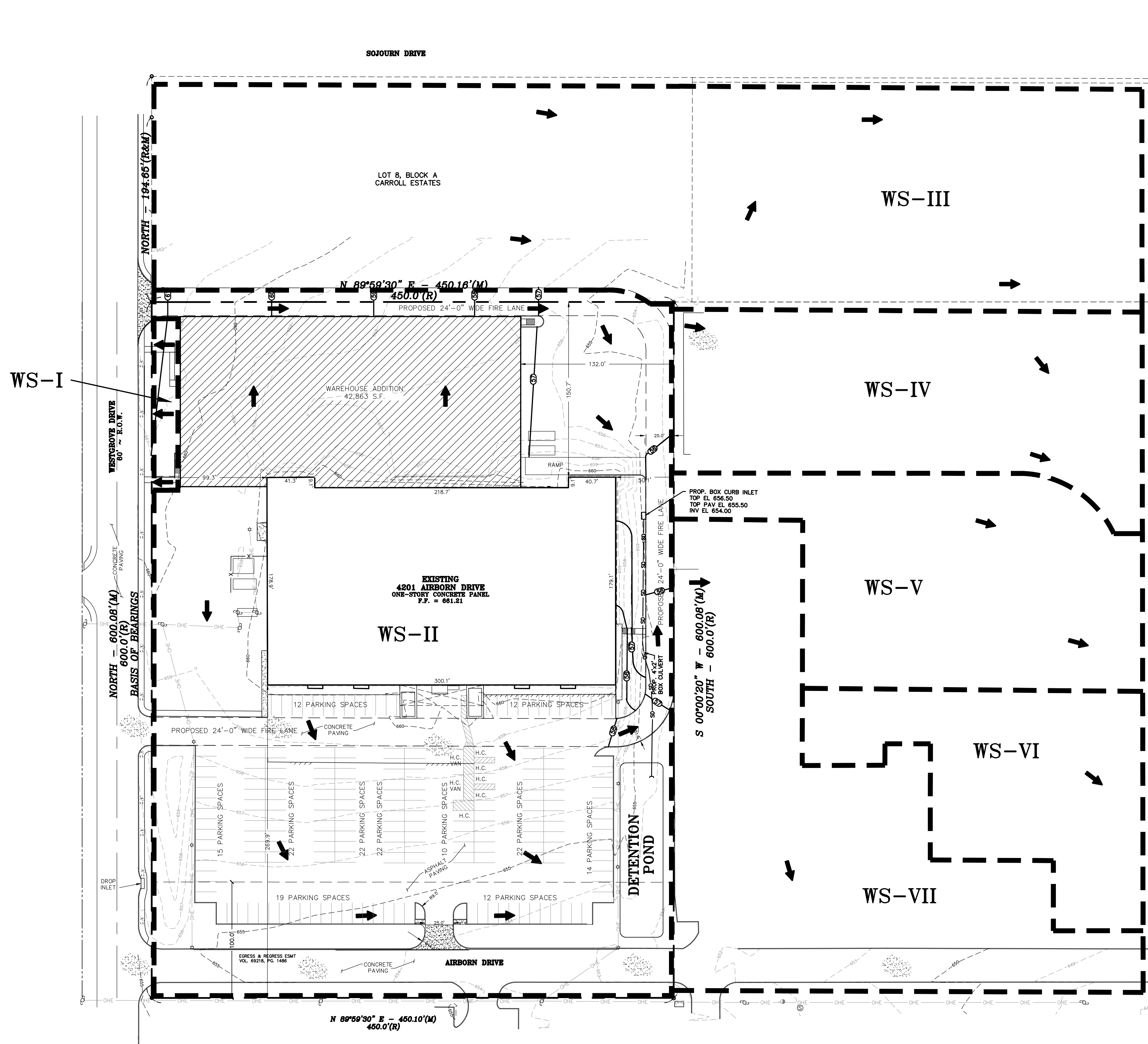
DATE	REVISION DESCRIPTION
8/3/08	RHT
9/26/08	RHT
11/4/08	RHT
11/18/08	RHT
11/26/08	RHT

SITE DETAILS		BEING A REPLAT WESTGROVE AND AIRBORN	
TOWN OF ADDISON		DALLAS COUNTY	
TEXAS		TEXAS	
DATE: 6/16/08	SCALE: 1" = 30'	FILE NUMBER: 4221AIR	DATA FILE: FIELD BOOK:
DRAWN BY: K	ENGINEERING COMPANY, INC.	CHECKED BY: GGG	SHEET 11 OF 14

**AS BUILT**  
APRIL 30, 2010

REVISED: 12/23/08



- LEGEND**
- CENTERLINE
  - ⊕ CENTERLINE
  - PROPERTY LINE
  - - - EASEMENT
  - OHE OVERHEAD ELECTRIC LINES
  - ▨ CONCRETE
  - ▩ COVERED AREA
  - NG NATURAL GROUND
  - P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS
  - R.P.R.D.C.T. REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS

**ON-SITE DRAINAGE**

WATERSHED DESIGNATION	AREA, (ACRES)	TIME OF CONCENTRATION (MIN.)	RAINFALL INTENSITY, IN. / HR	C	RUNOFF (CFS)
WS-I	0.08	10	8.82	0.25	0.18
WS-II***	1.49	10	8.82	0.25	3.28
	4.63			0.95	38.79

\* TO OFF-SITE INLETS  
 \*\*\*TO PROPOSED DETENTION POND

**OFF-SITE DRAINAGE**

WATERSHED DESIGNATION	AREA, (ACRES)	TIME OF CONCENTRATION (MIN.)	RAINFALL INTENSITY, IN. / HR	C	RUNOFF (CFS)
WS-III*	3.61	10	8.82	0.15	23.88
WS-IV*	1.36	10	8.82	0.25	3.00
WS-V*	1.30	10	8.82	0.85	9.75
WS-VI*	0.87	10	8.82	0.85	6.52
WS-VII**	1.93	10	8.82	0.90	15.32

\* TO OFF-SITE INLETS  
 \*\* TO AIRBORNE DRIVE

**SURVEY CONTROL**  
 CONTROL MONUMENT FOUND #COA-13  
 630' WEST FROM INTERSECTION OF  
 ADDISON ROAD & WESTGROVE DRIVE  
 THEN 15.7' SOUTH FROM BACK OF CURB,  
 5' FROM STREET SIGN & 8' SOUTH TO BACK  
 OF CURB OF WEST GROVE ROAD  
 US SURVEY FEET  
 NAVD 88 ELEVATION 642.09  
 MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
 COA-13 GPS" STATE PLANE COORDINATES  
 NORTHING: 7042028.880  
 EASTING: 2479820.516  
 DALLAS COUNTY SCALE FACTOR: 1.000136506  
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**AS BUILT**  
 APRIL 30, 2010

REVISED: 12/23/08



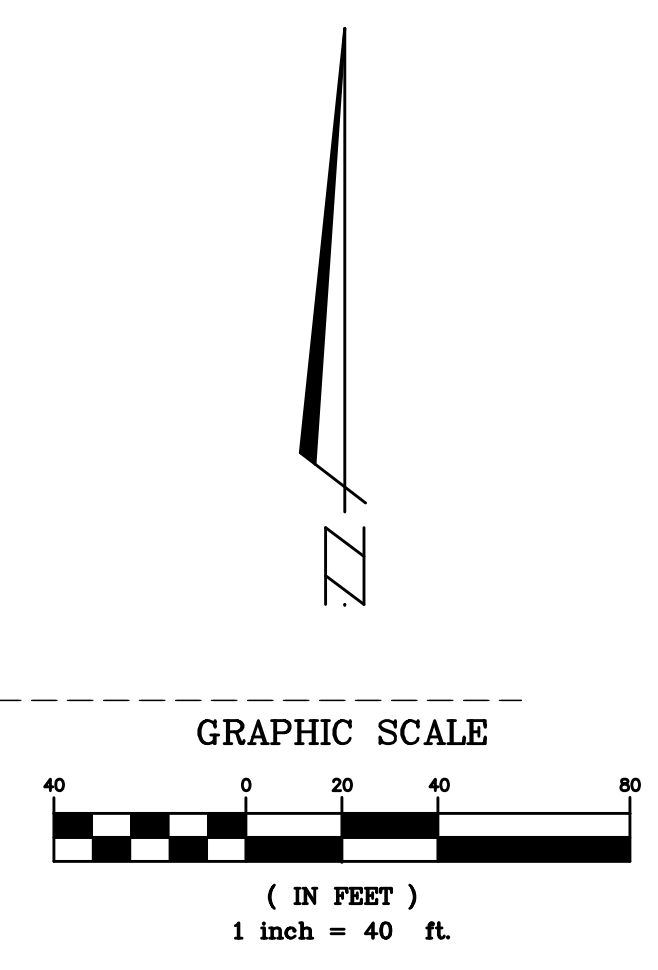
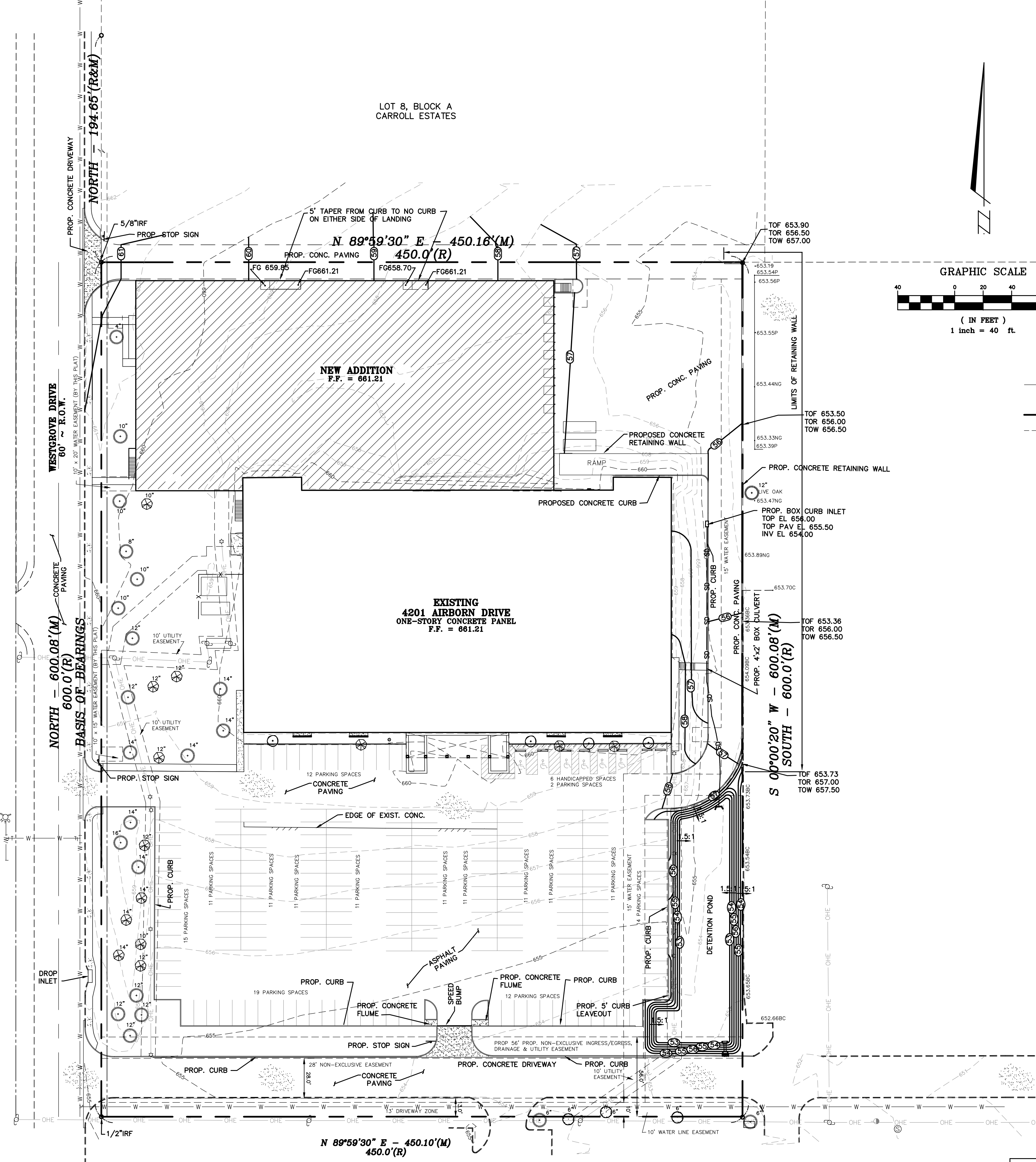
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6/16/08	RHT
8/3/08	RHT
9/26/08	RHT
11/18/08	RHT
11/26/08	RHT

**DRAINAGE PLAN**  
 BEING A REPLAT OF WESTGROVE AND AIRBORNE  
 BEING A REPLAT OF BLOCK A, CARROLL ESTATES

TOWN OF ADDISON      DALLAS COUNTY      TEXAS

DATE: 04-04-08      SCALE: 1" = 50'      FILE NUMBER: 4221AIR-ALLDRAIN      DATA FILE:  
 DRAWN BY: MGB      FIELD BOOK:  
 CHECKED BY: GKK      SHEET 6  
 OF 14

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- LEGEND**
- CENTERLINE
  - CENTERLINE
  - PROPERTY LINE
  - EASEMENT
  - OHE OVERHEAD ELECTRIC LINES
  - SD STORM DRAIN SEWER
  - CONCRETE
  - H.C. HANDICAP PARKING
  - COVERED AREA
  - POWER POLE
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  - WATER METER
  - IRRIGATION CONTROL VALVE
  - FIRE HYDRANT
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  - STORM DRAIN SEWER MANHOLE
  - GAS METER
  - LIGHTS
  - NG NATURAL GROUND
  - P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS
  - R.P.R.D.C.T. REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS
  - EOC EDGE OF CONCRETE
  - BC BACK OF CURB
  - EP EDGE OF PAVEMENT
  - SW SIDEWALK
  - I.R.F. IRON ROD FOUND
  - I.R.S. IRON ROD SET
  - LIVE OAK (EXISTING)
  - OAK (EXISTING)
  - CEDAR (EXISTING)
  - PINE (EXISTING)
  - 12" TREE TRUNK
  - TOF TOP OF FOOTING ELEV
  - TOR TOP OF RETAINING ELEV
  - TOW TOP OF WALL ELEV
  - 653.65BC EXISTING BACK OF CURB ELEV
  - 655 FINISH CONTOUR LINE
  - 654 EXISTING CONTOUR LINE
  - EXISTING CONCRETE CURB

**SURVEY CONTROL**  
 CONTROL MONUMENT #COA-13  
 630' WEST FROM INTERSECTION OF  
 ADDISON ROAD & WESTGROVE DRIVE  
 THEN 15.7' SOUTH FROM BACK OF CURB,  
 5' FROM STREET SIGN & 8' SOUTH TO BACK  
 OF CURB OF WEST GROVE ROAD  
 US SURVEY FEET  
 NAVD 88 ELEVATION 642.09  
 MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
 COA-13 GPS" STATE PLANE COORDINATES  
 NORTHING: 7042028.880  
 EASTING: 2479520.516  
 DALLAS COUNTY SCALE FACTOR: 1.000136506  
 ELEVATIONS ARE NAVD 88 BASED UPON  
 TXDOT VRS NETWORK

ACCESSIBLE PEDESTRIAN ROUTES ON PUBLIC RIGHTS-OF-WAY AND PRIVATE PROPERTY SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND TEXAS ACCESSIBILITY STANDARDS (TAS). DESIGN AND CONSTRUCTION OF ALL CURB RAMPS ON PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF TRANSPORTATION STANDARD DETAIL PED-05, SHEETS 1 THROUGH 4.

**AS BUILT**  
 APRIL 30, 2010  
 REV:10/4/10

REVISED: 4/17/09 MISCELLANEOUS  
 REVISED: 2/25/09 MISCELLANEOUS  
 REVISED: 11-13-08 MISCELLANEOUS  
 REVISED: 11-18-08 MISCELLANEOUS  
 REVISED: 11-3-08 MISCELLANEOUS  
 REVISED: 9-26-08 MISCELLANEOUS



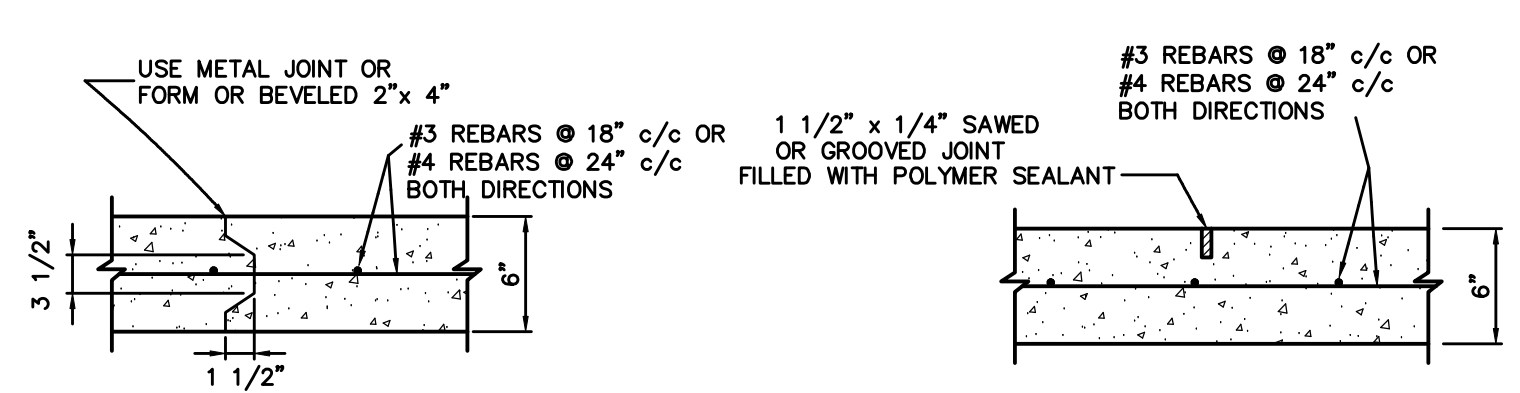
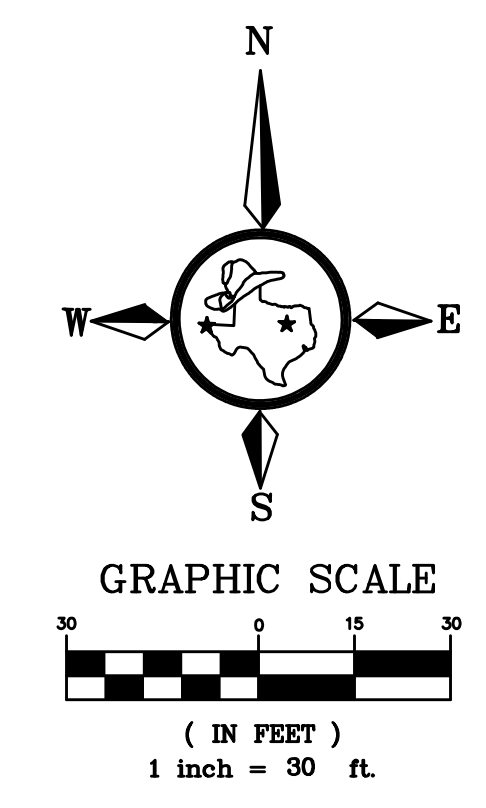
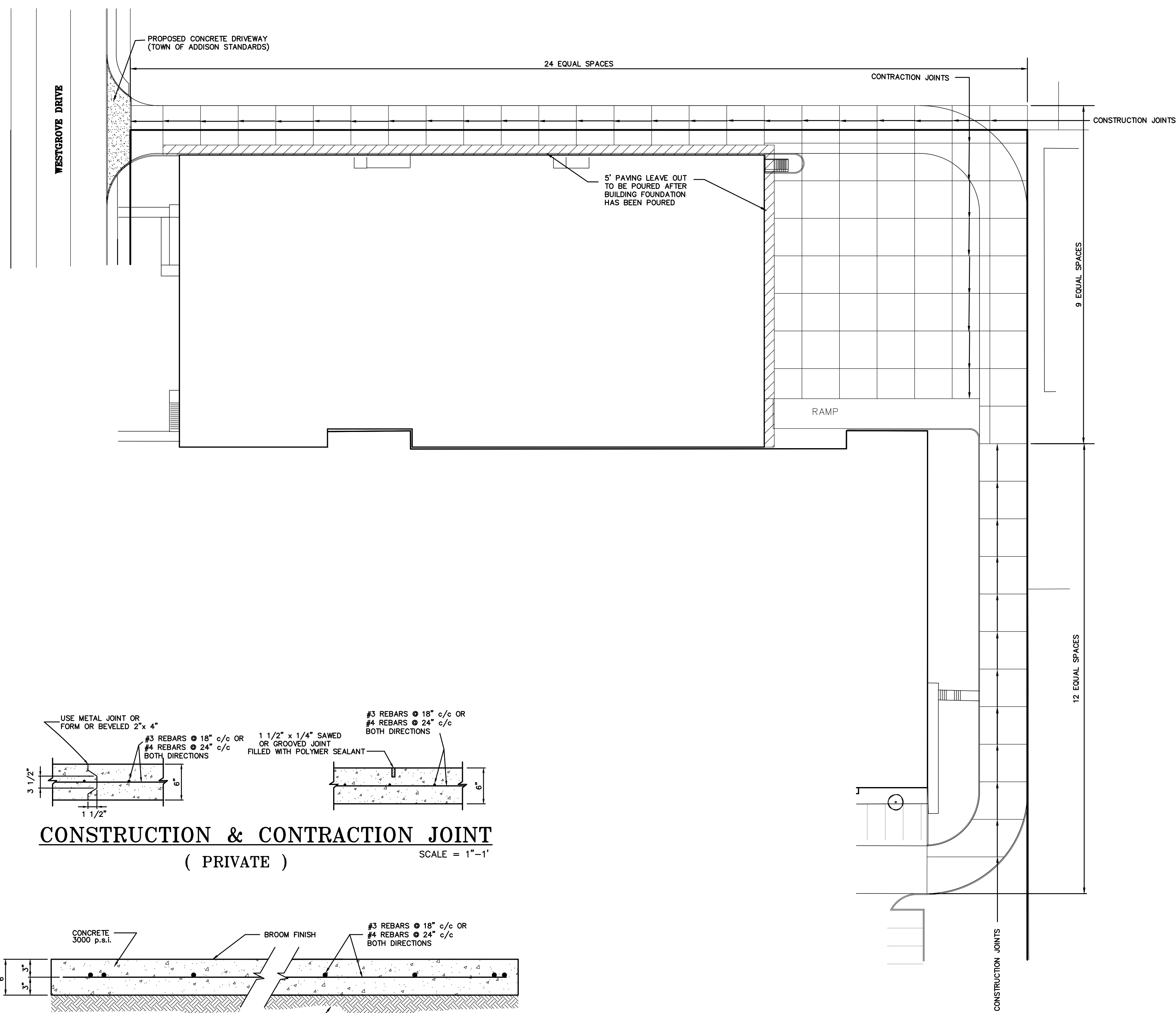
DATE:	REVISION DESCRIPTION
1-2-08	TOPO ADDED
MGB	
4-14-08	PARKING ADDED
MGB	
6-16-08	DIMENSIONS
RHT	
7-3-08	EASEMENTS
RHT	
8-3-08	MISCELLANEOUS
RHT	

**GRADING PLAN**  
 BEING A REPLAT WESTGROVE AND AIRBORN  
 BEING A REPLAT OF BLOCK A, CARROLL ESTATES

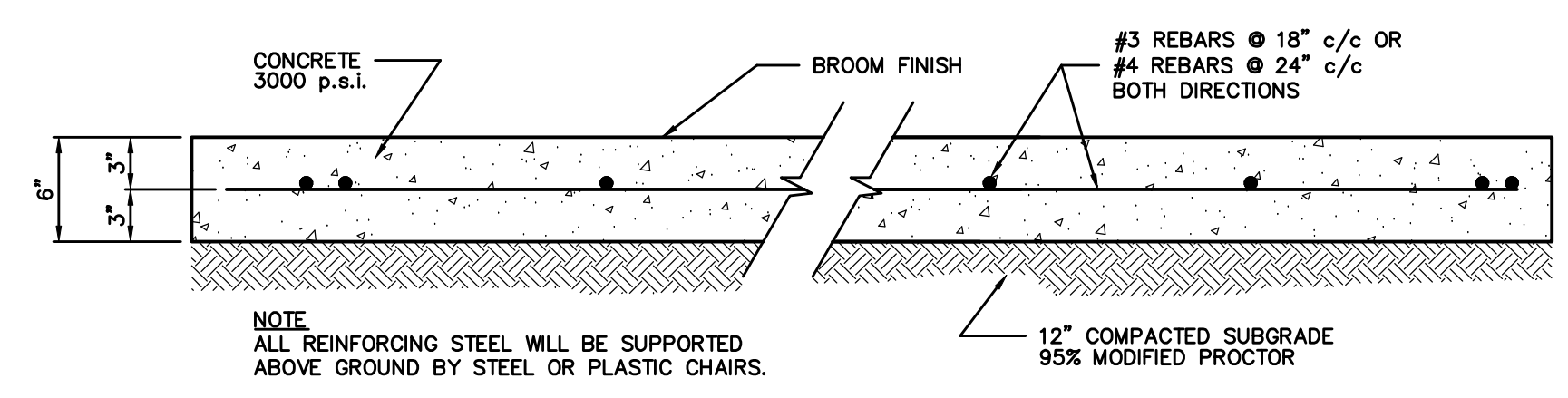
TOWN OF ADDISON      DALLAS COUNTY      TEXAS

DATE: 1-9-08	SCALE: 1" = 40'	FILE NUMBER: 4221AIR	DATA FILE:
DRAWN BY: MGB	CHECKED BY: GGG	FIELD BOOK:	SHEET 5 OF 14

**KISTENMACHER ENGINEERING COMPANY, INC.**  
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**CONSTRUCTION & CONTRACTION JOINT**  
( PRIVATE )  
SCALE = 1" = 1'



**CONCRETE PAVING SECTION**  
( PRIVATE )  
SCALE = 1" = 1'

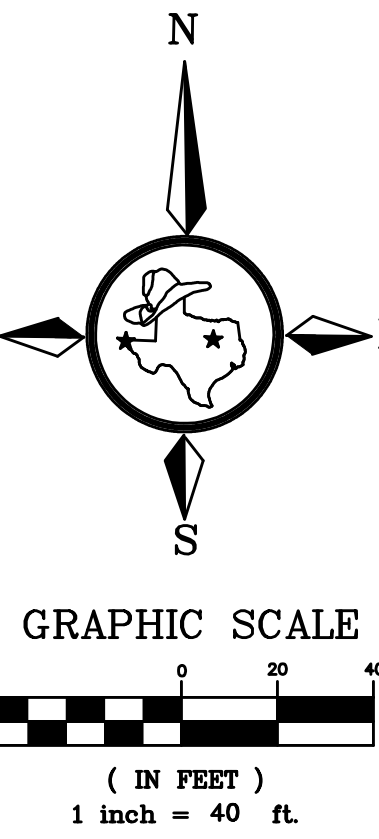
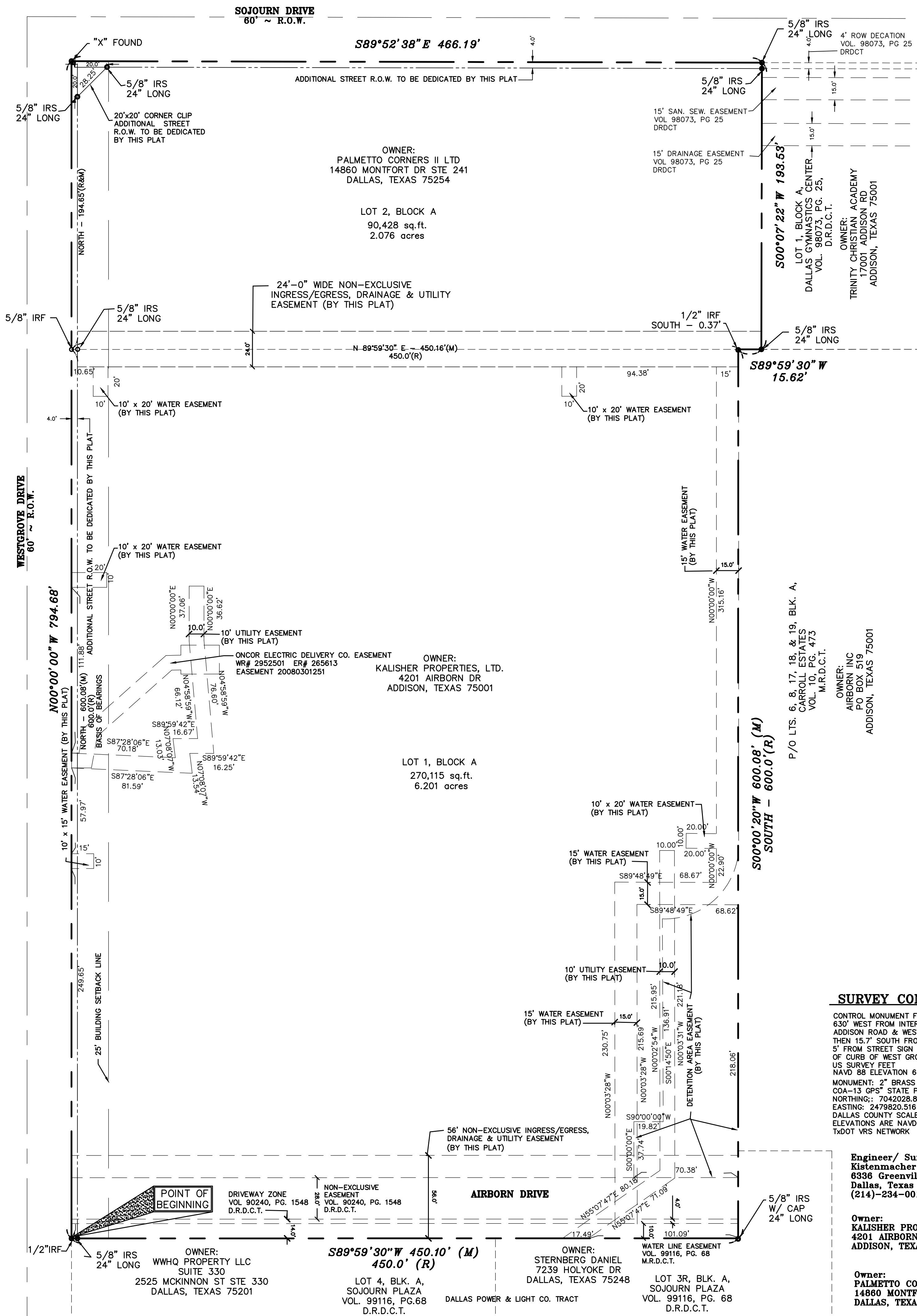
NOTE  
ALL REINFORCING STEEL WILL BE SUPPORTED ABOVE GROUND BY STEEL OR PLASTIC CHAIRS.

**AS BUILT**  
APRIL 30, 2010



DATE:	REVISION DESCRIPTION
6/16/08	RHT
8/3/08	RHT
9/26/08	RHT
11/18/08	RHT
12/23/08	RHT
	RHT

CONCRETE PAVING & JOINT DETAIL			
REPLAT WESTGROVE AND AIRBORN			
BEING A REPLAT OF BLOCK A, CARROLL ESTATES			
TOWN OF ADDISON		DALLAS COUNTY	
		TEXAS	
DATE:	4/25/08	SCALE:	1" = 30'
FILE NUMBER:	4221AIR	DATA FILE:	
DRAWN BY:	RHT	CHECKED BY:	GCK
COMPANY:	KISTENMACHER ENGINEERING COMPANY, INC.	PROJECT:	
ADDRESS:	1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4475	DATE:	APRIL 30, 2010
PHONE:	8336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • 214-234-0011	SHEET:	9
		OF:	14



NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
 That Kalisher Properties, Ltd. & Palmetto Corners II Ltd., ("Owners") do hereby adopt this plat designating the hereinabove property as Westgrove and Airborn an addition to the Town of Addison, Texas and, subject to the conditions, restrictions and reservations stated hereinafter, Owner dedicates to the public use forever that streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owner's of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of the said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

The maintenance or paving of the utility and fire lane easement is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinary performed by the utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easements as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to move and keep removed all parts of any building, fences, shrubs or other improvements or growth which in any way endangers or interferes with the construction, maintenance or efficiency of its respective system or services.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

IN WITNESS THEREFORE, I have hereunto set my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2009.

KALISHER PROPERTIES, LTD  
 IN WITNESS THEREFORE, I have hereunto set my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2009.

PALMETTO CORNERS II LTD

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and said County and State, on this day personally appeared \_\_\_\_\_, known to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said \_\_\_\_\_ and that he executed the same as the act of said \_\_\_\_\_ for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2009.

My Commission Expires \_\_\_\_\_

Notary Public in and for  
 The State Of Texas

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and said County and State, on this day personally appeared \_\_\_\_\_, known to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said \_\_\_\_\_ and that he executed the same as the act of said \_\_\_\_\_ for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2009.

My Commission Expires \_\_\_\_\_

Notary Public in and for  
 The State Of Texas

**SURVEY CONTROL**  
 CONTROL MONUMENT FOUND #60A-13  
 630' WEST FROM INTERSECTION OF  
 ADDISON ROAD & WESTGROVE DRIVE  
 THEN 15.7' SOUTH FROM BACK OF CURB,  
 5' FROM STREET SIGN & 8' SOUTH TO BACK  
 OF CURB OF WEST GROVE ROAD  
 US SURVEY FEET  
 NAVD 88 ELEVATION 642.09  
 MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
 COA-13 GPS STATE PLANE COORDINATES  
 NORTHING: 7042028.880  
 EASTING: 2479820.316  
 DALLAS COUNTY SCALE FACTOR: 1.000136506  
 ELEVATIONS ARE NAVD 88 BASED UPON  
 TXDOT VRS NETWORK

Engineer/ Surveyor:  
**Kistenmacher Engineering Co., Inc.**  
 8336 Greenville Ave, Suite C  
 Dallas, Texas 75206  
 (214)-234-0011

Owner:  
**KALISHER PROPERTIES, LTD.**  
 4201 AIRBORN DR  
 ADDISON, TEXAS 75001

Owner:  
**PALMETTO CORNERS II LTD**  
 14860 MONTFORT DR STE 241  
 DALLAS, TEXAS 75254

**OWNER'S CERTIFICATE:**  
 STATE OF TEXAS  
 COUNTY OF DALLAS

WHEREAS, Kalisher Properties, Ltd. and Palmetto Corners II Ltd., are the owners of a 8.277 acre tract of land situated in a portion of the William Lomax Survey, Abstract No. 792, Town of Addison, Dallas County, Texas and said tract also being a part of Lots 6, 7, and 8 in Block A, of CARROLL ESTATES, an addition to the Town of Addison, Dallas County, Texas, according to the map thereof recorded in Volume 10, Page 173, Map Records, Dallas County, Texas, said tract being more particularly described as follows:

**BEGINNING** at a 1/2-inch iron rod found on the east line of Westgrove Drive (60 feet wide), also being in the west line of Lot 6, Block A CARROLL ESTATES same iron rod also being the northwest corner of the tract conveyed to Dallas Power and Light Company by deed filed August 5, 1957, in the Deed Records Dallas County, Texas;

**THENCE**, North 00°00'00" West, along the east line of Westgrove Drive, a distance of 794.68 feet to a "X" in concrete found on the south line of Sojourn Drive (60 feet wide);

**THENCE**, South 89°52'38" East, along said south line a distance of 466.19 feet to set point for corner on the northwest corner of Lot 1, Block A, Dallas Gymnastics Center as recorded in Volume 98073, Page 25, Deed Records of Dallas County, Texas;

**THENCE**, Departing said south line South 00°07'22" West along the west line of said Lot 1, Block A, Dallas Gymnastics Center a distance of 193.53 feet to a set point on the southwest corner of said Lot 1, Block A, Dallas Gymnastics Center;

**THENCE**, departing said west line of said Lot 1, Block A, Dallas Gymnastics Center, South 89°59'30" West a distance of 15.62 feet to a point on the northwest corner of a tract of land conveyed to Airborn Inc.;

**THENCE**, South 00°00'20" West, along the west line of said Airborn Inc. tract a distance of 600.08 feet to a 5/8 inch iron rod with cap set on the north line of said Lot 3R, Block A, Sojourn Plaza and also being the north line of Dallas Power and Light Company tract;

**THENCE**, South 89°59'30" West, along said north line of Lots 3R and 4, Block A, Sojourn Plaza and said north line of said Dallas Power and Light Company tract, a distance of 450.10 feet to the POINT OF BEGINNING and containing 360,543 square feet or 8.277 acre of land, more or less;

**SURVEYOR'S CERTIFICATE:**  
 I, Steve Donaldson, a Registered Professional Land Surveyor, in the State of Texas hereby certify that this plat is true and correct and was prepared from an actual ground survey of the property made under my supervision.

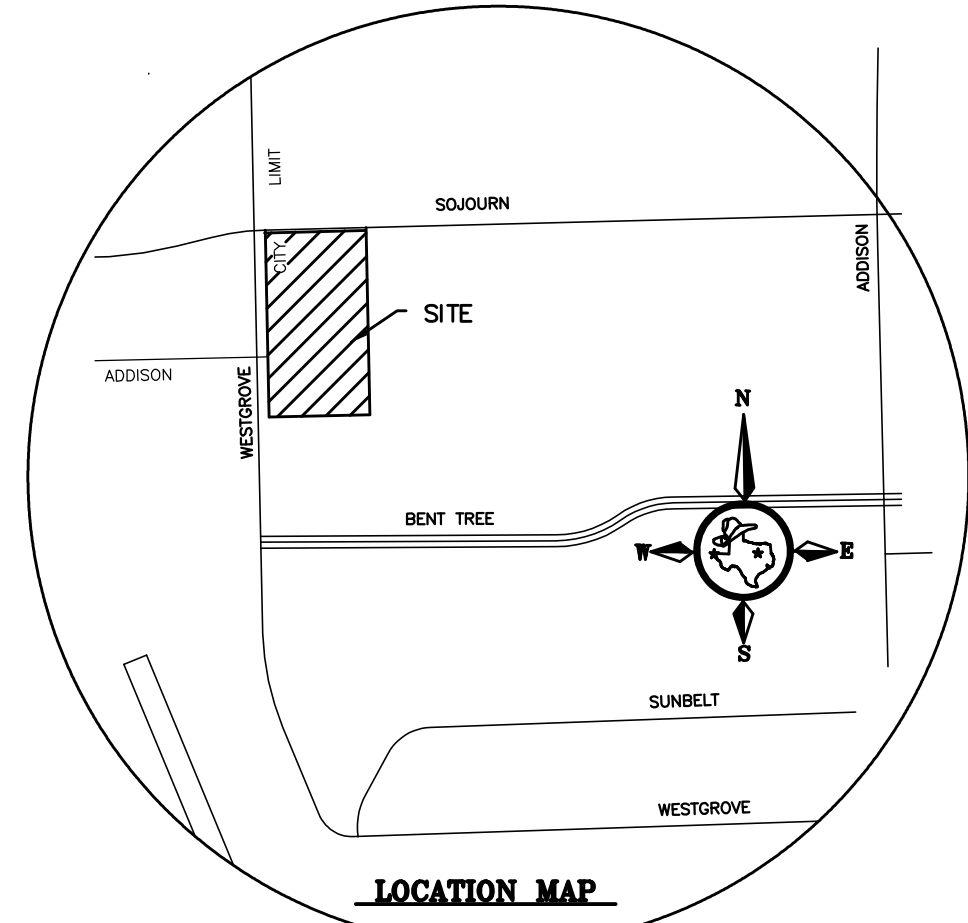
Steve Donaldson  
 Registered Professional Land Surveyor  
 No. 4004

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and said County and State, on this day personally appeared Steve Donaldson, known to be the person and office whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said Kistenmacher Engineering Co., Inc. and that he executed the same as the act of said Kistenmacher Engineering Co., Inc. for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2009.

Notary Public in and for  
 The State of Texas



FILED FOR RECORD IN  
 CLERK'S FILE NO. \_\_\_\_\_

REPLAT  
**WESTGROVE AND AIRBORN**  
 BEING A REPLAT OF A PART  
 OF BLOCK A CARROLL ESTATES  
 AN ADDITION TO THE TOWN OF ADDISON, TEXAS  
 AND BEING SITUATED IN THE  
 WILLIAM LOMAX SURVEY, ABSTRACT NO. 792  
 DALLAS COUNTY, TEXAS

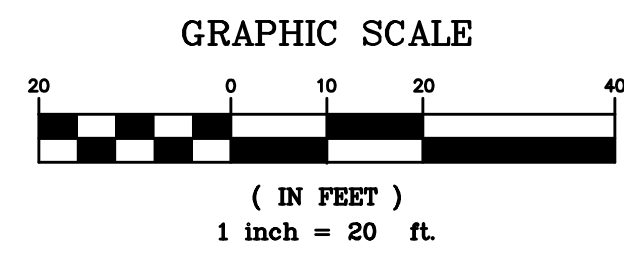
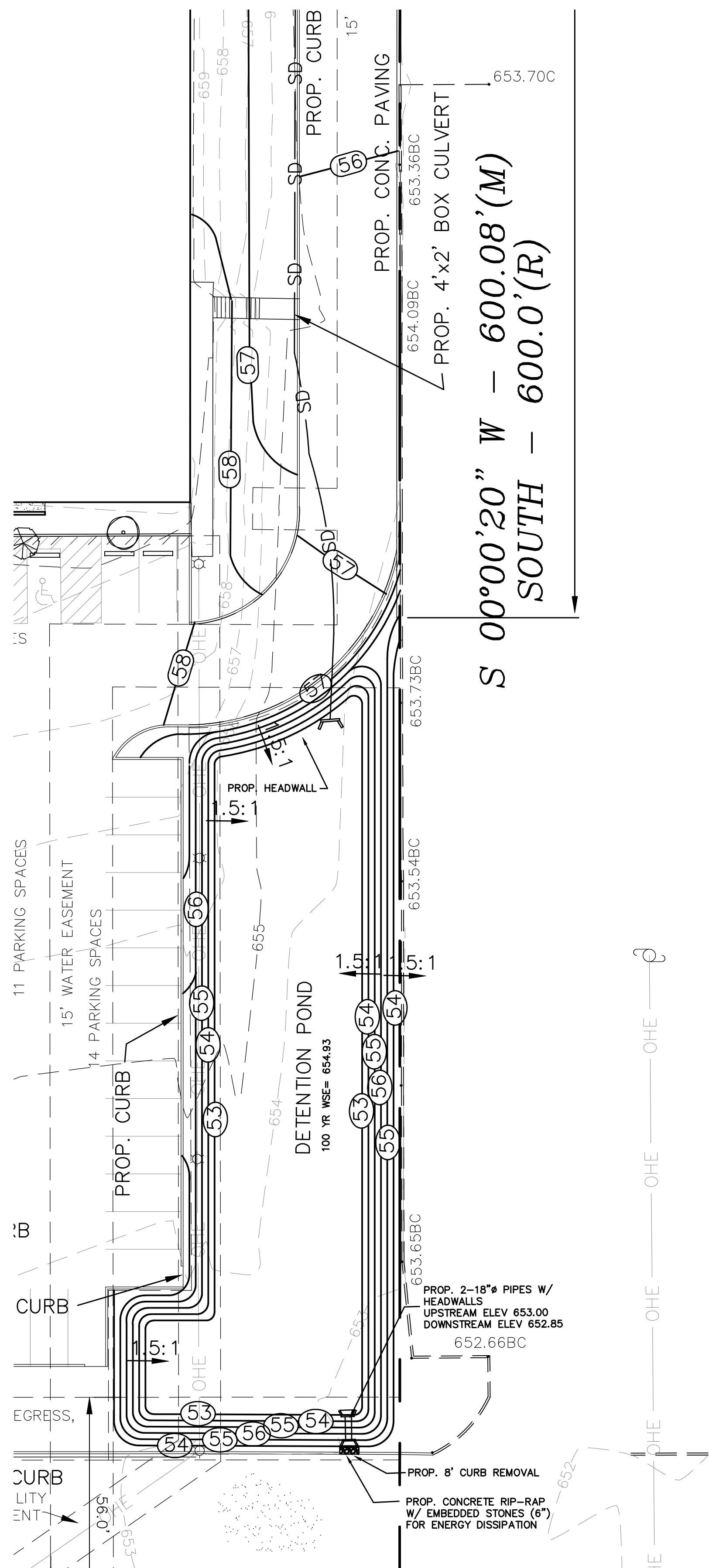
Approved by the Addison Town Council on \_\_\_\_\_, 2009.

Mayor \_\_\_\_\_  
 Town Secretary \_\_\_\_\_

**AS BUILT**  
 APRIL 30, 2010

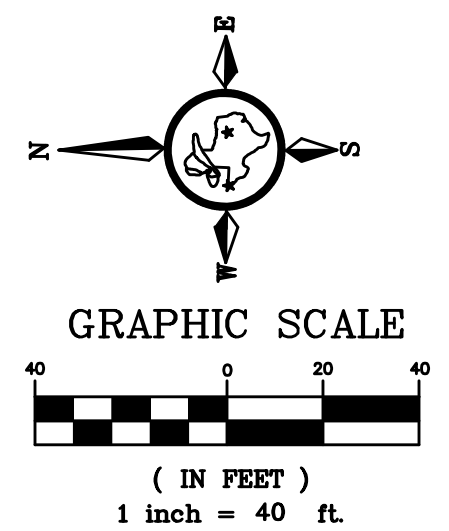
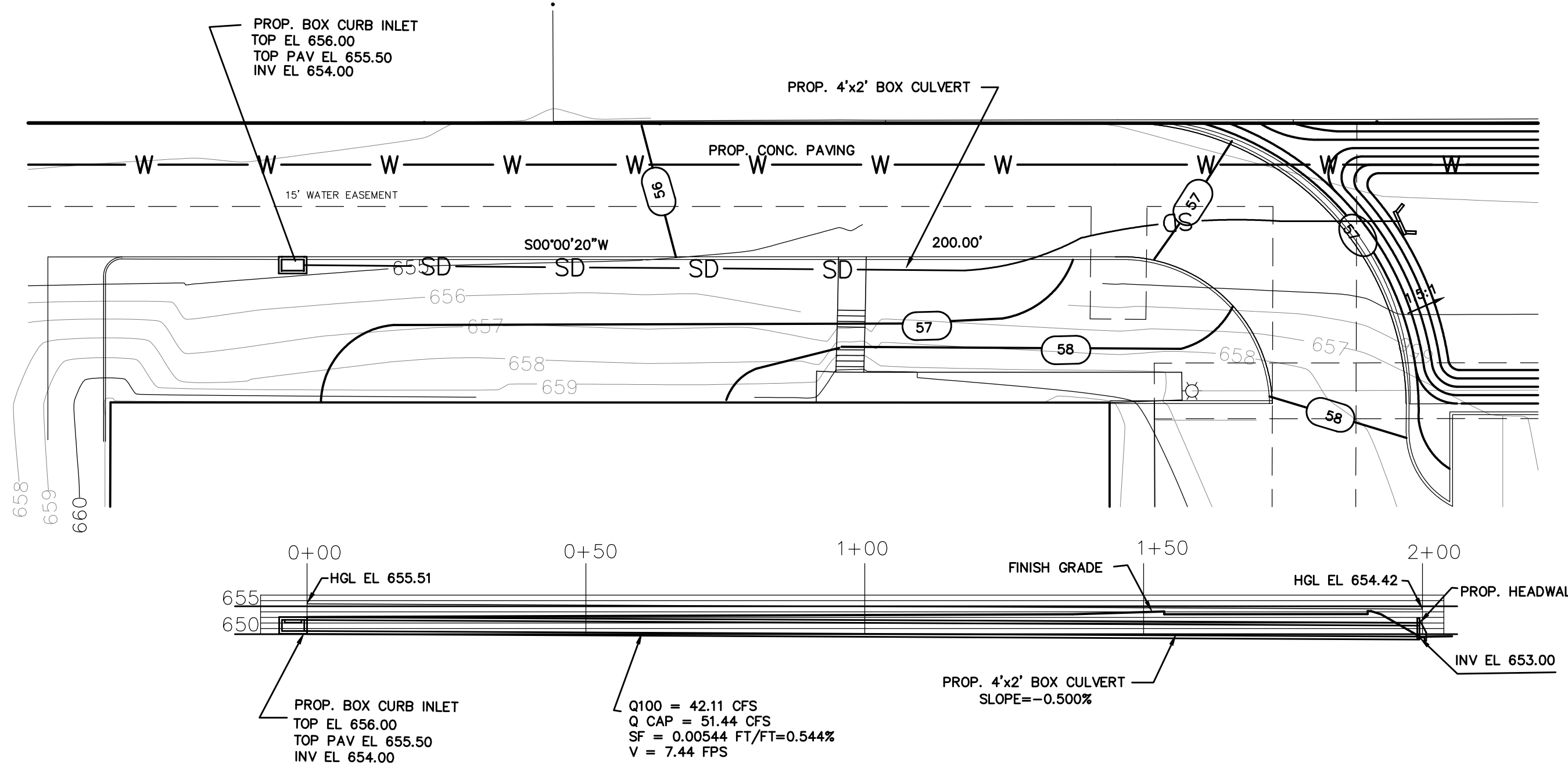
REVISOR: SEPTEMBER 26, 2008  
 REVISOR: AUGUST 3, 2008  
 REVISOR: JUNE 30, 2008  
 REVISOR: AUGUST 12, 2009  
 REVISOR: AUGUST 6, 2009

REVISOR: APRIL 17, 2009  
 REVISOR: FEBRUARY 25, 2009  
 REVISOR: DECEMBER 23, 2008  
 REVISOR: NOVEMBER 18, 2008



**GRAPHIC SCALE**  
( IN FEET )  
1 inch = 20 ft.

- LEGEND**
- CENTERLINE
  - CENTERLINE
  - PROPERTY LINE
  - - - EASEMENT
  - OHE OVERHEAD ELECTRIC LINES
  - SD STORM DRAIN SEWER
  - CONCRETE
  - H.C. HANDICAP PARKING
  - COVERED AREA
  - POWER POLE
  - WATER VALVE
  - WATER METER
  - IRRIGATION CONTROL VALVE
  - FIRE HYDRANT
  - SEWER MANHOLE
  - STORM DRAIN SEWER MANHOLE
  - SEWER CLEANOUT
  - GAS METER
  - LIGHTS
  - N.G. NATURAL GROUND
  - P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS
  - R.P.R.D.C.T. REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS
  - EOC EDGE OF CONCRETE
  - BC BACK OF CURB
  - EP EDGE OF PAVEMENT
  - SW SIDEWALK
  - I.R.F. IRON ROD FOUND
  - I.R.S. IRON ROD SET
  - LIVE OAK (EXISTING)
  - OAK (EXISTING)
  - CEDAR (EXISTING)
  - PINE (EXISTING)
  - 12" TREE TRUNK
  - TOP OF FOOTING ELEV
  - TOP OF RETAINING ELEV
  - TOW TOP OF WALL ELEV
  - 653.658C EXISTING BACK OF CURB ELEV
  - 55 FINISH CONTOUR LINE
  - 654 EXISTING CONTOUR LINE
  - EXISTING CONCRETE CURB



**GRAPHIC SCALE**  
( IN FEET )  
1 inch = 40 ft.

# STORM DRAIN-PLAN & PROFILE

SCALE: 1"=40'

Best Press  
Detention Basin Design  
Modified Rational Method

Future Conditions (100 Year Storm)	
Area (acres)	6.2
C	0.77
Tc (min)	10
I (in/hr)	8.82
Q (cfs)	42.11

Present Conditions (100 Year Storm)	
Area (acres)	6.2
C	0.67
Tc (min)	10
I (in/hr)	8.82
Q (cfs)	36.64*

\*Limited to 30.05 cfs which is maximum existing flow into Airborn Drive (per existing drainage plan)

Storm Duration (min)	I (in/hr)	Peak Q (cfs)	Inflow (cf)	Outflow (cf)	Storage Req. (cf)
5	10.50	50.13	15039	9015	6024
10	8.82	42.10	25280	18030	7230
15	7.52	35.90	32310	22538	9772
20	6.80	32.46	38952	27045	11907
25	6.20	29.60	44400	31552	12888
30	5.74	27.40	49320	36060	13260 (peak)
35	5.31	25.35	53235	40568	12667
40	4.95	23.63	56712	45075	11637

Pond Geometry		
Elevation	Area (sq ft)	Volume (cf)
653	6116	0
653.5	6446	3140
654	7114	9123
655	7460	13576
656	8161	21416

Maximum outflow from pond shall be 30.05 cfs  
Maximum high water elevation is 654.95  
Outlet structure shall be 2 -18" diameter pipes at 2% slope. Peak outflow shall be 30.15 cfs.

## SURVEY CONTROL

CONTROL MONUMENT FOUND #COA-13  
630' WEST FROM INTERSECTION OF  
ADDISON ROAD & WESTGROVE DRIVE  
THEN 15.7' SOUTH FROM BACK OF CURB,  
5' FROM STREET SIGN & 8' SOUTH TO BACK  
OF CURB OF WEST GROVE ROAD  
US SURVEY FEET  
NAVD 88 ELEVATION 642.09  
MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
COA-13 GPS" STATE PLANE COORDINATES  
NORTHING: 7042028.880  
EASTING: 2479820.516  
DALLAS COUNTY SCALE FACTOR: 1.000136506  
ELEVATIONS ARE NAVD 88 BASED UPON  
TXDOT VRS NETWORK



DATE:	REVISION DESCRIPTION
8/3/08	MISCELLANEOUS
11/4/08	MISCELLANEOUS
11/18/08	MISCELLANEOUS
12/23/08	MISCELLANEOUS
5/13/09	CULVERT CAL REPORT

**DETENTION POND**  
BEING A REPLAT WESTGROVE AND AIRBORN  
BEING A REPLAT OF BLOCK A, CARROLL ESTATES

TOWN OF ADDISON DALLAS COUNTY TEXAS

DATE: 6/16/08 SCALE: 1" = 20' FILE NUMBER: 4221AIR DATA FILE: MGB  
DRAWN BY: MGB FIELD BOOK: GGG  
CHECKED BY: GGG SHEET 7 OF 14

Culvert Calculator Report  
Worksheet-1

Solve For: Headwater Elevation

Culvert Summary			
Allowable HW Elevation	2.50 ft	Headwater Depth/ Height	1.55
Computed Headwater Elevation	655.71 ft	Discharge	30.05 cfs
Inlet Control HW Elev	655.71 ft	Tailwater Elevation	653.00 ft
Outlet Control HW Elev	655.62 ft	Control Type	Inlet Control

Grades			
Upstream Invert	653.00 ft	Downstream Invert	652.85 ft
Length	7.50 ft	Constructed Slope	0.020000 ft/ft

Hydraulic Profile			
Profile	S2	Depth, Downstream	1.25 ft
Slope Type	Normal	Normal Depth	1.05 ft
Flow Regime	Supercritical	Critical Depth	1.44 ft
Velocity Downstream	8.19 ft/s	Critical Slope	0.008975 ft/ft

Section			
Section Shape	Circular	Mannings Coefficient	0.013
Section Material	Concrete	Span	1.75 ft
Section Size	21 inch	Rise	1.75 ft
Number Sections	2		

Outlet Control Properties			
Outlet Control HW Elev	655.62 ft	Upstream Velocity Head	0.79 ft
Ke	0.50	Entrance Loss	0.39 ft

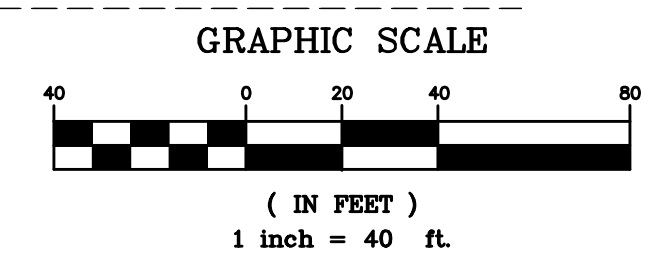
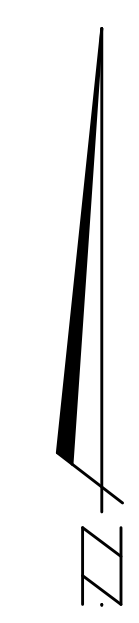
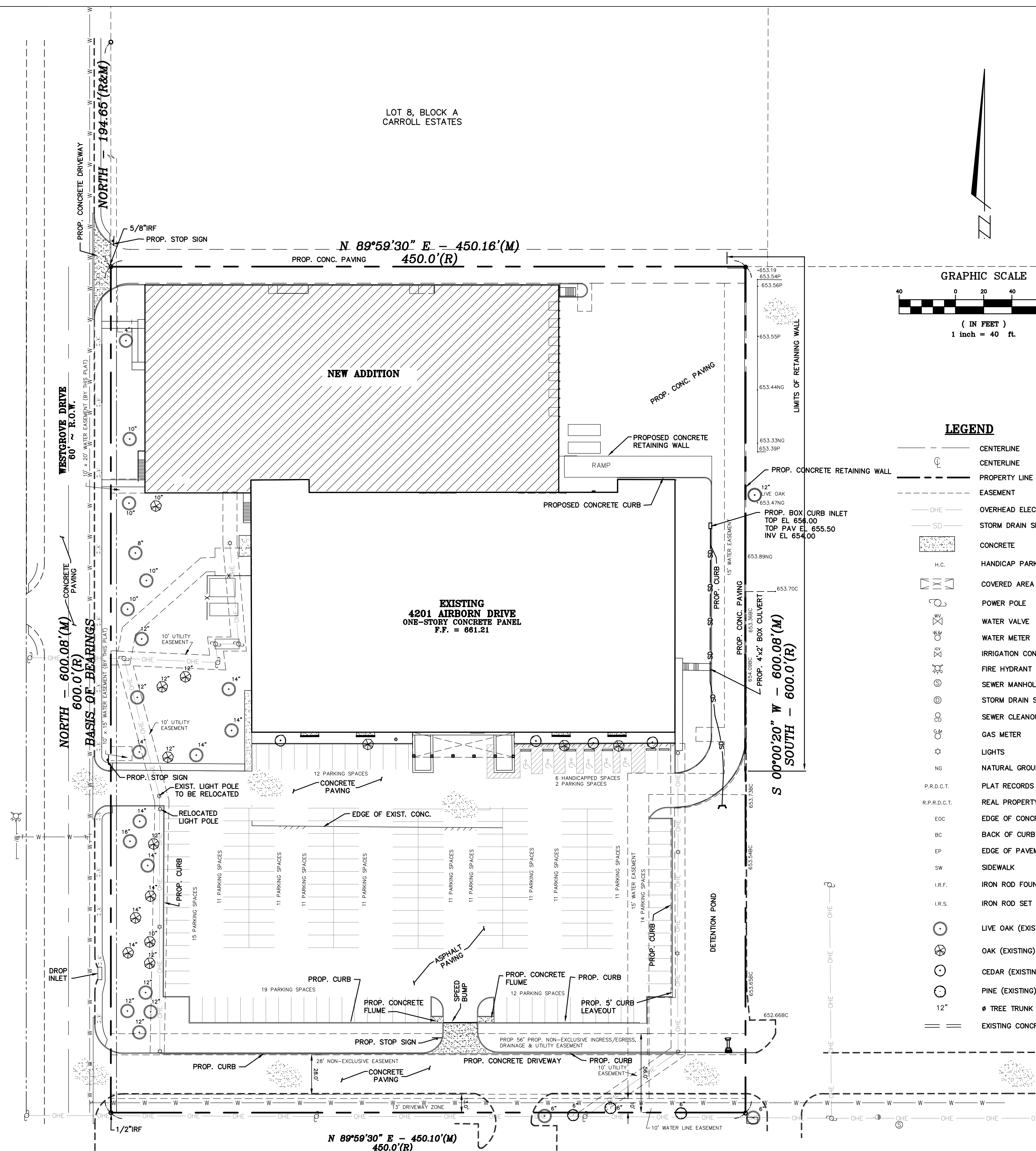
  

Inlet Control Properties			
Inlet Control HW Elev	655.71 ft	Flow Control	Submerged
Inlet Type	Square edge w/headwall	Area Full	4.8 ft <sup>2</sup>
K	0.00980	HDS 5 Chart	1
M	2.00000	HDS 5 Scale	1
C	0.03980	Equation Form	1
Y	0.67000		

**AS BUILT**  
APRIL 30, 2010  
REV:10/4/10



LOT 8, BLOCK A  
CARROLL ESTATES



**LEGEND**

- CENTERLINE
- - - CENTERLINE
- - - PROPERTY LINE
- - - EASEMENT
- OVERHEAD ELECTRIC LINES
- STORM DRAIN SEWER
- CONCRETE
- H.C. HANDICAP PARKING
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- WATER VALVE
- WATER METER
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- STORM DRAIN SEWER MANHOLE
- SEWER CLEANOUT
- GAS METER
- LIGHTS
- NG NATURAL GROUND
- P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS
- R.P.R.D.C.T. REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS
- EOC EDGE OF CONCRETE
- BC BACK OF CURB
- EP EDGE OF PAVEMENT
- SW SIDEWALK
- I.R.F. IRON ROD FOUND
- I.R.S. IRON ROD SET
- LIVE OAK (EXISTING)
- OAK (EXISTING)
- CEDAR (EXISTING)
- PINE (EXISTING)
- φ TREE TRUNK
- EXISTING CONCRETE CURB

**PARKING NOTE**

PARKING SPACES	173
HANDICAPPED SPACES	6
TOTAL	179

**SURVEY CONTROL**

CONTROL MONUMENT FOUND #COA-13  
630' WEST FROM INTERSECTION OF  
ADDISON ROAD & WESTGROVE DRIVE  
THEN 15.7' SOUTH FROM BACK OF CURB,  
5' FROM STREET SIGN & 8' SOUTH TO BACK  
OF CURB OF WEST GROVE ROAD  
US SURVEY FEET  
NAVD 88 ELEVATION 642.09  
MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
COA-13 GPS" STATE PLANE COORDINATES  
NORTHING: 7042028.880  
EASTING: 247920.516  
DALLAS COUNTY SCALE FACTOR: 1.000136506  
ELEVATIONS ARE NAVD 88 BASED UPON  
TXDOT VRS NETWORK

ACCESSIBLE PEDESTRIAN ROUTES ON PUBLIC RIGHTS-OF-WAY AND PRIVATE PROPERTY SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND TEXAS ACCESSIBILITY STANDARDS (TAS). DESIGN AND CONSTRUCTION OF ALL CURB RAMPS ON PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF TRANSPORTATION STANDARD DETAIL PED-05, SHEETS 1 THROUGH 4.

**AS BUILT**  
APRIL 30, 2010

REV:10/4/10



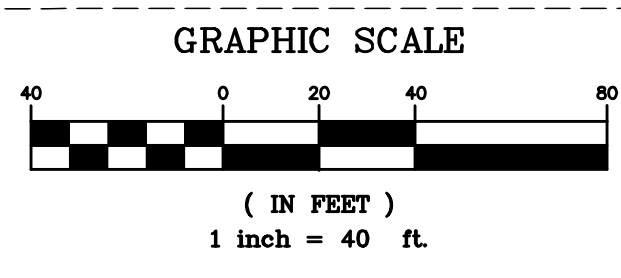
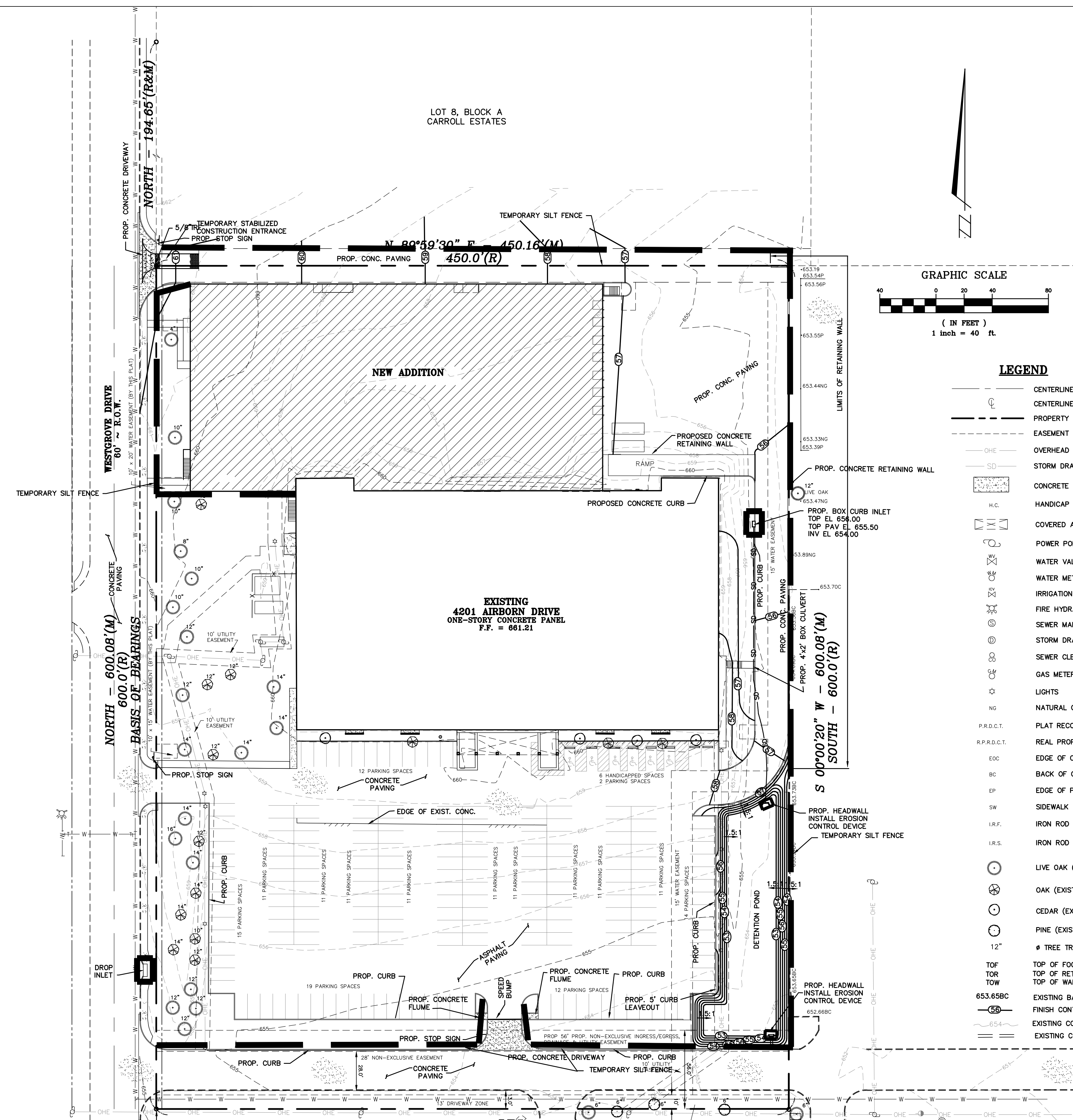
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1-2-08	TOPO ADDED
MGB	
4-14-08	PARKING ADDED
MGB	
6-16-08	DIMENSIONS
RHT	
7-3-08	EASEMENTS
RHT	
8-3-08	MISCELLANEOUS
RHT	

**SITE PLAN**  
**REPLAT WESTGROVE AND AIRBORN**  
**BEING A REPLAT OF BLOCK A, CARROLL ESTATES**

**TOWN OF ADDISON      DALLAS COUNTY      TEXAS**

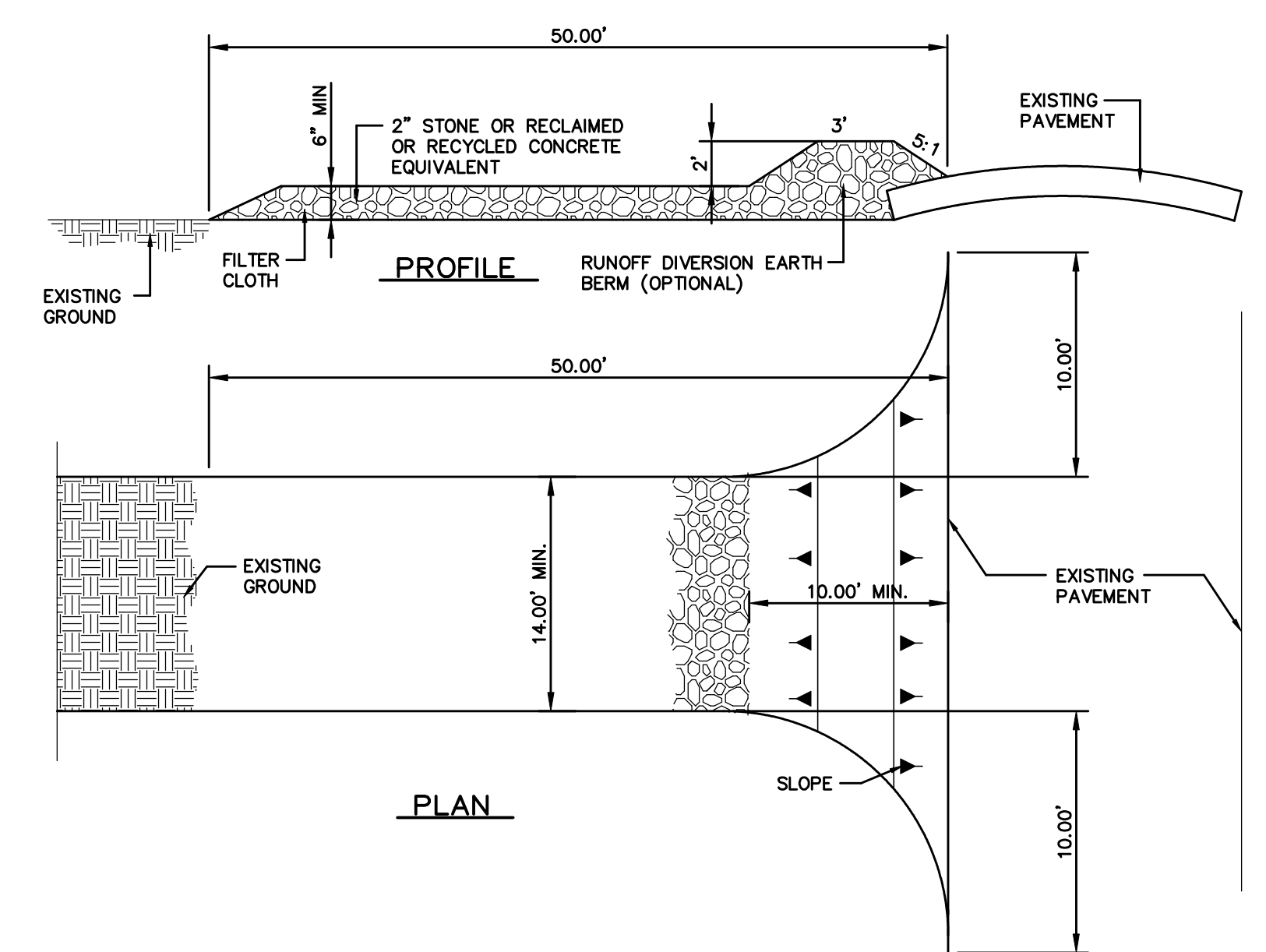
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DRAWN BY: MGB	CHECKED BY: GGG	DATE: 1-9-08	FIELD BOOK:
<b>KISTENMACHER ENGINEERING COMPANY, INC.</b>			
CONSULTING ENGINEERING      LAND PLANNING      SURVEYING			
1420 GERONIMO DRIVE, SUITE A2      EL PASO, TEXAS 79925      915-778-4475			
6336 GREENVILLE AVE, SUITE C      DALLAS, TEXAS 75206      214-234-0011			
		SHEET <b>3</b>	OF <b>14</b>

REVISED: 4/17/09 MISCELLANEOUS  
REVISED: 2/25/09 MISCELLANEOUS  
REVISED: 12/23/08 MISCELLANEOUS  
REVISED: 11/26/08 MISCELLANEOUS  
REVISED: 11/18/08 MISCELLANEOUS  
REVISED: 9/26/08 MISCELLANEOUS

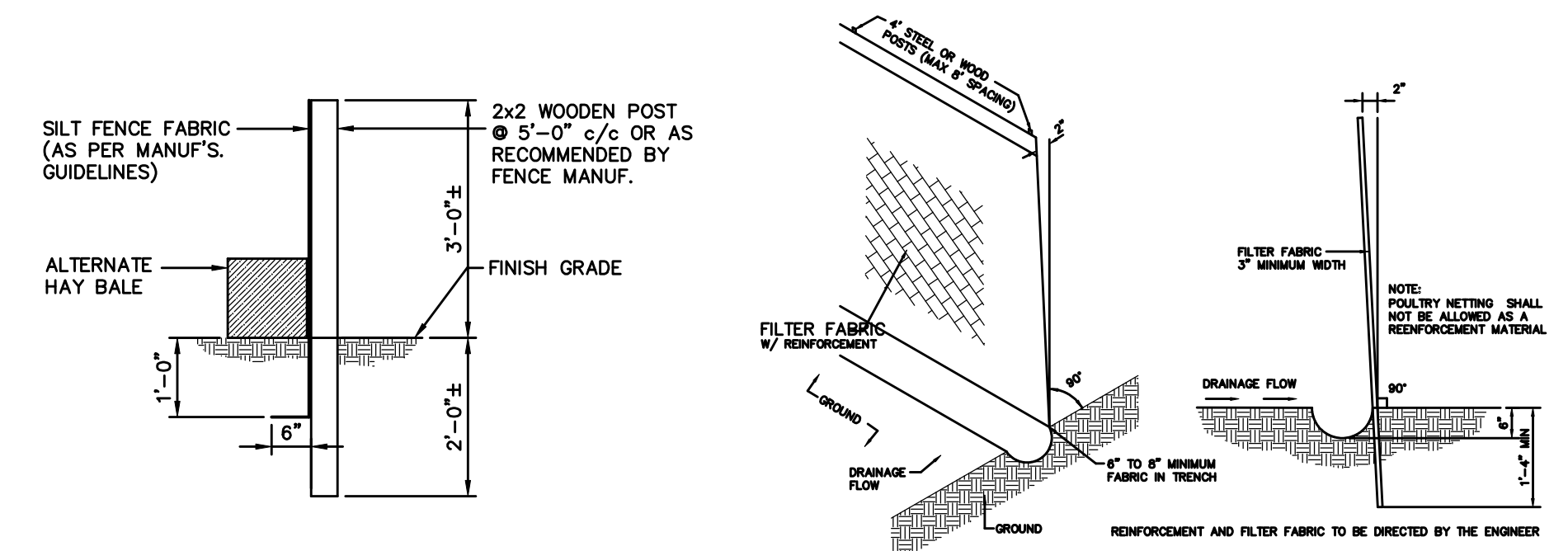


**LEGEND**

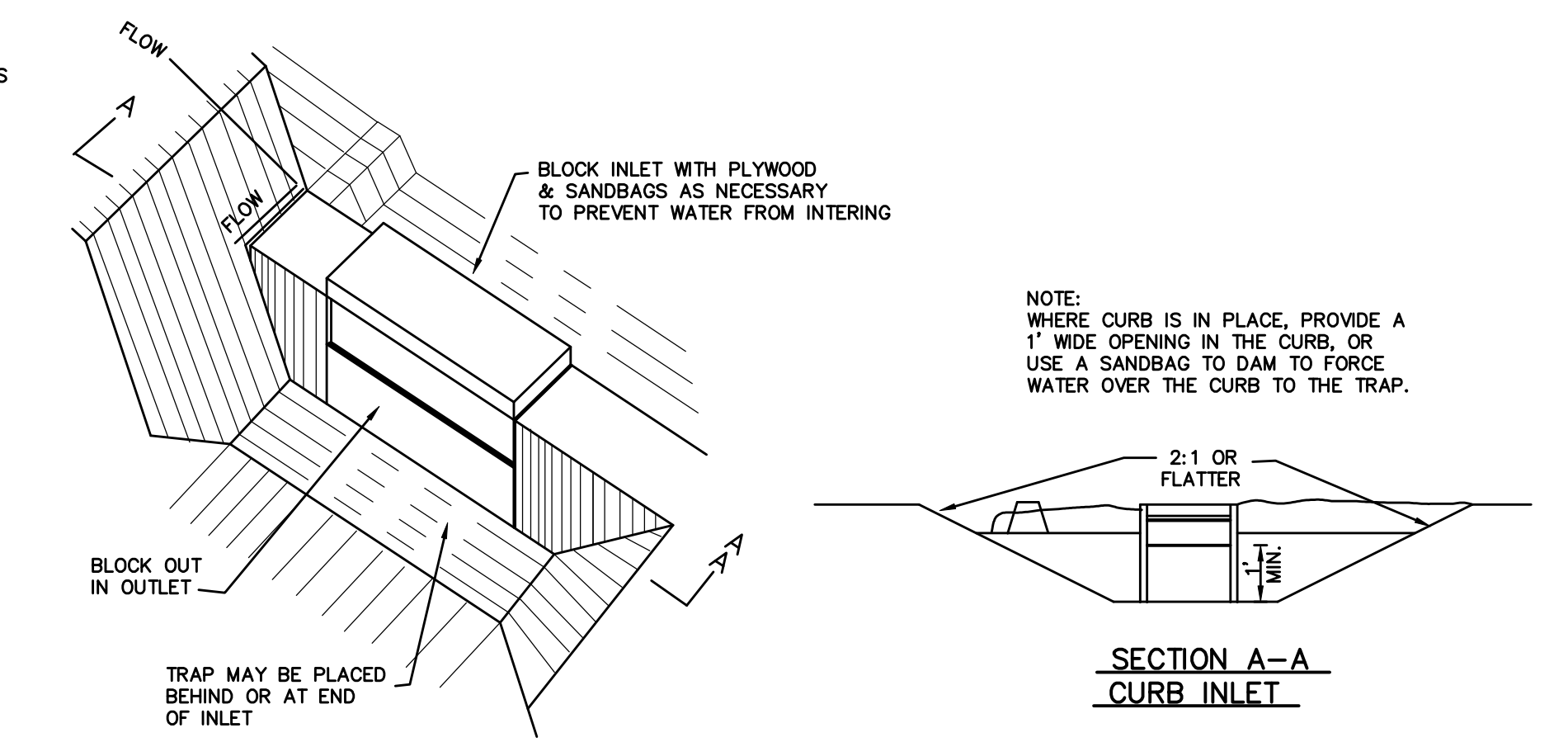
—	CENTERLINE
—	CENTERLINE
---	PROPERTY LINE
---	EASEMENT
---	OVERHEAD ELECTRIC LINES
---	STORM DRAIN SEWER
---	CONCRETE
---	H.C.
---	HANDICAP PARKING
---	COVERED AREA
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---	WATER METER
---	IRRIGATION CONTROL VALVE
---	FIRE HYDRANT
---	SEWER MANHOLE
---	STORM DRAIN SEWER MANHOLE
---	SEWER CLEANOUT
---	GAS METER
---	LIGHTS
---	NATURAL GROUND
P.R.D.C.T.	PLAT RECORDS OF DALLAS COUNTY, TEXAS
R.P.R.D.C.T.	REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS
---	EDGE OF CONCRETE
---	BACK OF CURB
---	EDGE OF PAVEMENT
---	SIDEWALK
---	IRON ROD FOUND
---	IRON ROD SET
---	LIVE OAK (EXISTING)
---	OAK (EXISTING)
---	CEDAR (EXISTING)
---	PINE (EXISTING)
---	12"
---	TOP OF FOOTING ELEV
---	TOP OF RETAINING ELEV
---	TOP OF WALL ELEV
---	EXISTING BACK OF CURB ELEV
---	FINISH CONTOUR LINE
---	EXISTING CONTOUR LINE
---	EXISTING CONCRETE CURB



**STABILIZED CONSTRUCTION ENTRANCE**  
Dwg Name: STACE.dwg SCALE: NOT TO SCALE



**SILT FENCE DETAIL** Dwg Name: slifgd.dwg SCALE: 1/2" = 1'-0"  
**SEDIMENT CONTROL FENCE** Dwg Name: sedcd.dwg SCALE: NOT TO SCALE



**INLET PROTECTION DETAIL**  
NOT TO SCALE

**SURVEY CONTROL**  
CONTROL MONUMENT FOUND #COA-13  
630' WEST FROM INTERSECTION OF  
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THEN 15.7' SOUTH FROM BACK OF CURB,  
5' FROM STREET SIGN & 8' SOUTH TO BACK  
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US SURVEY FEET  
NAVD 88 ELEVATION 642.09  
MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
COA-13 GPS" STATE PLANE COORDINATES  
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ELEVATIONS ARE NAVD 88 BASED UPON  
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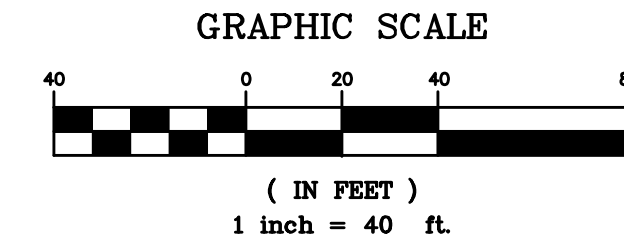
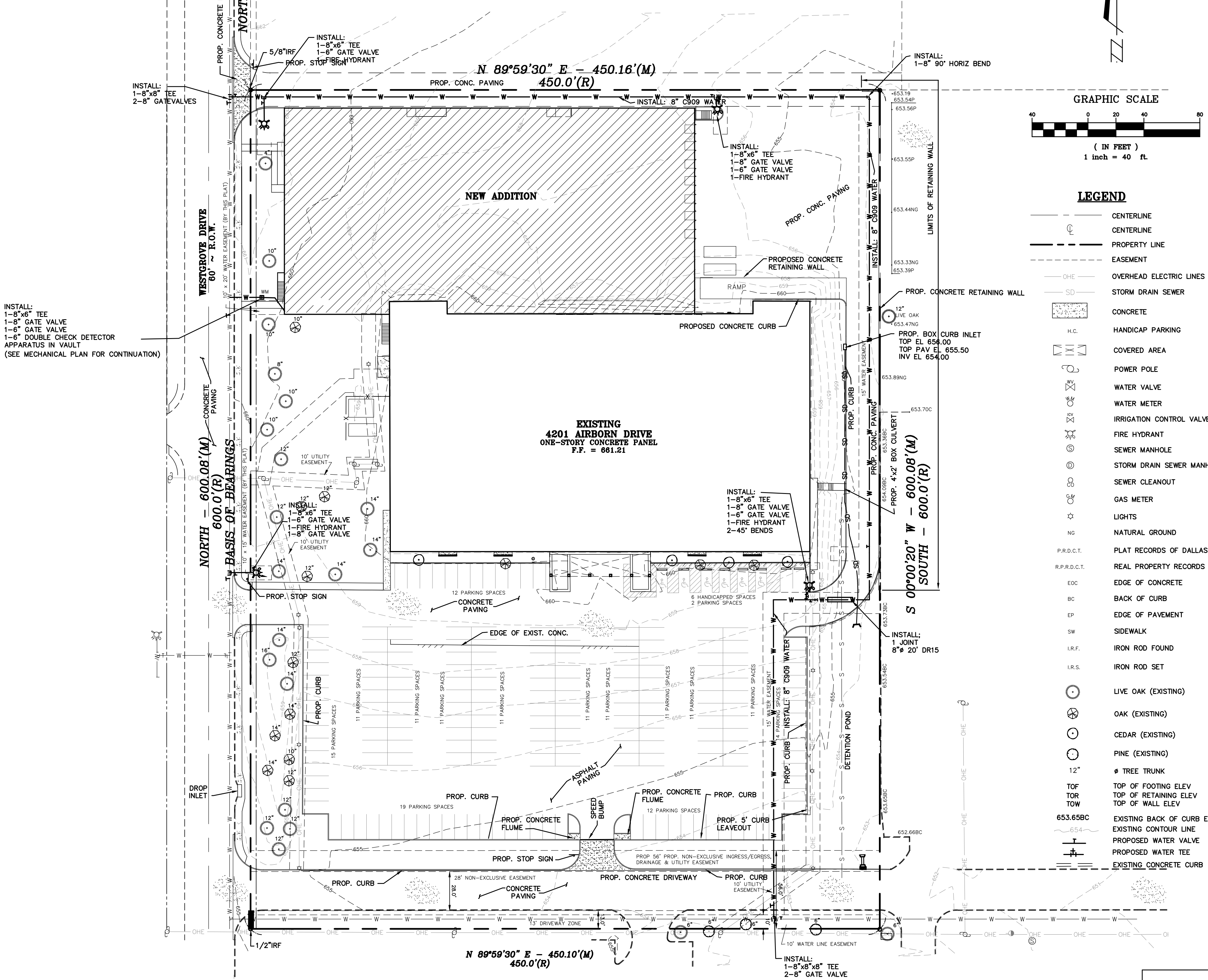
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6/16/08	RHT	REPLAT WESTGROVE AND AIRBORN BEING A REPLAT OF BLOCK A, CARROLL ESTATES	
7-3-08	RHT	EASEMENTS	
8-3-08	RHT	MISCELLANEOUS	
11-3-08	RHT	MISCELLANEOUS	
11-18-08	RHT	MISCELLANEOUS	

DATE: 1-9-08	SCALE: 1" = 40'	FILE NUMBER: 4221AIR	DATA FILE:
DRAWN BY: MGB		FIELD BOOK:	
KISTENMACHER ENGINEERING COMPANY, INC.		CHECKED BY: GGG	
CONSULTING ENGINEERING • LAND PLANNING • SURVEYING		SHEET 8 OF 14	
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4475			
6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • 214-234-0011			

**AS BUILT**  
APRIL 30, 2010  
REV: 10/4/10

LOT 8, BLOCK A  
CARROLL ESTATES



**LEGEND**

- CENTERLINE
- CENTERLINE
- PROPERTY LINE
- - - EASEMENT
- OHE OVERHEAD ELECTRIC LINES
- SD STORM DRAIN SEWER
- CONCRETE
- H.C. HANDICAP PARKING
- COVERED AREA
- POWER POLE
- WATER VALVE
- WATER METER
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- STORM DRAIN SEWER MANHOLE
- SEWER CLEANOUT
- GAS METER
- LIGHTS
- NG NATURAL GROUND
- P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS
- R.P.R.D.C.T. REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS
- EOC EDGE OF CONCRETE
- BC BACK OF CURB
- EP EDGE OF PAVEMENT
- SW SIDEWALK
- I.R.F. IRON ROD FOUND
- I.R.S. IRON ROD SET
- LIVE OAK (EXISTING)
- OAK (EXISTING)
- CEDAR (EXISTING)
- PINE (EXISTING)
- 12" TREE TRUNK
- TOP OF FOOTING ELEV
- TOP OF RETAINING ELEV
- TOP OF WALL ELEV
- 653.65BC EXISTING BACK OF CURB ELEV
- 654 EXISTING CONTOUR LINE
- PROPOSED WATER VALVE
- PROPOSED WATER TEE
- EXISTING CONCRETE CURB

**SURVEY CONTROL**

CONTROL MONUMENT FOUND #00A-13  
630' WEST FROM INTERSECTION OF  
ADDISON ROAD & WESTGROVE DRIVE  
THEN 15.7' SOUTH FROM BACK OF CURB,  
5' FROM STREET SIGN & 8' SOUTH TO BACK  
OF CURB OF WEST GROVE ROAD  
US SURVEY FEET  
NAVD 88 ELEVATION 642.09  
MONUMENT: 2" BRASS DISK STAMPED "TXDOT  
00A-13 GPS" STATE PLANE COORDINATES  
NORTHING: 7042028.880  
EASTING: 2479820.516  
DALLAS COUNTY SCALE FACTOR: 1.000136506  
ELEVATIONS ARE NAVD 88 BASED UPON  
TXDOT VRS NETWORK

NOTE:  
FIRE HYDRANTS SHALL BE LOCATED BETWEEN 3' & 6' BEHIND CURB.

**AS BUILT**  
APRIL 30, 2010  
REV:10/4/10



DATE	REVISION DESCRIPTION
6/16/08	RHT
7-3-08	EASEMENTS
RHT	
8-3-08	MISCELLANEOUS
RHT	
9-12-08	MISCELLANEOUS
RHT	
9-26-08	MISCELLANEOUS
RHT	

**UTILITY PLAN**  
BEING A REPLAT WESTGROVE AND AIRBORN  
BEING A REPLAT OF BLOCK A, CARROLL ESTATES

TOWN OF ADDISON      DALLAS COUNTY      TEXAS

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			SHEET 10 OF 14

REVISED: 8/4/09 MISCELLANEOUS  
REVISED: 4/17/09 MISCELLANEOUS  
REVISED: 2/25/09 MISCELLANEOUS  
REVISED: 12/23/08 MISCELLANEOUS  
REVISED: 11/26/08 MISCELLANEOUS  
REVISED: 11/18/08 MISCELLANEOUS