

*SEE ARCHITECT PLANS FOR
PHOTOMETRIC LAYOUT

YAAKOV KALISHER AND
WENDY L. KALISHER
VOL. 93228, PG. 5470,
D.R.D.C.T.

NON-EXCLUSIVE EASEMENT
VOLUME 69218, PAGE 1486, D.R.D.C.T.,
AMENDED BY VOLUME 90240, PAGE 1548,
D.R.D.C.T.

10' PERMANENT EASEMENT
(AS SHOWN ON PLAT)
V. 99116, P. 68, DROCT
286± TO 654±

LOT 4, BLOCK A
SOJOURN PLAZA ADDITION
VOLUME 2002044, PAGE 00117
D.R.D.C.T.

LOT 3R, BLOCK A
SOJOURN PLAZA ADDITION
VOLUME 2002044, PAGE 00117
D.R.D.C.T.

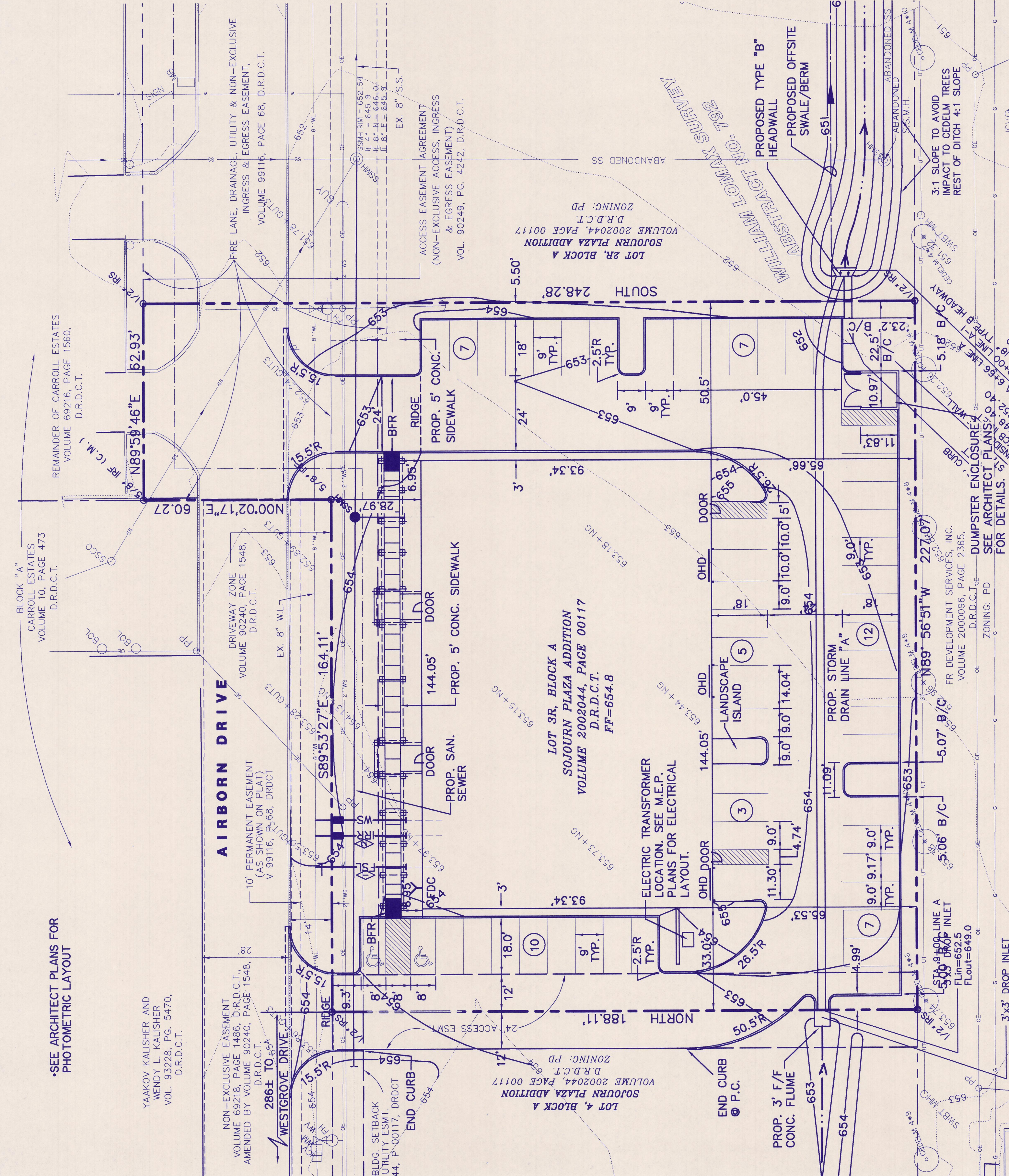
FF=654.8

ELECTRIC TRANSFORMER
LOCATION, SEE M.E.P.
PLANS FOR ELECTRICAL
LAYOUT.

CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS
HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS
OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY
FOR THE UTILITY LOCATIONS SHOWN, IT SHALL BE THE RESPONSIBILITY
OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE
LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO
CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT
ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF
ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES. THE CONTRACTOR
SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING
CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES
SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. CONTACT ALL
POSSIBLE UTILITY AND UNDERGROUND FACILITY OWNERS.

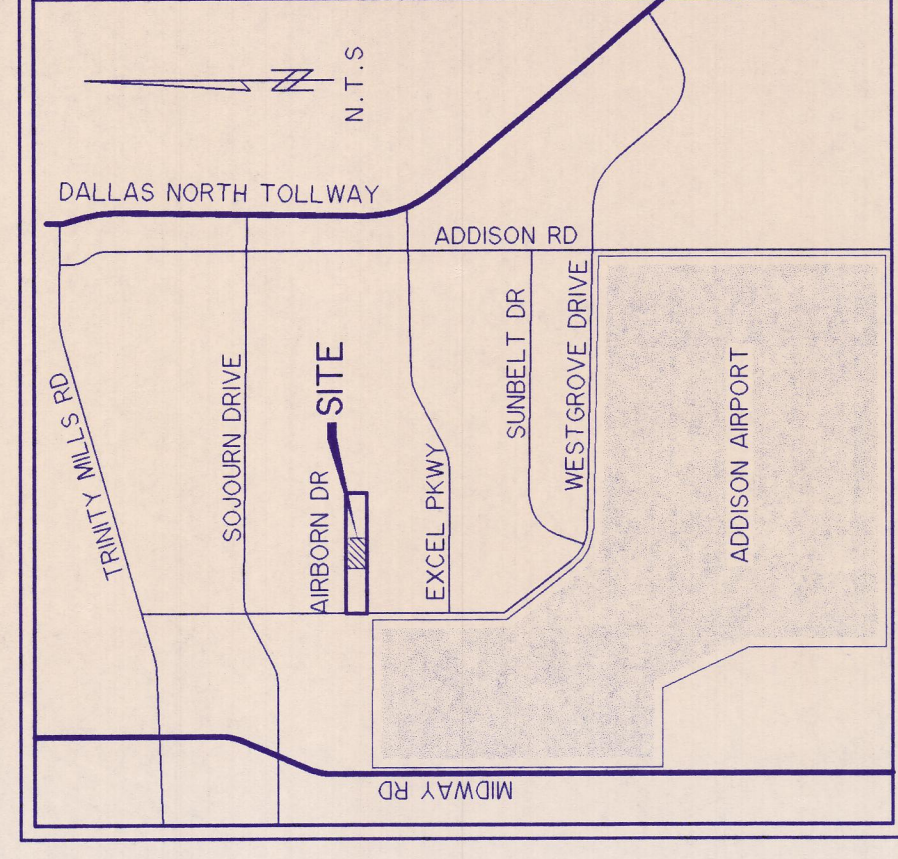
WATER METER SCHEDULE				
I.D.	TYPE	SIZE	QTY.	SAN. SEWER
1	DOMESTIC	2"	1	6"
2	IRRIGATION	1"	1	N.A.



- DIMENSION NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVING IF NO CURB IS USED, UNLESS OTHERWISE NOTED.
 - ALL CURB RADIUS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
 - ALL CURB RADIUS INTO PARKING STALLS ARE 2.5' UNLESS NOTED OTHERWISE.

SITE DATA LOT 3R	
ZONING	PD
PROPOSED USE	OFFICE/COMMERCIAL
LOT AREA	1.067 AC (46,496 S.F.)
BUILDING S.F. (TOTAL)	13,445 S.F.
COMMERCIAL OFFICE	5,504 S.F.
OFFICE	7,936 S.F.
PARKING REQ'D. (TOTAL)	32 SPACES
COMMERCIAL OFFICE	5 SPACES
PARKING PROVIDED	27 SPACES
PARKING PROVIDED	51 SPACES
ACCESSIBLE PARKING REQUIRED	2 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES

- * BENCH MARKS*
- R. R. SPIKE SOUTH SIDE 2ND P.P. NORTH SIDE AIRBORN DR., EAST OF INT. OF AIRBORN BORN AND WESTGROVE. ELEV. 655.28
 - *X* CUT NORTHWEST CORNER 'Y' INLET JUST SOUTHEAST OF THE SOUTHEAST CORNER OF LOT 2, BLOCK A. ELEV. 642.21



VICINITY MAP

LEGEND

- BFR BARRIER FREE RAMP
- FSL FIRE SERVICE LINE
- FDC FIRE DEPARTMENT CONNECTION
- B/C BACK OF CURB
- B/B BACK OF CURB TO BACK OF CURB
- OHD OVERHEAD DOOR
- 688 PROPOSED CONTOUR
- 688 EXISTING CONTOUR
- UT UNDERGROUND TELEPHONE
- OE OVERHEAD TELEPHONE
- C GAS

**SITE PLAN
DIMENSION CONTROL
LOT 3R, BLOCK A
SOJOURN PLAZA ADDITION**

AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, ACCORDING TO PLAT FILED IN VOL. 2002044, PG. 00117, DEED RECORDS, DALLAS COUNTY, TEXAS. BEING 1.067 ACRES OF LAND LOCATED IN THE WILLIAM LOMAX SURVEY, ABSTRACT No. 792, TOWN OF ADDISON, DALLAS COUNTY, TEXAS.

PREPARED BY:
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