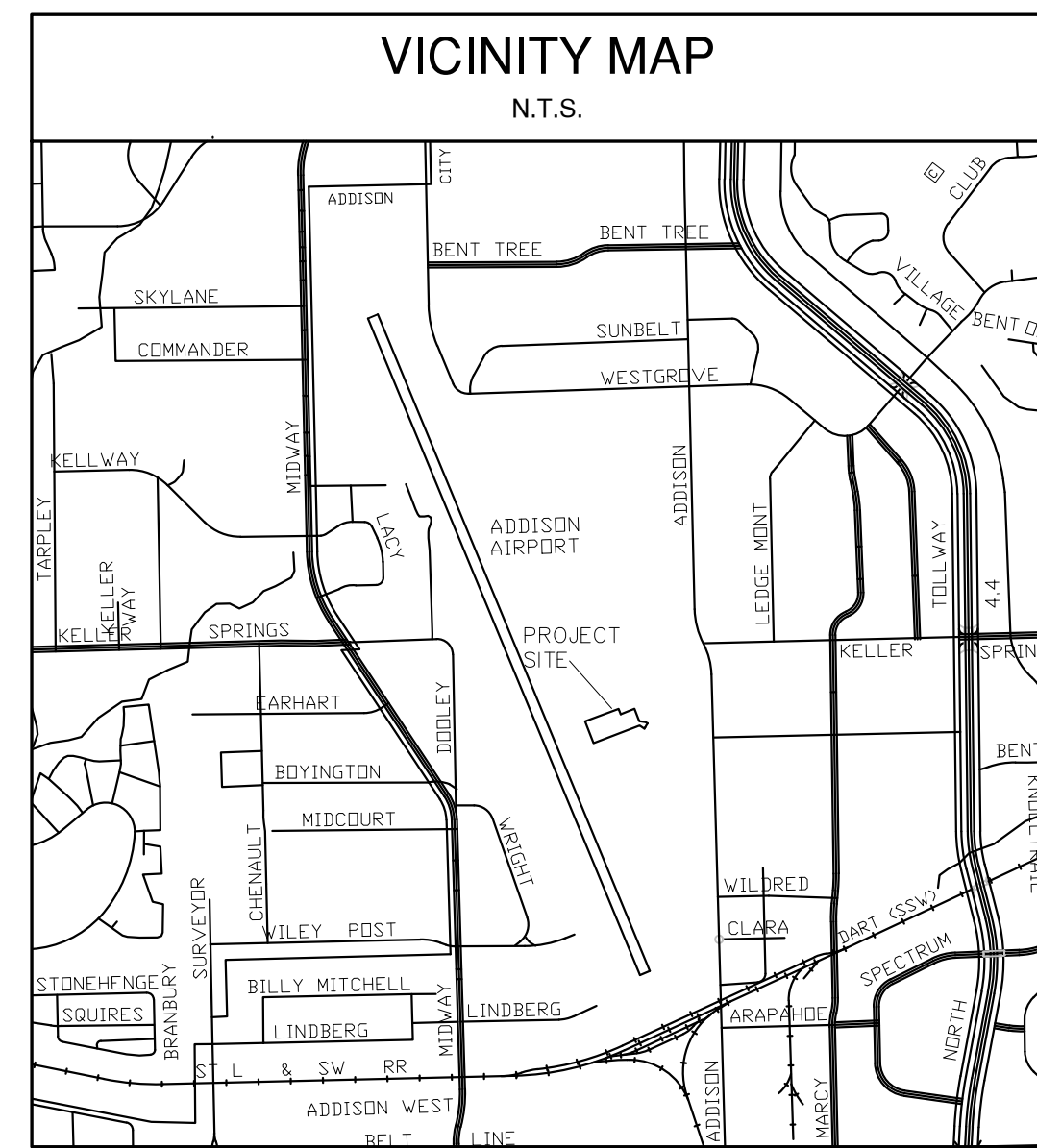


CIVIL PLANS FOR:  
 A NEW HANGER AND TERMINAL FOR:

**SKY B&B LLC**

ALP#: A-3a; PROPERTY#: 0750  
 4641 AIRPORT PARKWAY

**ADDISON AIRPORT  
 DALLAS COUNTY**



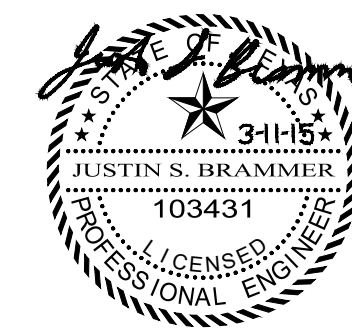
OCTOBER 2014

Sheet List Table	
Sheet Number	Sheet Title
C-0.1	COVER
C-1.1	GENERAL NOTES
C-1.2	CITY GENERAL NOTES
C-2.1	DEMOLITION PLAN
C-3.1	PAVING PLAN
C-3.2	SITE PREPARATION & SAFETY PLAN
C-4.1	GRADING PLAN (1 OF 2)
C-4.2	GRADING PLAN (2 OF 2)
C-5.1	EXISTING DRAINAGE AREA MAP
C-5.2	PROPOSED DRAINAGE AREA MAP
C-6.1	WATER & WASTEWATER PLAN
C-7.1	EROSION CONTROL PLAN
C-8.1	PAVING DETAILS
C-8.2	HANGER ARPON JOINT DETAILS
C-9.1	EROSION CONTROL DETAILS
C-10.1	CITY WATER DETAILS
C-10.2	CITY WATER DETAILS
C-11.1	CITY WATER & WASTEWATER DETAILS
L-1.1	LANDSCAPE PLAN
L-1.2	LANDSCAPE SPECIFICATIONS & DETAILS
L-2.1	IRRIGATION PLAN
L-2.2	IRRIGATION SPECIFICATIONS & DETAILS

**RECORD DRAWINGS  
 JULY 25, 2016**

NOTE: THE RECORD INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PRINTED SET, WAS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR, NOT FROM SURVEYED DATA OR FROM FIELD OBSERVATIONS BY A LPSE EMPLOYEE.

ENGINEER OF RECORD: *Justin S. Brannimer*



PREPARED BY:

**LPSE** Lobsinger & Potts Structural Engineering, Inc.  
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
 817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

GENERAL CONSTRUCTION NOTES:

1. ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION PURPOSES ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES OR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND 1-800-DIG-TESS TO VERIFY THE LOCATIONS AND ELEVATIONS AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO PERFORM THE CONSTRUCTION OF THE PROJECT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
3. THE CONTRACTOR SHALL BEGIN WORK AS DIRECTED BY THE LOCAL JURISDICTION AND OWNER.
4. PROPERTY LINE AND TOPOGRAPHY INFORMATION WAS TAKEN FROM THE SURVEY COMPLETED IN MARCH OF 2014 BY SPARR SURVEYS, (214) 544-2297.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SURVEYING, QUALITY CONTROL AND MATERIALS TESTING DURING CONSTRUCTION.
7. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS WHERE APPLICABLE. IN THE EVENT THAT THE CITY STANDARD DETAILS DO NOT APPLY, APPLICABLE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT'S (NCTCOG) STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS SHALL GOVERN.
8. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
9. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION, THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION AS SOON AS POSSIBLE.
10. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, IRRIGATION, SODDING OR SEEDING, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
11. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
12. THE CONTRACTOR SHALL NOT ENTER OR STORE EQUIPMENT ON ADJACENT PROPERTIES.
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING STRUCTURES AND UTILITIES DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. APPROVED EROSION CONTROL METHODS SHALL BE USED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING OFF OF THE SITE. TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED ONCE THE PERMANENT DRAINAGE FACILITIES ARE COMPLETED AND THE SITE HAS BEEN STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO AND THROUGHOUT CONSTRUCTION.
16. THE CONTRACTOR SHALL MAINTAIN NEAT AND ACCURATE CONSTRUCTION RECORDS FOR THE OWNERS OR CITY'S USE. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUPPLY THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
17. CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS NOT TO DAMAGE EXISTING TREES THAT ARE NOT SHOWN TO BE DEMOLISHED. TREES SHALL BE TRIMMED AND PAINTED ONLY IF NECESSARY FOR THE SAFE MANEUVERING OF CONSTRUCTION EQUIPMENT. APPROVAL IS REQUIRED BEFORE THE CONTRACTOR CAN REMOVE ANY TREES.
18. CONCRETE COMPRESSIVE STRENGTH REPORTS ARE REQUIRED FOR EVERY 100 CUBIC YARDS OF CONCRETE POURED.
19. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF ALL PLANS AND ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION OF THE ENGINEER.
20. ALL CUT/FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS SHOWN OTHERWISE.
21. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE ENGINEER WHEN CONSTRUCTION WILL TAKE PLACE ON PUBLIC ROADWAYS. ALSO, ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE APPROVED BY THE CITY PRIOR TO COMMENCING ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
22. CONTRACTOR SHALL COVER OPEN EXCAVATIONS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS, ALONG EXISTING ROADWAYS AND TRAFFIC AREAS.
23. THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT WAS CONDUCTED BY ALPHA TESTING OF DALLAS, TX, REPORT NO. G140167-2, DATED JUNE 18, 2014. THE CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH THE EXISTING SOIL CONDITIONS AS REPRESENTED BY THE SUBSURFACE EXPLORATION LOGS.
24. DO NOT SCALE DRAWINGS FOR PURPOSES OF ESTABLISHING DIMENSIONS

GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS AND WHAT IS FOUND IN THE FIELD, CONTACT THE ENGINEER IMMEDIATELY.
2. ALL WORK SHALL BE PERFORMED ACCORDING TO THE MOST RECENT PLUMBING CODE ADOPTED BY THE LOCAL MUNICIPALITY. IF NONE IS ADOPTED, USE THE LATEST IBC.
3. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING.
4. CONTRACTOR SHALL COMPLY WITH THE TEXAS HOUSE BILL 1569, EFFECTIVE SEPTEMBER 1, 1989 TO MAINTAIN VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES.
5. ALL UNDERGROUND UTILITIES ARE BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY ANY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1-800-344-8377 48 HOURS PRIOR TO ANY EXCAVATION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING. CONTRACTOR SHALL ALSO CONTACT THE CITY'S PUBLIC WORKS FOR WATER, SEWER AND STORM DRAIN LOCATES.
6. ALL PIPE SHALL BE LAID STARTING AT THE TIE IN LOCATION (DOWNSTREAM) AND UPSTREAM FROM THAT POINT.
7. ALL PIPE AND APPURTENANCES SHALL MEET OR EXCEED THE LOCAL MUNICIPALITY AND ASTM STANDARDS FOR UTILITY CONSTRUCTION.
8. THE CONTRACTOR'S SURVEYOR IS RESPONSIBLE FOR ALL CONSTRUCTION SURVEYING TO COMPLETE THIS PROJECT.
9. TRENCH SAFETY SHALL COMPLY WITH OSHA REQUIREMENTS AS STATED IN THE GENERAL CONSTRUCTION NOTES.
10. TRENCHES THAT CROSS UNDER PAVEMENT SHALL BE BACKFILLED AND COMPACTED TO A MIN OF 95% OF THE MAX DRY DENSITY WITH A MOISTURE CONTENT BETWEEN -2% AND +4% OF THE OPTIMUM MOISTURE CONTENT. TRENCHES THAT DO NOT CROSS UNDER PAVEMENT SHALL BE BACKFILLED AND COMPACTED TO A MIN OF 90% OF THE MAX DRY DENSITY WITH A MOISTURE CONTENT BETWEEN -2% AND +4% OF THE OPTIMUM MOISTURE CONTENT.
11. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR ALL INSTALLATIONS.
12. CONTRACTOR SHALL CONTACT THE NECESSARY FRANCHISE UTILITY COMPANIES PRIOR TO CONSTRUCTION IN ORDER TO LOCATE AND/OR DISCONNECT EXISTING SERVICES AND TO COORDINATE NEW SERVICE.
13. ALL ASSOCIATED COSTS TO INSTALL FRANCHISE UTILITY (GAS, ELECTRIC, PHONE, CABLE) SHALL BE INCLUDED IN THE BASE BID. CONTRACTOR SHALL ESTABLISH ADEQUATE LEAD TIME IN THEIR CONSTRUCTION SCHEDULE FOR COORDINATING AND PROCURING FRANCHISE UTILITY SERVICES.
14. THE CONTRACTOR SHALL EXERCISE CAUTION AND MAINTAIN ADEQUATE CLEAR ZONE BETWEEN CONSTRUCTION EQUIPMENT AND POWER LINES.
15. UTILITY PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN ON THE PLANS: (VERIFY WITH CITY STANDARDS AND REQUIREMENTS.)  
WATER < 4" - PVC ASTM-D 1784 AND 1785  
WATER 4" TO 12" - PVC AWWA C900, MIN OR RATIO 18, PRESSURE CLASS 200  
SANITARY SEWER 6" TO 15" - PVC SDR 35 AND GREEN IN COLOR  
STORM SEWER - RCP ASTM C79, CLASS IV
16. RE: WATER & SANITARY SEWER NOTES, THIS SHEET FOR ADDITIONAL NOTES.

FRANCHISE UTILITY NOTES:

1. CONTRACTOR SHALL CONTACT THE FRANCHISE UTILITY COMPANY BEFORE COMMENCING CONSTRUCTION TO LOCATE, DISCONNECT AND COORDINATE NEW SERVICE FOR ALL UTILITIES REQUIRED AT THE SITE.
2. ANY FRANCHISE UTILITIES SHOWN ON THIS DRAWING ARE CONCEPTUAL ONLY. THE CONTRACTOR SHALL COORDINATE THE EXACT DESIGN, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH THE INDIVIDUAL UTILITY PROVIDERS AND PROJECT OWNER. THE CONTRACTOR SHALL INCLUDE ALL COST TO INSTALL FRANCHISE UTILITIES (GAS, ELECTRIC, PHONE, CABLE) TO THE PROPOSED BUILDING IN THE BASE BID.
3. THE CONTRACTOR SHALL ESTABLISH ADEQUATE LEAD TIME IN THEIR CONSTRUCTION SCHEDULE FOR COORDINATING FRANCHISE UTILITY SERVICES.
4. ALL SITE ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 PVC PIPE OR APPROVED EQUIVALENT AND INSTALLED PRIOR TO INSTALLING ANY PAVING.

SANITARY SEWER NOTES:

1. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST TWENTY FOUR INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
2. ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS, SHALL MEET OR EXCEED THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS.
3. PIPE SHALL BE BEDDED PER CITY REQUIREMENTS. BACKFILL SHALL BE NATIVE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.
4. THE CONTRACTOR SHALL USE OSHA APPROVED CONFINED SPACE ENTRY PROCEDURES WHEN ENTERING SANITARY SEWER MANHOLES. THE SAFETY EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL BE OSHA CERTIFIED. PERSONS WORKING IN THESE AREAS SHALL BE TRAINED IN THE PROPER USE OF THE SAFETY EQUIPMENT.
5. THE CONTRACTOR TO COORDINATE CAPPING OF EXISTING CONNECTIONS AND INSTALLATION OF NEW TAPS WITH THE LOCAL MUNICIPALITY.
6. ALL WORK AND MATERIALS FOR THE REPLACEMENT OF THE SANITARY MAIN SHALL COMPLY WITH THE LOCAL MUNICIPALITY'S STANDARDS FOR WATER & WASTEWATER CONSTRUCTION.
7. THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY SANITARY SEWER MAIN AND A STORM DRAIN FACILITY SHALL BE EQUAL TO TWO AND ONE-HALF FEET OR ONE-HALF TIMES THE DEPTH OF THE SANITARY SEWER OR STORM DRAIN, WHICHEVER IS GREATER.

WATER NOTES:

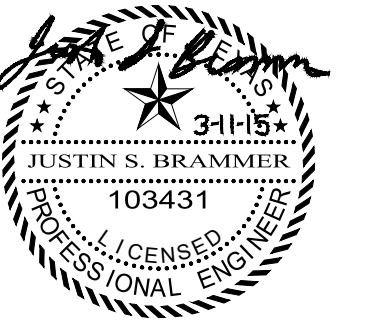
1. MINIMUM DEPTH OF COVER OVER ALL WATER MAINS SHALL BE FOUR FEET.
2. WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT ALL REQUIRED FITTINGS MAY NOT BE NOTED, SHOWN, OR INDICATED.
3. THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY WATER MAIN AND A STORM DRAIN FACILITY SHALL BE EQUAL TO TWO AND ONE-HALF FEET OR HALF THE DEPTH OF THE WATER LINE, WHICHEVER IS GREATER.
4. DOMESTIC WATER SERVICE SHALL BE INSTALLED PER THE LOCAL MUNICIPALITY'S PUBLIC WORKS STANDARD SPECS.
5. DOMESTIC WATER SERVICE SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS PER THE LOCAL MUNICIPALITY'S STANDARD SPECIFICATIONS.
6. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
7. GATE VALVES SHALL CONFORM TO ANSI/AWWA C509-87.
8. ALL WATER LINES SHALL BE ENCASED IN CLASS B+ EMBEDMENT PER CITY REQUIREMENTS.
9. ALL DUCTILE IRON FITTINGS SHALL BE WRAPPED WITH AN 8 MIL MINIMUM THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C-150.
10. ALL WATER MAINS SHALL HAVE CONCRETE THRUST BLOCKING AT ALL TEES, BENDS, PLUGS, AND HYDRANTS PER DETAIL THIS SET.
11. ALL TESTING SHALL BE PERFORMED WITH A REPRESENTATIVE FROM THE LOCAL MUNICIPALITY PRESENT.
12. ALL TRENCHES SHALL BE COMPACTION TESTED AT THE RATE OF ONE TEST PER 150 L.F. OF TRENCH PER LIFT. LIFTS SHALL BE NO GREATER THAN 8" LOOSE. TESTS SHALL BE STAGGERED SO THAT TESTS OF ADJACENT LIFTS ARE NOT DIRECTLY OVER THE PREVIOUS LIFT. THE PAVING CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE LOCAL MUNICIPALITY HAS APPROVED ALL TRENCH WORK.
13. THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY WATER MAIN AND SANITARY SEWER MAIN SHALL BE TEN FEET MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
14. WHEN A WATER MAIN CROSSES OVER A SANITARY SEWER MAIN AND THE VERTICAL SEPARATION IS LESS THAN NINE FEET, THEN THE SANITARY SEWER SHALL HAVE ONE JOINT (20 FEET) OF PVC PIPE CONFORMING TO ASTM D-3035, SDR-26 INSTALLED CENTERED ON THE WATER LINE. IN ADDITION, THE JOINT SHALL HAVE A MINIMUM OF 12 INCHES ON CEMENT STABILIZED (TWO-SACK MINIMUM) BACKFILL DIRECTLY ABOVE THE SANITARY SEWER PIPE.
15. WHEN A WATER MAIN MUST CROSS UNDER A SANITARY SEWER MAIN, THE MINIMUM SEPARATION SHALL BE 24 INCHES. IN ADDITION, THE SANITARY SEWER SHALL HAVE INSTALLED ONE JOINT (20 FEET) OF DUCTILE IRON PIPE CENTERED ON THE WATER MAIN.

PAVING NOTES:

1. REFER TO PLANS FOR ADDITIONAL INFORMATION. PAVEMENT SUBGRADE PREPARATION SHOULD BE IN CONFORMANCE WITH THE SOILS REPORT PROVIDED FOR THE PROJECT.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
3. PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
4. CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 3600 PSI (4,440 PSI FOR THE HANGER APRON PAVING) UNLESS NOTED OTHERWISE ON THE PLANS. THE MAXIMUM WATER-TO-CEMENTITIOUS MATERIALS RATIO SHALL BE 0.50.
5. ALL CONCRETE SHALL BE AIR ENTRAINED AT MINIMUM 6% BY VOLUME, +/- 1.5%.
6. CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
7. THE NEW PAVEMENT SHALL BE FINISHED TO MATCH THE SURROUNDING PAVEMENT.
8. THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
9. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
10. SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE.
11. PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 15' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4 DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAWCUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAWCUTTING.
12. PAVING EXPANSION JOINTS ARE TO BE LOCATED AT A MAXIMUM OF 60 FEET ON CENTERS EACH WAY AND AT ALL CONSTRUCTION JOINT LOCATIONS. NO KEYWAYS ARE PERMITTED.
13. PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINT. FILL JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
14. PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
15. ALL SAWCUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
16. CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
17. PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
18. MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-66.
19. MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
20. MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR. THERE SHALL BE MIN. 3 INCH OF COVER BETWEEN BOTTOM (TOP OF BASE MATERIAL OR SUBGRADE) AND EDGE OF REINFORCEMENT.
21. REINFORCING BARS SHALL BE CONTACT LAP SPICED UNLESS SHOWN OTHERWISE. LAP SPICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL IN NO CASE BE LESS THAN 40 BAR DIAMETERS LONG.
22. NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
23. THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1 1/2 INCH.
24. ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

STUCKEY ARCHITECTS

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76084  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

SKY B&B, LLC

ADDISON, TEXAS

ADDISON AIRPORT

4641 AIRPORT PKWY

A NEW HANGER & TERMINAL FOR SKY B&B, LLC

REVISIONS

DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.

C-1.1

SHEET OF

GENERAL NOTES

RECORD DRAWINGS  
JULY 25, 2016

NOTE: THE RECORD INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PERMITTED SET, WAS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR, NOT FROM SURVEYED DATA OR FROM FIELD OBSERVATIONS BY A LPSE EMPLOYEE.  
ENGINEER OF RECORD: *Josh Blom*



Lobsinger & Potts Structural Engineering, Inc  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

CONFIDENTIAL



**AIRPORT GENERAL NOTES**

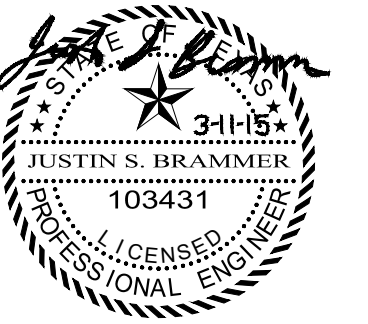
1. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE WORK IS STARTED TO VERIFY UTILITY LOCATIONS (DIGTESS 1-800-344-8377).
  2. THE CONTRACTOR SHALL NOTIFY ADDISON AIRPORT OPERATIONS AND THE LOCAL FAA OFFICE (FAA 972 615-2060) 48 HOURS IN ADVANCE OF CONSTRUCTION ACTIVITY TO ALLOW SUFFICIENT TIME FOR COORDINATION OF NOTAMS AND TO LOCATE AND MARK EXISTING FIELD CABLES AND TO AVOID UNSCHEDULED FACILITY OUTAGES. THE CONTRACTOR SHALL PROVIDE 35 DAYS NOTICE TO FAA PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE TO FAA.
  3. THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE FAA ADVISORY CIRCULAR 150/5370-2F, OR CURRENT VERSION, "OPERATIONAL SAFETY ON AIRPORTS DURING CONSTRUCTION".
  4. THE CONTRACTOR'S STAGING AREA FOR OFFICE, STOCKPILE, EQUIPMENT, ENGINEER'S OFFICE, MATERIALS STORAGE AND EMPLOYEE PARKING SHALL BE NO CLOSER THAN 25 FEET FROM ANY FENCE LINE. ADDISON OPERATIONS SHALL APPROVE THE EXACT LOCATION OF THE STAGING AREA PRIOR TO ITS USE. THE SUGGESTED LOCATION IS SHOWN, OTHERS PROPOSED MAY BE ACCEPTABLE.
  5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ACCESS AND HAUL ROADS OUTSIDE THE LIMITS OF CONSTRUCTION DURING CONSTRUCTION AND SHALL RESTORE THE ROADS TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. THE LOCATION OF ANY ADDITIONAL HAUL ROADS DESIRED BY THE CONTRACTOR IS SUBJECT TO THE APPROVAL OF THE AIRPORT AND ENGINEER.
  6. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING TEMPORARY ACCESS AND/OR HAUL ROADS WHERE NECESSARY TO THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL COMPLETELY REMOVE THE TEMPORARY HAUL ROADS SHOWN ON THE PHASING PLANS UPON COMPLETION OF THE PROJECT AND SHALL RESTORE THE GROUND SURFACE AND TURF IN THE AREA TO ITS CONDITION PRIOR TO THIS CONSTRUCTION.
  7. DURING MATERIAL DELIVERY / PAVING OPERATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE INCIDENTAL TO THE TOTAL PROJECT.
  8. ALL EMPLOYEES OF THE CONTRACTOR SHALL ENTER AND EXIT THE WORK SITE AT THE DESIGNATED CONTRACTOR'S ACCESS GATE (AG). AN ADEQUATE SIGN SHALL BE PROVIDED DESIGNATING THIS GATE LOCATION AS THE "CONSTRUCTION EMPLOYEE ENTRANCE". MINIMUM REQUIREMENTS FOR AN ACCESS GATE ARE AS FOLLOWS:
    - A. ALL VEHICLES MUST STOP PRIOR TO ENTERING THE AIRPORT. IF A GATE GUARD IS USED, THEY MUST WAIT FOR THE GATE GUARD TO SIGNAL THEM TO PROCEED. ONLY AUTHORIZED CONTRACTORS, FAA PERSONNEL, AIRPORT PERSONNEL, AND PROJECT ENGINEERS WILL BE ALLOWED ACCESS. THE CONTRACTOR WILL FURNISH TRAINING AND WRITTEN PROCEDURES TO THE GATE GUARD THAT MUST BE FOLLOWED DURING THE PROJECT.
    - B. DELIVERY VEHICLES FOR THE CONTRACTOR NEED TO CHECK IN AT THE GATE. THE CONTRACTOR MUST MAINTAIN POSITIVE ESCORT CONTROL OF ALL DELIVERY VEHICLES WHILE ON SITE.
    - C. THE GATE GUARD SHALL BE EQUIPPED WITH A TELEPHONE TO CONTACT AIRPORT OPERATIONS IF ANY UNAUTHORIZED VEHICLE ATTEMPTS TO ENTER THE AIRPORT AIR OPERATIONS AREA.
    - D. A GATE GUARD IS REQUIRED WHEN THE GATE IS UNLOCKED. THE GATE MAY BE SECURED (CLOSED AND LOCKED) AFTER EACH VEHICLE IN LIEU OF USING A GATE GUARD. THE CONTRACTOR SHALL PROVIDE LOCKS ON ACCESS GATES.
    - E. ANY AND ALL FINES THAT MAY BE LEVIED ON THE AIRPORT FOR A SECURITY VIOLATION IN CONNECTION WITH THE ACCESS GATE OR THE CONTRACTOR'S ACTIVITIES SHALL BE PAID BY THE CONTRACTOR. THE FAA MAY ASSESS A FINE DEPENDING ON THE SERIOUSNESS OF THE INFRACTION.
    - F. THE CONTRACTOR SHALL AT ALL TIMES ENSURE AGAINST UNAUTHORIZED ACCESS TO THE AIRFIELD.
    - G. PRIVATE AND COMPANY VEHICLES OPERATING WITHIN THE AIRCRAFT OPERATION AREA (AOA) MUST HAVE A COMPANY LOGO / IDENTIFICATION ON BOTH SIDES OF THE VEHICLE. THE CONTRACTOR'S EMPLOYEES' VEHICLES PARKED IN ANY OF THE CONTRACTOR'S STAGING AREA AND NOT USED FOR CONSTRUCTION PURPOSES DO NOT REQUIRE THIS IDENTIFICATION. SIGNS AS DESCRIBED ABOVE ARE REQUIRED ON PRIVATE VEHICLES OPERATED IN AREAS OTHER THAN THE STAGING AREA, DIRECT ACCESS ROUTES TO AND FROM THE STAGING AREA AND WITHIN THE CONSTRUCTION WORK LIMITS.
  9. CONSTRUCTION WORK LIMITS ARE AS SHOWN ON THE PLANS. ANY AND ALL WORK CONDUCTED OUTSIDE THE CONSTRUCTION LIMITS, EXCEPT FOR MAINTENANCE ON BARRICADES SHALL BE ACCOMPLISHED WITH THE USE OF AN AIRPORT ESCORT. THE CONTRACTOR WILL PROVIDE AN ESCORT WITH A MINIMUM NOTICE OF TWO WORKING DAYS. NO WORK OR TRAVEL WILL BE PERMITTED OUTSIDE THE CONSTRUCTION LIMITS SHOWN WITHOUT PRIOR APPROVAL BY AIRPORT OPERATIONS AND AN AUTHORIZED ESCORT. AIRPORT OPERATIONS WILL NEED TO KEEP OPEN VARIOUS TAXIWAYS ADJACENT OR IN THE PROXIMITY OF OR CROSSING THE CONSTRUCTION AREA. THE WORK SHALL BE COORDINATED WITH AIRPORT OPERATIONS. NO WORK IS PERMITTED NOR ARE OPEN EXCAVATIONS, STORED MATERIALS, STOCKPILES OR EQUIPMENT ALLOWED OUTSIDE OF THE WORK AREA AS SHOWN IN THE PLANS WITHOUT PRIOR COORDINATION WITH AIRPORT OPERATIONS.
  10. THE CONTRACTOR'S ACCESS TO THE AIRFIELD IS LIMITED TO THE LOCATIONS AS SHOWN ON THE PLANS. ACCESS FROM THE GATE TO THE STAGING, STORAGE AND WORK AREAS SHALL BE CONFINED TO THE ROUTES SHOWN AND WITHIN THE WORK AREA LIMITS. ACCESS VIA ANY OTHER ROUTES OR GATES WILL REQUIRE PRIOR WRITTEN APPROVAL BY AIRPORT OPERATIONS.
  11. ANY TEMPORARY FACILITIES SHALL BE COMPLETELY REMOVED FROM THE SITE AT THE COMPLETION OF THE PROJECT AND THE SITE RESTORED TO ITS ORIGINAL CONDITION.
  12. CONSTRUCTION LIMITS - ALL CONTRACTOR VEHICLES AND TRAFFIC (UNLESS OTHERWISE AUTHORIZED) SHALL REMAIN WITHIN THE DESIGNATED CONSTRUCTION LIMITS OR HAUL ROUTES. CONSTRUCTION, STORAGE AND STOCKPILING LIMITS MUST BE APPROVED BY THE AIRPORT OR ENGINEER.
- FUEL, DIESEL FUEL, OR OTHER CONTAMINANTS SHALL NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM. IF, IN THE EVENT SUCH CONTAMINANTS DO ENTER THE STORM SEWER SYSTEM OR GROUND WATER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AIRPORT OF THE SPILL. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR CLEANUP OF CONTAMINATED AREAS ON AND OFF AIRPORT PROPERTY. CAUTION SHALL BE TAKEN BY THE CONTRACTOR IN PREVENTING ANY DUST OR MUD WHICH MAY BECOME A HAZARD TO AIR AND GROUND OPERATIONS. THE CONTRACTOR SHALL CONTROL DUST AND MUD AT ALL TIMES AND MAY REQUIRE FULL TIME OPERATION WATER TRUCKS OR SWEEPERS. IF, IN THE OPINION OF THE AIRPORT OR THE ENGINEER, DUST OR MUD IS NOT BEING ADEQUATELY CONTROLLED THEY MAY SUSPEND WORK AND MAKE NECESSARY ARRANGEMENTS FOR DUST OR MUD CONTROL. THE COSTS THEREFORE SHALL BE DEDUCTED FROM THE PROGRESS PAYMENTS DUE THE CONTRACTOR.
13. CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO OBTAIN DRIVER'S TRAINING FOR CONTRACTOR EMPLOYEES PRIOR TO ENTERING THE AIR OPERATIONS AREA.
  14. MATERIAL / TOPSOIL STOCKPILES SHALL BE AT LOCATIONS APPROVED BY THE AIRPORT. MAXIMUM STOCKPILE HEIGHT IS 20 FEET.
  15. THE CONTRACTOR WILL ISSUE AIRPORT APPROVED LAMINATED SAFETY CARDS SHOWING THE ACCESS GATE LOCATION, CONSTRUCTION AREA, ACCESS / HAUL ROUTE, CLOSED PAVEMENTS AND RUNWAY SAFETY AREAS AND/OR ANY OTHER PERTINENT INFORMATION. THESE CARDS WILL BE SUPPLIED BY THE CONTRACTOR. THESE SAFETY CARDS WILL BE SPECIFIC TO EACH INTERMEDIATE PHASE OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR DISTRIBUTING AND COLLECTING THESE CARDS TO ALL OF THEIR EMPLOYEES, SUBCONTRACTORS AND SUPPLIER DELIVERY DRIVERS WHO WILL ENTER THE AOA. THE CONTRACTOR IS REQUIRED TO BRIEF ALL EMPLOYEES OR SUBCONTRACTORS ON AIRPORT SECURITY AND SAFETY PRIOR TO DISTRIBUTING THE SAFETY CARDS. BEFORE A NEW EMPLOYEE, SUBCONTRACTOR OR SUPPLIER BEGINS WORKING ON THE AIRPORT THE CONTRACTOR IS RESPONSIBLE TO MAKE SURE THEY ARE AWARE OF AIRPORT OPERATIONS, AS WELL AS GIVE THEM A TOUR OF THE PROJECT SITE, SHOWING THEM THE SPECIFIC WORK AREA, HAUL ROUTE AND THE MOVEMENT AREA THAT IS NOT TO ENTERED WITHOUT AIRPORT APPROVAL.
  16. ALL EMPLOYEES OF THE CONTRACTOR OR SUBCONTRACTORS SHALL RECEIVE VEHICLE OPERATOR/PEDESTRIAN TRAINING FROM THE PROJECT SUPERINTENDENT. ALL EMPLOYEES SHALL RECEIVE NEW TRAINING WHEN MOVED TO DIFFERENT WORK AREAS OR PHASES OF THE PROJECT. A CONTRACTOR VEHICLE OPERATOR/PEDESTRIAN TRAINING CHECKLIST IS PROVIDED IN THE CONTRACT SPECIFICATIONS. THE CONTRACTOR'S PROJECT SUPERINTENDENT SHALL MAINTAIN THE COMPLETED CHECKLIST AND PROVIDE TO AIRPORT PERSONNEL FOR INSPECTION UPON THEIR REQUEST.
  17. IF FOR ANY REASON, THE AIRPORT OR ENGINEER FEELS THAT SAFETY IS NOT BEING ADEQUATELY MAINTAINED, THEY MAY SUSPEND WORK UNTIL THE SAFETY ISSUE IS RESOLVED. THE COSTS THEREFORE SHALL BE DEDUCTED FROM THE PROGRESS PAYMENTS DUE THE CONTRACTOR.
  20. IN THE EVENT THAT UNANTICIPATED ARCHEOLOGICAL DEPOSITS ARE ENCOUNTERED DURING CONSTRUCTION, WORK IN THE IMMEDIATE AREA WILL CEASE AND THE ENGINEER WILL BE NOTIFIED.
  21. IN THE EVENT THAT UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, WORK IN THE IMMEDIATE AREA WILL CEASE AND THE PROJECT MANAGER WILL BE NOTIFIED.
  22. STOCKPILES AND STAGING AREAS WILL NOT BE PLACED WITHIN ANY WATER OF THE UNITED STATES, INCLUDING WETLANDS.
  23. HAZARDOUS WASTE: ALL SPILLS MUST BE REPORTED IMMEDIATELY TO THE AIRPORT ENGINEER.

**SAFETY PLAN / WORK RESTRICTIONS**

1. AIRPORT SECURITY IS A PRIMARY CONCERN OF THE AIRPORT. THE CONTRACTOR SHALL BE ALLOWED ACCESS TO THE CONSTRUCTION AREAS AT THE LOCATIONS SHOWN ON THE PLANS. THE CONTRACTOR'S ACCESS GATES INTO THE SECURED AREA OF THE AIRPORT SHALL BE KEPT GUARDED OR LOCKED AT ALL TIMES. THE CONTRACTOR SHALL BE ALLOWED ACCESS AT ADDITIONAL LOCATIONS WITH THE APPROVAL OF THE OWNER AND THE ENGINEER.
2. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ORGANIZE AND CONTROL THE WORK SO THAT IT IS ACCOMPLISHED WITH MINIMUM INCONVENIENCE TO THE AIRPORT, AND TO INSURE THE SAFETY OF AIRCRAFT MOVEMENTS AT THE AIRPORT DURING THE CONSTRUCTION PERIOD. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH FAA AC 150/5370-2F, OR LATEST VERSION.
3. CONTACT AND CONTROL SHALL BE BY TWO-WAY OPERATION RADIO, TUNED TO THE FREQUENCY SPECIFIED BY THE ENGINEER. THE RADIO SHALL BE GUARDED AT ALL TIMES DURING THE HOURS OF WORK FOR RECEIPT OF INFORMATION OR INSTRUCTIONS. THE CONTRACTOR SHALL FURNISH A MINIMUM OF TWO (2) RADIOS IN EXCELLENT WORKING CONDITION FOR THE USE OF HIS PERSONNEL. ALL RADIOS SHALL BE MAINTAINED IN GOOD AND OPERABLE CONDITION AT ALL TIMES, AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR UPON COMPLETION OF THE PROJECT.
4. AT ALL TIMES AIRCRAFT MOVEMENT SHALL HAVE THE RIGHT OF WAY OVER THE CONTRACTOR'S EQUIPMENT.
5. ALL WORK WITHIN THE AIRPORT PERIMETER FENCE SHALL BE ACCOMPLISHED AFTER NOTAMS HAVE BEEN ISSUED AND COORDINATION WITH THE OWNER, THROUGH THE ENGINEER, HAS BEEN COMPLETED.
6. ALL EQUIPMENT AND VEHICLES OPERATING INSIDE THE AIRPORT PERIMETER FENCE MUST BE MARKED WITH THE CONTRACTOR'S NAME AND BE LEGIBLE FROM 200 FEET. EQUIPMENT AND VEHICLES SHALL BE MARKED WITH 3' x 3' ORANGE CHECKED FLAGS OR YELLOW FLASHING DOME-TYPE LIGHTS.
7. THE CONTRACTOR'S OPERATIONS, MOVEMENTS AND WORK ARE RESTRICTED TO THE CONSTRUCTION WORK LIMITS AS SHOWN IN THE CIVIL PLAN SET.
8. DURING CONSTRUCTION, THE CONTRACTOR'S EQUIPMENT WILL CROSS AN ACTIVE TAXIWAY. WORK ON AN ACTIVE TAXIWAY WILL BE LIMITED TO THE LOCATION SHOWN ON THE SAFETY AND PHASING PLANS, OR AS DIRECTED BY THE ENGINEER.
9. THE CONTRACTOR SHALL INSURE THAT THE PAVEMENT SURFACE WITHIN AN ACTIVE TAXIWAY IS KEPT CLEAN FROM DIRT, MUD, AND OTHER DEBRIS FROM THE CONTRACTOR'S EQUIPMENT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SECURITY OF ALL HIS/HER ACCESS GATES BY KEEPING THE ACCESS GATE LOCKED OR GUARDED AT ALL TIMES. ANY AND ALL FINES THAT MAY BE LEVIED ON THE AIRPORT FOR A SECURITY VIOLATION IN CONNECTION WITH THE ACCESS GATE OR THE CONTRACTOR'S ACTIVITIES SHALL BE PAID BY THE CONTRACTOR. THE FAA OR THE AIRPORT MAY ASSESS A FINE DEPENDING ON THE SERIOUSNESS OF THE INFRACTION.
11. ALL VEHICLES ARE PROHIBITED FROM ENTERING UNAUTHORIZED MOVEMENT AREAS.
12. THE CONTRACTOR SHALL PROVIDE THE NAME AND TELEPHONE NUMBER OF A PERSON TO ACT AS THE CONTRACTOR'S REPRESENTATIVE, AVAILABLE 24 HRS. PER DAY, SHOULD PROBLEMS ARISE WHICH WOULD REQUIRE THE CONTRACTOR'S IMMEDIATE ATTENTION.
13. ALL CONTRACTOR EMPLOYEES SHALL SUCCESSFULLY COMPLETE AIRFIELD DRIVER TRAINING PRIOR TO DRIVING BEYOND THE CONTRACTOR PARKING AREA. MATERIAL DELIVERIES SHALL BE ESCORTED BY A REPRESENTATIVE OF THE PRIME CONTRACTOR THAT HAS SUCCESSFULLY COMPLETED AIRFIELD DRIVER TRAINING.

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANAGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON, TEXAS

ADDISON AIRPORT

4641 AIRPORT PKWY

REVISIONS

DRAWN BY: LPSE      PROJ. MGR.: JSB  
DATE: 3/11/2015      PROJ. NO: 12-1004

SHEET NO.

**C-1.2**

SHEET OF

CITY GENERAL NOTES

**RECORD DRAWINGS**  
JULY 25, 2016

NOTE: THE RECORD INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PERMITTED SET, WAS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR, NOT FROM SURVEYED DATA OR FROM FIELD OBSERVATIONS BY A LICENSED ENGINEER OF RECORD.

ENGINEER OF RECORD: *Josh Brown*

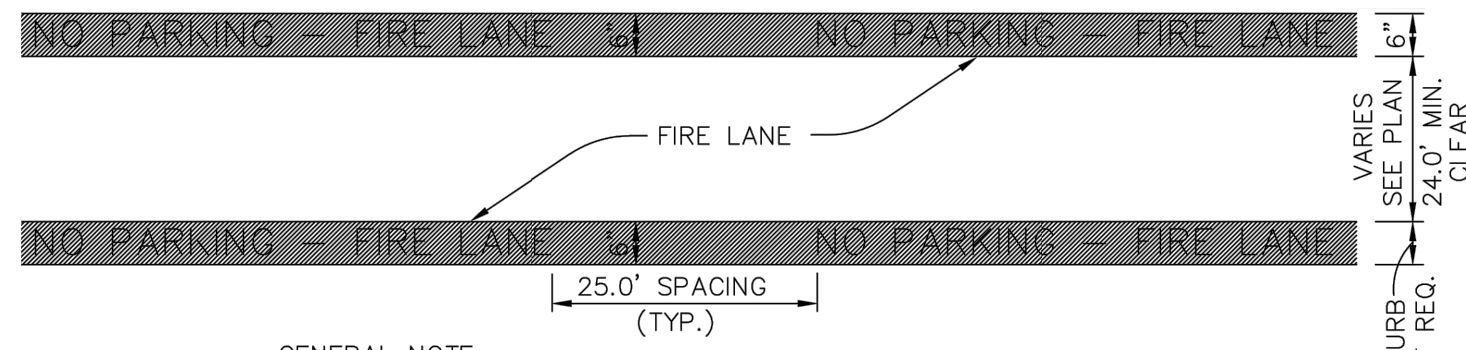
**LPSE** Lobsinger & Potts Structural Engineering, Inc.  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

A NEW HANAGER & TERMINAL FOR SKY B&B, LLC







**GENERAL NOTE:**

A. STRIPING TO BE DONE IN ACCORDANCE WITH CITY STANDARDS. THE PAVEMENT MARKINGS SHALL BE FROM THE TOP OF THE SEAM OF THE CURB TO A POINT EVEN WITH THE DRIVING SURFACE.

**STRIPING DETAIL:**

**A. PAINT:**

1. STRIPE SHALL BE SIX (6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
  - A. COLOR SHALL BE "TRAFFIC RED" GLIDDEN NO. 63251 OR EQUAL.
2. LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT. LETTERS TO BE ONE (1) INCH STROKE.
  - B. COLOR SHALL BE "TRAFFIC WHITE" GLIDDEN NO. 563245 OR EQUAL.

**B. APPLICATION:**

1. STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
2. LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.

**FIRE LINE STRIPING DETAIL**  
N.T.S.

SITE INFORMATION	
PROPOSED NAME	SKY B&B, LLC
SITE AREA	3.03 ACRES
PARKING PROVIDED	56 SPACES (INCLUDING H.C.)
HANDICAP SPACES PROVIDED	2 SPACES AS REQUIRED PER A.D.A./T.A.S. REQUIREMENTS

REFERENCE NUMBER NOTES	
①	PROP. HC PARKING AREA PER DETAILS THIS SET.
②	PROP. CONC. SW PER DETAIL THIS SET.
③	SITE LIGHTING PER MEP. (TYP.-2 LOCATIONS)
④	CONNECT PROP. PAVING TO EXIST. PAVING PER DETAILS THIS SET.
⑤	PROP. PARKING LOT STRIPING PER DETAIL THIS SET.
⑥	PROP. FIRE LANE STRIPING PER CITY REQUIREMENTS.
⑦	PROP. 12" CURB BREAKS AT EVERY 5' ON CENTER AS REQUIRED PER GRADING PLAN.
⑧	PROP. 2' WIDE CURB BREAK. (TYP.-4 LOCATIONS PER GRADING PLAN THIS SET.)
⑨	ABANDONMENT OF EXIST. GAS EASEMENT TO BE COORDINATED WITH THE LOCAL GAS COMPANY.

DRAWING LEGEND	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROP. EDGE OF PAVEMENT
	CURB LINE
	EXIST. BLDG. LINE
	PROP. STRIPING
	EASEMENT/SETBACK LINES
	PROP. FIRE LANE
(10)	PARKING COUNT LABEL
	PROP. CONCRETE SURFACE (SIDEWALK OR PAD)
	PROP. REGULAR DUTY CONCRETE PAVING PER DETAIL THIS SET.
	PROP. MEDIUM DUTY CONCRETE PAVING PER DETAIL THIS SET.
	PROP. FAA CONCRETE PAVING PER DETAIL THIS SET.
EXIST. PROP. BFR	EXISTING PROPOSED BARRIER FREE RAMP
RW	RETAINING WALL
TYP.	TYPICAL
HC	HANDICAP
SW	SIDEWALK
FH	FIRE HYDRANT
T.A.S.	TEXAS ACCESSIBILITY STANDARDS

**NOTES:**

1. ALL PROP. STRIPING (INCLUDING THE FIRE LINE STRIPING) SHALL CONFORM TO CITY STANDARDS AND REQUIREMENTS.
2. RE: DETAILS THIS SET FOR PROPOSED PAVING SECTIONS.
3. CONTRACTOR SHALL INSTALL ALL UNDERGROUND PVC CONDUITS PRIOR TO INSTALLING PROPOSED PAVING. RE: UTILITY PLANS (MEP & CIVL) AND IRRIGATION PLAN FOR PROPOSED CONDUIT LOCATION.
4. ALL REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
5. RE: DETAIL THIS SET FOR PROP. PAVING CONNECTION TO EXIST. PAVING.
6. ALL CURVE RADII ARE 3.0'R UNLESS NOTED OTHERWISE ON THE PLAN.
7. RE: ARCH PLANS FOR EXACT BUILDING DIMENSIONS.
8. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF RETAINING WALL OR EDGE OF PAVING.
9. IF THE DIMENSIONS SHOWN ON THE PLANS ARE INCONSISTENT WITH MEASUREMENTS FOUND IN THE FIELD, PLEASE CONTACT THE ENGINEER IMMEDIATELY.
10. SIGN LOCATION AND DIMENSIONS SHALL BE VERIFIED WITH THE SIGN MFR AND ARCH.
11. RE: ARCH PLANS FOR PROPOSED DUMPSTER LOCATION AND DETAILS.
12. CONTRACTOR SHALL COORDINATE WITH AIRPORT STAFF REGARDING PROPER SIGNAGE THAT NEEDS TO BE DISPLAYED FOR GATES ACCESSING THE AIRCRAFT OPERATIONS AREA (AOA).
13. UPON APPROVAL OF FAA 7460 REVIEW, CONTRACTOR/ARCHITECT SHALL VERIFY THAT RED OBSTRUCTION LIGHTING WILL BE INSTALLED ON TOP OF THE HANGAR AS REQUIRED BY THE FAA.
14. RE: GENERAL NOTES AND PAVING DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.

**HANGAR APRON JOINT NOTES:**

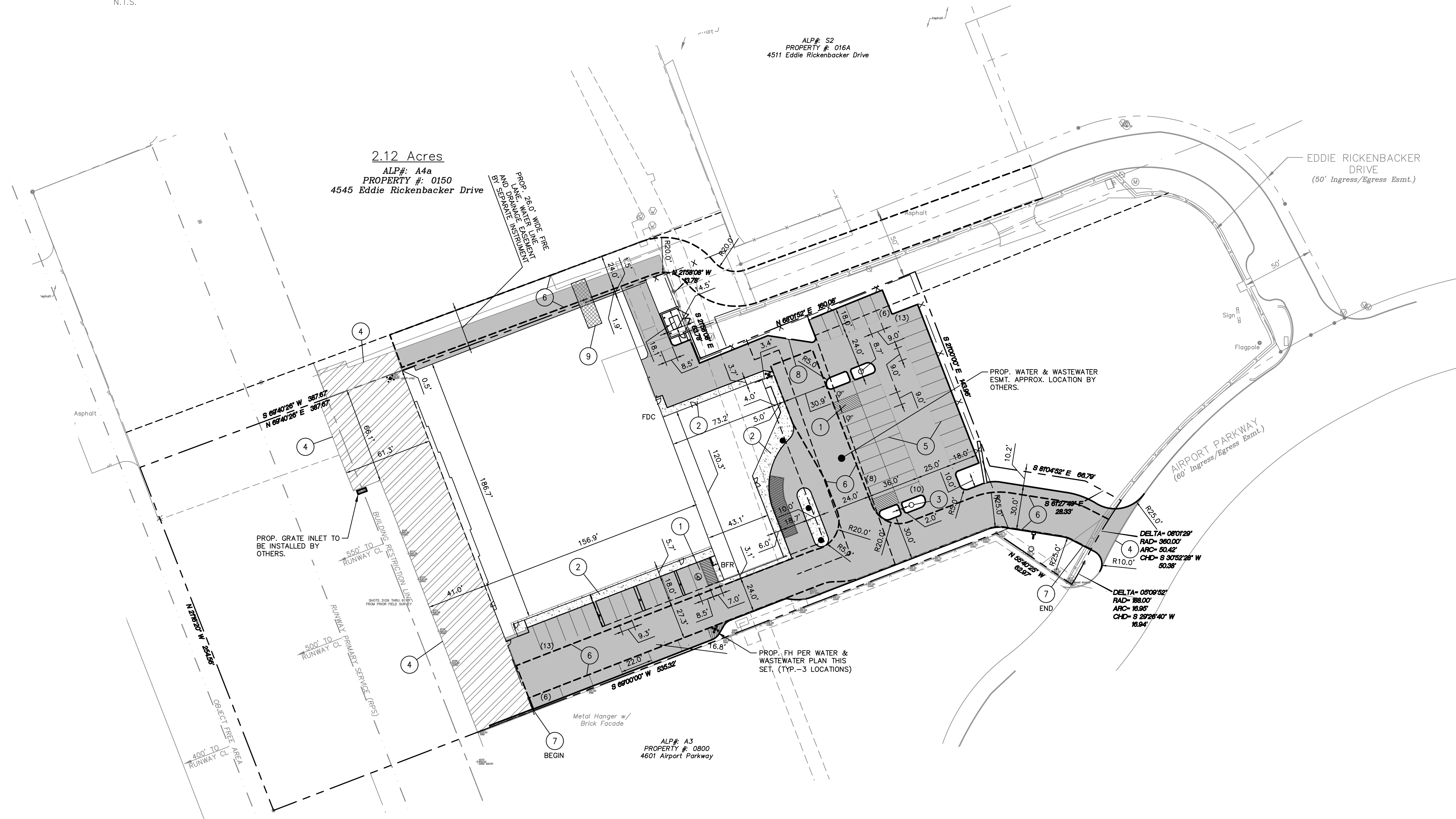
1. RE: DETAILS ON SHEET C-8.2 FOR ALL HANGER APRON PAVEMENT JOINT DETAILS.
2. JOINT TYPE A-1 JOINTS SHALL BE USED FOR PAVEMENT PLACED ADJACENT TO THE HANGER STRUCTURAL FOUNDATION.
3. JOINT TYPE E SHALL BE USED ALONG THE PERIMETER OF EACH POUR EXCLUDING THE JOINTS ADJACENT TO THE HANGER FOUNDATION.
4. ALL INTERNAL JOINTS SHALL BE TYPE C.

**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

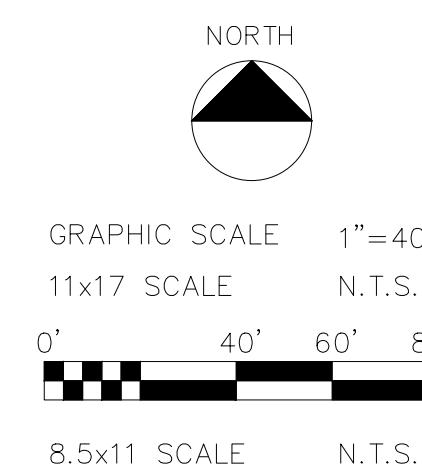
**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
 EL.=640.90 N: 7039549.556 E: 2480023.489



**RECORD DRAWINGS**  
JULY 25, 2016

ENGINEER OF RECORD: *Josh Brown*



**LPSE** Lobsinger & Potts Structural Engineering, Inc  
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
 817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

PAVING PLAN

**STUCKEY ARCHITECTS**  
 ARCHITECTURE PLANNING INTERIORS  
 208 N. MAIN STREET, SUITE 140  
 WEATHERFORD, TEXAS 76086  
 TELEPHONE (817) 341-0754  
 FAX - (817) 341-0755

A NEW HANAGER AND TERMINAL FOR:

**SKY B&B, LLC**

4641 AIRPORT PKWY ADDISON, TEXAS

REVISIONS

DRAWN BY: LPSE	PROJ. MGR.: JSB
DATE: 3/11/2015	PROJ. NO: 12-1004

SHEET NO.

**C-3.1**

SHEET OF

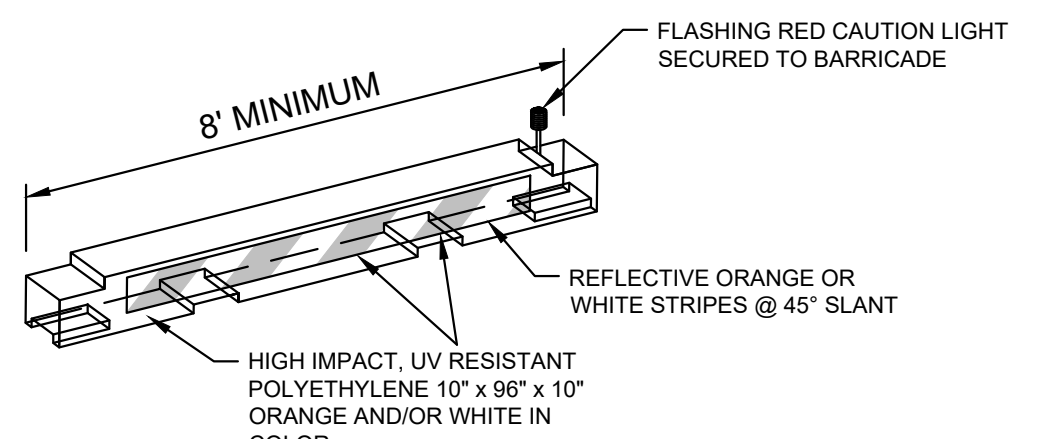
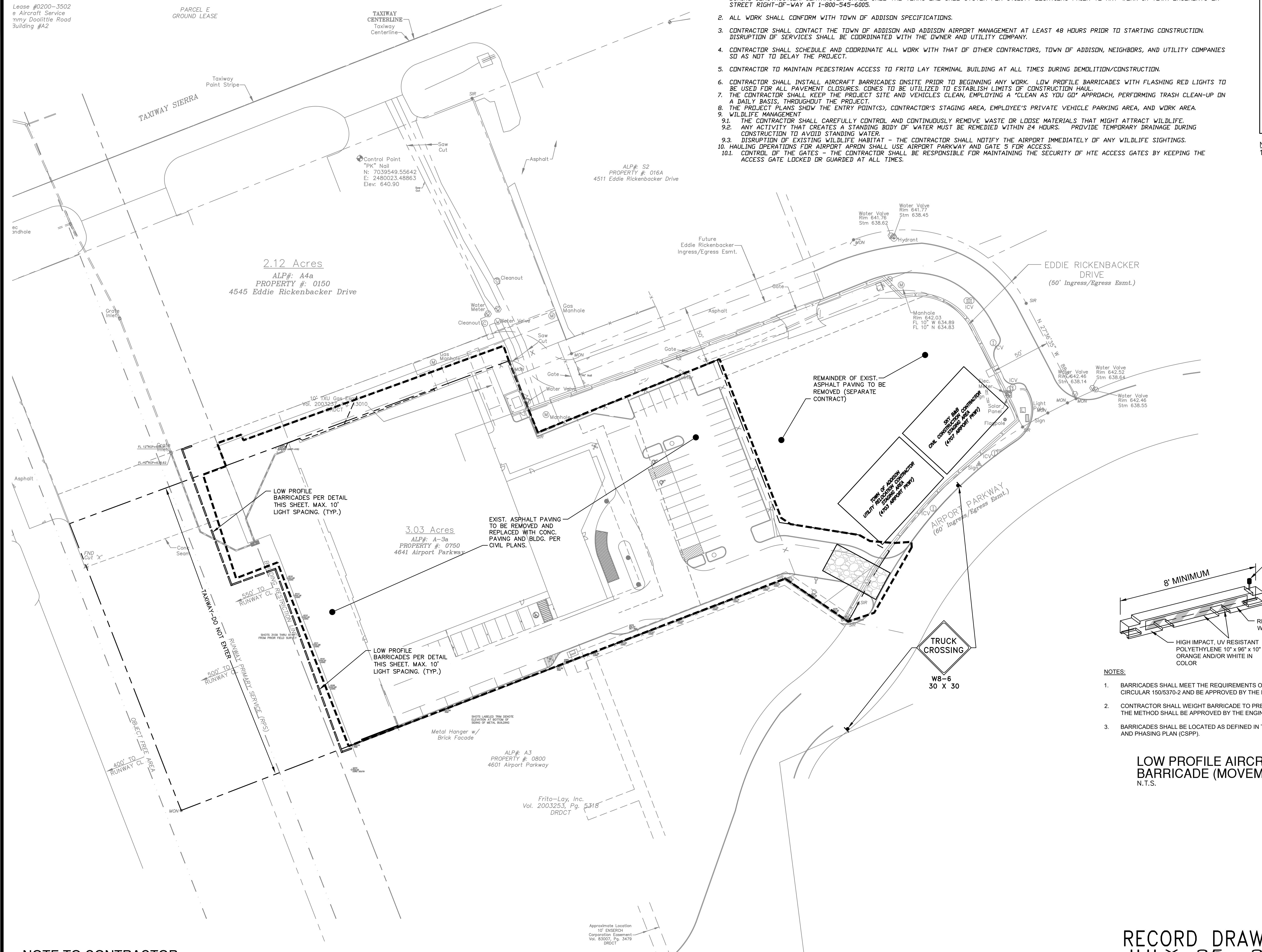
**SITE PREPARATION/SAFETY NOTES**

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES 48 HOURS PRIOR TO EXCAVATION AND TO PROTECT THE SAME DURING CONSTRUCTION. CONTRACTOR SHALL CALL THE TEXAS ONE CALL SYSTEM FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN TOWN EASEMENTS OR STREET RIGHT-OF-WAY AT 1-800-545-6005.
- ALL WORK SHALL CONFORM WITH TOWN OF ADDISON SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT THE TOWN OF ADDISON AND ADDISON AIRPORT MANAGEMENT AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION. DISRUPTION OF SERVICES SHALL BE COORDINATED WITH THE OWNER AND UTILITY COMPANY.
- CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH THAT OF OTHER CONTRACTORS, TOWN OF ADDISON, NEIGHBORS, AND UTILITY COMPANIES SO AS NOT TO DELAY THE PROJECT.
- CONTRACTOR TO MAINTAIN PEDESTRIAN ACCESS TO FRITO LAY TERMINAL BUILDING AT ALL TIMES DURING DEMOLITION/CONSTRUCTION.
- CONTRACTOR SHALL INSTALL AIRCRAFT BARRICADES ON SITE PRIOR TO BEGINNING ANY WORK. LOW PROFILE BARRICADES WITH FLASHING RED LIGHTS TO BE USED FOR ALL PAVEMENT CLOSURES. CONES TO BE UTILIZED TO ESTABLISH LIMITS OF CONSTRUCTION HAUL.
- THE CONTRACTOR SHALL KEEP THE PROJECT SITE AND VEHICLES CLEAN, EMPLOYING A "CLEAN AS YOU GO" APPROACH, PERFORMING TRASH CLEAN-UP ON A DAILY BASIS, THROUGHOUT THE PROJECT.
- THE PROJECT PLANS SHOW THE ENTRY POINT(S), CONTRACTOR'S STAGING AREA, EMPLOYEE'S PRIVATE VEHICLE PARKING AREA, AND WORK AREA.
- WILDLIFE MANAGEMENT
  - THE CONTRACTOR SHALL CAREFULLY CONTROL AND CONTINUOUSLY REMOVE WASTE OR LOOSE MATERIALS THAT MIGHT ATTRACT WILDLIFE.
  - ANY ACTIVITY THAT CREATES A STANDING BODY OF WATER MUST BE REMEDIATED WITHIN 24 HOURS. PROVIDE TEMPORARY DRAINAGE DURING CONSTRUCTION TO AVOID STANDING WATER.
  - DISRUPTION OF EXISTING WILDLIFE HABITAT - THE CONTRACTOR SHALL NOTIFY THE AIRPORT IMMEDIATELY OF ANY WILDLIFE SIGHTINGS.
- HAULING OPERATIONS FOR AIRPORT APRON SHALL USE AIRPORT PARKWAY AND GATE 5 FOR ACCESS.
- CONTROL OF THE GATES - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SECURITY OF HTE ACCESS GATES BY KEEPING THE ACCESS GATE LOCKED OR GUARDED AT ALL TIMES.

DRAWING LEGEND	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROP. EDGE OF PAVEMENT
	CURB LINE
	EASEMENT/SETBACK LINES
	LIMITS OF CONSTRUCTION
	CONTRACTOR ACCESS

- NOTES:**
- CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE ENGINEER WHEN CONSTRUCTION WILL TAKE PLACE ON PUBLIC ROADWAYS. ALSO, ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE APPROVED BY THE CITY PRIOR TO COMMENCING ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.

Lease #0200-3502  
Aircraft Service  
my Doolittle Road  
Building #A2



- NOTES:**
- BARRICADES SHALL MEET THE REQUIREMENTS OF THE CURRENT FAA ADVISORY CIRCULAR 150/5370-2 AND BE APPROVED BY THE ENGINEER.
  - CONTRACTOR SHALL WEIGHT BARRICADE TO PREVENT DISPLACEMENT. THE METHOD SHALL BE APPROVED BY THE ENGINEER.
  - BARRICADES SHALL BE LOCATED AS DEFINED IN THE CONSTRUCTION SAFETY AND PHASING PLAN (CSPP).

**LOW PROFILE AIRCRAFT BARRICADE (MOVEMENT AREAS)**  
N.T.S.

**NOTE TO CONTRACTOR**

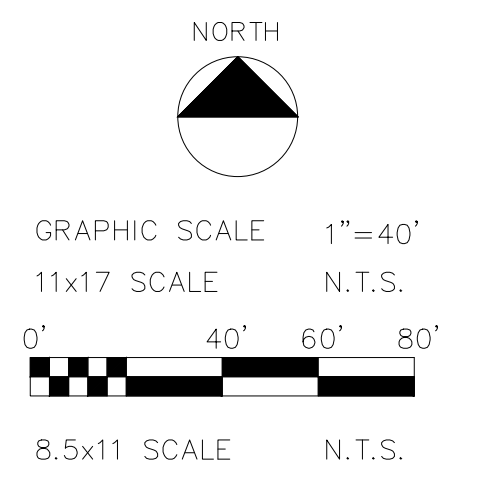
CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
E.L.=640.90 N: 7039549.556 E: 2480023.489

**RECORD DRAWINGS**  
JULY 25, 2016

ENGINEER OF RECORD: *Josh Brown*



**LPSE** Lobsinger & Potts Structural Engineering, Inc  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

SITE PREPARATION & SAFETY PLAN

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANAGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON AIRPORT 4641 AIRPORT PKWY ADDISON, TEXAS

**REVISIONS**

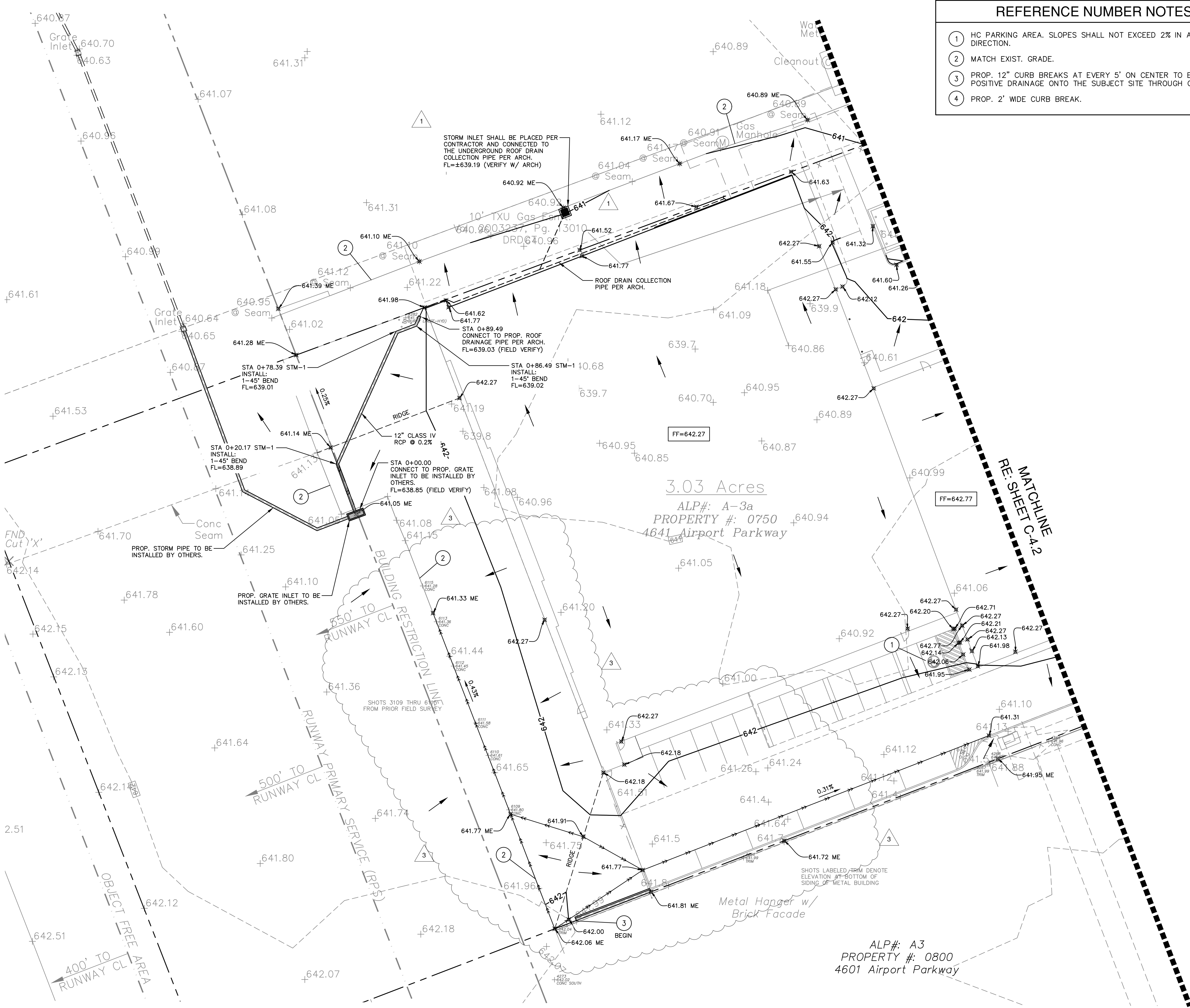
DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.  
**C-3.2**

SHEET OF

A NEW HANAGER & TERMINAL FOR SKY B&B, LLC





**REFERENCE NUMBER NOTES**

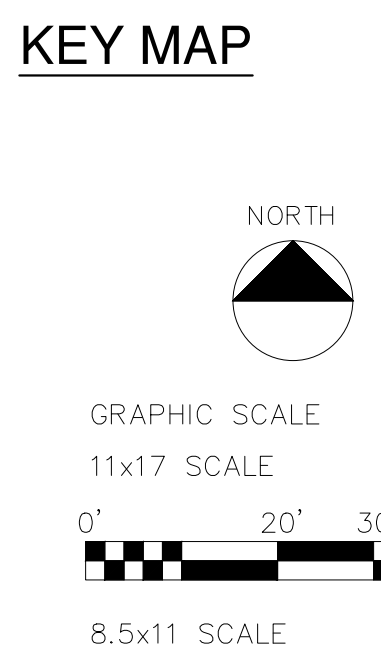
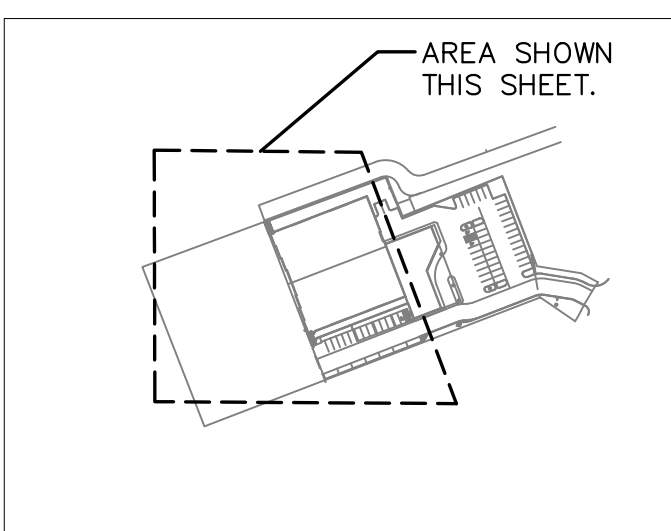
- ① HC PARKING AREA. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ② MATCH EXIST. GRADE.
- ③ PROP. 12" CURB BREAKS AT EVERY 5' ON CENTER TO ENSURE POSITIVE DRAINAGE ONTO THE SUBJECT SITE THROUGH CURBING.
- ④ PROP. 2' WIDE CURB BREAK.

**DRAWING LEGEND**

---	100	---	EXIST. CONTOUR LINE
---	100	---	PROP. CONTOUR LINE
---	---	---	BREAKLINE/RIDGE
561.00			SPOT ELEVATION
+641.91			EXIST. SPOT GRADE
→			DIRECTIONAL FLOW ARROW
EXIST. PROP. ME TW FL HC T.A.S.			EXISTING PROPOSED MATCH EXISTING TOP OF WALL FLOW LINE HANDICAP TEXAS ACCESSIBILITY STANDARDS

- NOTES:**
1. WHERE FLAT PAVING OR FLATWORK ABUTS A STRUCTURE, CARE SHOULD BE TAKEN THAT THE JOINT IS PROPERLY SEALED AND MAINTAINED TO PREVENT THE INFILTRATION OF SURFACE WATER.
  2. ALL FILL SHALL BE COMPACTED AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL FIELD DENSITY TESTS ON LIME STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 200 SQUARE YARDS OF PAVEMENT IN ADDITION TO ALL FAILING DENSITY TESTS.
  4. ADD 6" TO SPOT GRADES FOR TC (TOP OF CURB) ELEVATION AT CURB LOCATIONS UNLESS LABELED OTHERWISE. ALL SPOT GRADES ARE TOP OF PAVING UNLESS NOTED OTHERWISE.
  5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING ACTIVITIES.
  6. OPEN GROUND SHOULD BE SLOPED AT A MINIMUM OF 5% GRADE FOR AT LEAST 10 FEET BEYOND THE PERIMETER OF THE FOUNDATION.
  7. ROOF AND CANOPY DRAINS, ALONG WITH ANY OTHER SERVICE CONNECTIONS, MUST BE INSTALLED ON FLAT WORK OR AT A POINT 5' FROM THE BUILDING UNLESS NOTED OTHERWISE.
  8. ALL HANDICAP PARKING AREAS SHALL CONFORM WITH A.D.A./T.A.S. REQUIREMENTS AND HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
  9. ALL HANDICAP ROUTES SHALL CONFORM WITH A.D.A./T.A.S. REQUIREMENTS AND HAVE A MAXIMUM CROSS SLOPE OF 2% AND LONGITUDINAL SLOPE OF 5%.
  10. RE: GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION.

REVISION NUMBER	REVISION DATE	REVISED BY	REVISION DESCRIPTION
1	12/8/14	JSB	INLET NORTH OF BLDG.
2	3/3/2015	JSB	FF ADJUSTMENT
3	3/11/2015	JSB	SWALE CHANGE



**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
 EL.=640.90 N: 7039549.556 E: 2480023.489

**RECORD DRAWINGS**  
 JULY 25, 2016

ENGINEER OF RECORD: *Jack Brown*

**LPSE** Lobsinger & Potts Structural Engineering, Inc  
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
 817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

GRADING PLAN (1 OF 2)

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
 208 N. MAIN STREET, SUITE 140  
 WEATHERFORD, TEXAS 76086  
 TELEPHONE (817) 341-0754  
 FAX - (817) 341-0755

A NEW HANAGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON, TEXAS

4641 AIRPORT PKWY

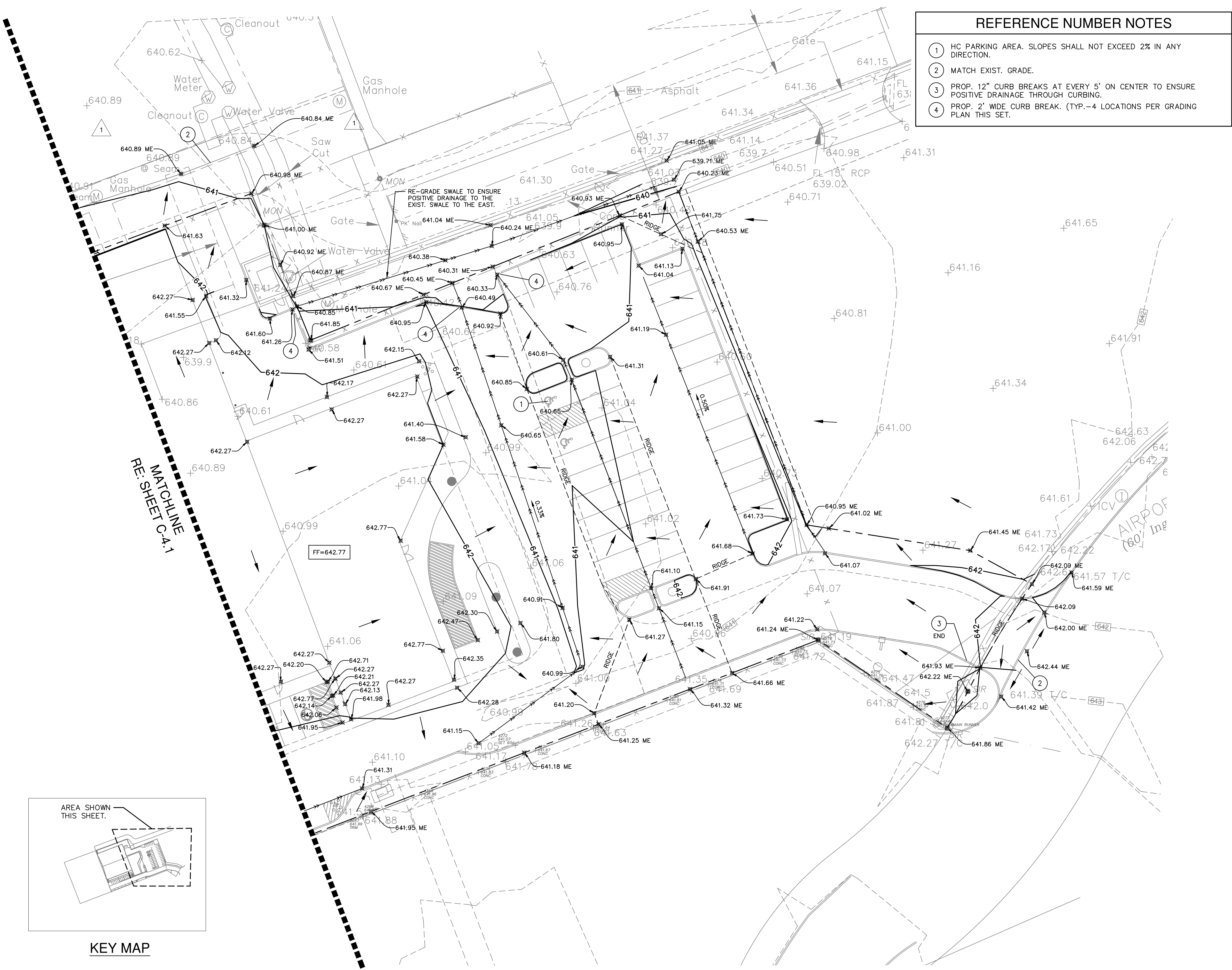
REVISIONS

DRAWN BY: LPSE	PROJ. MGR.: JSB
DATE: 3/11/2015	PROJ. NO: 12-1004

SHEET NO.

**C-4.1**

SHEET OF



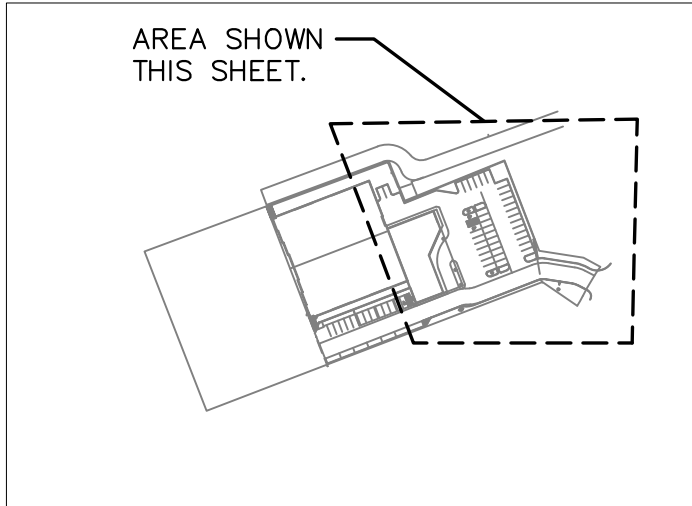
**REFERENCE NUMBER NOTES**

- HC PARKING AREA. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- MATCH EXIST. GRADE.
- PROP. 12" CURB BREAKS AT EVERY 5' ON CENTER TO ENSURE POSITIVE DRAINAGE THROUGH CURBING.
- PROP. 2' WIDE CURB BREAK. (TYP. -4 LOCATIONS PER GRADING PLAN THIS SET).

**DRAWING LEGEND**

---	100	EXIST. CONTOUR LINE
---	100	PROP. CONTOUR LINE
---		BREAKLINE/RIDGE
✕	561.00	SPOT ELEVATION
+	641.91	EXIST. SPOT GRADE
→		DIRECTIONAL FLOW ARROW
EXIST. PROP. ME TW FL HC T.A.S.		EXISTING PROPOSED MATCH EXISTING TOP OF WALL FLOW LINE HANDICAP TEXAS ACCESSIBILITY STANDARDS

- NOTES:**
- WHERE FLAT PAVING OR FLATWORK ABUTS A STRUCTURE, CARE SHOULD BE TAKEN THAT THE JOINT IS PROPERLY SEALED AND MAINTAINED TO PREVENT THE INFILTRATION OF SURFACE WATER.
  - ALL FILL SHALL BE COMPACTED AS RECOMMENDED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL FIELD DENSITY TESTS ON LIME STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 200 SQUARE YARDS OF PAVEMENT IN ADDITION TO ALL FAILING DENSITY TESTS.
  - ADD 6" TO SPOT GRADES FOR TC (TOP OF CURB) ELEVATION AT CURB LOCATIONS UNLESS LABELED OTHERWISE. ALL SPOT GRADES ARE TOP OF PAVING UNLESS NOTED OTHERWISE.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING ACTIVITIES. OPEN GROUND SHOULD BE SLOPED AT A MINIMUM OF 5% GRADE FOR AT LEAST 10 FEET BEYOND THE PERIMETER OF THE FOUNDATION. ROOF AND CANOPY DRAINS, ALONG WITH ANY OTHER SERVICE CONNECTIONS, MUST BE INSTALLED ON FLAT WORK OR AT A POINT 5' FROM THE BUILDING UNLESS NOTED OTHERWISE WITH A.D.A./T.A.S. REQUIREMENTS AND HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
  - ALL HANDICAP ROUTES SHALL CONFORM WITH A.D.A./T.A.S. REQUIREMENTS AND HAVE A MAXIMUM CROSS SLOPE OF 2% AND LONGITUDINAL SLOPE OF 5%.
  - RE: GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION.



KEY MAP

**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
 EL.=640.90 N: 7039549.556 E: 2480023.489

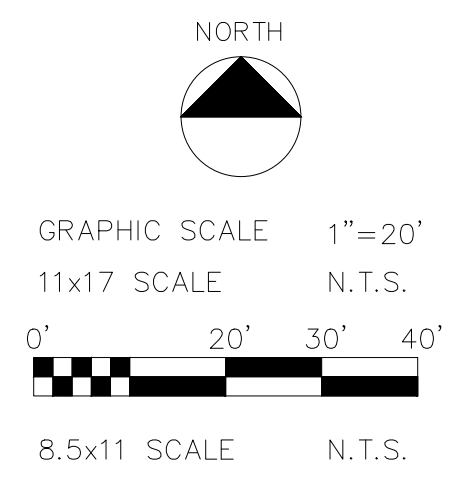
REVISION NUMBER	REVISION DATE	REVISED BY	REVISION DESCRIPTION
1	12/8/14	JSB	INLET NORTH OF BLDG.
2	3/3/2015	JSB	FF ADJUSTMENT

**LPSSE** Lobsinger & Potts Structural Engineering, Inc  
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
 817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**RECORD DRAWINGS**  
 JULY 25, 2016

NOTE: THE RECORD INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PERMITTED SET, WAS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR, NOT FROM SURVEYED DATA OR FROM FIELD OBSERVATIONS BY A LICENSED ENGINEER.

ENGINEER OF RECORD: *Josh Brown*



GRADING PLAN (2 OF 2)

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
 208 N. MAIN STREET, SUITE 140  
 WEATHERFORD, TEXAS 76086  
 TELEPHONE (817) 341-0754  
 FAX - (817) 341-0755

A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

4641 AIRPORT PKWY ADDISON, TEXAS

REVISIONS

DRAWN BY: LPSE	PROJ. MGR.: JSB
DATE: 3/11/2015	PROJ. NO: 12-1004
SHEET NO.	
<b>C-4.2</b>	
SHEET OF	

**CONFIDENTIAL**



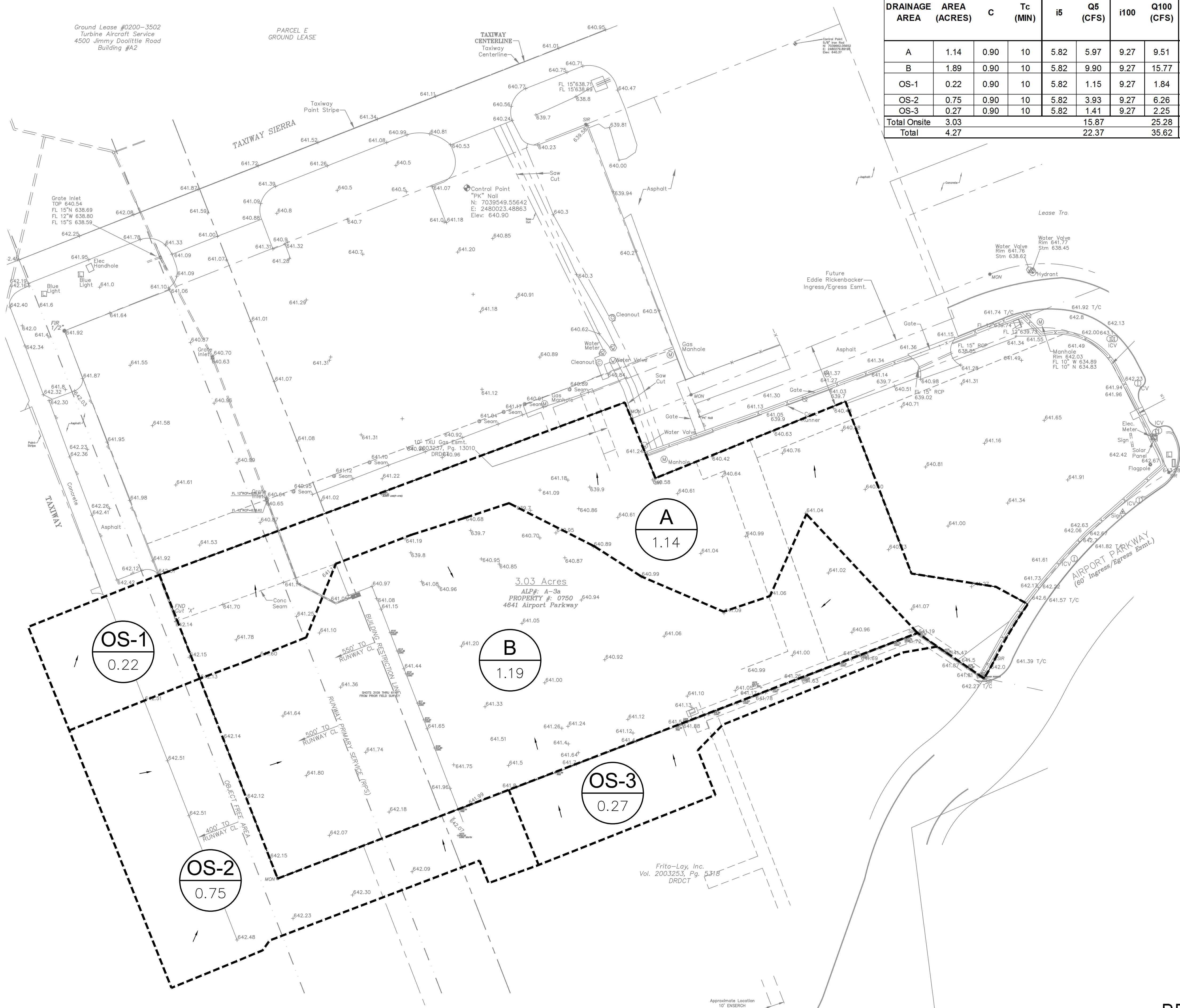
Ground Lease #0200-3502  
Turbine Aircraft Service  
4500 Jimmy Doolittle Road  
Building #A2

PARCEL E  
GROUND LEASE

PROPOSED RUNOFF CALCULATIONS								Comments
DRAINAGE AREA	AREA (ACRES)	C	Tc (MIN)	i5	Q5 (CFS)	i100	Q100 (CFS)	
A	1.14	0.90	10	5.82	5.97	9.27	9.51	Surface drain to northern lot line and existing ditch
B	1.89	0.90	10	5.82	9.90	9.27	15.77	Onsite Ponding
OS-1	0.22	0.90	10	5.82	1.15	9.27	1.84	Surface drain to grate inlet north of the site
OS-2	0.75	0.90	10	5.82	3.93	9.27	6.26	Onsite Ponding
OS-3	0.27	0.90	10	5.82	1.41	9.27	2.25	Onsite Ponding
Total Onsite	3.03				15.87		25.28	
Total	4.27				22.37		35.62	

**DRAWING LEGEND**

- 535 --- EXIST. CONTOUR LINE
- 535 — PROP. CONTOUR LINE
- DRAINAGE AREA LIMITS
- DIRECTIONAL FLOW ARROW
- (X) DRAINAGE AREA NUMBER
- (X.XX) DRAINAGE AREA (ACRES)



**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
E.L.=640.90 N: 7039549.556 E: 2480023.489

**RECORD DRAWINGS**  
JULY 25, 2016

ENGINEER OF RECORD: *Josh Brown*

NORTH

GRAPHIC SCALE 1"=40'  
11x17 SCALE N.T.S.  
0' 40' 60' 80'  
8.5x11 SCALE N.T.S.

**LPSE** Lobsinger & Potts Structural Engineering, Inc  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

EXISTING DRAINAGE AREA MAP

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

4641 AIRPORT PKW ADDISON, TEXAS

**REVISIONS**

DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

**SHEET NO.**

**C-5.1**

SHEET OF

A NEW HANGER & TERMINAL FOR SKY B&B, LLC



Ground Lease #0200-3502  
Turbine Aircraft Service  
4500 Jimmy Doolittle Road  
Building #A2

PARCEL E  
GROUND LEASE

TAXIWAY  
CENTERLINE  
Taxiway  
Centerline

Control Point  
"PK" Nail  
N: 7039549.55642  
E: 2480023.48863  
Elev: 640.90

Future  
Eddie Rickenbacker  
Ingress/Egress Esmt.

Water Valve  
Rim 641.75  
Stm 638.62

Water Valve  
Rim 641.77  
Stm 638.45

Manhole  
Rim 642.03  
FL 10" W 634.89  
FL 10" N 634.83

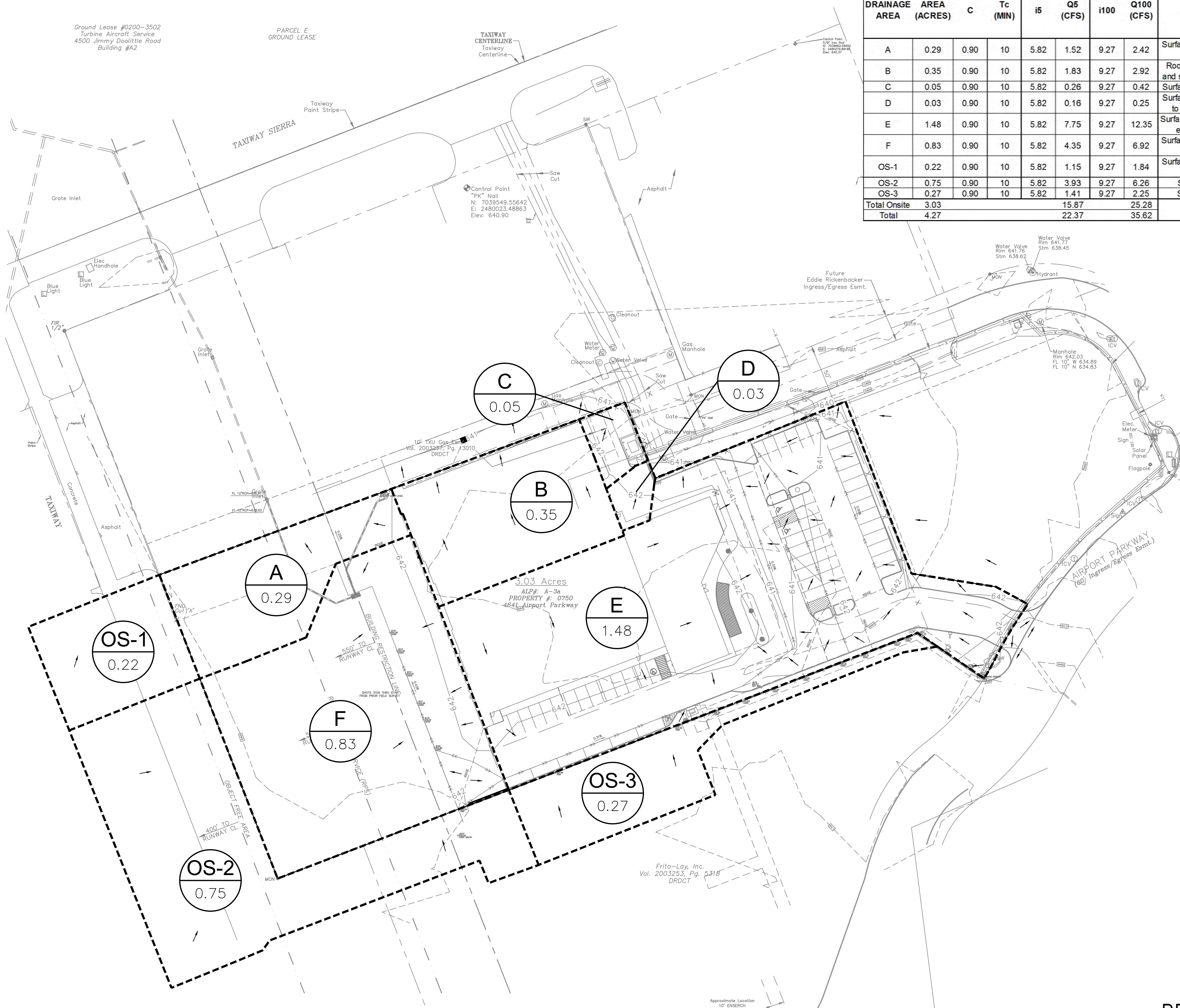
Frito-Lay, Inc.  
Vol. 2003253, Pg. 5318  
DRDCT

Approximate Location  
17' ENGERCH  
Cooperation Agreement  
Vol. 83007, Pg. 3479  
DRDCT

PROPOSED RUNOFF CALCULATIONS								
DRAINAGE AREA	AREA (ACRES)	C	Tc (MIN)	i5 (CFS)	Q5 (CFS)	i100 (CFS)	Q100 (CFS)	Comments
A	0.29	0.90	10	5.82	1.52	9.27	2.42	Surface drain to grate inlet north of the site
B	0.35	0.90	10	5.82	1.83	9.27	2.92	Roof drainage to be collected and sent to DA# A underground
C	0.05	0.90	10	5.82	0.26	9.27	0.42	Surface drain to northern lot line
D	0.03	0.90	10	5.82	0.16	9.27	0.25	Surface drain to curb cut then to existing ditch to the east
E	1.48	0.90	10	5.82	7.75	9.27	12.35	Surface drain to curb cuts then to existing ditch to the east
F	0.83	0.90	10	5.82	4.35	9.27	6.92	Surface drain to proposed grate inlet by others
OS-1	0.22	0.90	10	5.82	1.15	9.27	1.84	Surface drain to grate inlet north of the site
OS-2	0.75	0.90	10	5.82	3.93	9.27	6.26	Surface drain to DA# F
OS-3	0.27	0.90	10	5.82	1.41	9.27	2.25	Surface drain to DA# E
<b>Total Onsite</b>	<b>3.03</b>				<b>15.87</b>		<b>25.28</b>	
<b>Total</b>	<b>4.27</b>				<b>22.37</b>		<b>35.62</b>	

**DRAWING LEGEND**

- 535 --- EXIST. CONTOUR LINE
- 535 — PROP. CONTOUR LINE
- --- DRAINAGE AREA LIMITS
- DIRECTIONAL FLOW ARROW
- X  
X.XX DRAINAGE AREA NUMBER
- X.XX DRAINAGE AREA (ACRES)



**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
EL.=640.90 N: 7039549.556 E: 2480023.489

**RECORD DRAWINGS**  
JULY 25, 2016

ENGINEER OF RECORD: *Josh Brown*

NORTH

GRAPHIC SCALE 1"=40'  
11x17 SCALE N.T.S.  
0' 40' 60' 80'  
8.5x11 SCALE N.T.S.

PROPOSED DRAINAGE AREA MAP

**STUCKEY ARCHITECTS**  
ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

4641 AIRPORT PKWY ADDISON AIRPORT ADDISON, TEXAS

REVISIONS

DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.  
**C-5.2**

SHEET OF

**LPSE** Lobsinger & Potts Structural Engineering, Inc  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

A NEW HANGER & TERMINAL FOR SKY B&B, LLC



Ground Lease #0200-3502  
Turbine Aircraft Service  
4500 Jimmy Doolittle Road  
Building #A2

PARCEL E  
GROUND LEASE

TAXIWAY  
CENTERLINE  
Taxiway  
Centerline

TAXIWAY SIERRA  
Taxiway  
Point Stripe

2.12 Acres

ALP#: A4a  
PROPERTY #: 0150  
4545 Eddie Rickenbacker Drive

3.03 Acres

ALP#: A-3a  
PROPERTY #: 0760  
4641 Airport Parkway

USE	PIPE SIZE	SPEC.
WATER	UP TO 2"	SEAMLESS COPPER TUBE ASTM B-88, "TYPE K"
WATER	2" TO 4"	SDR-21, ASTM D2241
WATER	4" AND LARGER	AWWA C900, DR18, ASTM D1785, TYPE 1 GRADE1
SAN. SEWER	UP TO 8"	ASTM D-3034, SDR-35

\* VERIFY WITH CITY REQUIREMENTS

DRAWING LEGEND

---	100	---	EXIST. CONTOUR LINE
---	100	---	PROP. CONTOUR LINE
---	---	---	PROP. WATER LINE
---	---	---	PROP. SS LINE
---	---	---	PROP. CLEANOUT
○	---	---	EXIST. PROPOSED
○	---	---	SS SAN. SEWER
○	---	---	WL WATER LINE
○	---	---	C.O. CLEAN OUT
○	---	---	T.C.O. TRAFFIC RATE C.O.
○	---	---	DOM. DOMESTIC WATER
○	---	---	IRRI. IRRIGATION
○	---	---	MH MANHOLE

NOTES:

- IF THERE ARE ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND WHAT IS FOUND IN THE FIELD, CONTACT THE ENGINEER IMMEDIATELY.
- CONSTRUCT ALL UTILITIES STARTING AT THE DOWNSTREAM END AND PROCEED UPSTREAM.
- ALL PROPOSED UTILITY CONNECTIONS SHALL BE STUBBED 5' FROM THE PROPOSED BUILDING.
- THE SIZE OF THE WATER AND SEWER LINES SHALL BE VERIFIED WITH MEP, IRRIGATION & FIRE PROTECTION PRIOR TO COMMENCING CONSTRUCTION. IF WHAT IS SHOWN ON THEIR PLANS CONTRADICTS INFORMATION SHOWN ON THE PLANS, CONTACT THE ENGINEER IMMEDIATELY.
- UTILITIES SHALL BE CONSTRUCTED PER ALL JURISDICTIONAL REQUIREMENTS AND CODES.
- ALL WATER AND WASTEWATER APPURTENANCES SHALL BE ADJUSTED TO MATCH FINAL GRADE OF PAVING AND/OR LANDSCAPING AREA.
- RE: GENERAL NOTES SHEET FOR ADDITIONAL NOTES.

REFERENCE NUMBER NOTES

- ① PROP. WATER AND WASTEWATER EASEMENT BY OTHERS.

CONNECTING TO EXIST. MH NOTES:

- WHERE NEW SEWER LINES ARE TO BE CONNECTED TO EXIST. MANHOLES, HOLES OF THE PROPER SIZE AND LOCATION SHALL BE MADE BY CORE DRILL AND SEALED WITH NON-SHRINK GROUT.
- THE CORE CUT HOLE (AS NEEDED) SHALL BE MADE WITH EQUIPMENT SPECIALLY DESIGNED TO CUT A SMOOTH HOLE WITHOUT SPALLING OR DAMAGE TO THE REINFORCING STEEL OR STRUCTURE.
- A SMOOTH FLOW THROUGH THE MANHOLE SHALL BE PROVIDED AT THE BOTTOM OF THE MANHOLE TO CONFORM WITH THE ELEVATIONS SHOWN. THE INLET INVERT ELEV. SHALL BE 0.10' HIGHER THAN THE OUTLET INVERT ELEV.
- ALL WORK SHALL BE UNCOVERED AND CLEAN FOR INSPECTION.

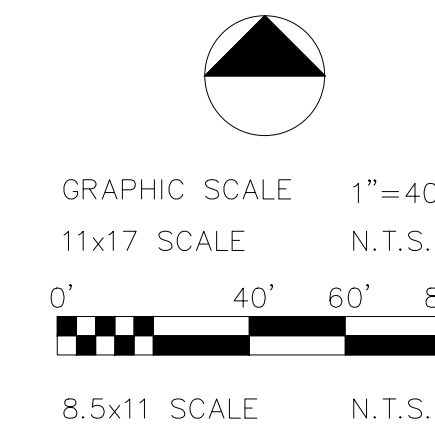
NOTE TO CONTRACTOR

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

BENCHMARK

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
EL.=640.90 N: 7039549.556 E: 2480023.489

NORTH



RECORD DRAWINGS  
JULY 25, 2016

ENGINEER OF RECORD: *Josh Brumm*

**LPSE** Lobsinger & Potts Structural Engineering, Inc  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755

*PRELIMINARY*  
THIS DOCUMENT IS FOR REVIEW ONLY AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.  
JUSTIN S. BRAMMER, P.E.  
LICENSE NO. 103431  
DATE: OCTOBER 8, 2014

A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON, TEXAS

ADDISON AIRPORT

4641 AIRPORT PKWY

REVISIONS

DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.

**C-6.1**

SHEET OF

WATER & WASTEWATER PLAN

A NEW HANGER & TERMINAL FOR SKY B&B, LLC

Ground Lease #0200-3502  
Turbine Aircraft Service  
4500 Jimmy Doolittle Road  
Building #A2

PARCEL E  
GROUND LEASE

TAXIWAY  
CENTERLINE  
Taxiway  
Centerline

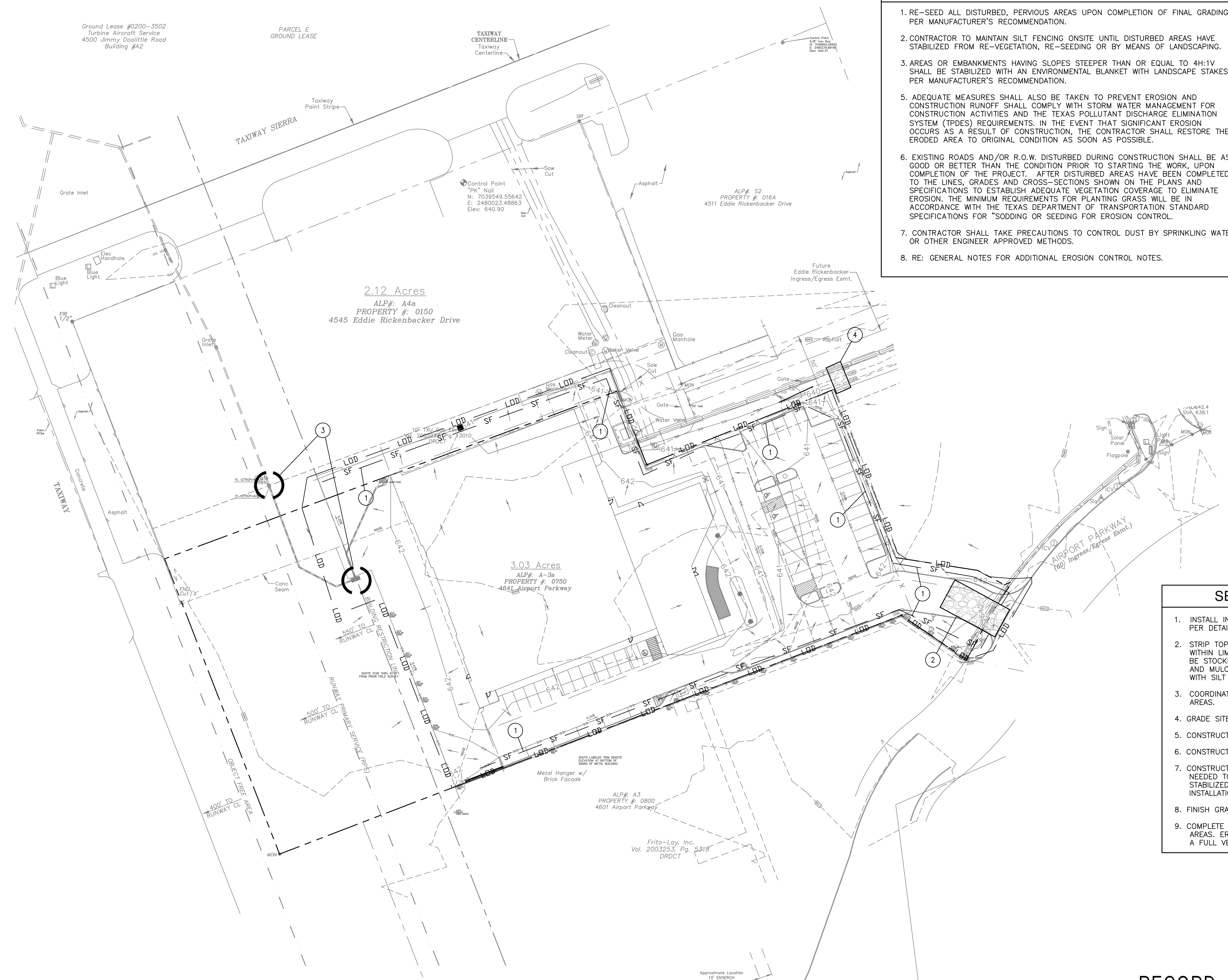
2.12 Acres  
ALP# A4a  
PROPERTY # 0150  
4545 Eddie Rickenbacker Drive

3.03 Acres  
ALP# A-3a  
PROPERTY # 0750  
4641 Airport Parkway

ALP# A3  
PROPERTY # 0800  
4601 Airport Parkway

Frito-Lay, Inc.  
Vol. 2003253, Pg. 5318  
DRDCT

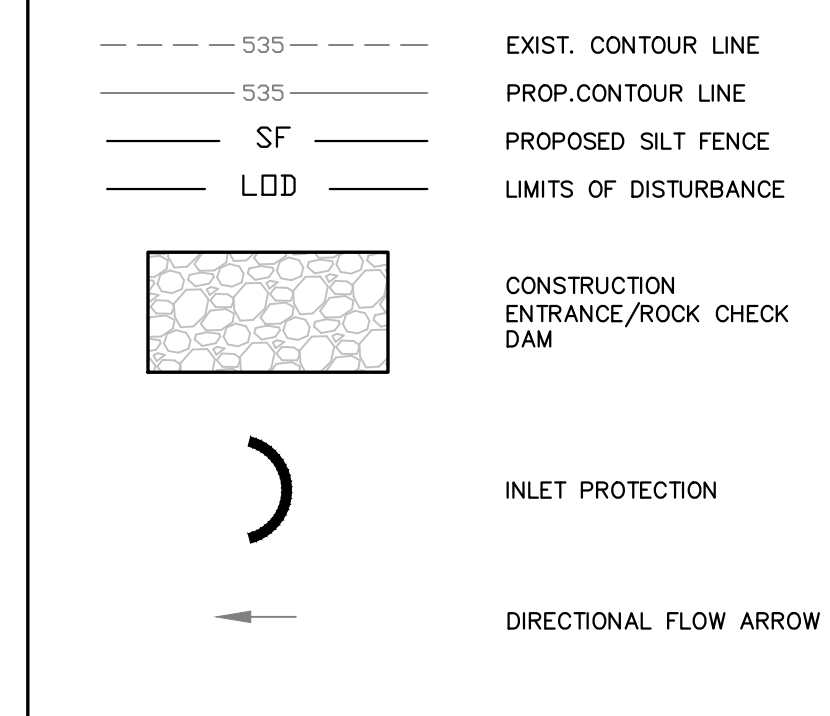
Approximate Location  
17' ENDSCH  
Cooperation Agreement  
Vol. 83007, Pg. 3479  
DRDCT



**EROSION CONTROL NOTES**

1. RE-SEED ALL DISTURBED, PVIOUS AREAS UPON COMPLETION OF FINAL GRADING PER MANUFACTURER'S RECOMMENDATION.
2. CONTRACTOR TO MAINTAIN SILT FENCING ONSITE UNTIL DISTURBED AREAS HAVE STABILIZED FROM RE-VEGETATION, RE-SEEDING OR BY MEANS OF LANDSCAPING.
3. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH AN ENVIRONMENTAL BLANKET WITH LANDSCAPE STAKES PER MANUFACTURER'S RECOMMENDATION.
5. ADEQUATE MEASURES SHALL ALSO BE TAKEN TO PREVENT EROSION AND CONSTRUCTION RUNOFF SHALL COMPLY WITH STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES AND THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) REQUIREMENTS. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION, THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION AS SOON AS POSSIBLE.
6. EXISTING ROADS AND/OR R.O.W. DISTURBED DURING CONSTRUCTION SHALL BE AS GOOD OR BETTER THAN THE CONDITION PRIOR TO STARTING THE WORK, UPON COMPLETION OF THE PROJECT. AFTER DISTURBED AREAS HAVE BEEN COMPLETED TO THE LINES, GRADES AND CROSS-SECTIONS SHOWN ON THE PLANS AND SPECIFICATIONS TO ESTABLISH ADEQUATE VEGETATION COVERAGE TO ELIMINATE EROSION. THE MINIMUM REQUIREMENTS FOR PLANTING GRASS WILL BE IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR "SODDING OR SEEDING FOR EROSION CONTROL."
7. CONTRACTOR SHALL TAKE PRECAUTIONS TO CONTROL DUST BY SPRINKLING WATER OR OTHER ENGINEER APPROVED METHODS.
8. RE: GENERAL NOTES FOR ADDITIONAL EROSION CONTROL NOTES.

**DRAWING LEGEND**



**NOTES:**

1. A NOTICE OF INTENT (NOI) IS NOT REQUIRED TO BE SUBMITTED TO TCEQ DUE TO THE SIZE OF THE DISTURBED AREA (< 5 ACRES). HOWEVER, IT IS THE INTENT OF THIS PLAN TO COMPLY WITH ALL REQUIREMENTS PER TCEQ.
2. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
3. A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS, CONSTRUCTION PLANS, AND ANY REVISIONS, SHALL BE KEPT UP TO DATE BY THE CONTRACTOR, AND SHALL BE RETAINED ONSITE DURING CONSTRUCTION.
4. A NOTICE OF TERMINATION (NOT) IS NOT REQUIRED.
5. RE: GENERAL NOTES SHEET FOR ADDITIONAL EROSION CONTROL NOTES.

**REFERENCE NUMBER NOTES**

1. INSTALL SILT FENCE PER CITY DETAIL THIS SET.
2. INSTALL STABILIZED CONSTRUCTION EXIT PER CITY DETAIL THIS SET.
3. INSTALL INLET PROTECTION PER DETAIL THIS SET.
4. INSTALL ROCK CHECK DAM PER CITY DETAIL THIS SET.

**SEQUENCE OF CONSTRUCTION**

1. INSTALL INLET PROTECTION MEASURES AND PHASE 1 FILTER BARRIERS PER DETAILS THIS SET
2. STRIP TOPSOIL AND ORGANIC MATERIALS. REMOVE EXISTING PAVING WITHIN LIMITS OF DISTURBANCE. ALL SUCH TOPSOIL REMOVED SHALL BE STOCKPILED FOR LATER USE. ALL STOCKPILES SHALL BE SEEDDED AND MULCHED TO PREVENT LOSS DUE TO EROSION AND ENCIRCLED WITH SILT FENCE.
3. COORDINATE WITH LOCAL JURISDICTION FOR LOCATION OF STAGING AREAS.
4. GRADE SITE.
5. CONSTRUCT UNDERGROUND UTILITIES.
6. CONSTRUCT FOUNDATION AND BUILDING.
7. CONSTRUCT PAVED AREAS. INSTALL ADDITIONAL FILTER BARRIERS AS NEEDED TO PROTECT NEW PAVING AREAS FROM DISTURBED AREAS NOT STABILIZED. THIS WILL BE THE SECOND PHASE OF FILTER BARRIER INSTALLATION.
8. FINISH GRADING OF ALL AREAS.
9. COMPLETE PERMANENT SEEDING AND MULCHING OF ALL DISTURBED AREAS. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL A FULL VEGETATIVE COVER HAS BEEN ESTABLISHED.

**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

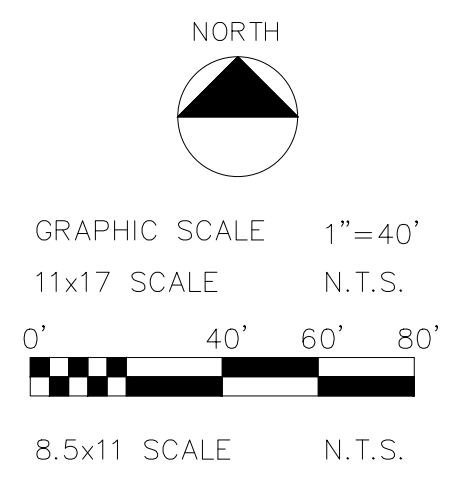
**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
EL.=640.90 N: 7039549.556 E: 2480023.489

TOTAL DISTURBED AREA = ±2.4 ACRES

**RECORD DRAWINGS**  
JULY 25, 2016

ENGINEER OF RECORD: *Josh Brown*



**LPSE** Lobsinger & Potts Structural Engineering, Inc  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

EROSION CONTROL PLAN

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76084  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

4641 AIRPORT PKWY ADDISON, TEXAS

**REVISIONS**

DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.  
**C-7.1**

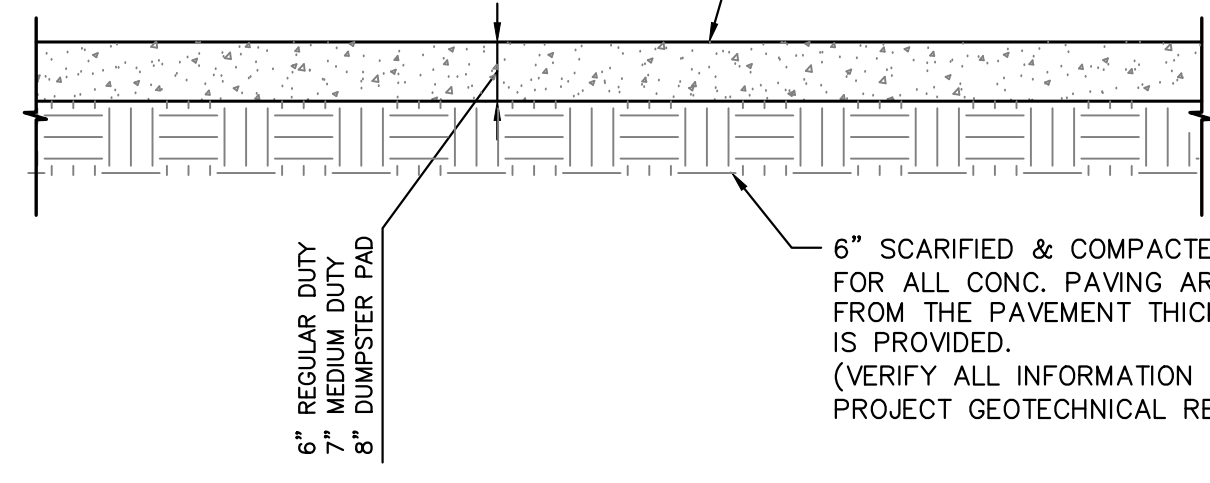
SHEET OF

A NEW HANGER & TERMINAL FOR SKY B&B, LLC



NOTES:  
 1. AT DUMPSTER LOCATION, THE PAVEMENT SHALL BE 8" THICK FOR A DISTANCE OF 10' BEYOND THE FACE OF THE DUMPSTER ENCLOSURE.  
 2. THIS DETAIL DOES NOT APPLY TO THE HANGAR APRON/AIRCRAFT PAVING AREAS.

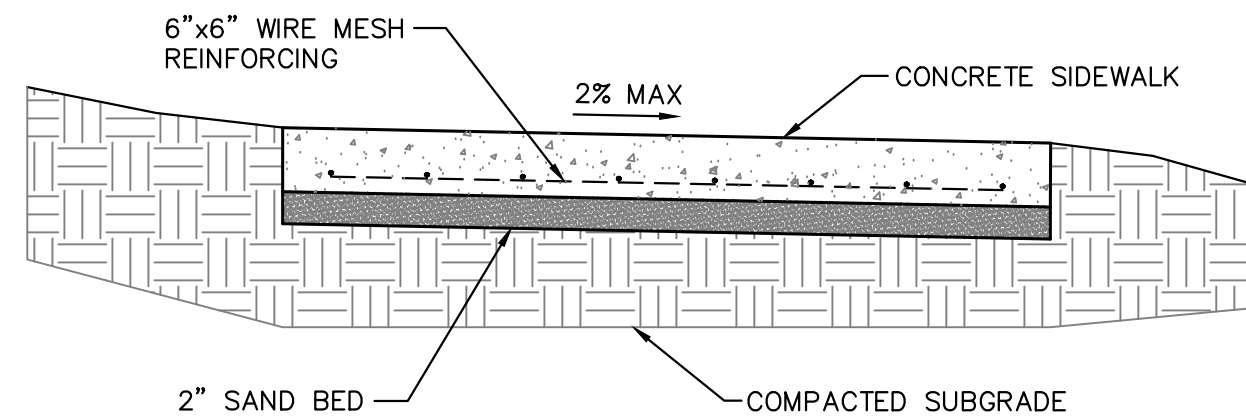
PORTLAND CEMENT CONCRETE REINFORCED WITH #3 REBAR @ 18" O.C.E.W. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH FOR REGULAR DUTY AND 3,500 POUNDS PER SQUARE INCH FOR MEDIUM DUTY. (CONTRACTOR SHALL VERIFY PAVING REQUIREMENTS WITH THE PROJECT GEOTECHNICAL REPORT)



CONCRETE PAVING SECTION  
N.T.S.

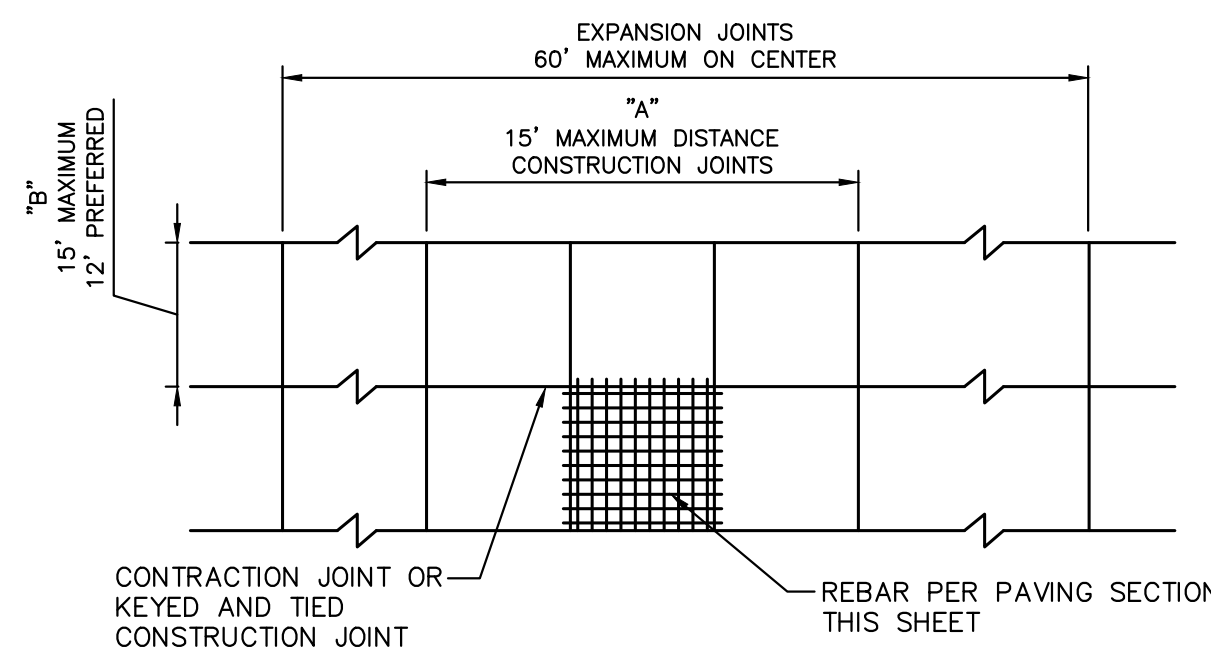
FOR AUTOMOBILE PARKING LOT AREA ONLY, RE: SHEET 8.2 FOR HANGAR APRON JOINT DETAILS.

1. CONCRETE SIDEWALK SHALL BE A MINIMUM OF 3,000 PSI.  
 2. PLACE EXPANSION JOINTS AT EVERY 20' AS WELL AS BETWEEN SIDEWALKS AND STREET CURBS AND ANY OTHER RIGID STRUCTURES.  
 3. 4" PICTURE FRAME EDGE WITH GROOVES INSTALLED AT EVERY 4'.



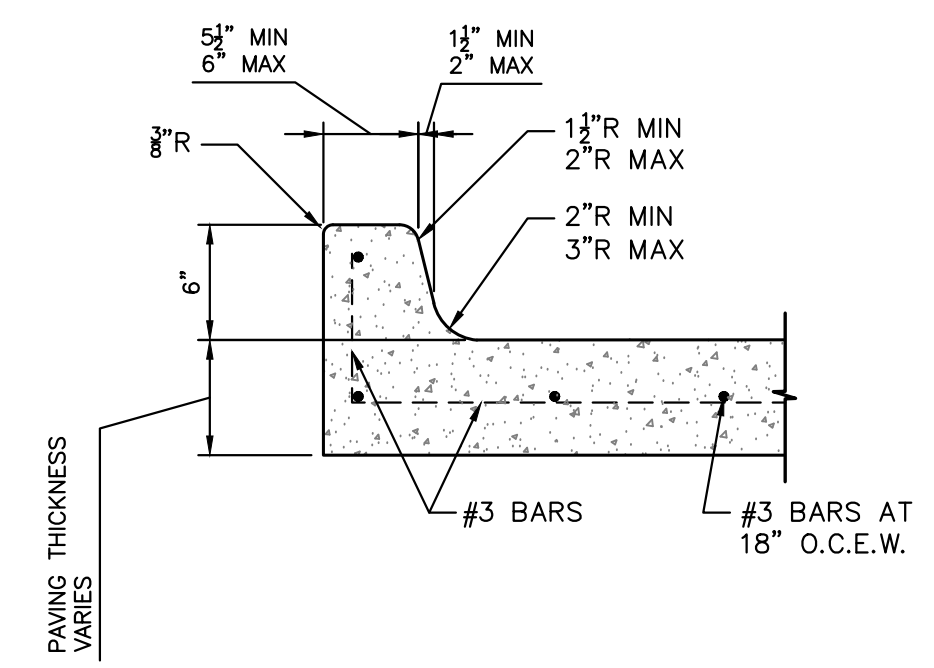
CONCRETE SIDEWALK SECTION  
N.T.S.

1. IN GENERAL "A" AND "B" (IN FEET) SHALL NOT EXCEED APPROXIMATELY TWICE THE NOMINAL THICKNESS OF THE CONCRETE PAVEMENT (IN INCHES).  
 2. THE RATIO OF "A"/"B" SHALL NOT EXCEED 1.5; "A" = "B" PREFERRED.  
 3. CONTRACTOR SHALL SUBMIT A JOINTING PLAN TO THE ENGINEER FOR APPROVAL.

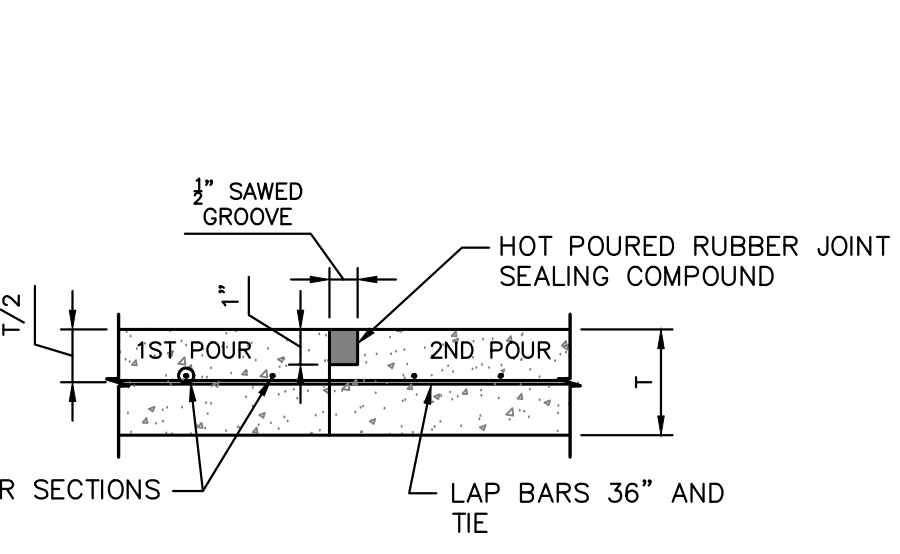


TYPICAL JOINT LAYOUT DETAIL  
N.T.S.

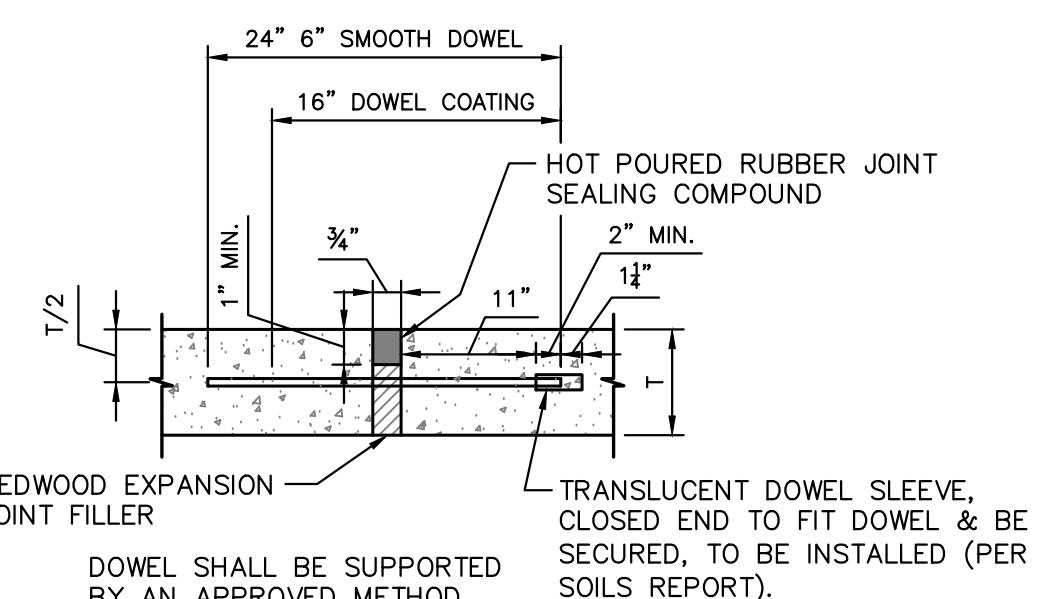
RE: PAVING SECTIONS FOR PAVING THICKNESS.



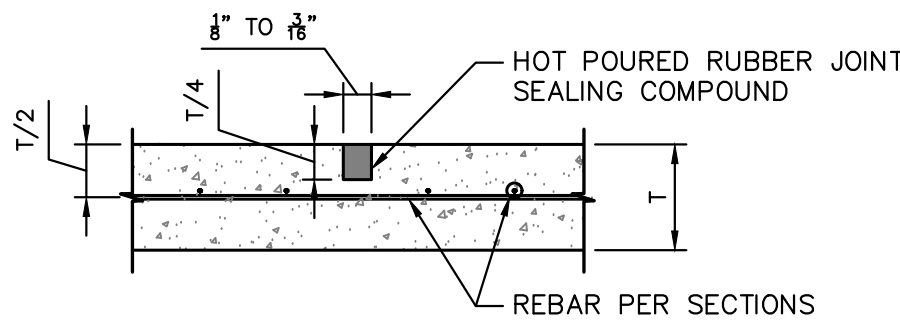
MONOLITHIC CURB  
N.T.S.



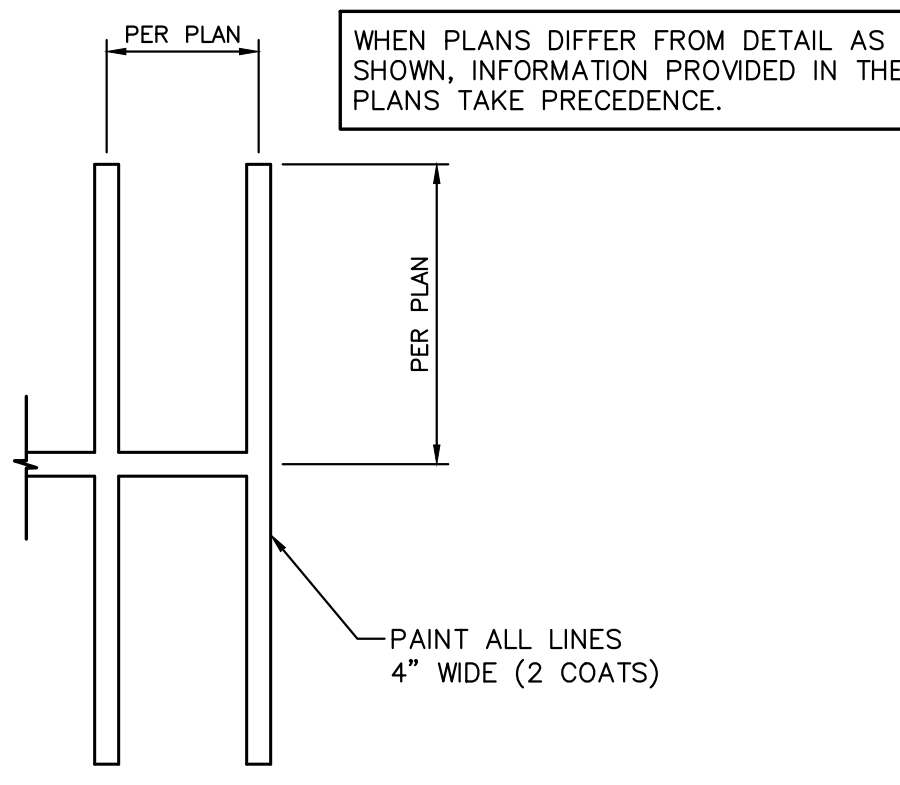
CONSTRUCTION JOINT  
N.T.S.



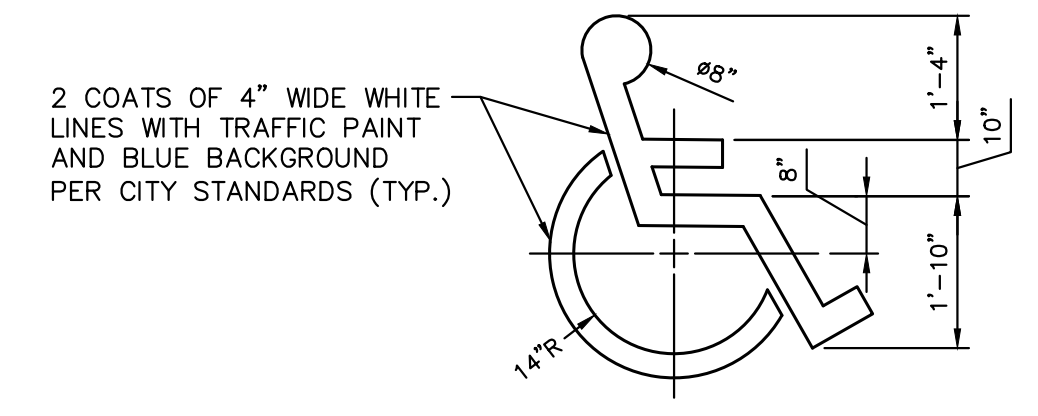
EXPANSION JOINT  
N.T.S.



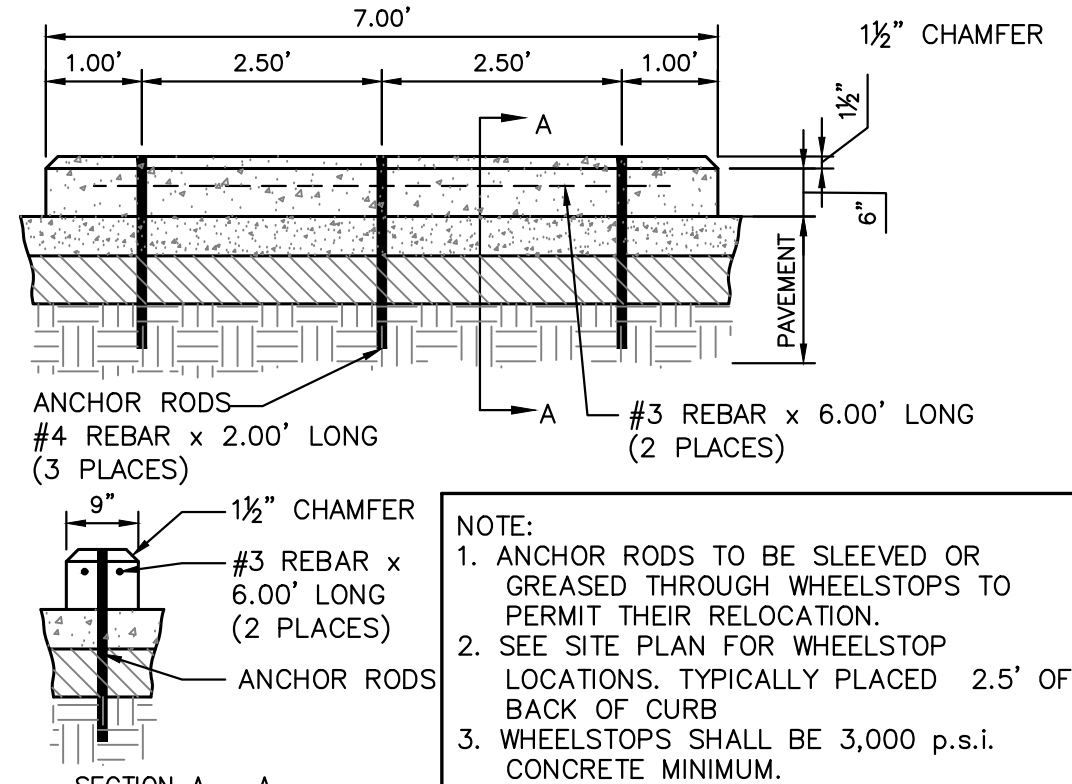
SAWED CONTRACTION JOINT  
N.T.S.



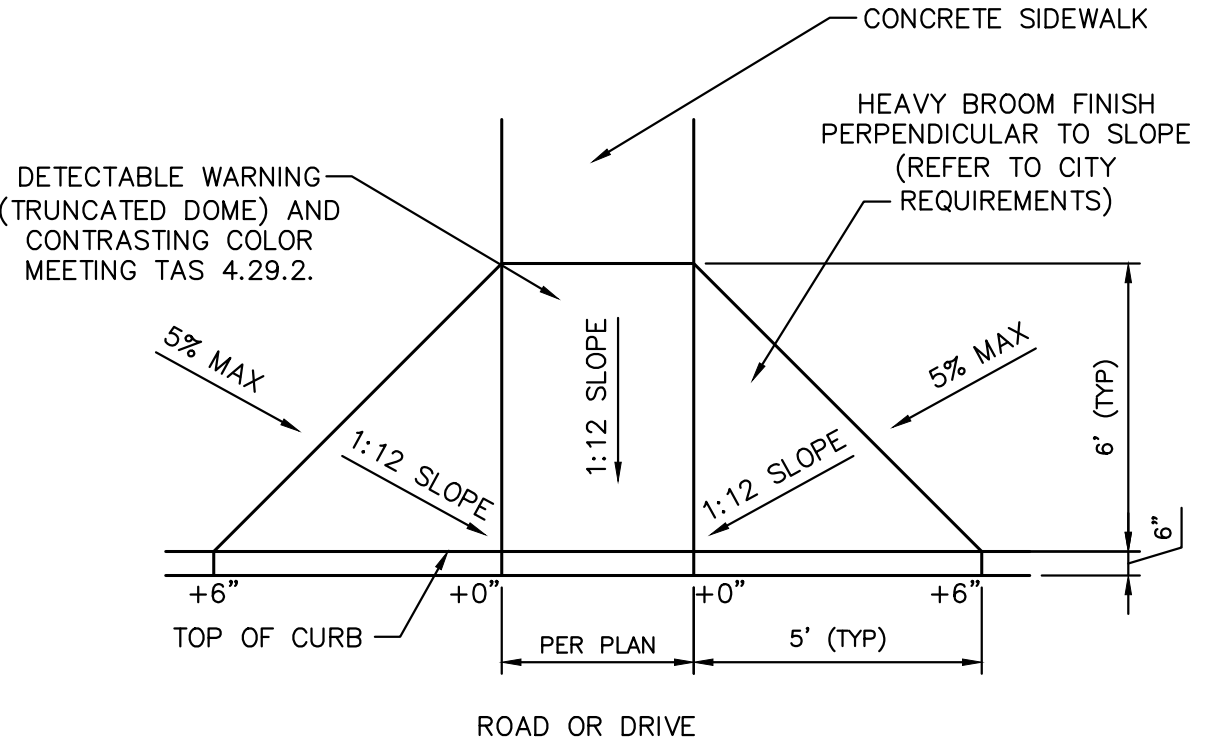
PARKING STRIPING DETAIL  
N.T.S.



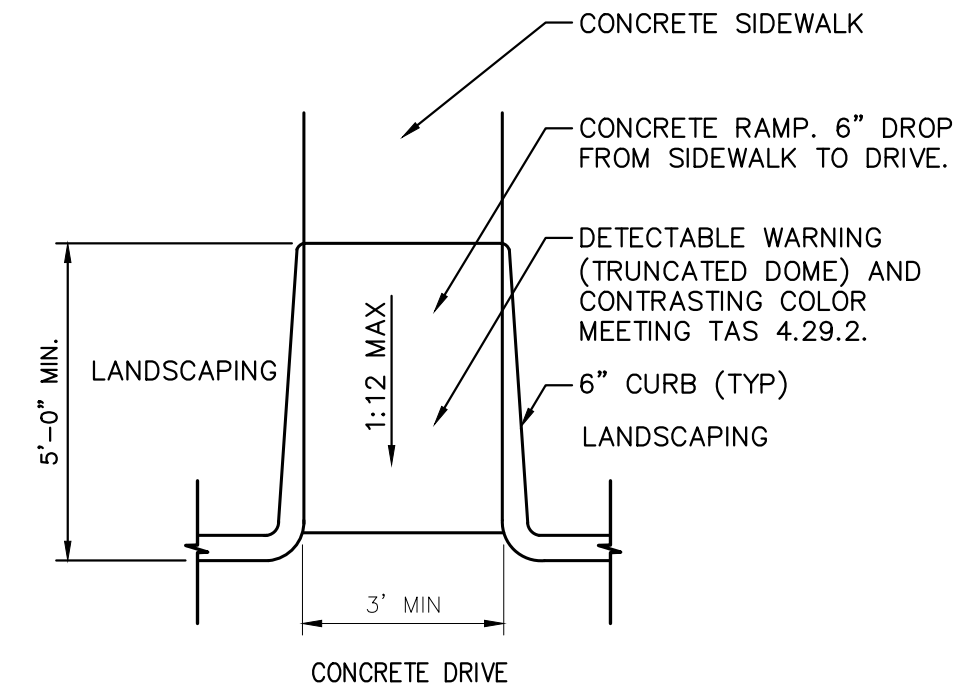
HANDICAP PARKING SYMBOL  
N.T.S.



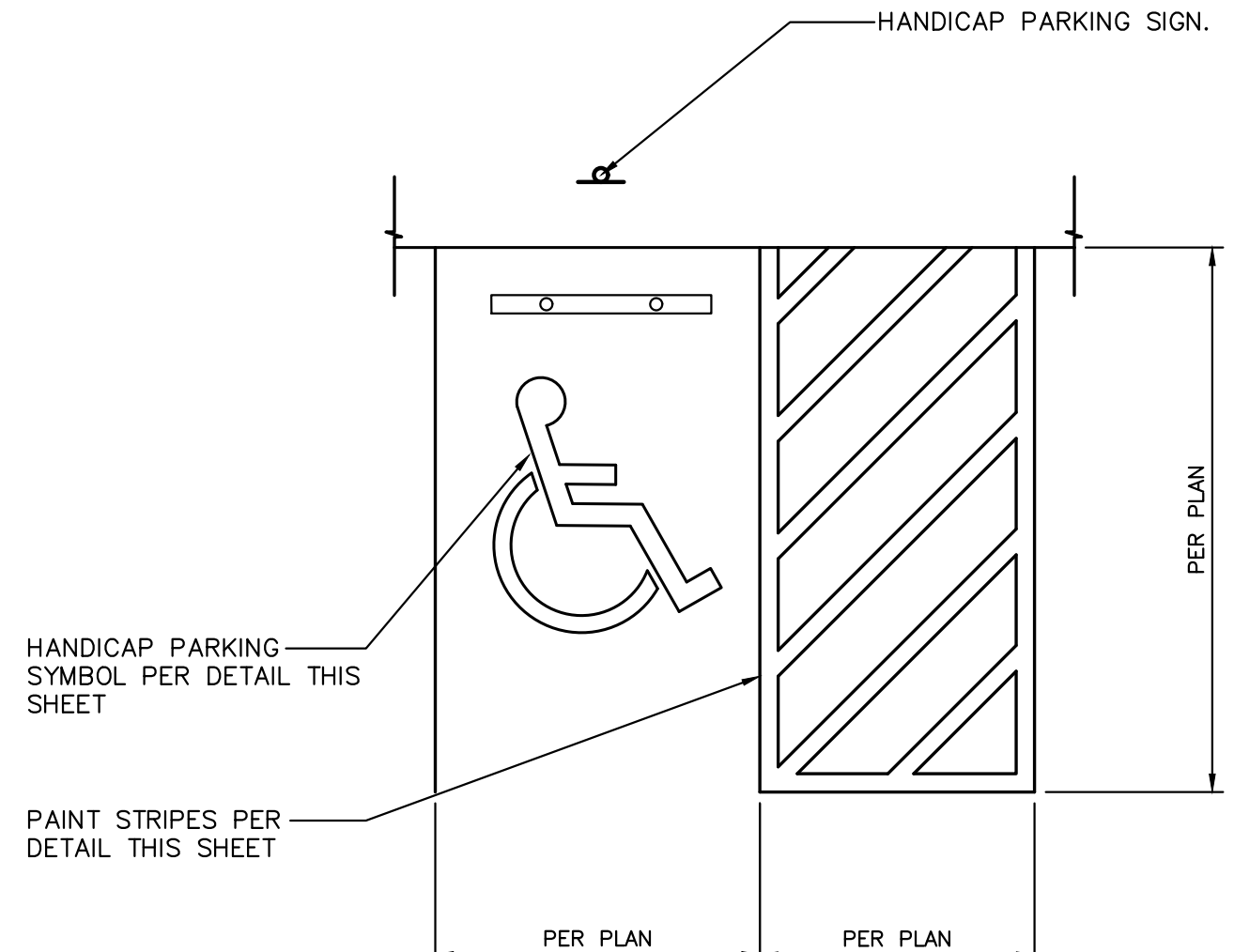
CONCRETE WHEELSTOP  
N.T.S.



HANDICAP RAMP  
N.T.S.



HANDICAP RAMP  
N.T.S.



HANDICAP PARKING AREA  
N.T.S.

CITY DETAILS TAKE PRECEDENCE IN CITY RIGHT OF WAY AND EASEMENTS. THE DETAILS SHOWN ON THIS SHEET ARE INTENDED FOR PRIVATE IMPROVEMENTS ONLY

RECORD DRAWINGS  
 JULY 25, 2016  
 ENGINEER OF RECORD: *Josh Brown*

**LPSE** Lobsinger & Potts Structural Engineering, Inc.  
 1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
 817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

PAVING DETAILS

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
 208 N. MAIN STREET, SUITE 140  
 WEATHERFORD, TEXAS 76086  
 TELEPHONE (817) 341-0754  
 FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

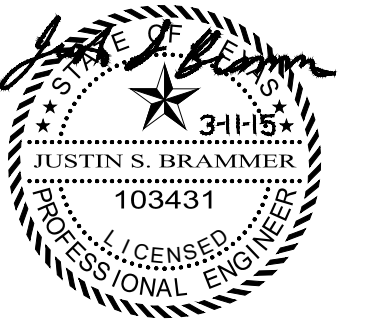
ADDISON AIRPORT

ADDISON, TEXAS

4641 AIRPORT PKWY

A NEW HANGER & TERMINAL FOR SKY B&B, LLC

REVISIONS	
DRAWN BY: LPSE	PROJ. MGR.: JSB
DATE: 3/11/2015	PROJ. NO: 12-1004
SHEET NO.	
<b>C-8.1</b>	
SHEET OF	



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON AIRPORT

ADDISON, TEXAS

4641 AIRPORT PKWY

A NEW HANGER & TERMINAL FOR SKY B&B, LLC

HANGER APRON JOINT DETAILS

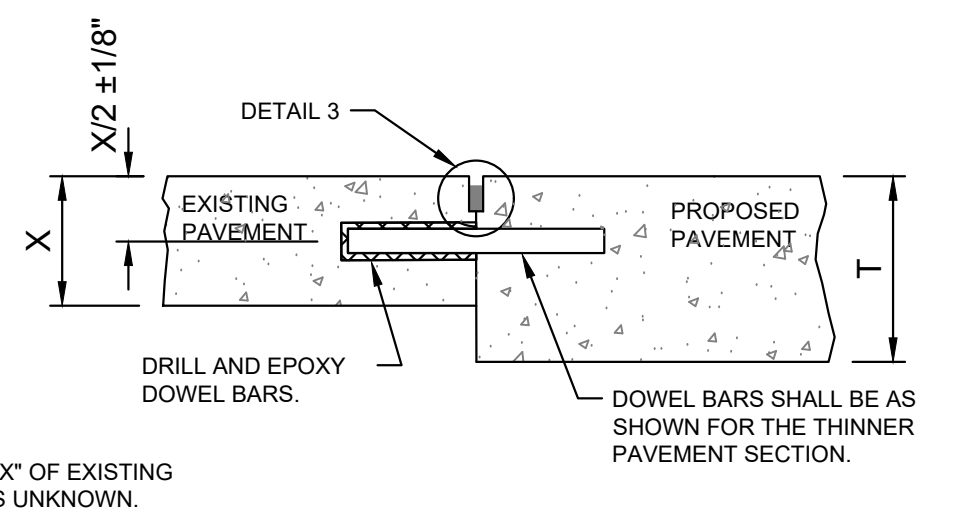
REVISIONS

DRAWN BY: LPSE    PROJ. MGR.: JSB  
DATE: 3/11/2015    PROJ. NO: 12-1004

SHEET NO.

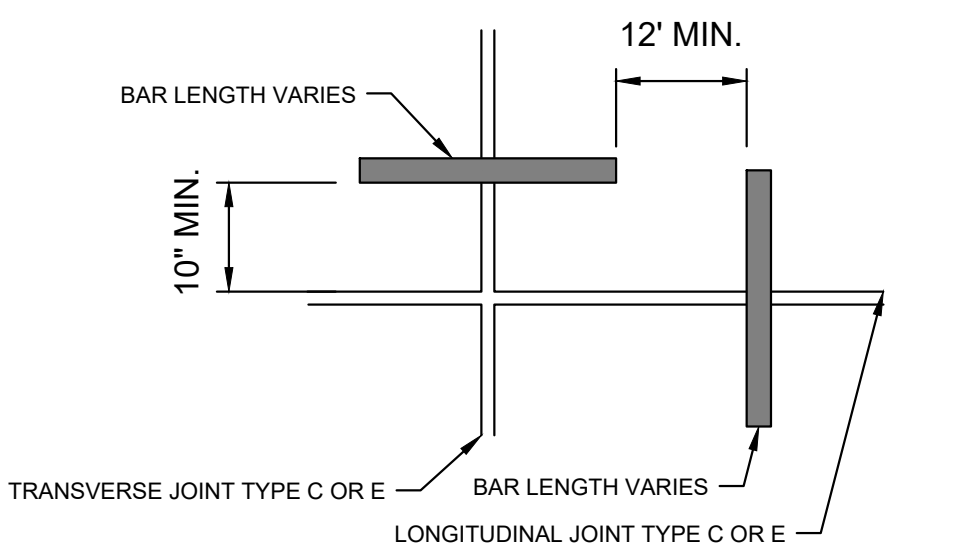
**C-8.2**

SHEET OF

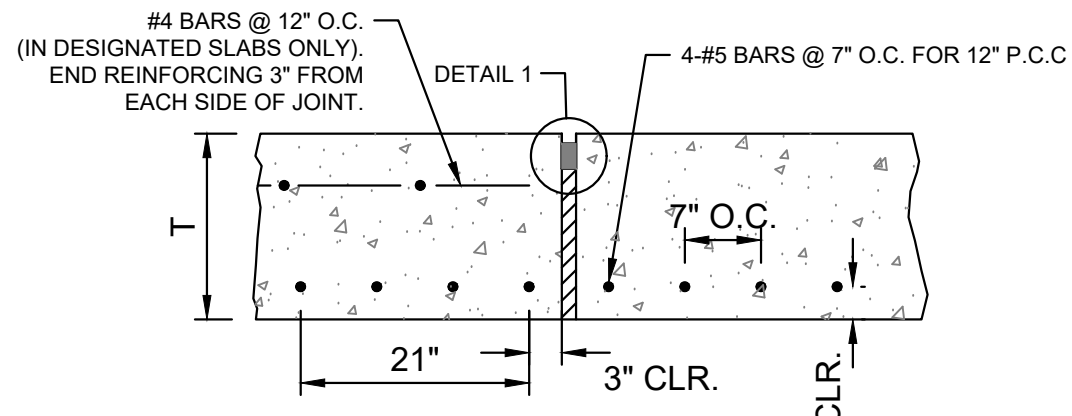


NOTE:  
THICKNESS "X" OF EXISTING PAVEMENT IS UNKNOWN.  
DOWEL BARS SHALL BE AS SHOWN FOR THE THINNER PAVEMENT SECTION.

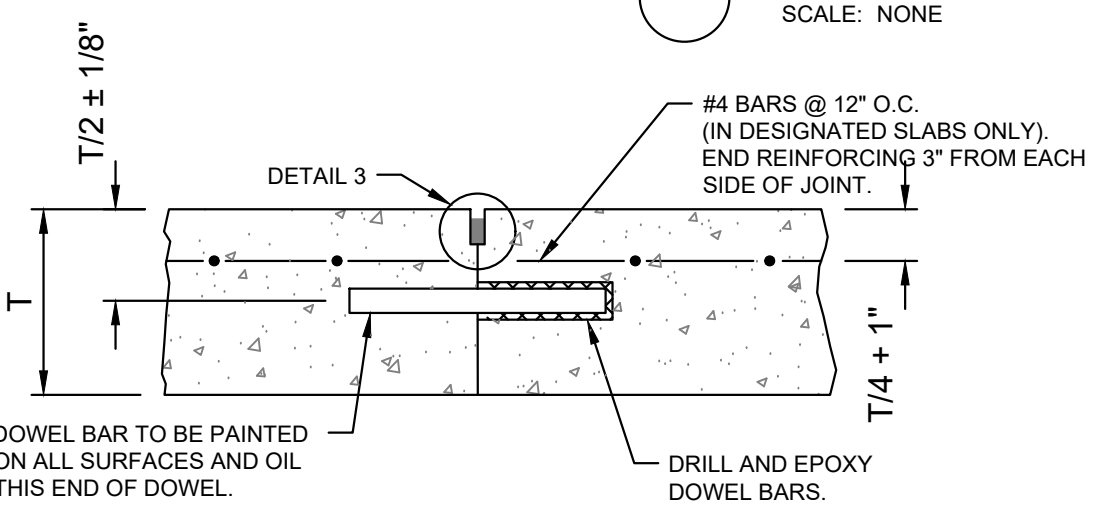
**TYPE E-DOWELED CONSTRUCTION JOINT AT EXISTING/PROPOSED PAVEMENT**  
SCALE: NONE



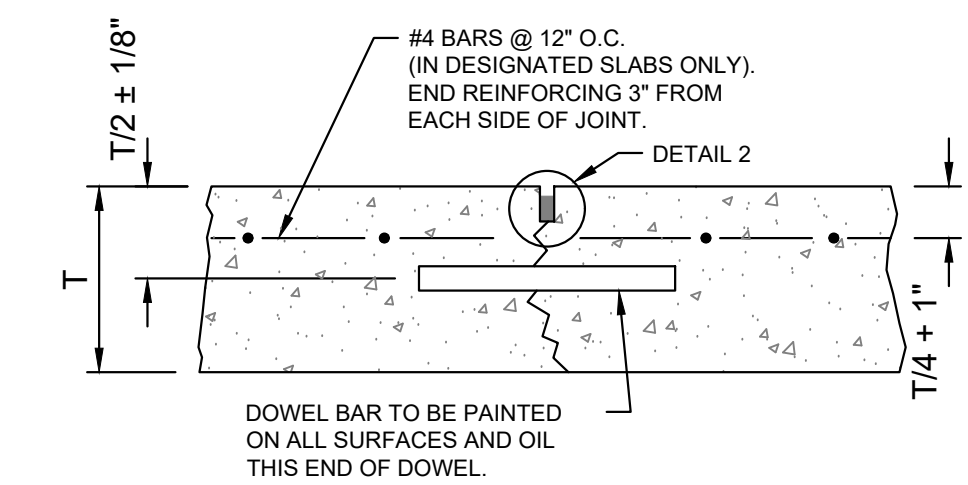
**DOWEL BARS AT SLAB CORNERS (PLAN VIEW)**  
SCALE: NONE



**TYPE A-1-REINFORCED ISOLATION JOINT**  
SCALE: NONE



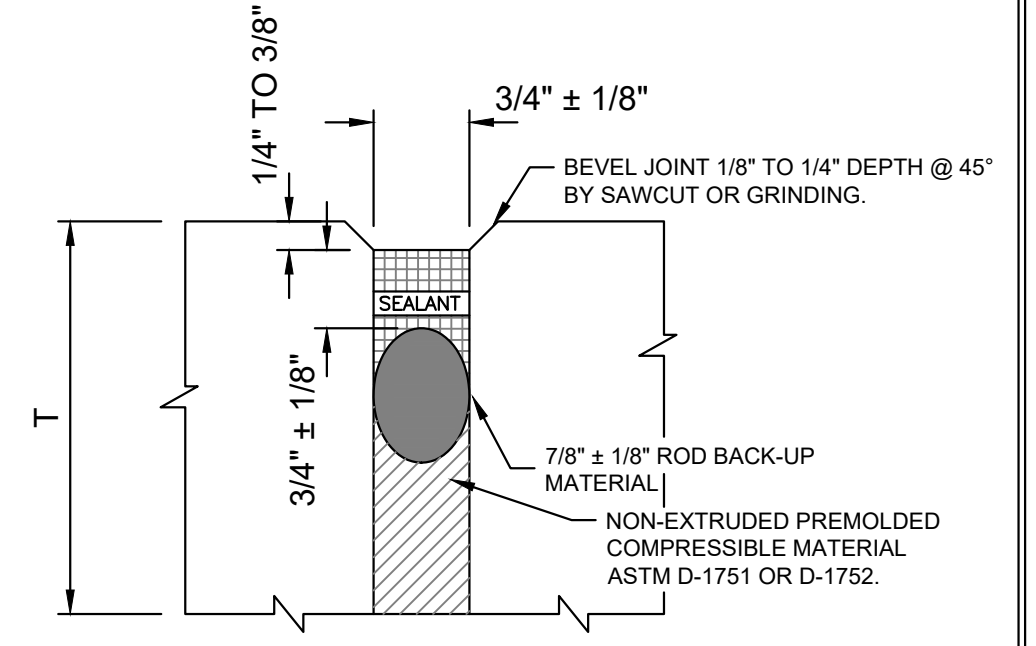
**TYPE E-DOWELED CONSTRUCTION JOINT**  
SCALE: NONE



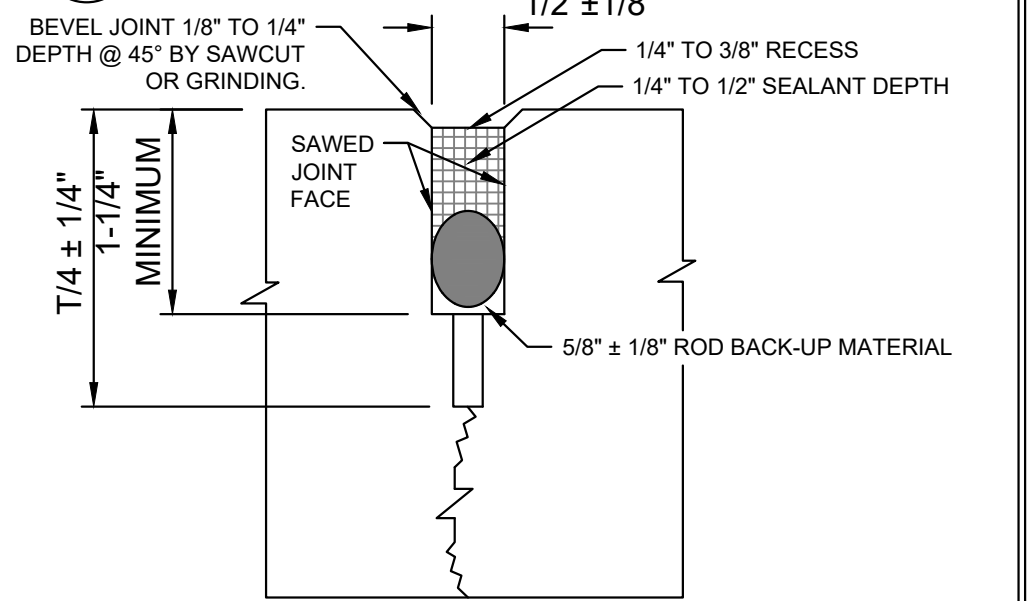
**TYPE C-DOWELED CONSTRUCTION JOINT**  
SCALE: NONE

**SYMBOLS**

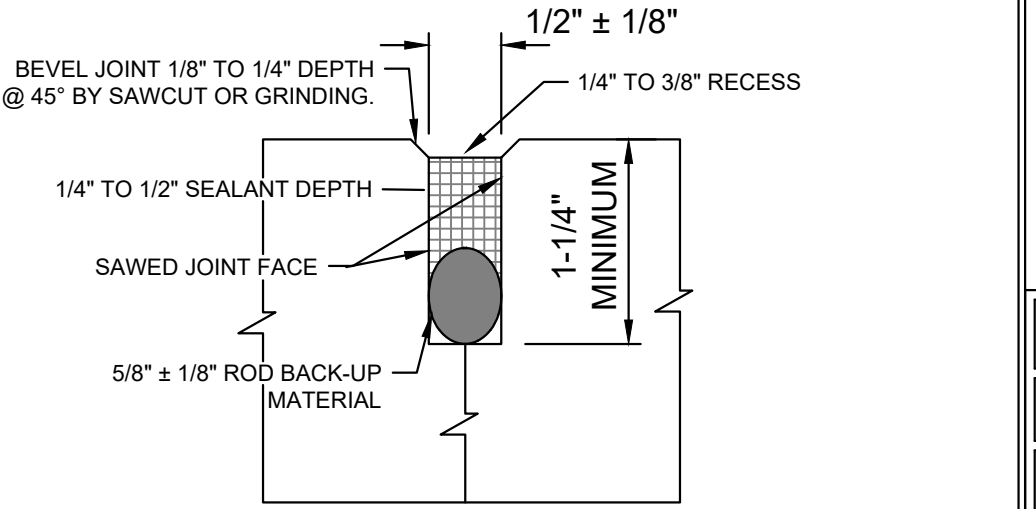
- SEALANT
- ROD BACK-UP MATERIAL
- CLOSED-CELL RESILIENT FOAM OR SPONGE RUBBER
- RESILIENT FILLER



**DETAIL 1-ISOLATION JOINTS**  
SCALE: NONE

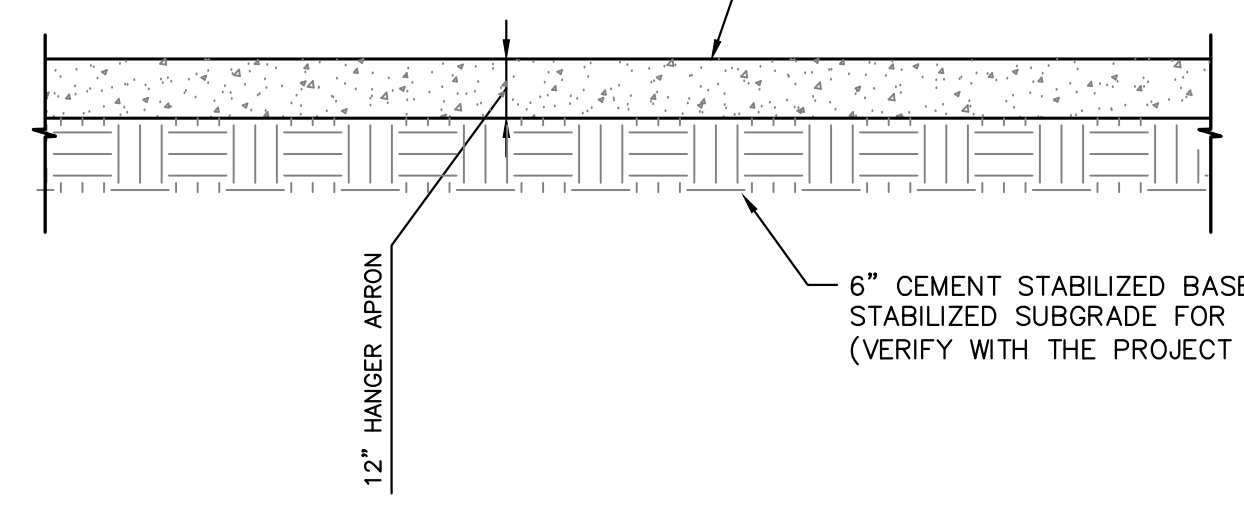


**DETAIL 2-CONTRACTION JOINTS**  
SCALE: NONE



**DETAIL 3-CONSTRUCTION JOINTS**  
SCALE: NONE

<b>DOWEL BAR LEGEND</b>
12" THICKNESS
DIAMETER = 1"
LENGTH = 19"
SPACING = 12" O.C.



**HANGER APRON CONC. PAVING SECTION**  
N.T.S.

- HANGER APRON JOINT NOTES:**
- JOINT TYPE A-1 JOINTS SHALL BE USED FOR PAVEMENT PLACED ADJACENT TO THE HANGER STRUCTURAL FOUNDATION.
  - JOINT TYPE E SHALL BE USED ALONG THE PERIMETER OF EACH POUR EXCLUDING THE JOINTS ADJACENT TO THE HANGER FOUNDATION.
  - ALL INTERNAL JOINTS SHALL BE TYPE C.

PORTLAND CEMENT CONCRETE REINFORCED WITH #3 REBAR @ 18" O.C.E.W. THE HANGER APRON PAVING SHALL HAVE A MIN. FLEXURAL STRENGTH OF 650 PSI AT 28 DAYS AND A MAX CEMENT RATIO OF 0.45. (CONTRACTOR SHALL VERIFY PAVING REQUIREMENTS WITH THE PROJECT GEOTECHNICAL REPORT)

THESE DETAILS FOR USE ON AIRCRAFT PAVEMENT ONLY

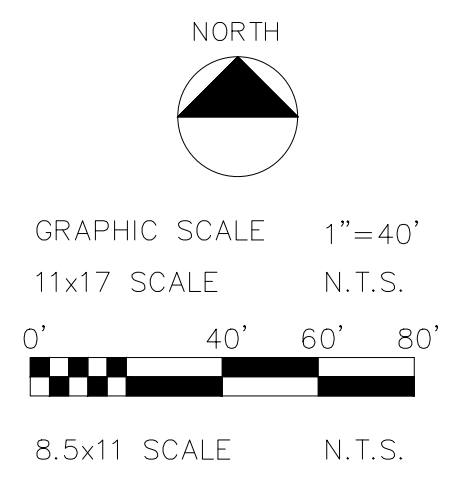
**NOTE TO CONTRACTOR**

CALL 811 AND ANY OTHER APPLICABLE UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. LOBSINGER & POTTS STRUCTURAL ENGINEERING, INC IS NOT RESPONSIBLE FOR KNOWING THE LOCATION OF ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS. THE LOCATION OF EXIST. UTILITIES ARE SHOWN AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES AS A RESULT OF FAILURE TO LOCATE AND PRESERVE EXIST. UTILITIES.

**BENCHMARK**

CONTROL POINT (PK NAIL) FOUND NEAR THE NEC OF THE BLDG ON THE SITE TO THE NORTH OF THE SUBJECT PROPERTY.  
EL.=640.90    N: 7039549.556    E: 2480023.489

**RECORD DRAWINGS**  
JULY 25, 2016  
ENGINEER OF RECORD: *Josh Brown*





**EROSION CONTROL PLAN NOTES**

- ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), TPDES GENERAL PERMIT NO. TXR 150000 ISSUED AND DATED MARCH 5, 2003.
- THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
- ALL RELEASES OF THE REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR, EPA AND TCEQ.
- QUALIFIED OPERATOR PERSONNEL MUST INSPECT THE SITE AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER. AS AN ALTERNATIVE, AN INSPECTION CAN BE CONDUCTED ONCE EVERY SEVEN (7) CALENDAR DAYS ON A DEFINED DAY. A DECISION ON WHICH METHOD TO USE MUST BE DECIDED BEFORE WORK BEGINS AND MUST BE FOLLOWED THROUGHOUT THE PROJECT.
- MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
- IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, THAT OPERATOR OR CONTRACTOR IN VIOLATION SHALL BE NOTIFIED AS WELL AS THE FACILITY OPERATOR.
- EROSION CONTROL SHALL BE INSTALLED PRIOR TO GRADING.
- ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES THREE INCHES OR 25%.
- THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR TOWN.
- AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE CONTRACTOR SHALL ESTABLISH GRASS GROUNDCOVER IN ALL STREET PARKWAYS, LOT AND ALL OTHER DISTURBED AREAS. SODDING SHALL BE DONE AS SPECIFIED BY SECTION 202.5 AND SEEDING AS SPECIFIED BY SECTION 202.6 OF THE OCTOBER 2004 OR LATEST EDITION OF NCTCOG STANDARD SPECIFICATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
- A DRAINAGE AREA MAP WILL BE INCLUDED WITH THE EROSION CONTROL PLAN.
- CONSTRUCTION WASTE DISPOSAL CONTAINERS SHALL BE PROVIDED ON THE SITE FOR DISPOSAL OF ALL NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS. THE CONTAINERS SHALL BE HAULED TO LANDFILL BY THE CONTRACTOR.
- ALL HAZARDOUS MATERIALS SHALL BE HANDLED AND DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

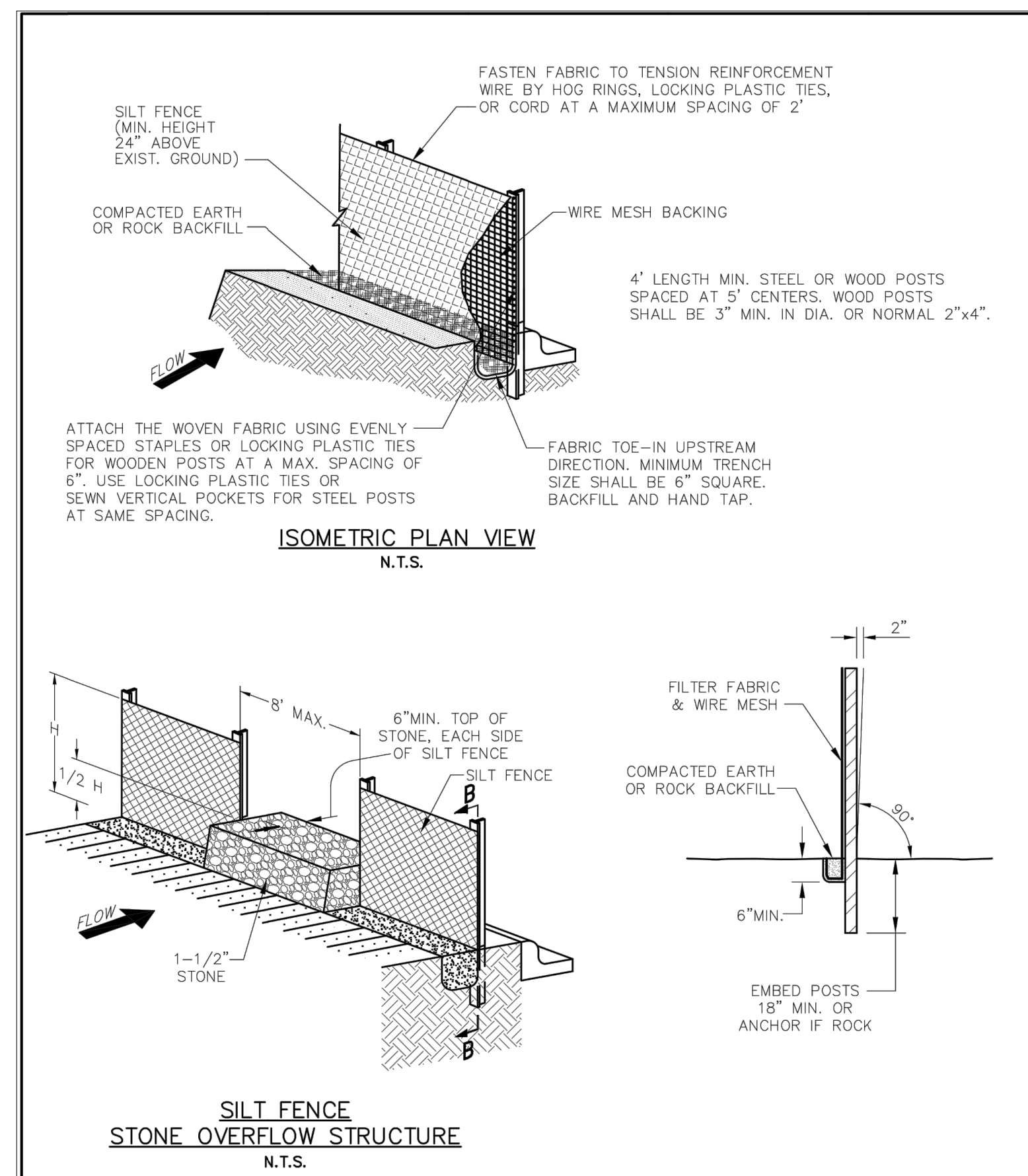
**SILT FENCE NOTES**

- POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF 18 INCHES.
- THE TOP OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEAVE FABRIC FLAP WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE TRENCH AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHALL BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE SUPPORT POST. THERE SHALL BE A 6 INCH DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE EVERY TWO WEEKS OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 3 INCHES. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SITUATION.

**Addison!**  
PUBLIC WORKS DEPARTMENT

EROSION CONTROL & SILT FENCE NOTES

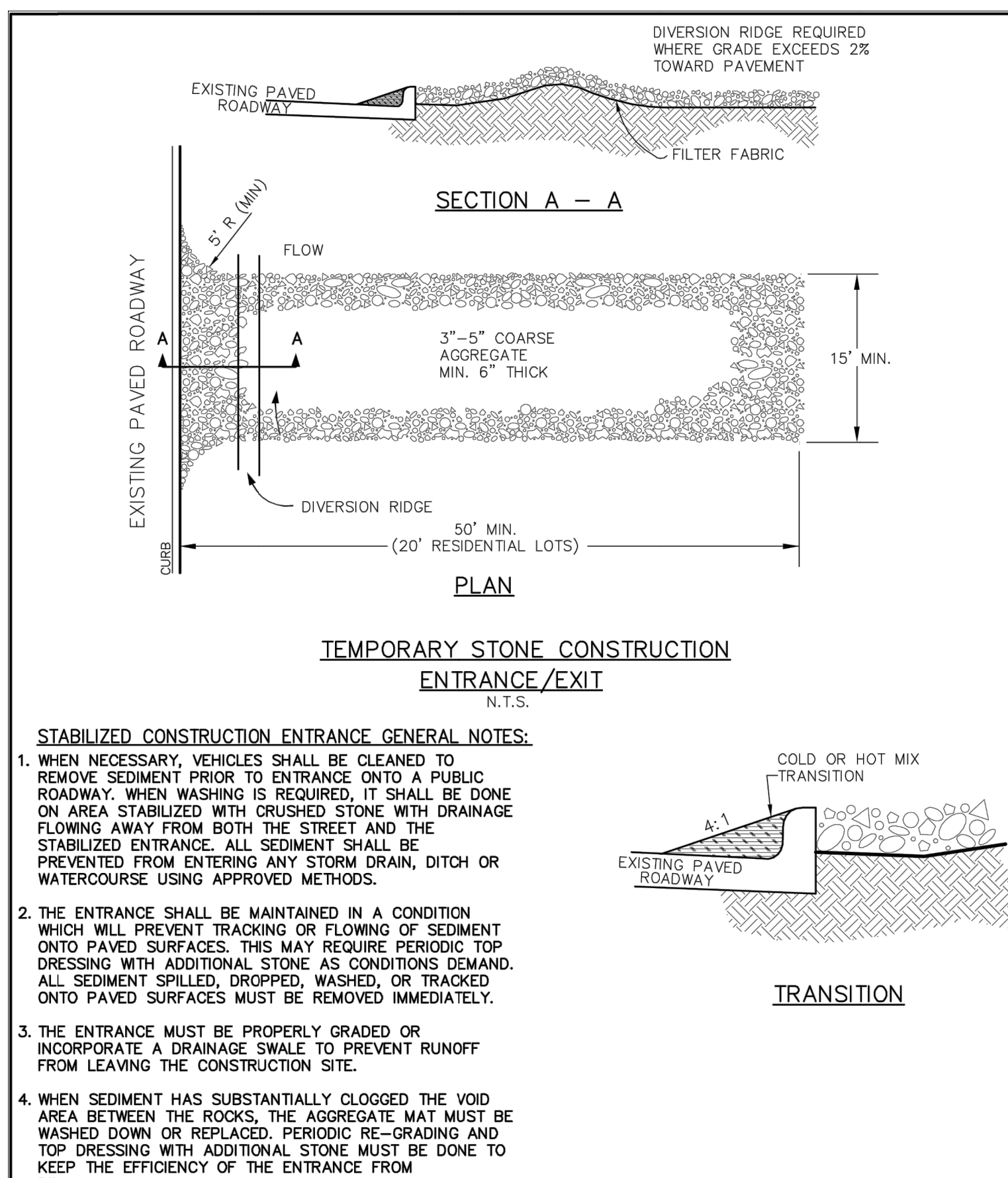
STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
DATE: AUGUST, 2010	REV DATE: -	SHEET: 30-E001



**Addison!**  
PUBLIC WORKS DEPARTMENT

SILT FENCE DETAIL

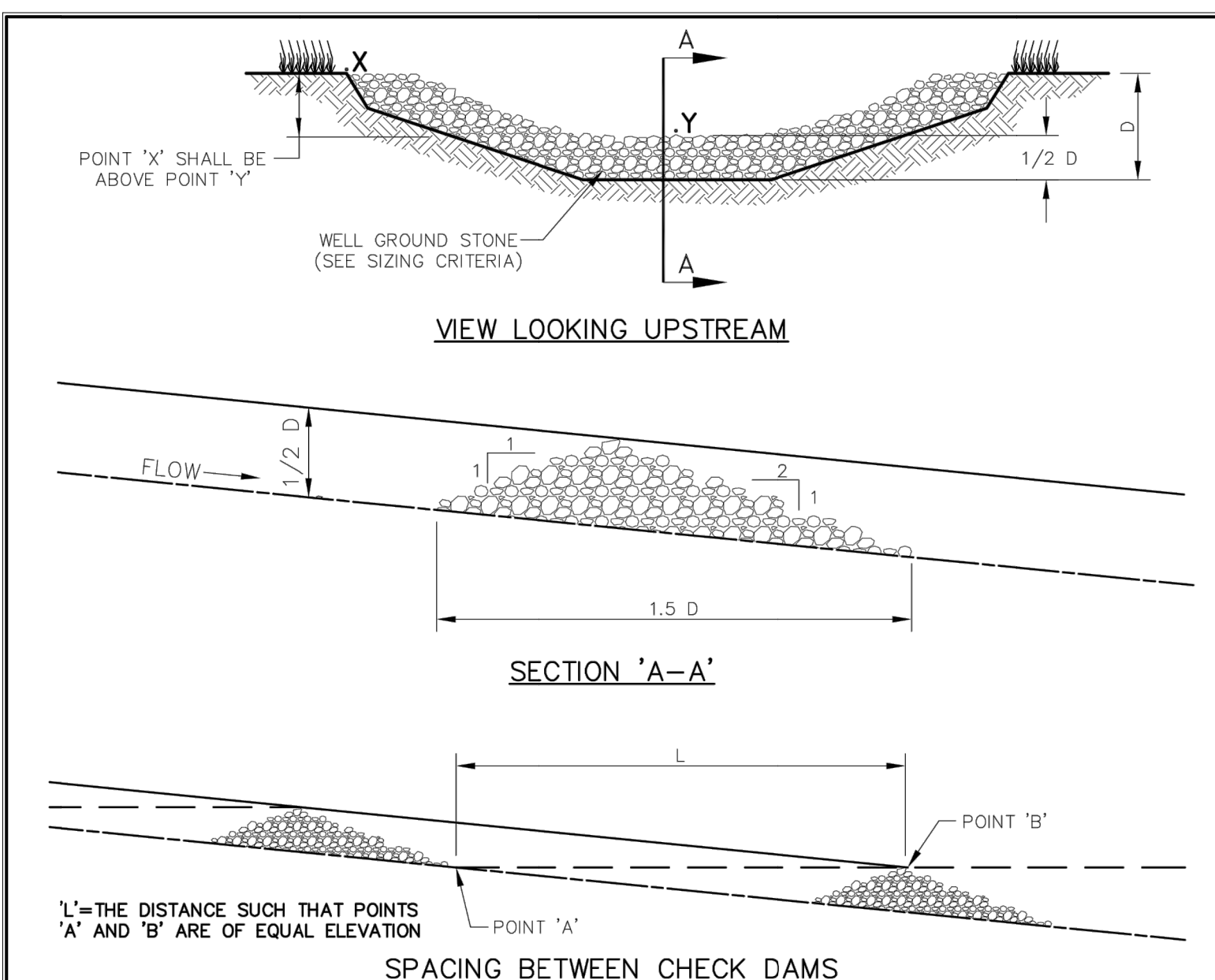
STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
DATE: AUGUST, 2010	REV DATE: -	SHEET: 30-E002



**Addison!**  
PUBLIC WORKS DEPARTMENT

TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT

STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
DATE: AUGUST, 2010	REV DATE: -	SHEET: 30-E003



- ROCK CHECK DAM NOTES:**
- STONE SHALL BE WELL GRADED STONE WITH SIZE RANGE FROM 1-1/2 TO 3-1/2 INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
  - THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
  - WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
  - WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

**Addison!**  
PUBLIC WORKS DEPARTMENT

ROCK CHECK DAM

STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
DATE: AUGUST, 2010	REV DATE: -	SHEET: 30-E005

**RECORD DRAWINGS**  
JULY 25, 2016

NOTE: THE RECORD INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PERMITTED SET, WAS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR, NOT FROM SURVEYED DATA OR FROM FIELD OBSERVATIONS BY A LICENSED ENGINEER.

ENGINEER OF RECORD: *Josh Brown*

**LPSE** Lobsinger & Potts Structural Engineering, Inc.  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

**STUCKEY ARCHITECTS**  
ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON AIRPORT  
4641 AIRPORT PKWY  
ADDISON, TEXAS

EROSION CONTROL DETAILS

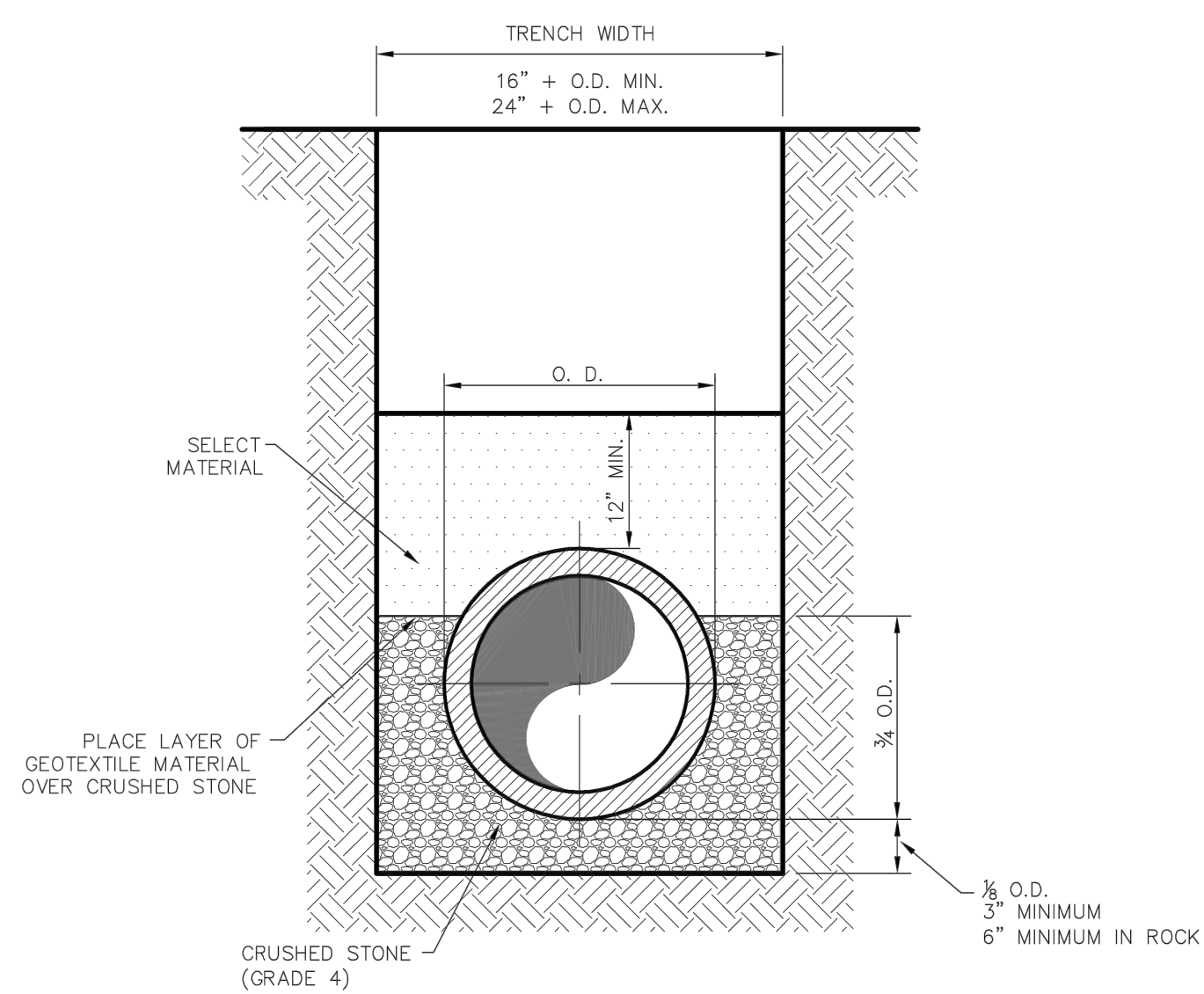
REVISIONS

DRAWN BY: LPSE	PROJ. MGR.: JSB
DATE: 3/11/2015	PROJ. NO: 12-1004

SHEET NO.

**C-9.1**

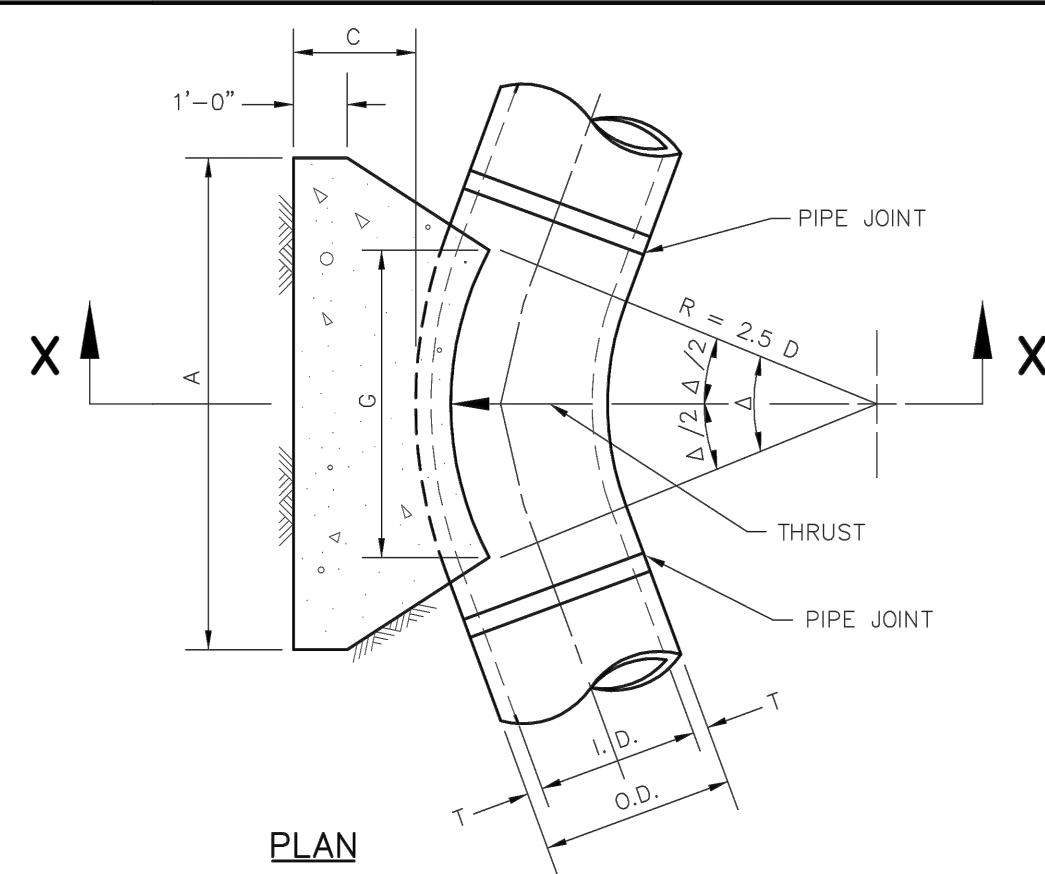
SHEET OF



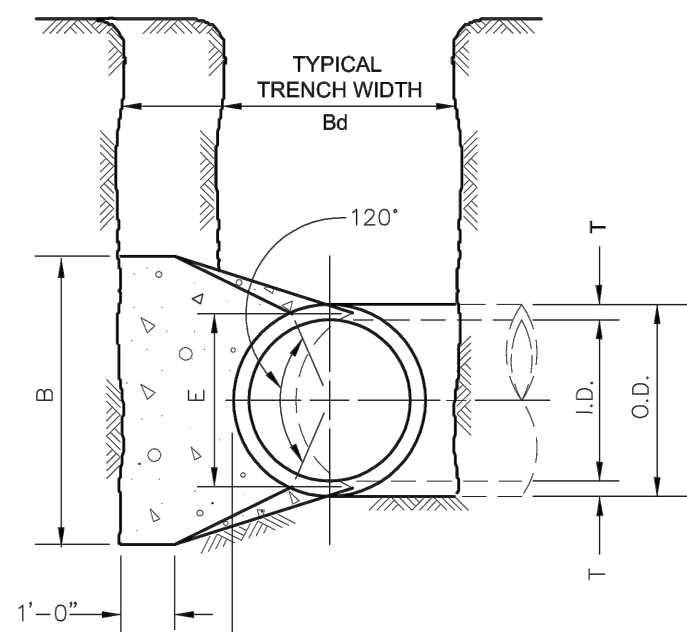
CLASS "B+" EMBEDMENT

CRUSHED STONE SHALL BE 3/4", PASSING # 4 SIEVE

TYPICAL P.V.C. WATER MAIN EMBEDMENT



PLAN



SECTION X-X

I.D. (IN.)	T (IN.)	Δ = 11.25' (FT.)	Δ = 22.50' (FT.)	E (FT.)
4,6,8	0.4	1.5	1.5	0.9
10,12	0.5	1.5	1.5	1.2
16,18	0.6	1.5	1.5	1.6
20	0.7	1.5	1.5	1.8
24	0.9	1.5	1.5	2.1
30	2.9	1.5	1.9	2.6
36	4.5	1.5	2.3	3.3
42	5.0	1.8	2.6	3.8
48	5.5	2.0	3.0	4.3
54	6.0	2.3	3.4	4.8
60	6.5	2.5	3.8	5.3
66	6.8	2.8	4.1	5.7
72	7.5	3.0	4.5	6.3
78	7.5	3.3	4.9	6.7
84	8.0	3.5	5.3	7.2
90	8.5	3.8	5.6	7.7
96	9.0	4.0	6.0	8.2

I.D. (IN.)	C (FT.)	THRUST (TONS)	EARTH			ROCK			I.D. (IN.)	C (FT.)	THRUST (TONS)	EARTH			ROCK		
			A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)				A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)
4,6,8	0.4	1.0	1.0	1.5	0.1	1.0	1.0	0.1	4,6,8	0.8	2.0	1.5	1.5	0.1	1.0	1.0	0.1
10,12	0.6	2.2	1.5	1.5	0.1	1.0	1.5	0.1	10,12	1.1	4.4	2.0	2.5	0.3	1.5	1.5	0.1
16,18	0.8	5.0	2.0	2.5	0.3	1.5	2.0	0.2	16,18	1.6	9.9	3.0	3.5	0.6	2.0	2.5	0.3
20	0.9	6.2	2.0	3.5	0.4	1.5	3.0	0.3	20	1.8	12.3	3.5	3.5	0.7	2.0	3.0	0.4
24	1.1	8.9	3.0	3.5	0.5	1.5	3.0	0.3	24	2.2	17.7	4.0	4.5	1.0	3.0	3.5	0.5
30	1.4	10.4	3.0	3.5	0.6	2.0	3.5	0.4	30	2.7	20.7	5.0	4.5	1.5	3.0	4.0	0.8
36	1.7	15.0	3.5	4.5	0.9	2.0	4.0	0.5	36	3.3	29.8	5.5	5.5	2.3	4.0	4.0	1.3
42	1.9	20.4	4.5	5.0	1.5	2.5	5.0	0.8	42	3.8	40.5	7.0	6.0	3.9	4.5	5.0	2.1
48	2.2	26.6	4.5	6.0	2.0	2.5	6.0	1.1	48	4.4	52.9	8.0	7.0	5.7	4.5	6.0	2.8
54	2.5	33.7	6.0	6.0	3.0	3.0	6.0	1.4	54	4.9	67.0	9.0	8.0	8.0	6.0	6.0	4.1
60	2.7	41.6	6.0	7.0	3.8	3.0	7.0	1.8	60	5.5	82.7	9.5	9.0	10.6	6.0	7.0	5.3
66	3.0	50.3	6.5	8.0	5.1	3.5	8.0	2.7	66	6.0	100.1	10.5	10.0	14.1	6.5	8.0	7.2
72	3.3	59.9	7.5	8.0	6.3	4.0	8.0	3.3	72	6.6	119.1	11.0	11.0	17.6	7.5	8.0	9.1
78	3.6	70.2	8.0	9.0	8.1	4.0	9.0	3.9	78	7.1	139.8	12.0	12.0	22.5	8.0	9.0	11.7
84	3.8	81.5	8.5	10.0	10.3	4.5	10.0	5.3	84	7.6	162.1	13.0	12.5	27.2	8.5	10.0	14.8
90	4.1	93.5	9.5	10.0	12.2	5.0	10.0	6.3	90	8.2	186.1	14.0	13.5	33.7	9.5	10.0	17.7
96	4.4	106.4	10.0	11.0	15.0	5.0	11.0	7.4	96	8.7	211.7	15.0	14.5	41.2	10.0	11.0	21.8

TABLES OF DIMENSIONS AND QUANTITIES

**Addison!** PUBLIC WORKS DEPARTMENT

P.V.C. WATER MAIN EMBEDMENT

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV. DATE: - SHEET: SD-W01

**Addison!** PUBLIC WORKS DEPARTMENT

HORIZONTAL THRUST BLOCK AT PIPE BEND

STANDARD CONSTRUCTION DETAILS WATER

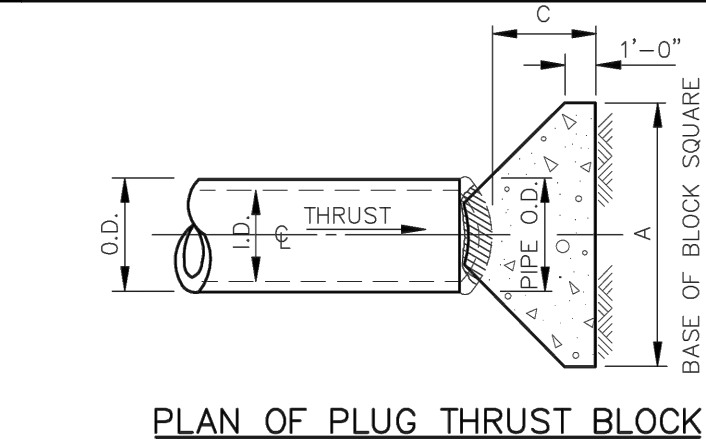
DATE: AUGUST, 2010 REV. DATE: - SHEET: SD-W04

**Addison!** PUBLIC WORKS DEPARTMENT

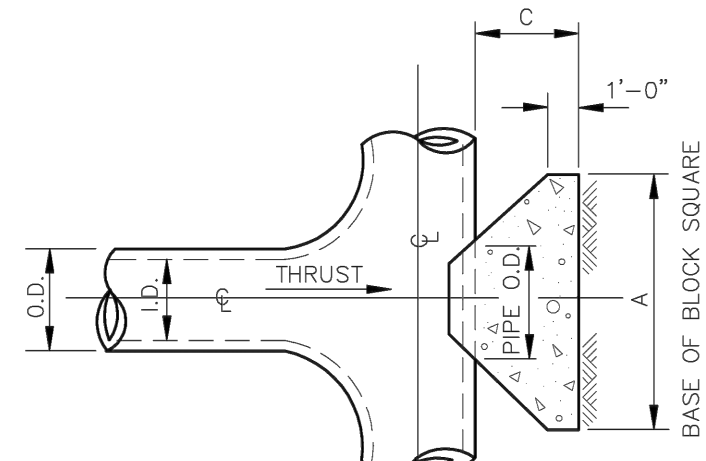
HORIZONTAL THRUST BLOCK DIMENSIONS & QUANTITIES

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV. DATE: - SHEET: SD-W05



PLAN OF PLUG THRUST BLOCK



PLAN OF TEE THRUST BLOCK

I.D. (IN.)	THRUST (TONS)	C (FT.)	EARTH			ROCK		
			A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)
4,6,8	5.1	1.5	2.5	0.3	2.0	0.2		
10,12	11.3	1.5	3.5	0.6	2.5	0.3		
16,18	25.5	2.0	5.5	1.6	4.0	0.9		
20	31.5	2.0	6.0	1.9	4.0	0.9		
24	45.2	2.5	7.0	3.1	5.0	1.7		
30	53.0	3.0	7.5	4.1	5.5	2.4		
36	76.3	4.0	9.0	7.3	6.5	4.2		
42	104.0	4.5	10.5	11.0	7.5	6.2		
48	136.0	5.0	12.0	15.6	8.5	8.7		

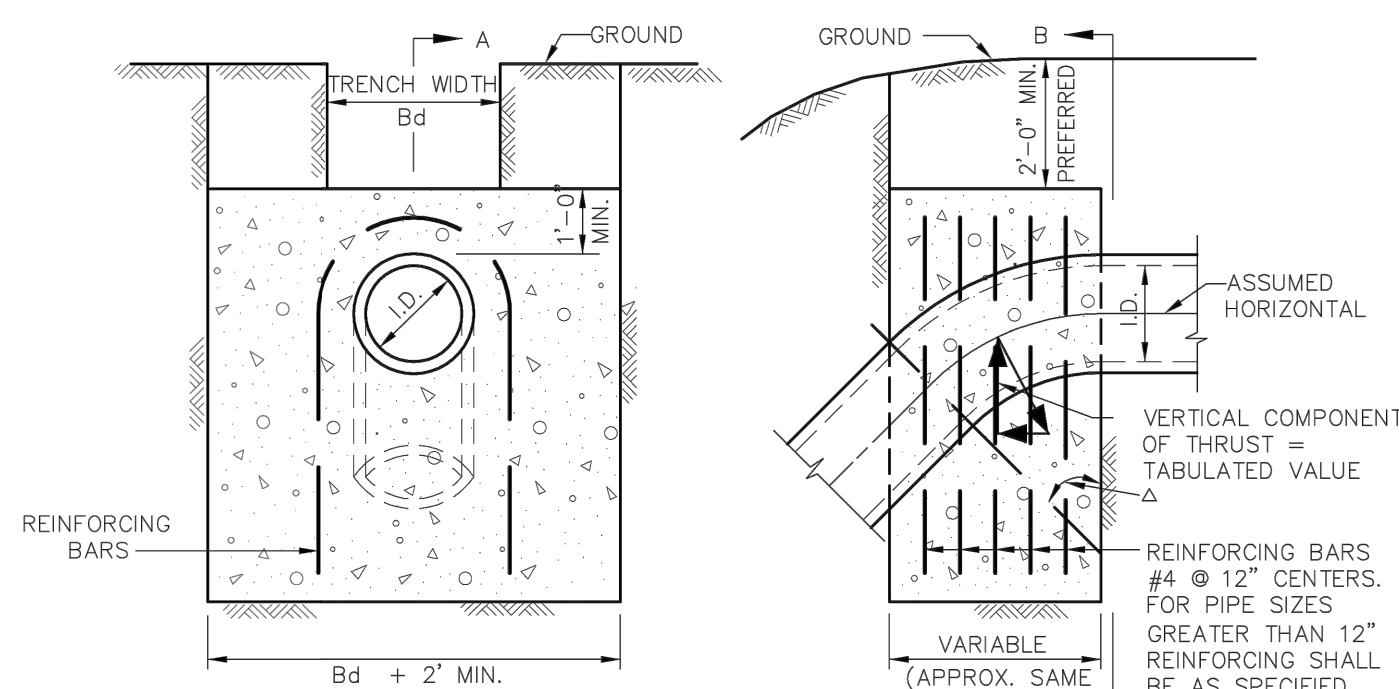
TABLES OF DIMENSIONS AND QUANTITIES

**Addison!** PUBLIC WORKS DEPARTMENT

HORIZONTAL THRUST BLOCK AT TEES & PLUGS

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV. DATE: - SHEET: SD-W07



ELEVATION "B-B"

SECTION "A-A"

Δ	11.25'			22.50'			30'			45'			67.50'			90'			Δ
I.D. (IN.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	I.D. (IN.)		
4,6,8	1.0	0.5	2.0	1.0	2.5	1.3	3.6	1.8	4.6	2.3	5.0	2.5	4,6,8						
10,12	2.2	1.1	4.3	2.2	5.7	2.8	8.0	4.0	10.5	5.2	11.3	5.7	10,12						
16,18	5.0	2.5	9.7	4.9	12.7	6.4	18.0	9.0	23.5	11.8	25.5	12.7	16,18						
20	6.1	3.1	12.0	6.0	15.7	7.9	22.2	11.1	29.2	14.5	31.4	15.7	20						
24	8.2	4.4	17.3	8.7	22.6	11.3	32.0	16.0	41.8	20.9	45.2	22.6	24						
30	10.5	5.2	20.3	10.1	26.5	13.3	37.5	18.8	49.0	24.5	53.1	26.5	30						
36	14.9	7.5	28.2	14.6	38.2	19.1	54.0	27.0	70.5	35.3	76.4	38.2	36						
42	20.3	10.1	38.8	19.9	52.0	26.0	73.5	36.7	96.0	48.0	104.0	52.0	42						
48	26.5	13.2	51.9	26.0	67.9	33.9	96.0	48.0	126.0	62.7	136.0	67.9	48						
54	33.5	16.8	65.7	32.9	85.9	42.9	122.0	60.7	159.0	79.4	172.0	85.9	54						
60	41.4	20.7	81.2	40.6	106.0	53.0	150.0	75.0	196.0	98.0	212.0	106.0	60						
66	50.1	25.0	98.2	49.1	128.0	64.2	182.0	90.7	237.0	119.0	257.0	128.0	66						
72	59.8	29.8	117.0	58.4	153.0	76.3	216.0	108.0	282.0	141.0	305.0	153.0	72						
78	69.9	35.0	137.0	68.6	179.0	90.0	254.0	127.0	331.0	166.0	358.0	179.0	78						
84	81.1	40.5	159.0	79.5	208.0	104.0	294.0	147.0	384.0	192.0	416.0	208.0	84						
90	93.1	46.5	183.0	91.3	239.0	119.0	337.0	169.0	441.0	221.0	477.0	239.0	90						
96	106.0	53.0	208.0	104.0	272.0	136.0	384.0	192.0	502.0	251.0	543.0	272.0	96						

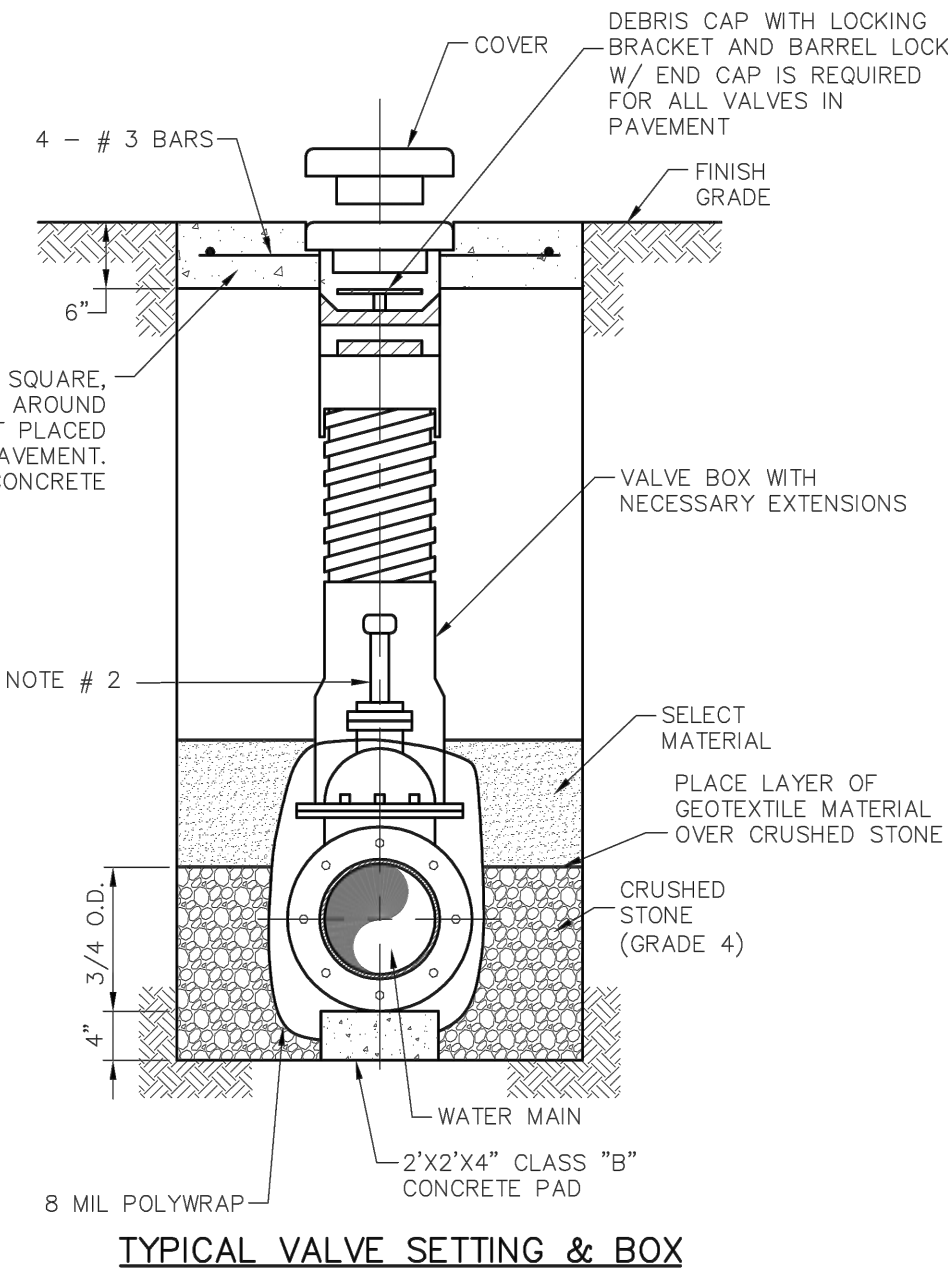
VERTICAL THRUST BLOCK

**Addison!** PUBLIC WORKS DEPARTMENT

VERTICAL THRUST BLOCK AT PIPE BEND

STANDARD CONSTRUCTION DETAILS WATER

DATE: AUGUST, 2010 REV. DATE: - SHEET: SD-W08



TYPICAL VALVE SETTING & BOX

- NOTE:
- 4"-12" R.S. GATE VALVES SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.
  - A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WHERE THE OPERATING NUT IS LOCATED IN EXCESS OF 5 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 5 FEET OF VALVE BOX LID.
  - BLUE "V" (3") CUT INTO FACE OF NEAREST CURB AND POINTING TOWARD THE VALVE.
  - ALL IRON MATERIALS SHALL BE DOMESTIC (MADE IN USA)
  - CRUSHED STONE SHALL BE 3/4", PASSING #4 SIEVE.

**Addison!** PUBLIC WORKS DEPARTMENT

VALVE SETTING BOX

STANDARD CONSTRUCTION DETAILS WATER

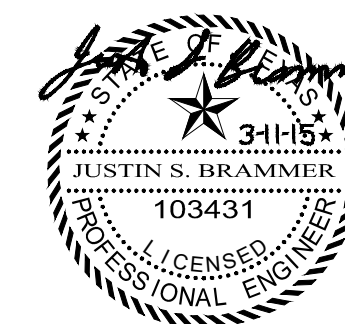
DATE: AUGUST, 2010 REV. DATE: - SHEET: SD-W09

RECORD DRAWINGS  
JULY 25, 2016

ENGINEER OF RECORD: *John Brown*

STUCKEY ARCHITECTS

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON, TEXAS

ADDISON AIRPORT

4641 AIRPORT PKWY

CITY WATER DETAILS

REVISIONS

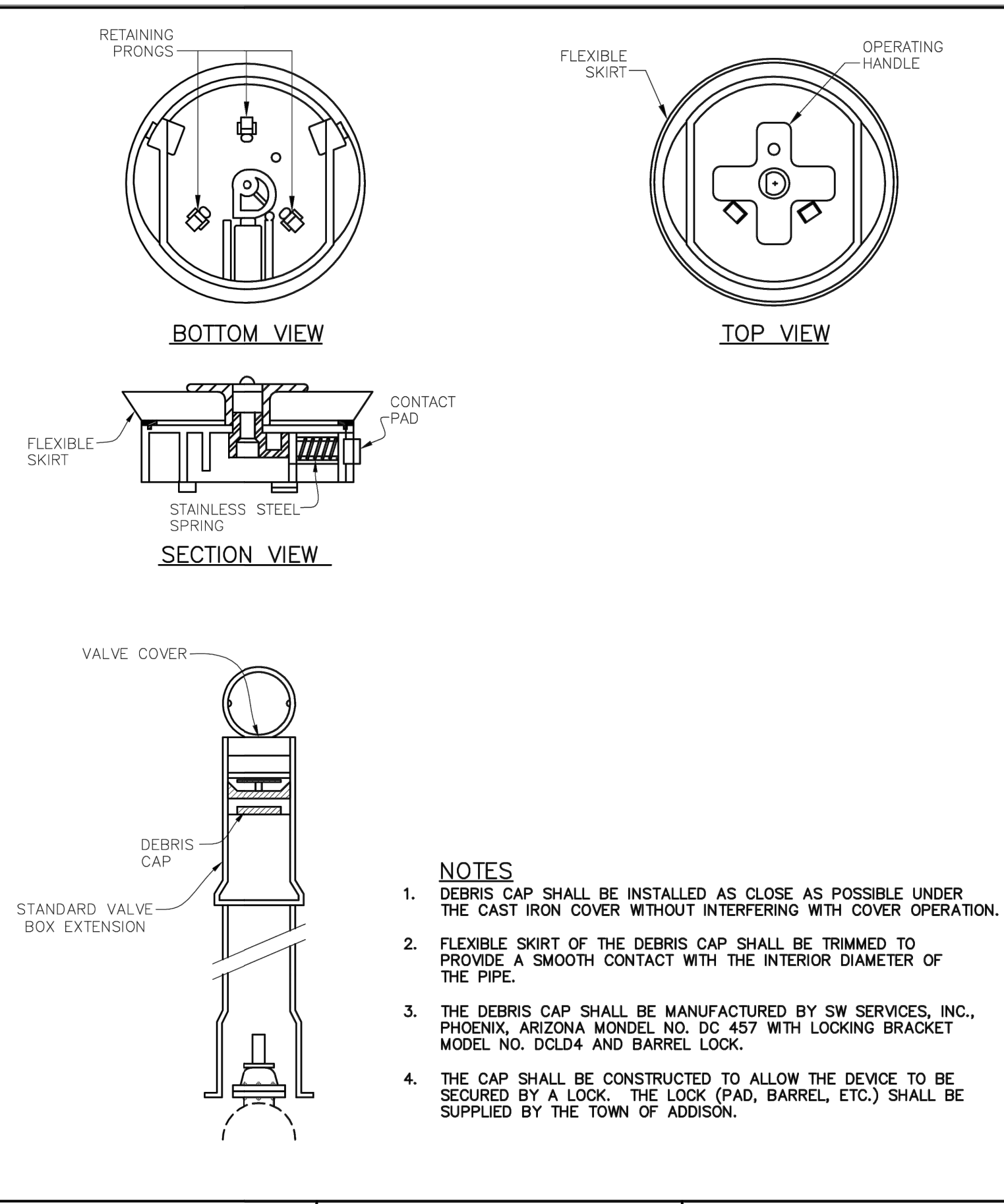
DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.

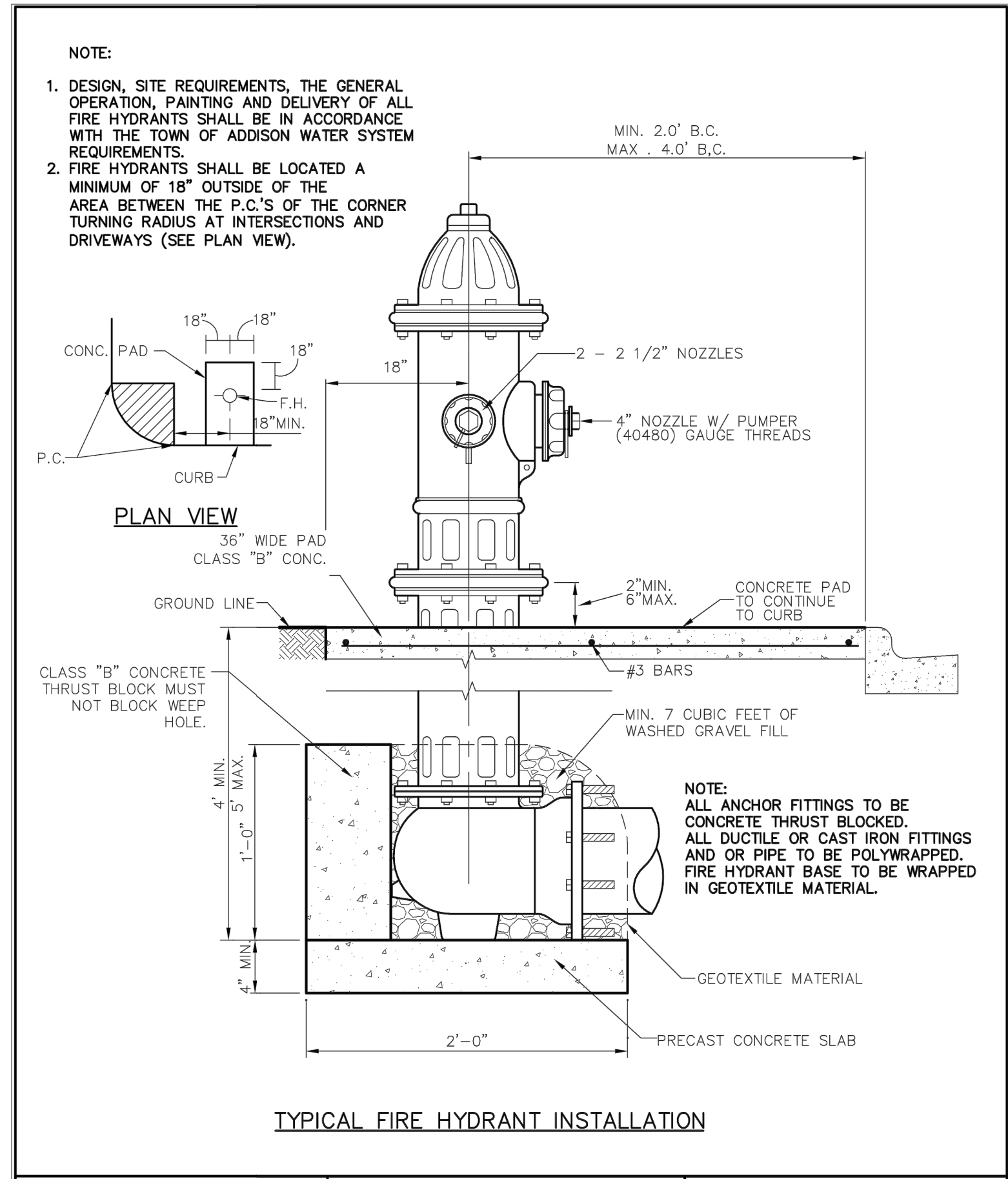
**C-10.1**

SHEET OF

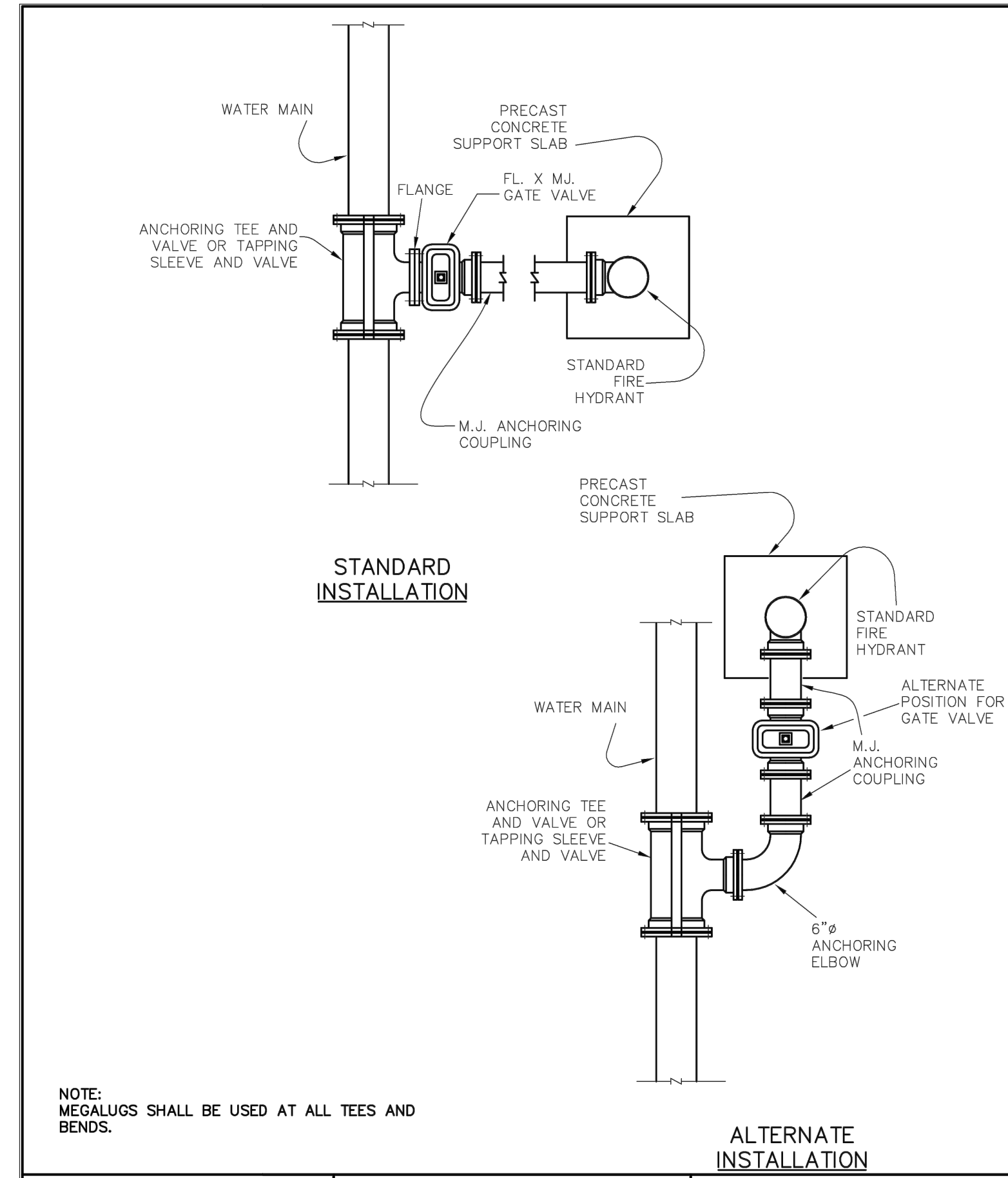




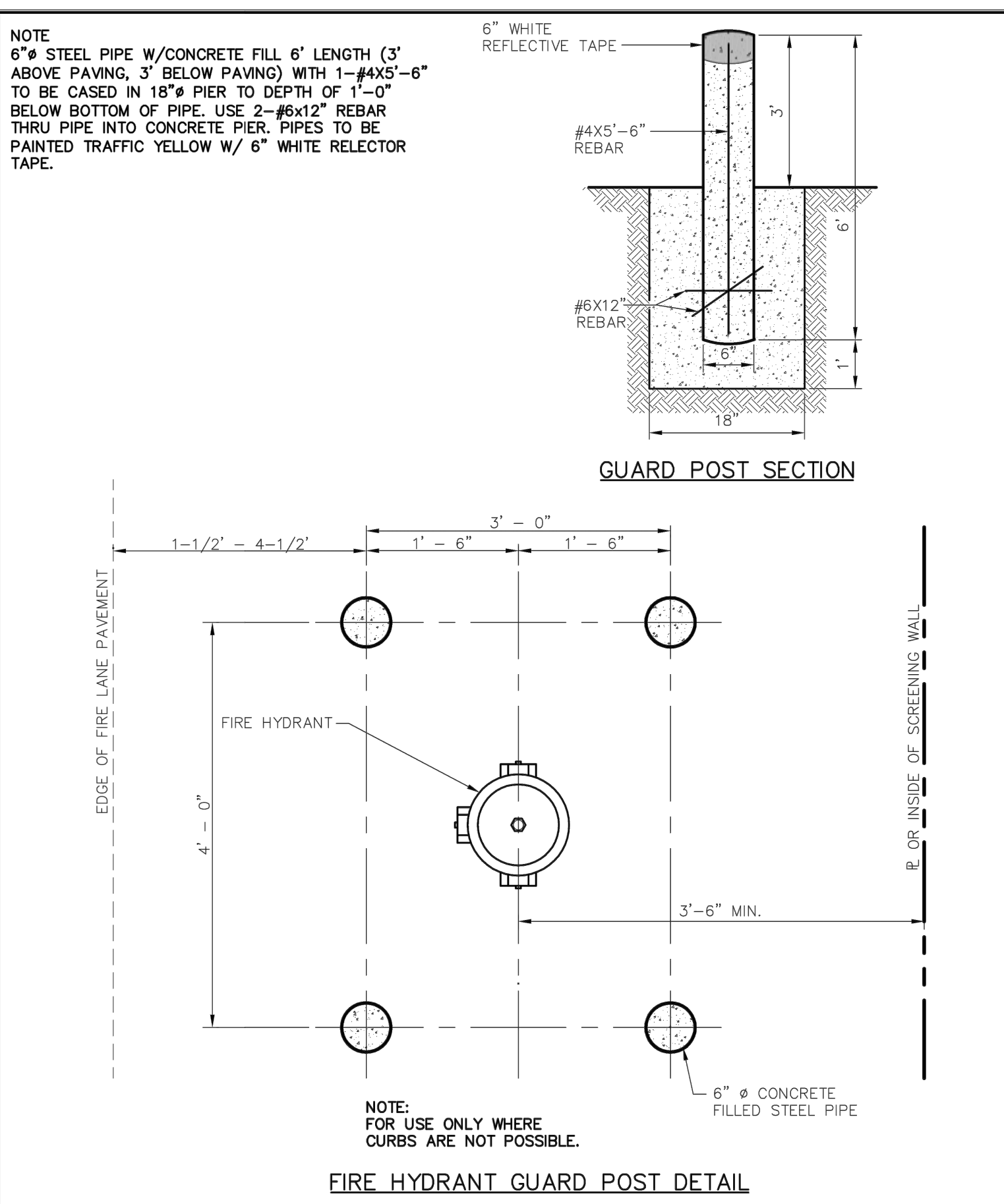
Addison! PUBLIC WORKS DEPARTMENT	DEBRIS CAP	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-W12



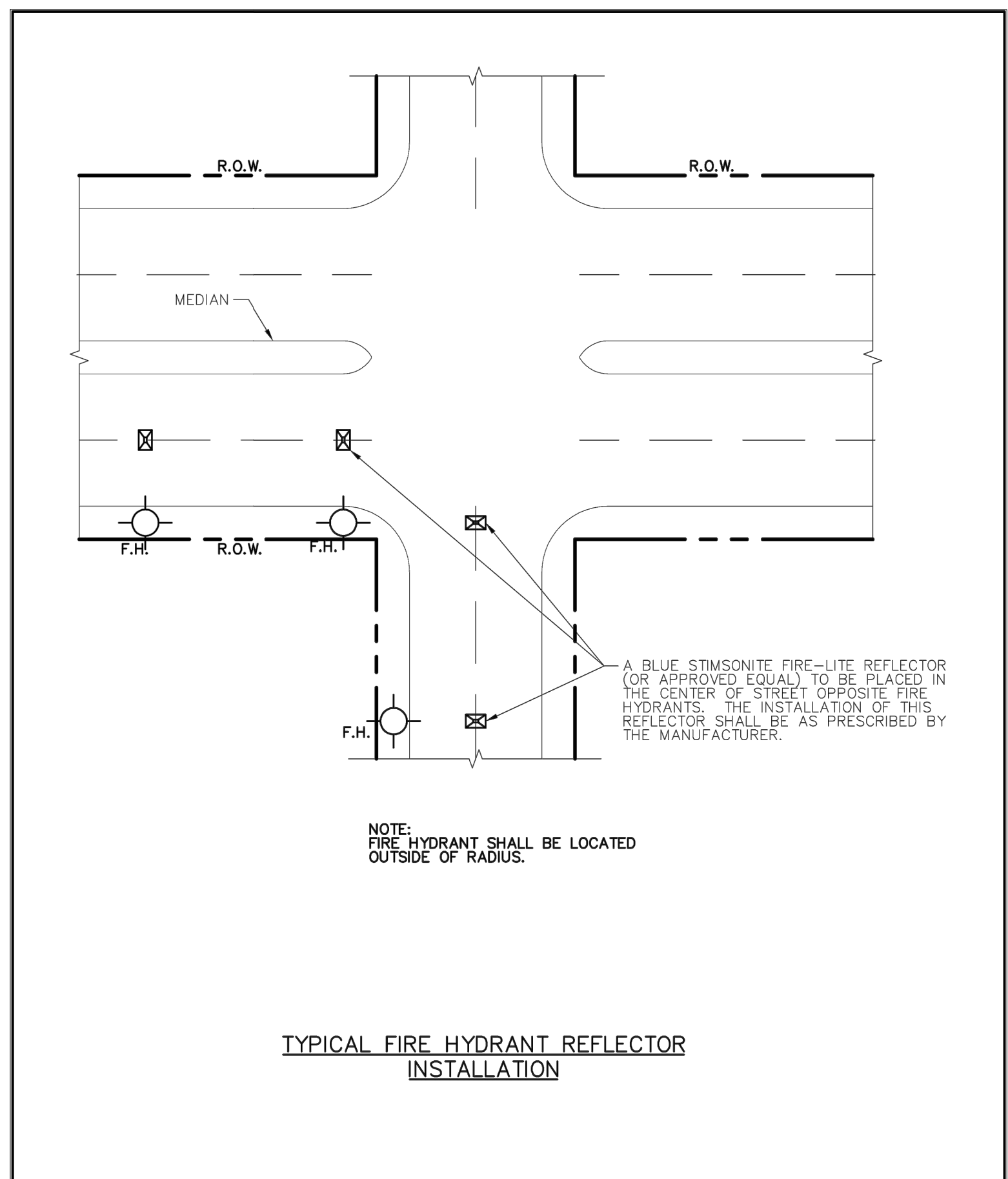
Addison! PUBLIC WORKS DEPARTMENT	TYPICAL FIRE HYDRANT INSTALLATION	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-W16



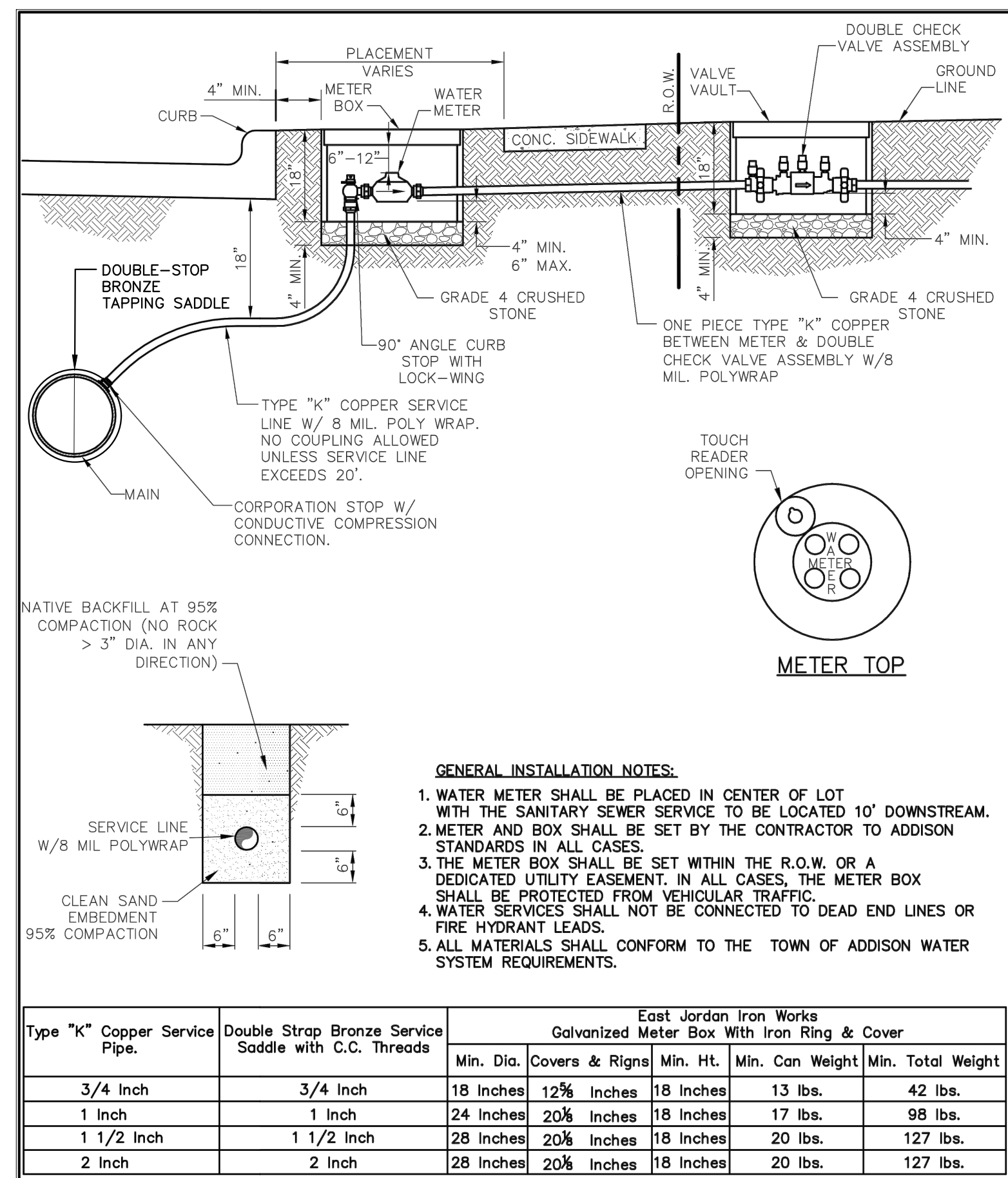
Addison! PUBLIC WORKS DEPARTMENT	TYPICAL FIRE HYDRANT INSTALLATION	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-W17



Addison! PUBLIC WORKS DEPARTMENT	FIRE HYDRANT GUARD POST	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-W18



Addison! PUBLIC WORKS DEPARTMENT	FIRE HYDRANT REFLECTOR INSTALLATION	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-W19



Addison! PUBLIC WORKS DEPARTMENT	SERVICE CONNECTION WITH METER BOX	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV DATE: -	SHEET: SD-W20

RECORD DRAWINGS  
JULY 25, 2016

NOTE: THE RECORD INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PRINTED SET, WAS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR, NOT FROM SURVEYED DATA OR FROM FIELD OBSERVATIONS BY A LPSE ENGINEER.

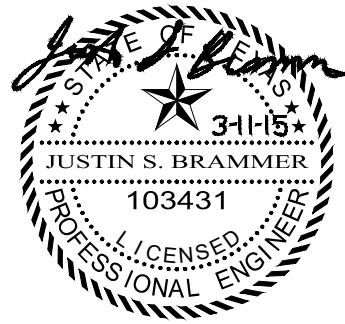
ENGINEER OF RECORD: *Josh Beaman*

**LPSE** Lobsinger & Potts Structural Engineering, Inc.  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg # 7290

**CONFIDENTIAL**

CITY WATER DETAILS

**STUCKEY ARCHITECTS**  
ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANAGER AND TERMINAL FOR:

**SKY B&B, LLC**

ADDISON, TEXAS  
4641 AIRPORT PKWY  
ADDISON AIRPORT

REVISIONS

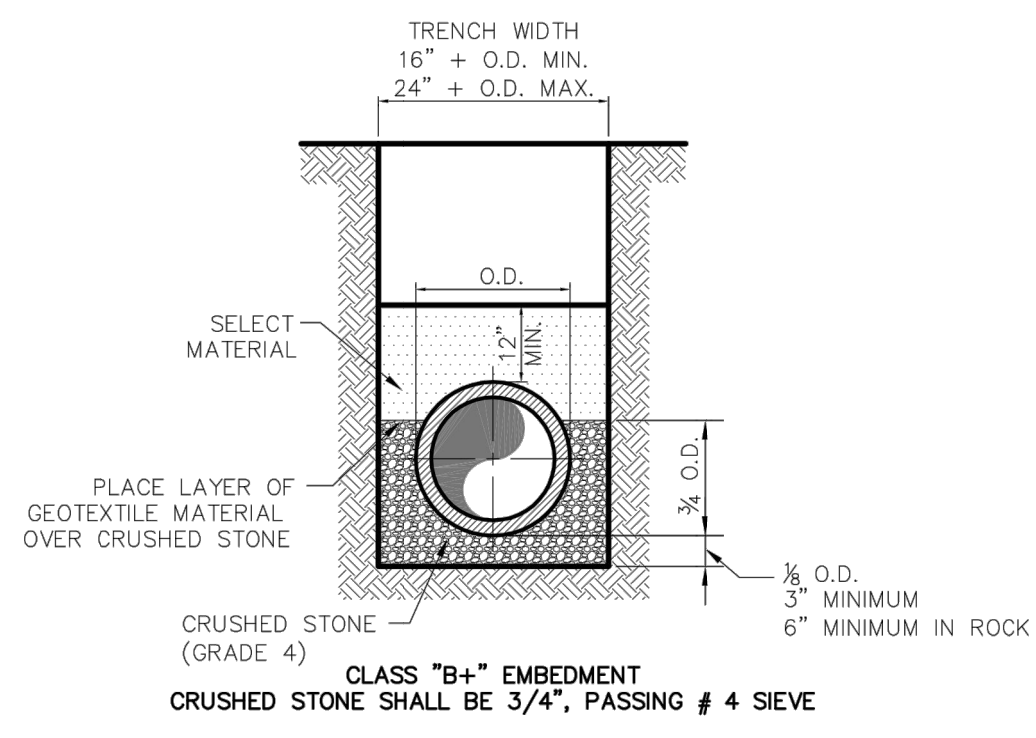
DRAWN BY: LPSE  
DATE: 3/11/2015

PROJ. MGR.: JSB  
PROJ. NO: 12-1004

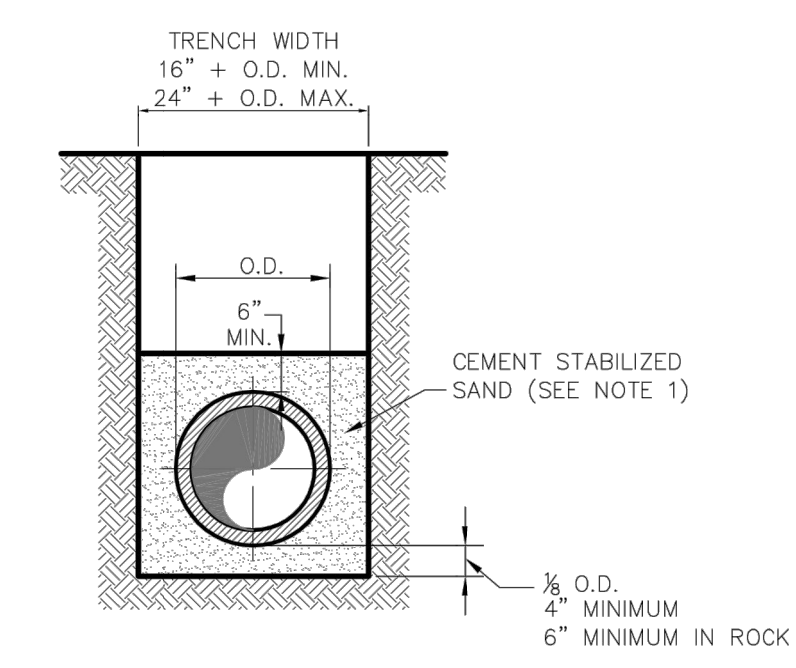
SHEET NO.

**C-10.2**

SHEET OF

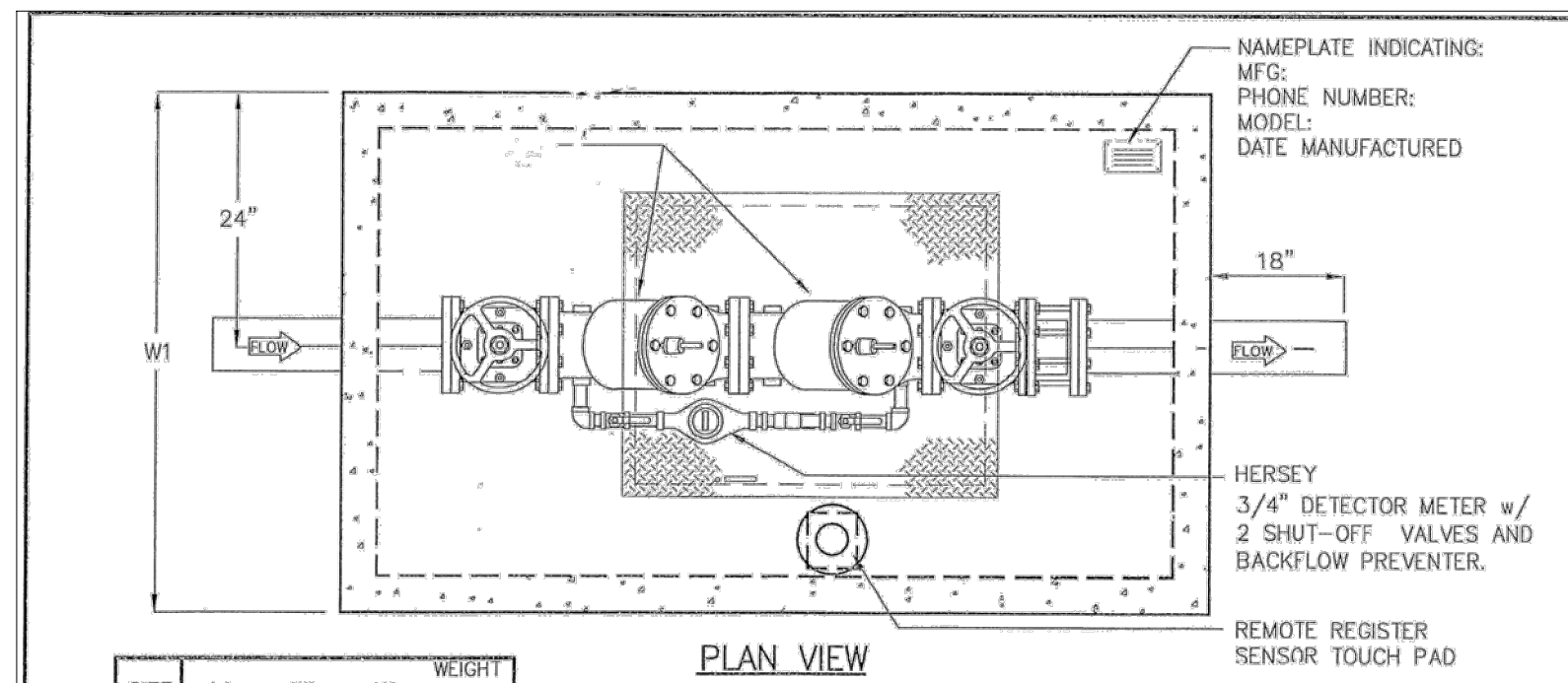


TYPICAL P.V.C. WASTEWATER MAIN EMBEDMENT

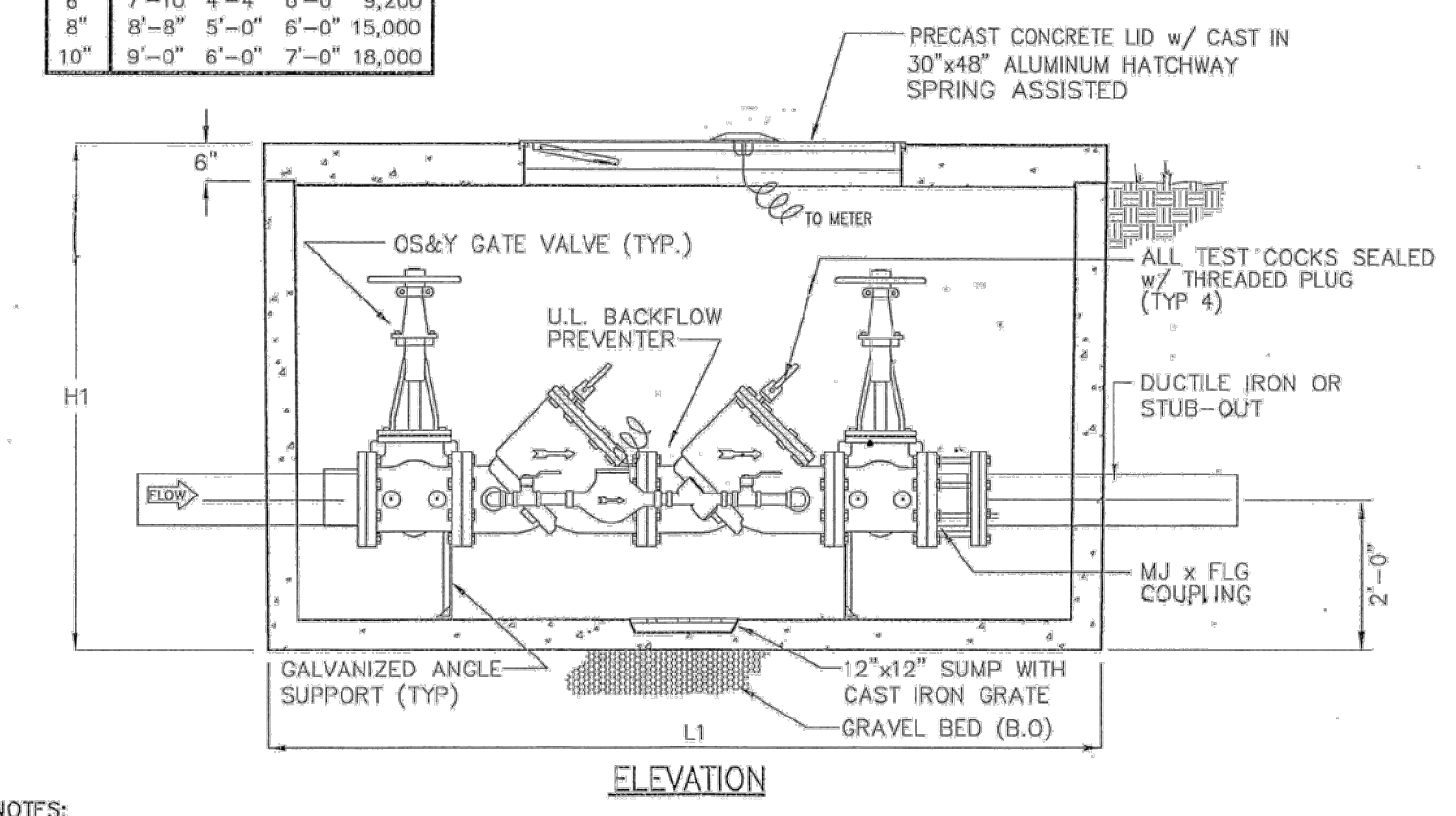


P.V.C. WASTEWATER MAIN CEMENT STABILIZED SAND EMBEDMENT

NOTE:  
1. CEMENT STABILIZED SAND SHALL HAVE A MINIMUM OF 10% CEMENT PER CUBIC YARD OF CEMENT STABILIZED SAND MIXTURE, BASED ON LOOSE DRY WEIGHT VOLUME (AT LEAST 2.5 BAGS OF CEMENT PER CUBIC YARD OF MIXTURE). THE USE OF BROWN COLORING IN CEMENT STABILIZED SAND IS REQUIRED FOR PRESSURE RATED WASTEWATER MAIN AND LATERAL BEDDING.



SIZE	L1	WT	H1	WEIGHT
4"	7'-10"	4'-4"	8'-0"	9,000
6"	7'-10"	4'-4"	6'-0"	9,200
8"	8'-8"	5'-0"	6'-0"	15,000
10"	9'-0"	6'-0"	7'-0"	18,000



NOTES:  
1. ALL CONCRETE SHALL BE CLASS 1 CONCRETE WITH DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. UNITS ARE OF MONOLITHIC CONSTRUCTION AT FLOOR AND FIRST STAGE OF WALL WITH SECTIONAL RISER TO REQUIRED DEPTH.  
2. ALL REINFORCEMENT SHALL BE GRADE 60 REINFORCED STEEL REBAR CONFORMING TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.  
3. ALL HATCHWAYS SHALL BE 2" ALUMINUM DIAMOND PLATE COVER, WITH 2" EXTRUDED ALUMINUM FRAME. HATCH TO BE FURNISHED WITH 316 STAINLESS STEEL SNAP LOCK AND HINGES.  
4. THE BACKFLOW ASSEMBLY SHALL BE FACTORY ASSEMBLED IN VAULT AND HYDROSTATICALLY TESTED PRIOR TO DELIVERY. PIPE, VALVES AND FITTINGS OF THE ASSEMBLY SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.

 PUBLIC WORKS DEPARTMENT	P.V.C. WASTEWATER MAIN EMBEDMENT	STANDARD CONSTRUCTION DETAILS WASTEWATER		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-WW01

 DEPARTMENT OF PUBLIC WORKS	DOUBLE CHECK DETECTOR ASSEMBLY	STANDARD CONSTRUCTION DETAILS WATER		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-WW03

**STUCKEY ARCHITECTS**

ARCHITECTURE PLANNING INTERIORS  
208 N. MAIN STREET, SUITE 140  
WEATHERFORD, TEXAS 76086  
TELEPHONE (817) 341-0754  
FAX - (817) 341-0755



A NEW HANAGER AND TERMINAL FOR:

**SKY B&B, LLC**

4641 AIRPORT PKWY ADDISON AIRPORT ADDISON, TEXAS

CITY WATER & WASTEWATER DETAILS

REVISIONS

DRAWN BY: LPSE PROJ. MGR.: JSB  
DATE: 3/11/2015 PROJ. NO: 12-1004

SHEET NO.  
**C-11.1**

SHEET OF

RECORD DRAWINGS  
JULY 25, 2016  
ENGINEER OF RECORD: *Josh Brown*

**LPSE** Lobsinger & Potts Structural Engineering, Inc.  
1723 E. Southlake Blvd., Suite 200 Southlake, Texas 76092  
817.488.9933 Fax 817.488.9937 Firm Reg. # 7290

**CONFIDENTIAL**

A NEW HANAGER & TERMINAL FOR SKY B&B, LLC